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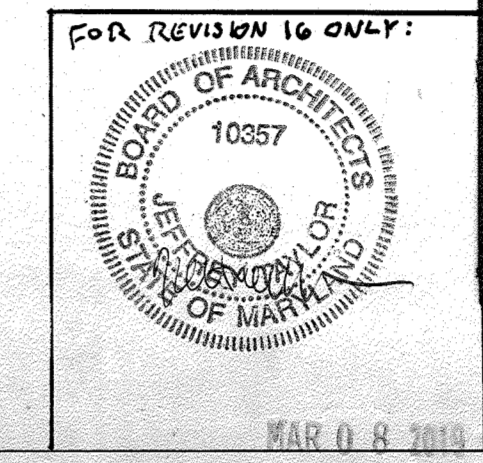
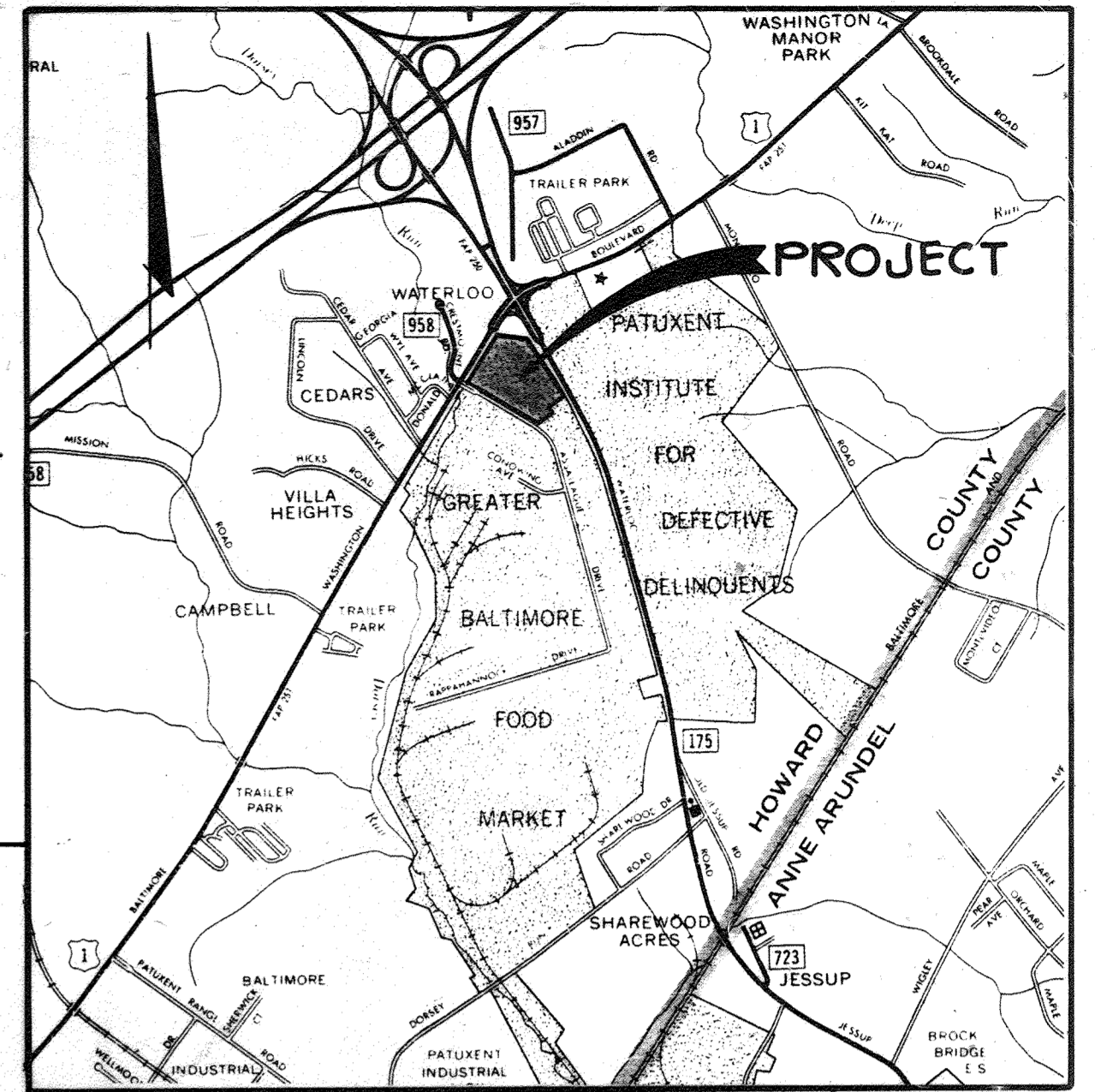
# SITE DEVELOPMENT PLAN

## MARYLAND WHOLESAL CENTER

### BLOCK B PARCEL B-1

### 6 TH ELECTION DISTRICT

### HOWARD COUNTY, MARYLAND

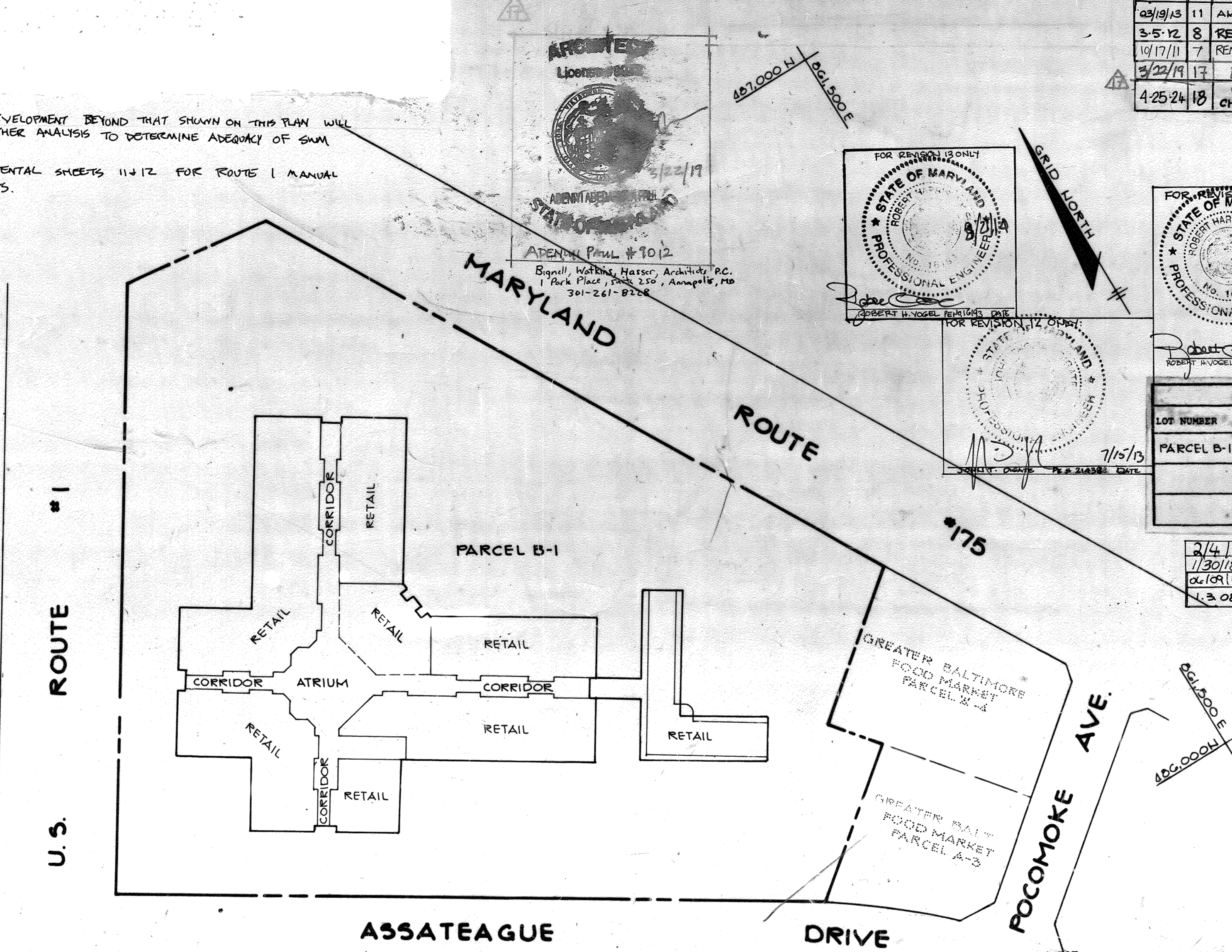


DATE	NO	REVISION
02/21/14	13	ADD A BUILDING WALL, TIERED RETAINING WALL & ASSOCIATED PAVING
03/11/13	12	REVISIONS FOR IHOP BUILDING
03/09/13	11	AMEND THE PARKING FOR BUILDING B
3-5-12	8	REMOVE 2 PARKING SPACES
10/17/11	7	REMOVE 16 PKG SPACES
3/22/11	17	MOM'S PARAPET EXTENSION
4-25-24	18	BANQUET HANDICAP PARKING MODIFICATION CHANGE SHEET NUMBER, REVISED SHEET INDEX

VICINITY MAP  
SCALE: 1"=2,000'

- GENERAL NOTES**
- ALL WATER LINES SHALL BE CONSTRUCTED A MINIMUM OF 42" COVER BELOW FINISHED GRADE.
  - CORRUGATED STEEL PIPE SECTIONS WILL BE JOINED WITH A SINGLE OR TWO PEICE CORRUGATED BAND WITH A WATERTIGHT NEOPRENE GASKET. "DIMPLE BAND CONNECTORS WILL NOT BE PERMITTED.
  - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.E., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, UNLESS OTHERWISE NOTED ON THE PLANS.
  - APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
  - THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES, WHERE DIRECTED BY THE ENGINEER, A MINIMUM OF TWO WEEKS IN ADVANCE OF CONSTRUCTION OPERATIONS.
  - CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:  
C & P TELEPHONE COMPANY 725-9976  
HOWARD COUNTY BUREAU OF UTILITIES 992-2366  
MISS UTILITY 559-0100  
AT&T CABLE LOCATION DIVISION 393-3553  
BALTIMORE GAS AND ELECTRIC COMPANY 685-0123  
STATE HIGHWAY ADMINISTRATION 531-5533  
HOWARD COUNTY CONSTRUCTION/INSPECTION SURVEY DIVISION (24 HOURS NOTICE PRIOR TO COMMENCEMENT OF WORK) 792-7272
  - ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS. THE CONTRACTOR SHALL PROVIDE A JOINT IN ALL SEWER MAINS WITHIN 2'-0" OF EXTERIOR MANHOLE WALLS.
  - PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
  - NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT TO SUBGRADE.
  - TOPO TAKEN FROM FIELD RUN SURVEY DATED FEBRUARY 4, 1983 BY HUDKINS ASSOCIATES.
  - ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  - ALL CURB AND GUTTER, PAVING AND STORM DRAINAGE WITHIN THE RIGHT-OF-WAY OF U.S. ROUTE 1 AND ROUTE 175 SHALL BE CONSTRUCTED IN ACCORDANCE WITH MARYLAND STATE HIGHWAY ADMINISTRATION STANDARDS.
  - ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE PROVISIONS OF THE ENTRANCE PERMIT ISSUED BY THE MARYLAND STATE HIGHWAY ADMINISTRATION FOR THIS PROJECT.
  - ALL CORRUGATED METAL PIPE IS SHOWN AS BITUMINOUS COATED. ALUMINIZED CORRUGATED METAL PIPE MAY BE SUBSTITUTED. ALL CORRUGATED METAL PIPE 48" AND LARGER SHALL HAVE 5"X1" CORRUGATION UNLESS OTHERWISE NOTED.

- ADDITIONAL DEVELOPMENT BEYOND THAT SHOWN ON THIS PLAN WILL REQUIRE FURTHER ANALYSIS TO DETERMINE ADEQUACY OF SWM QUALITY.
- SEE SUPPLEMENTAL SHEETS 11 & 12 FOR ROUTE 1 MANUAL IMPROVEMENTS.



**MARYLAND WHOLESAL CENTER**  
ZONING B-2  
(reference 2B Case No. 751)

**SITE TABULATION**

TOTAL AREA OF SITE	14.164 Acres (616,984 sq.ft.)
LOT COVERAGE-STRUCTURE (50% allowed=308,492 sq.ft.)	
MALL & FARMER'S MARKET (one-story buildings)	170,056 sq.ft. (28% coverage)
IHOP = 4,860 SF	
OPEN SPACE (20% required=123,397 sq.ft.)	125,650 SF PROVIDED (130,610 - 24% SF) (20.4% open space)
PARKING (@ 1 space per 200 sq.ft. of floor space designed to be used for retail purposes - section 123 B 2 (26))	5 SPACES/1000 SF (SHOPPING CENTER) PER ZONING REGULATION IN 1983

TOTAL FLOOR SPACE FOR RETAIL PURPOSES: 159,977 SF 795 SPACES REQUIRED  
 (156,157 SF - 4860 SF - 2,140 SF = 159,977)  
 TOTAL PARKING SPACES PROVIDED: 800 SPACES PROVIDED  
 (INCLUDES 29\* HANDICAP SPACES TOTAL;\* 11 VAN ACCESSIBLE)  
 PARKING NOTE: ON JANUARY 30, 2010, 2,140 SF OF RETAIL SPACE WAS CONVERTED TO LOADING AND STORAGE WHICH DOES NOT HAVE A PARKING OBLIGATION  
 -Total area of parking lots 304,910 - 4860 - 4681 = 295,218 SF  
 -Landscaped islands within 50,382 SF 58,645 sq.ft. provided parking lots (5% required= 47.2% landscaped islands) (15,246 sq.ft.)

**FOR REVISION 11 ONLY:**

STATE OF MARYLAND  
ROBERT H. VOGEL  
PROFESSIONAL ENGINEER  
NO. 16193

**FOR REVISION 12 ONLY:**

STATE OF MARYLAND  
ROBERT H. VOGEL  
PROFESSIONAL ENGINEER  
NO. 16193

**FOR REVISION 13 ONLY:**

STATE OF MARYLAND  
ROBERT H. VOGEL  
PROFESSIONAL ENGINEER  
NO. 16193

**FOR REVISION 14 ONLY:**

STATE OF MARYLAND  
ROBERT H. VOGEL  
PROFESSIONAL ENGINEER  
NO. 16193

**FOR REVISION 15 ONLY:**

STATE OF MARYLAND  
ROBERT H. VOGEL  
PROFESSIONAL ENGINEER  
NO. 16193

**FOR REVISION 16 ONLY:**

STATE OF MARYLAND  
ROBERT H. VOGEL  
PROFESSIONAL ENGINEER  
NO. 16193

**FOR REVISION 17 ONLY:**

STATE OF MARYLAND  
ROBERT H. VOGEL  
PROFESSIONAL ENGINEER  
NO. 16193

**FOR REVISION 18 ONLY:**

STATE OF MARYLAND  
ROBERT H. VOGEL  
PROFESSIONAL ENGINEER  
NO. 16193

**ADDRESS CHART**

LOT NUMBER	STREET ADDRESS
PARCEL B-1	7851 ASSATEAGUE DRIVE

THIS SEAL APPLIES ONLY TO REVISIONS DATED 2-23-11 AND 8-23-11, 10/17/11, 3-5-12

**APPROVED:** FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

*Joann Boyles* 9-16-83  
COUNTY HEALTH OFFICER DATE

**APPROVED:** HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

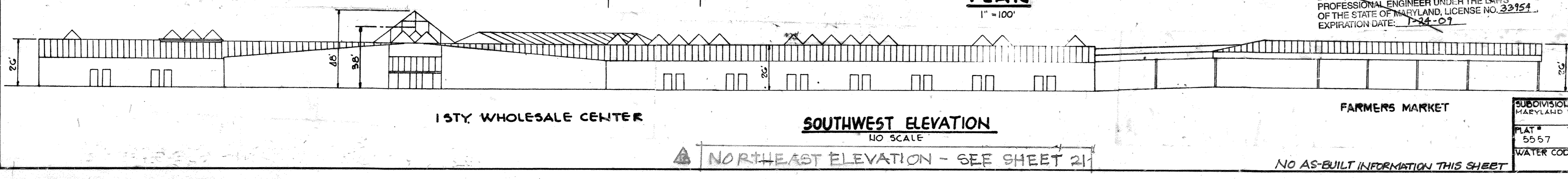
*Shirley L. Mitchell* 9-16-83  
PLANNING DIRECTOR DATE

**APPROVED:** FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

*Shirley L. Mitchell* 9-16-83  
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

**APPROVED:** FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

*Shirley L. Mitchell* 9-16-83  
CHIEF, BUREAU OF ENGINEERING DATE



**APPROVED**

DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND

*Shirley L. Mitchell* 9-16-83  
PROFESSIONAL ENGINEER  
NO. 16193

THIS SEAL APPLIES ONLY TO REVISIONS DATED 1-3-08

**OWNER:** MARYLAND FOOD CENTER AUTHORITY  
201 WEST PRESTON STREET  
BALTIMORE MARYLAND 21201

**DEVELOPER:** K.M.S.  
1000 EQUITABLE BANK CENTER  
COLUMBIA, MARYLAND 21044

**PROJECT:** EASTGATE SHOPPING CENTER  
MARYLAND WHOLESAL CENTER

**RECORD PLAT RECORDING REFERENCE NO:**

**AREA:** MARYLAND WHOLESAL CENTER  
BLOCK B - PARCEL B-1  
6TH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

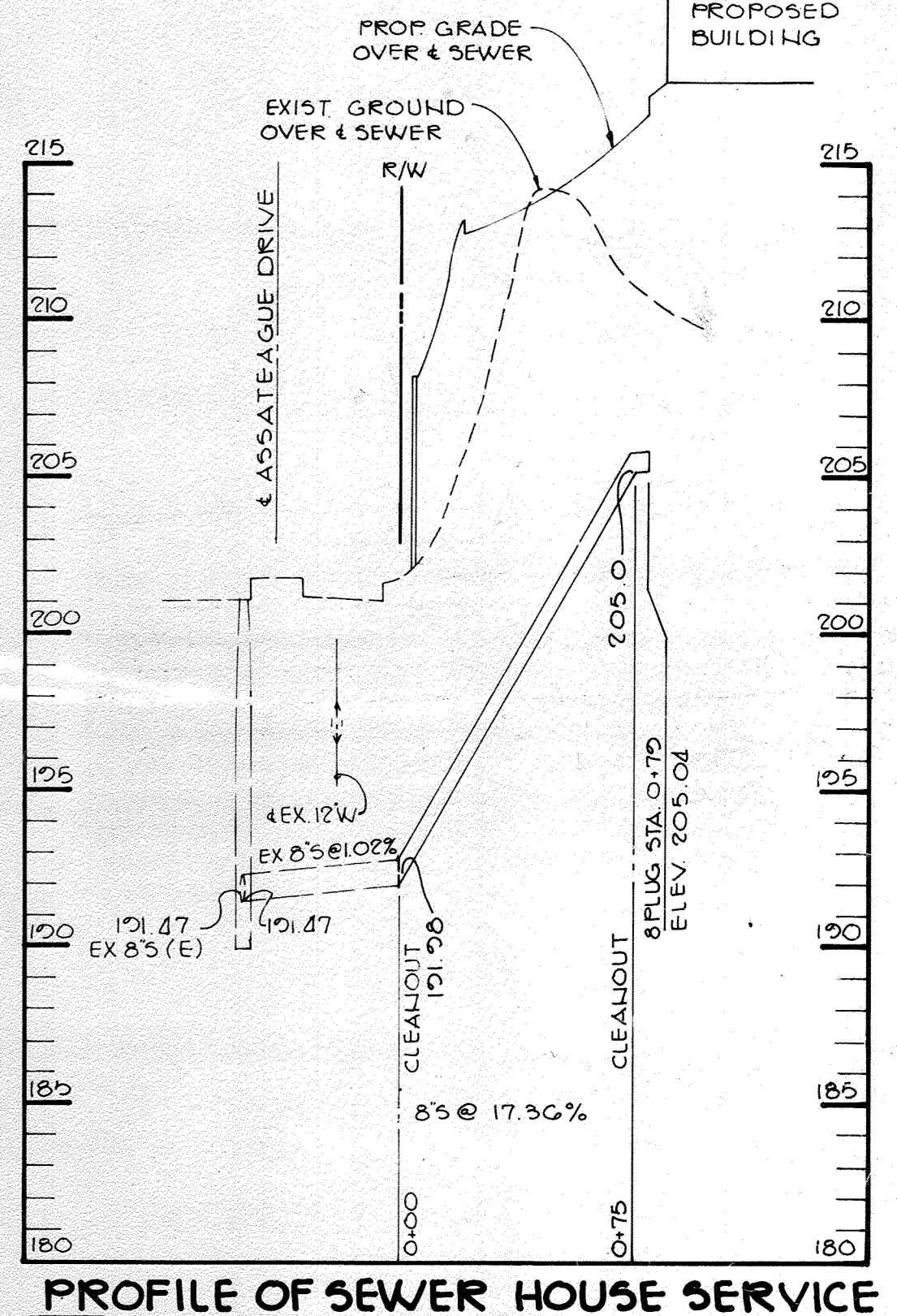
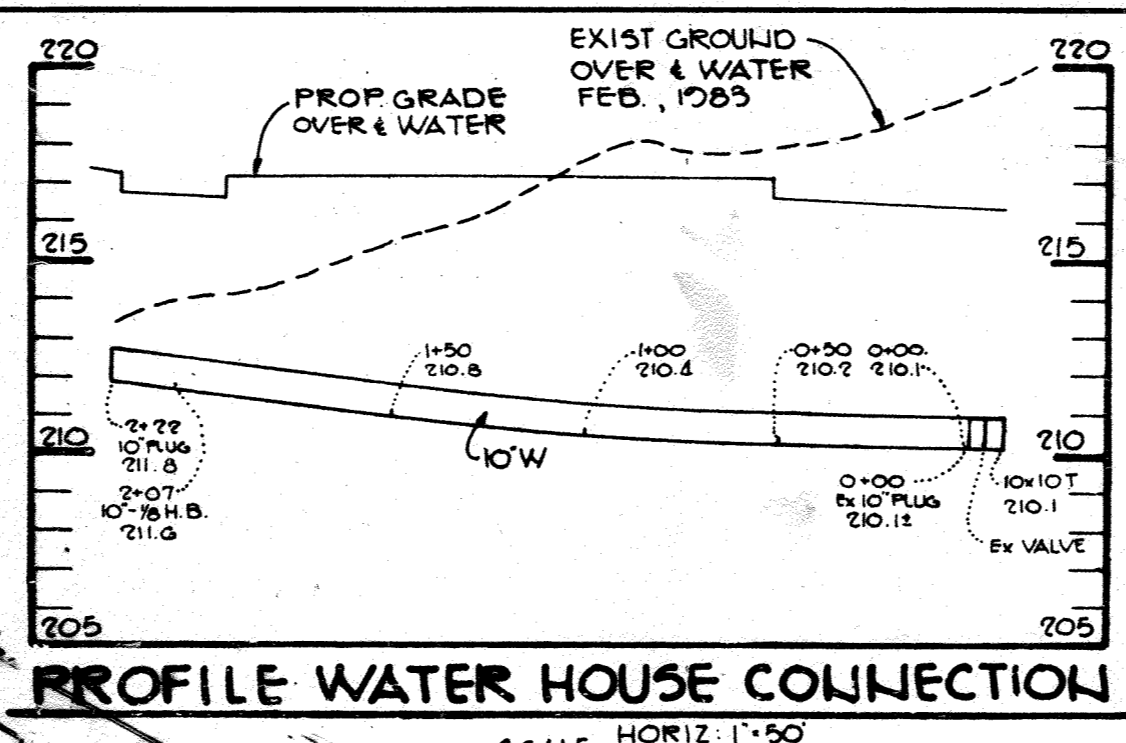
**TITLE:** TITLE SHEET AND GENERAL NOTES

**THE RIEMER GROUP, INC.**  
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
6659 Baltimore National Pike, Ellicott City, Maryland, 21043 301-461-2600

SUBDIVISION NAME	MARYLAND WHOLESAL CENTER	SECT./AREA	LOT/PARCEL
PLAT #	5557	TAX/ZONING MAP/ELEC. DIST./CENSUS TR.	43 - G 606d
WATER CODE	B02	SEWER CODE	3330000

DATE: 9/14/83  
DESIGNED BY: G.R.B.  
DRAWN BY: J.S.K.  
PROJECT NO: 000400  
DATE: 3/16/83  
SCALE: AS SHOWN  
DRAWING NO: 1 OF 23  
PROFESSIONAL ENGR. NO. 8707

AS-BUILT 12-18-15 SDP-83-144 SEPTEMBER 14, 1983



**HANDICAP RAMP TYPE 'A'**  
NO SCALE

**HANDICAP SIGN DETAIL**  
NO SCALE

**HANDICAP RAMP TYPE 'B'**  
NO SCALE

NOTE: ALL CURB RADIARE 5' UNLESS OTHERWISE NOTED ON PLAN.

**LEGEND**

- P-1 PAVING
- P-3 PAVING
- M.S.H.A PAVING
- 2 3/8" UNISTONE PAVERS
- 3/8" UNISTONE PAVERS
- \* INDICATES CHANGE IN TYPE OF CURB SECTION
- CONCRETE BOLLARDS SEE DETAIL SHEET #85
- GUARD RAIL SEE DETAIL SHEET #85

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

*Jogum Byles* 9-16-83  
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.  
*Thomas J. Harp* 9-16-83  
PLANNING DIRECTOR DATE

*William H. Mann* 9-16-83  
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*Charles E. Neuman* 9-16-83  
DIRECTOR DATE

*William H. Mann* 9-16-83  
CHIEF, BUREAU OF ENGINEERING DATE

4/17/83 3 CHANGED SHEET NUMBER  
5/25/83 1 ADDED VOR SYSTEM & HANDICAP PARKING SPACES  
6/28/84 1 REVISE 4" CONCRETE SIDEWALK TO 5" WID.  
6/28/84 1 REVISE LOCATION OF GREASETRAP TO EAST SIDE OF BUILDING.

OWNER: MARYLAND FOOD CENTER AUTHORITY  
201 WEST PRESTON STREET  
BALTIMORE MARYLAND 21201

DEVEL: K.M.S.  
1000 EQUITABLE BANK CENTER  
COLUMBIA, MARYLAND 21044

PROJECT: EASTGATE SHOPPING CENTER  
MARYLAND WHOLESALE CENTER  
RECORD PLAT RECORDING REFERENCE NO.

AREA: MARYLAND WHOLESALE FOOD CENTER  
BLOCK B - PARCEL B-1 - TAX MAP NO. 43  
6TH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

TITLE: SITE DEVELOPMENT PLAN

**THE RIEMER GROUP, INC.**  
The Riemer Group, Inc. - A Land Planning, Design & Civil Engineering Firm  
8659 Baltimore National Pike, Ellicott City, Maryland, 21043 301 461-2690

DATE 9/14/83	DESIGNED BY: A.E.M.
DATE 4/28/84	DRAWN BY: D.A.M.
DATE 3/16/83	PROJECT NO: 000400
DATE 9-1-83	SCALE: 1" = 50'
DATE 8/10/83	DRAWING NO. 2 OF 28
DATE 8/10/83	PROFESSIONAL ENGR. NO. 8707

APPROVED  
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 9-1-83  
*[Signature]*

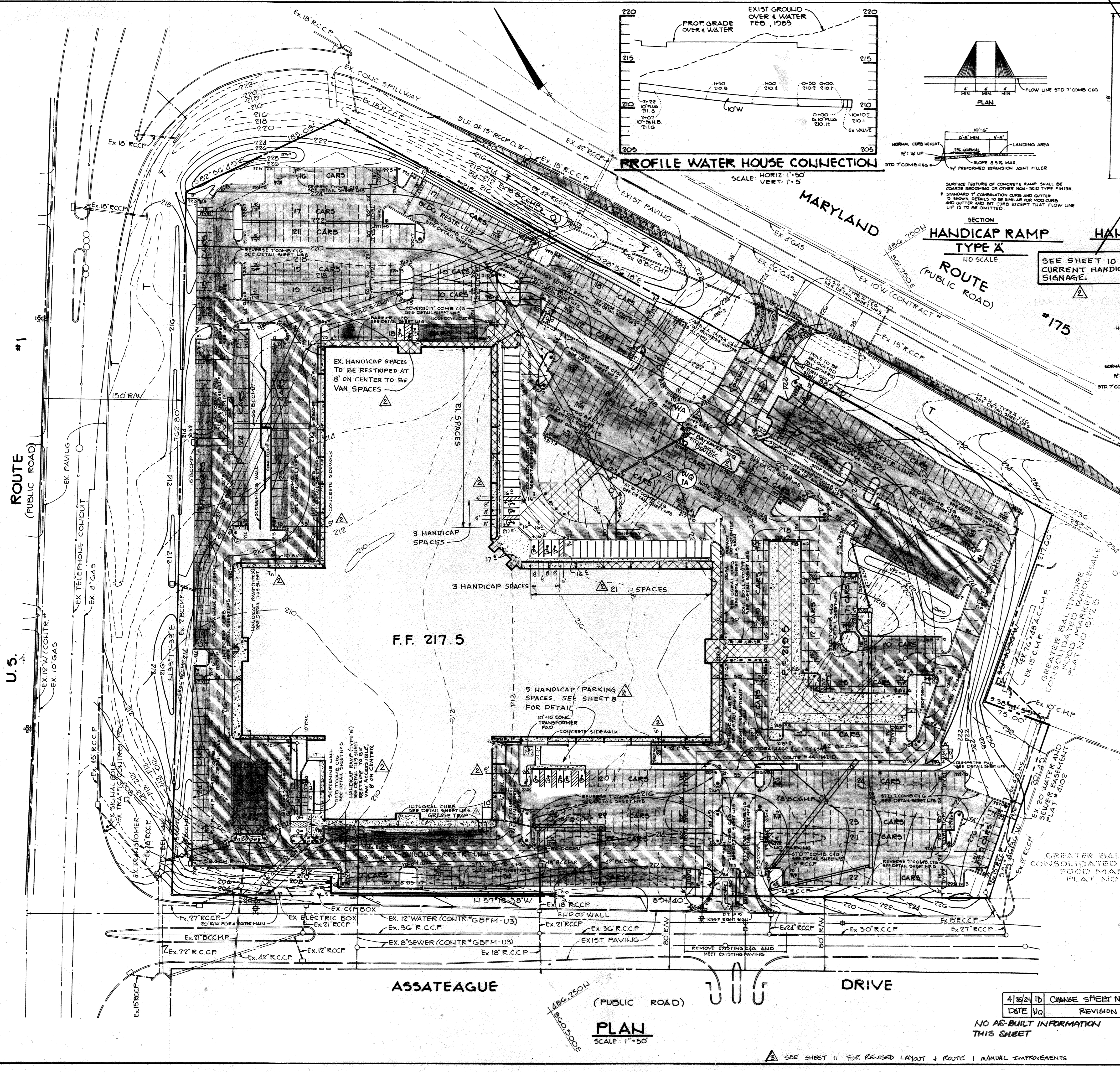
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DATE	NO.	REVISION

NO AS-BUILT INFORMATION THIS SHEET

AS-BUILT 12-18-15

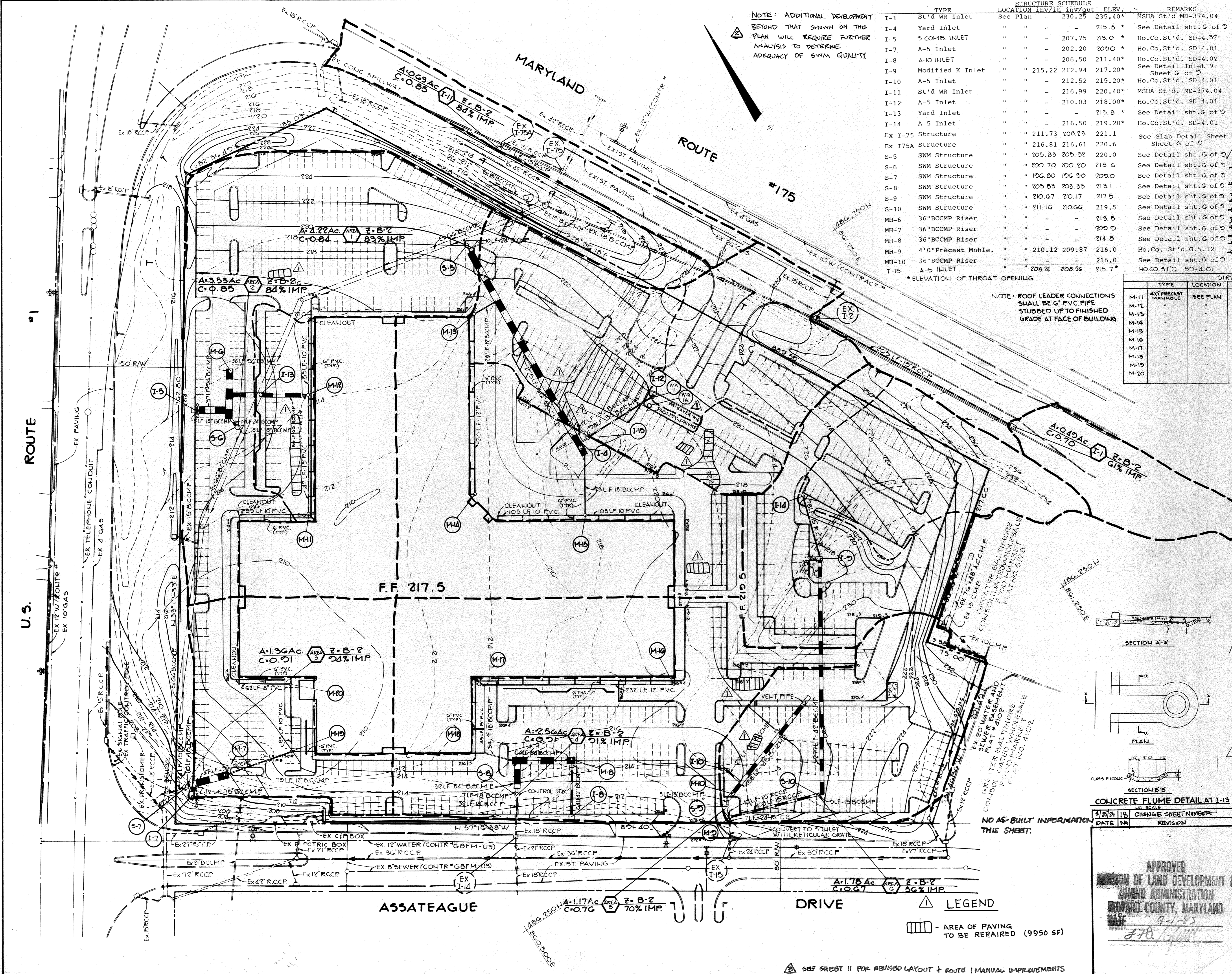
SDP-83-144

SEPTEMBER 14, 1983



MARYLAND BLUEPRINT CO., INC.

SEE SHEET 11 FOR REVISED LAYOUT + ROUTE 1 ANNUAL IMPROVEMENTS



NOTE: ADDITIONAL DEVELOPMENT BEYOND THAT SHOWN ON THIS PLAN WILL REQUIRE FURTHER ANALYSIS TO DETERMINE ADEQUACY OF SWM QUALITY.

TYPE	LOCATION INV./IN	INV./OUT	ELEV.	REMARKS
I-1	St'd WR Inlet	See Plan	230.25	235.40* MSHA St'd MD-374.04
I-4	Yard Inlet	"	"	215.5 * See Detail sht. G of D
I-5	5 COMB. INLET	"	207.75	213.0 * Ho.Co.St'd. SD-4.32
I-7	A-5 Inlet	"	202.20	209.0 * Ho.Co.St'd. SD-4.01
I-8	A-10 INLET	"	206.50	211.40* Ho.Co.St'd. SD-4.02
I-9	Modified K Inlet	"	215.22	212.94 217.20* See Detail Inlet 9
I-10	A-5 Inlet	"	212.52	215.20* Ho.Co.St'd. SD-4.01
I-11	St'd WR Inlet	"	216.99	220.40* MSHA St'd. MD-374.04
I-12	A-5 Inlet	"	210.03	218.00* Ho.Co.St'd. SD-4.01
I-13	Yard Inlet	"	"	213.8 * See Detail sht. G of D
I-14	A-5 Inlet	"	216.50	219.20* Ho.Co.St'd. SD-4.01
Ex I-75	Structure	"	211.73	208.23 221.1 See Slab Detail Sheet
Ex I75A	Structure	"	216.81	216.61 220.6 See Sheet G of D
S-5	SWM Structure	"	205.83	205.32 220.0 See Detail sht. G of D
S-6	SWM Structure	"	200.70	200.20 213.0 See Detail sht. G of D
S-7	SWM Structure	"	196.80	196.30 209.0 See Detail sht. G of D
S-8	SWM Structure	"	203.83	203.33 213.1 See Detail sht. G of D
S-9	SWM Structure	"	210.67	210.17 217.5 See Detail sht. G of D
S-10	SWM Structure	"	211.16	210.66 219.5 See Detail sht. G of D
MH-6	36" BCCMP Riser	"	"	213.5 See Detail sht. G of D
MH-7	36" BCCMP Riser	"	"	209.0 See Detail sht. G of D
MH-8	36" BCCMP Riser	"	"	214.8 See Detail sht. G of D
MH-9	4'0" Precast Mnhle.	"	210.12	209.87 216.0 Ho.Co. St'd. G.5.12
MH-10	36" BCCMP Riser	"	"	216.0 See Detail sht. G of D
I-15	A-5 INLET	"	208.71	208.56 215.7* HO.CO.ST'D. SD-4.01

**STORMWATER MANAGEMENT REDEVELOPMENT**

NOTE: 9950 SF OF EXISTING PAVING IS BEING REMOVED AND REPLACED WITH WATER QUALITY IMPROVEMENTS. THE BAYSAYER WATER QUALITY SYSTEM, THE BAYSAYER WILL TREAT AN AREA OF 0.87 AC WITH AN IMPERVIOUS AREA OF 0.50 AC. THEREFORE ADDITIONAL IMPERVIOUS CAN BE ADDED IN THE FUTURE WITHOUT REQUIRING ADDITIONAL WATER QUALITY.

NOTE: ROOF LEADER CONNECTIONS SHALL BE 6" PVC PIPE STUBBED UP TO FINISHED GRADE AT FACE OF BUILDING.

TYPE	LOCATION	INV. IN	INV. OUT	ELEV.	REMARKS
M-11	4'0" PRECAST MANHOLE	SEE PLAN	212.28	211.87	216.6 HO.CO.STD G.5.12
M-12	"	"	211.05	210.05	216.6 "
M-13	"	"	211.20	211.00	217.3 "
M-14	"	"	-	213.30	217.3 "
M-15	"	"	212.68	212.57	217.3 "
M-16	"	"	-	212.65	216.4 "
M-17	"	"	210.30	209.80	216.6 "
M-18	"	"	209.26	209.01	216.5 "
M-19	"	"	209.41	209.21	216.1 "
M-20	"	"	211.90	211.00	216.6 "

\* ELEVATION OF THROAT OPENING

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

*Joseph Boyd* 9-16-83  
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
*Thomas L. Harris* 9-16-83  
PLANNING DIRECTOR DATE

*Joseph M. Marchman* 9-16-83  
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*David S. Neuman* 9-16-83  
DIRECTOR DATE

*Robert L. F.* 9-16-83  
CHIEF BUREAU OF ENGINEERING DATE

10/1/83 CHANGED SHEET NUMBER  
7/20/85 2 CHANGED SHEET NUMBER ADDED NOTE  
5-24-85 1 ADDED WQ SYSTEM, PAVING REPAIR AREAS, SWM NOTE  
DATE NO REVISION

OWNER MARYLAND FOOD CENTER AUTHORITY  
201 WEST PRESTON STREET  
BALTIMORE, MARYLAND 21201

DEVELOPER K.M.S.  
1000 EQUITABLE BANK CENTER  
COLUMBIA, MARYLAND 21044

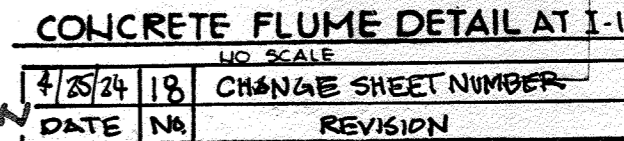
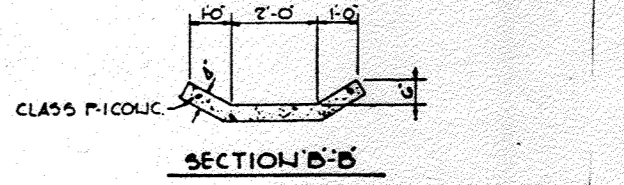
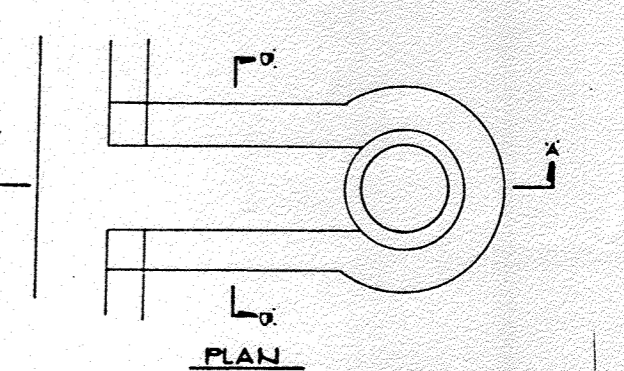
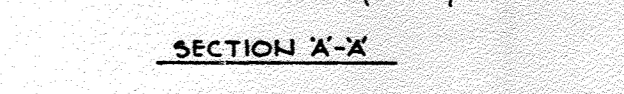
PROJECT EASTGATE SHOPPING CENTER  
MARYLAND WHOLESALE CENTER  
RECORD PLAT RECORDING REFERENCE NO.

AREA MARYLAND WHOLESALE FOOD CENTER  
BLOCK B PARCEL B-1 TAX MAP NO. 43  
14 ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

TITLE STORM WATER MANAGEMENT PLAN  
AND DRAINAGE AREA MAP

THE RIEMER GROUP, INC.  
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
6659 Baltimore National Pike, Ellicott City, Maryland, 21043 301-461-2690

DATE 01/14/83  
DESIGNED BY: V.L.S.  
DRAWN BY: DAM  
PROJECT NO: 000400  
DATE: 3-16-83  
SCALE: 1"=50'  
DRAWING NO. 3 OF 22  
PROFESSIONAL ENGR. NO. 8707

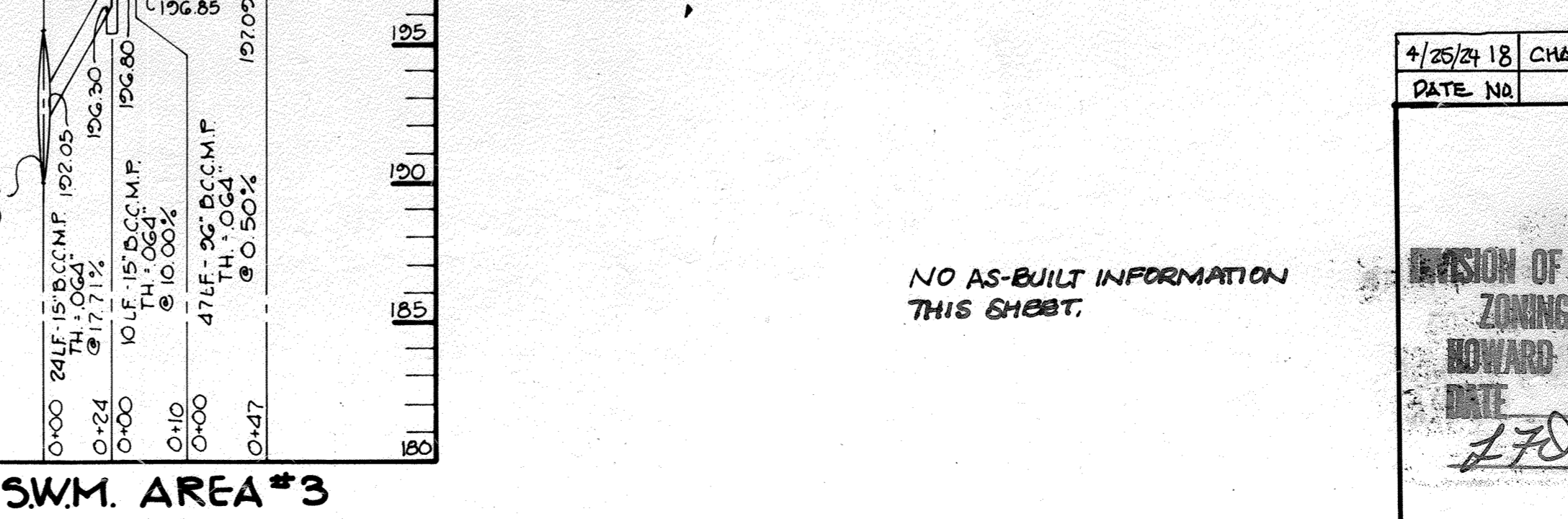
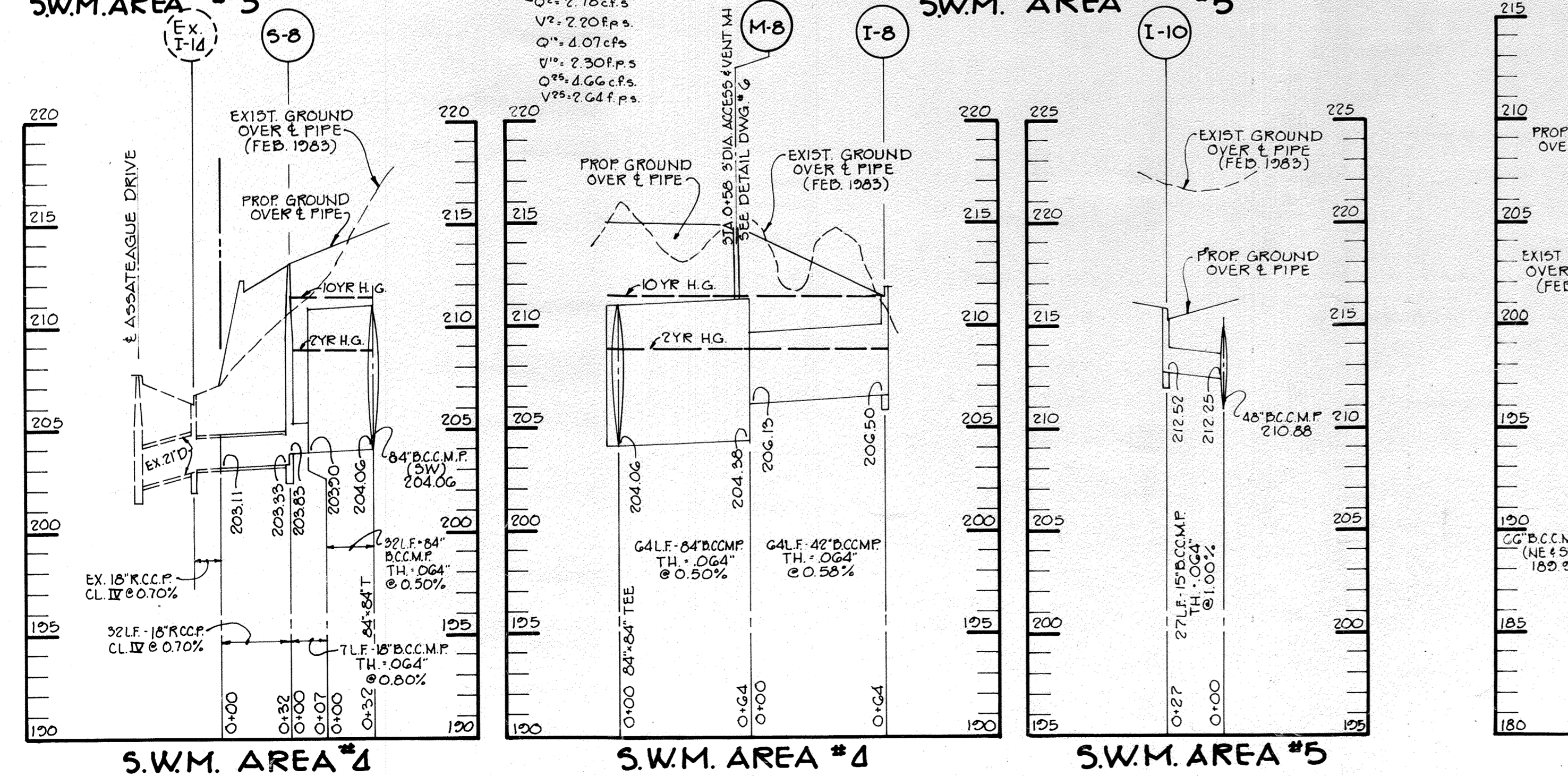
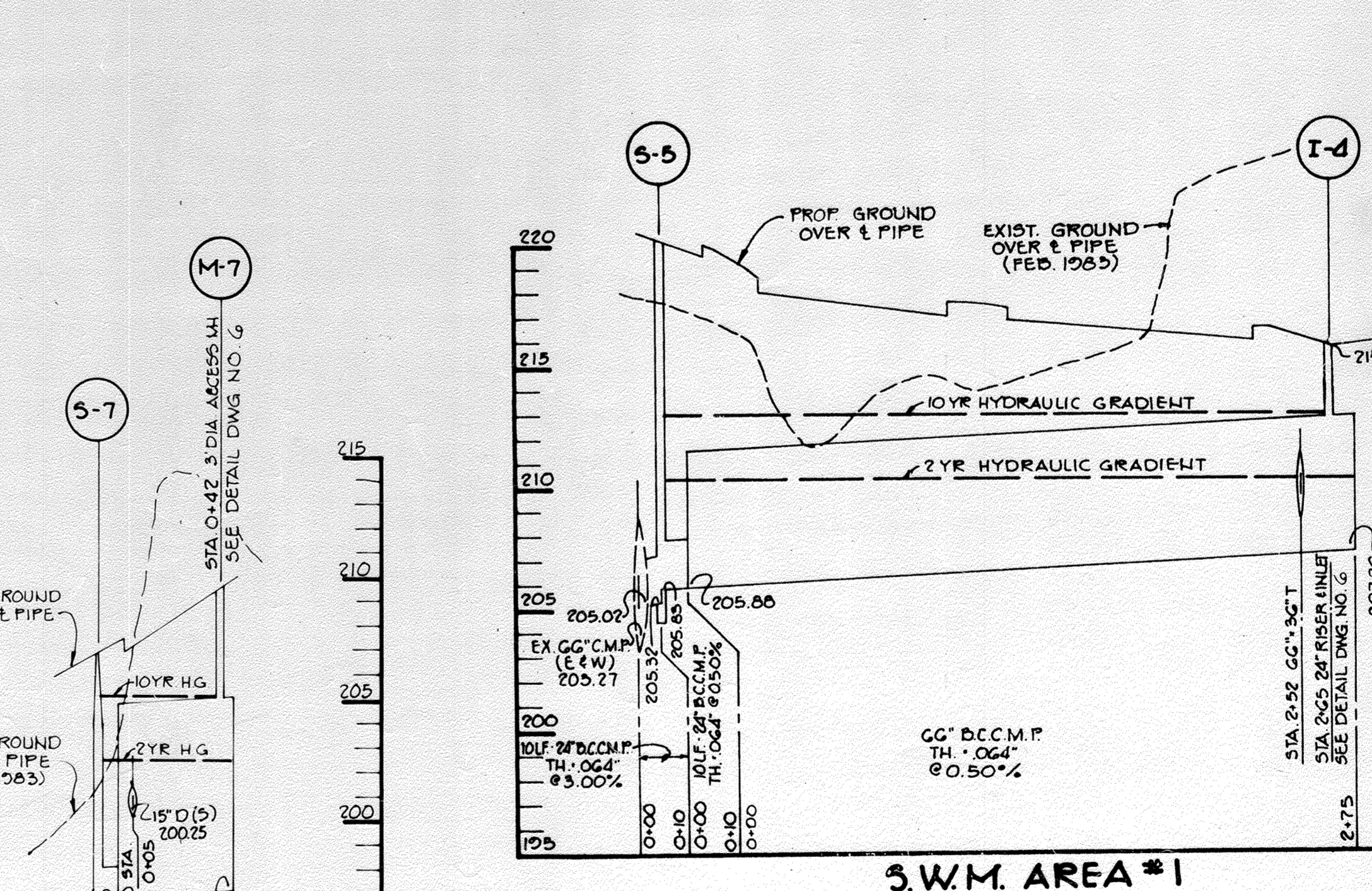
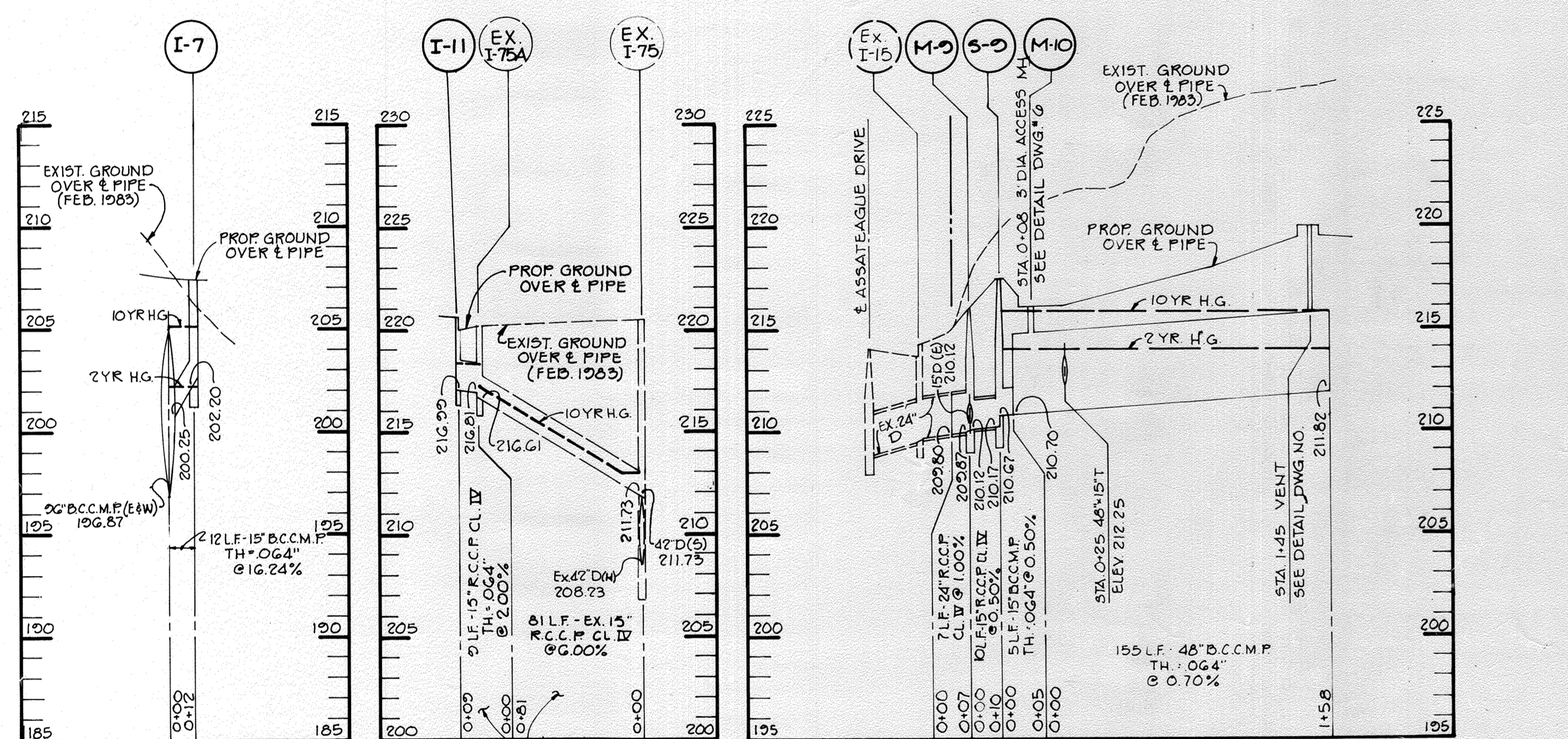
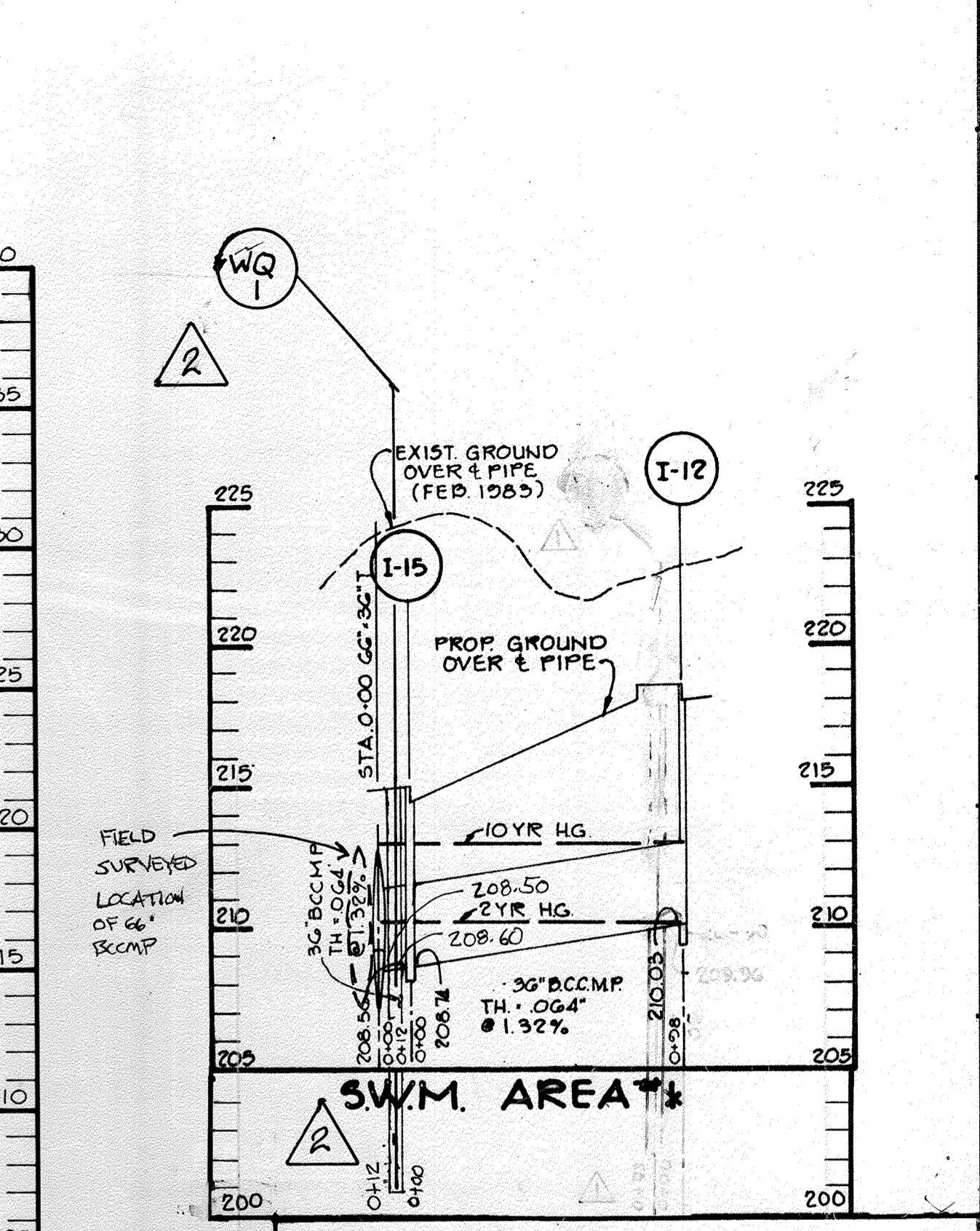
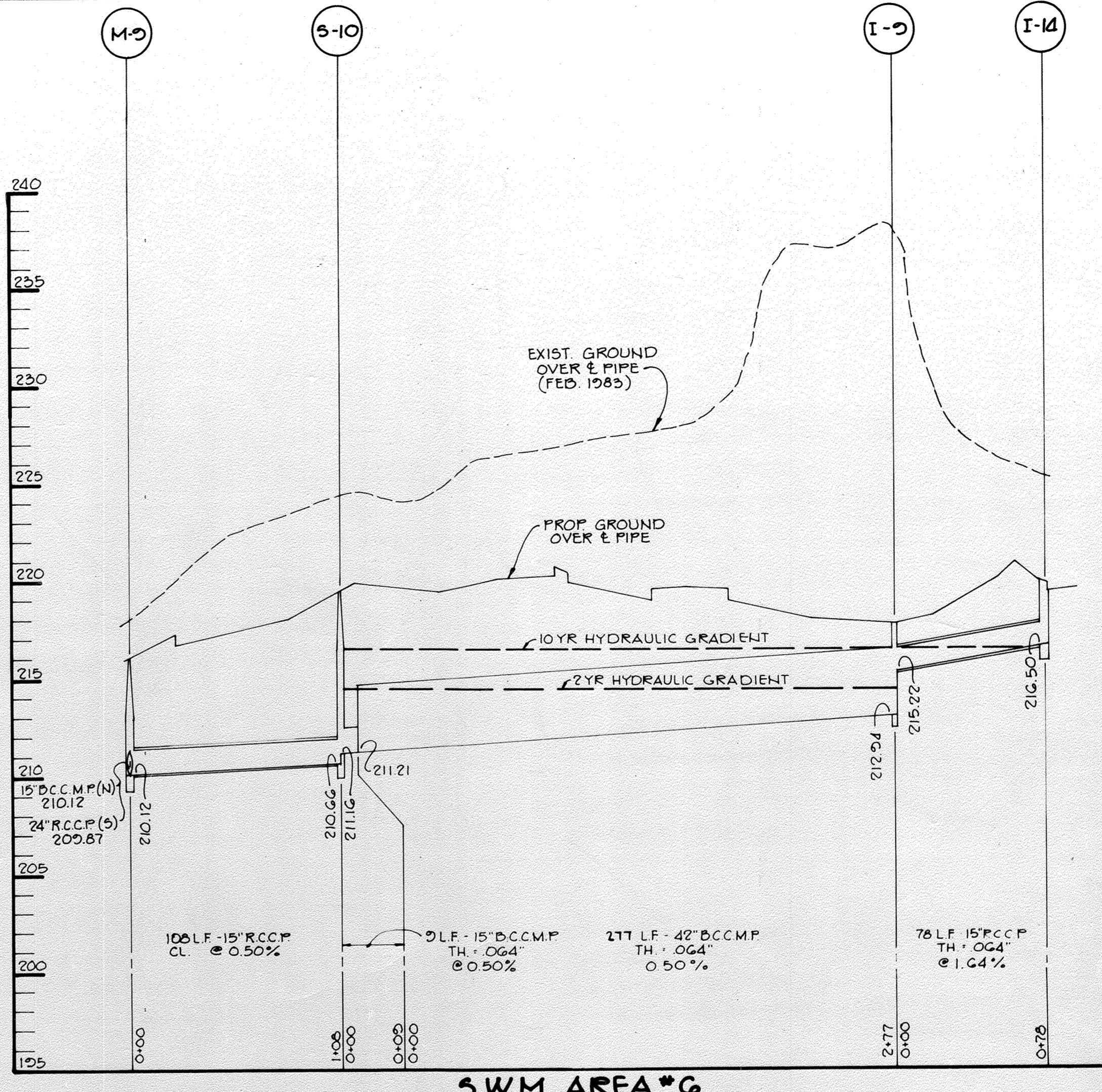
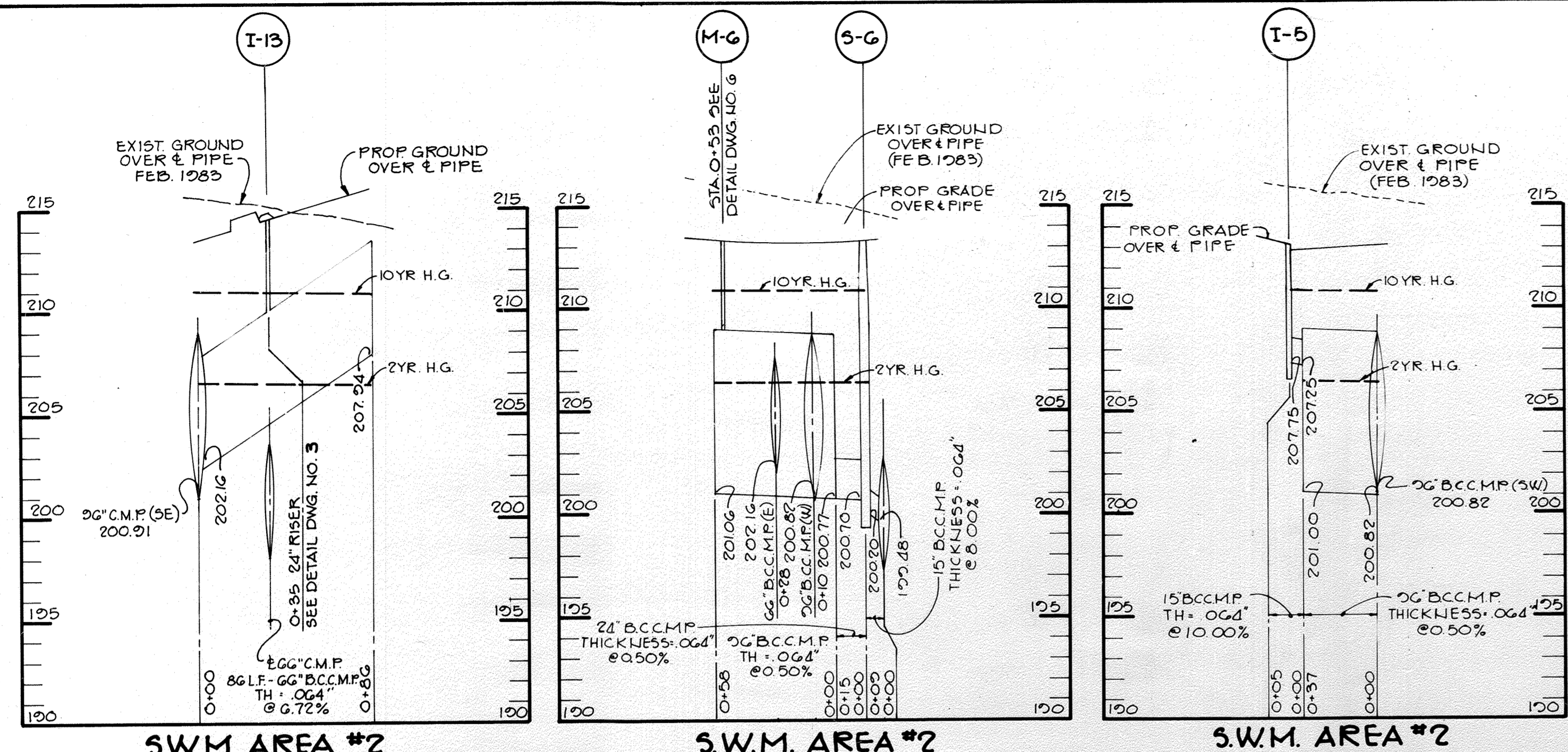


NO AS-BUILT INFORMATION THIS SHEET.

APPROVED  
DIVISION OF LAND DEVELOPMENT &  
ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 9-1-83  
770

AREA OF PAVING TO BE REPAIRED (9950 SF)

SEE SHEET 11 FOR REVISION LAYOUT + ROUTE IMPROVEMENTS



APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.  
*Joseph Boyle* 9-16-83  
 COUNTY HEALTH OFFICER DATE

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING.  
*Thomas J. Smith* 9-16-83  
 PLANNING DIRECTOR DATE  
*Shirley M. Neuman* 9-16-83  
 CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*Shirley F. Neuman* 9-16-83  
 DIRECTOR DATE

DATE: 9-16-83  
 SHEET NO. 2 OF 22  
 PROJECT: EASTGATE SHOPPING CENTER  
 MARYLAND WHOLESALE CENTER  
 RECORD PLAT RECORDING REFERENCE NO.  
 AREA: MARYLAND WHOLESALE FOOD CENTER  
 BLOCK B PARCEL B-1 TAX MAP NO. 43  
 6TH ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

TITLE: PROFILES OF STORM DRAINS  
 THE RIEMER GROUP, INC.  
 The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
 8659 Baltimore National Pike, Ellicott City, Maryland, 21043 301-464-2690  
 DATE: 9-14-83  
 DESIGNED BY: L.J.D.  
 DRAWN BY: D.A.M.  
 PROJECT NO: 000400  
 DATE: MARCH 10, 1983  
 SCALE: HOR. 1"=50', VERT. 1"=5'  
 DRAWING NO. 4 OF 22  
 PROFESSIONAL ENGR. NO. 8707

DATE	REVISION
4/25/18	CHANGE SHEET NUMBER
5-24-05	ADDED WQ1 TO SWM AREA PROFILE
7-28-05	MOVED WQ1, CHANGED SHEET NUMBER

NO AS-BUILT INFORMATION THIS SHEET.

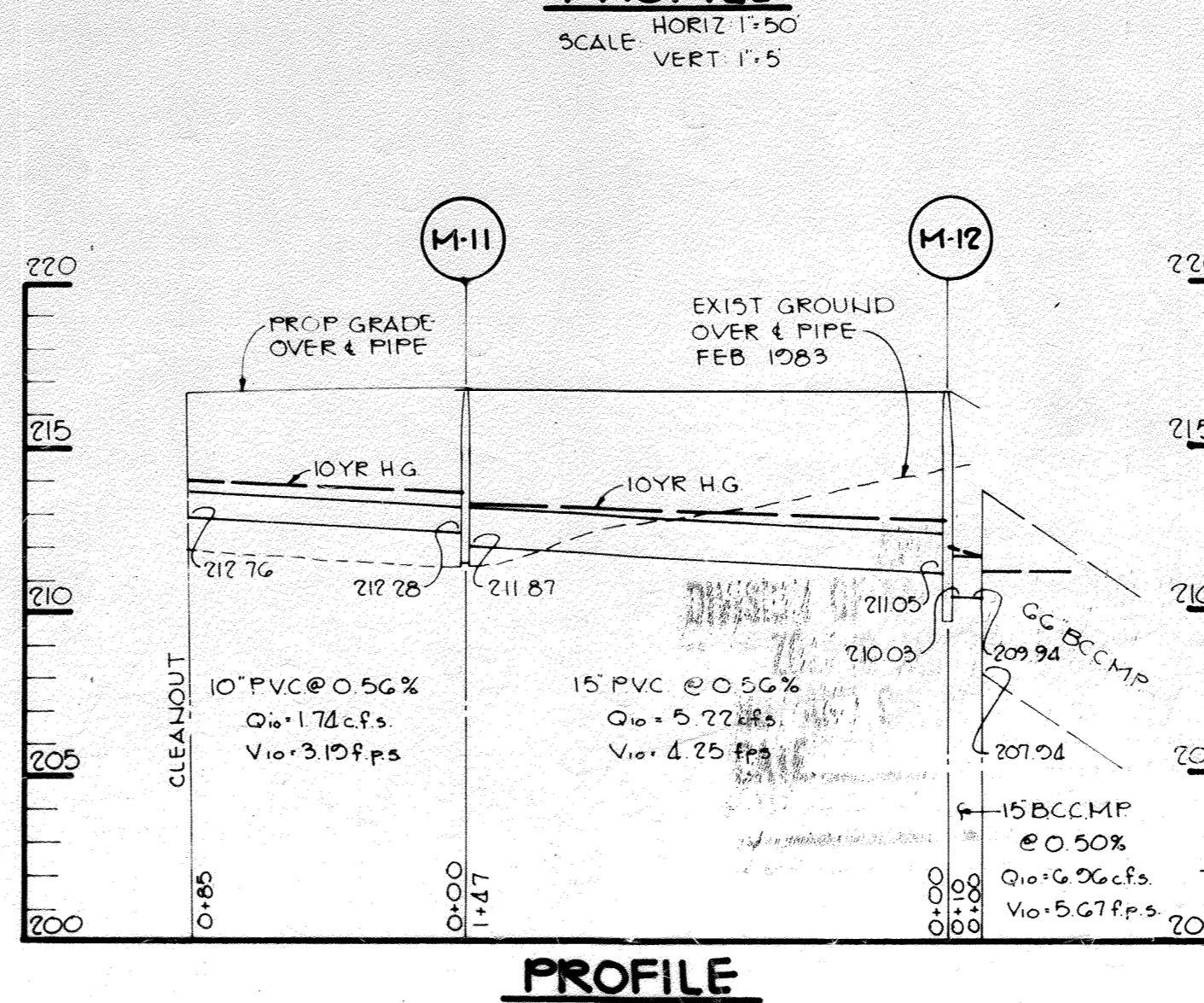
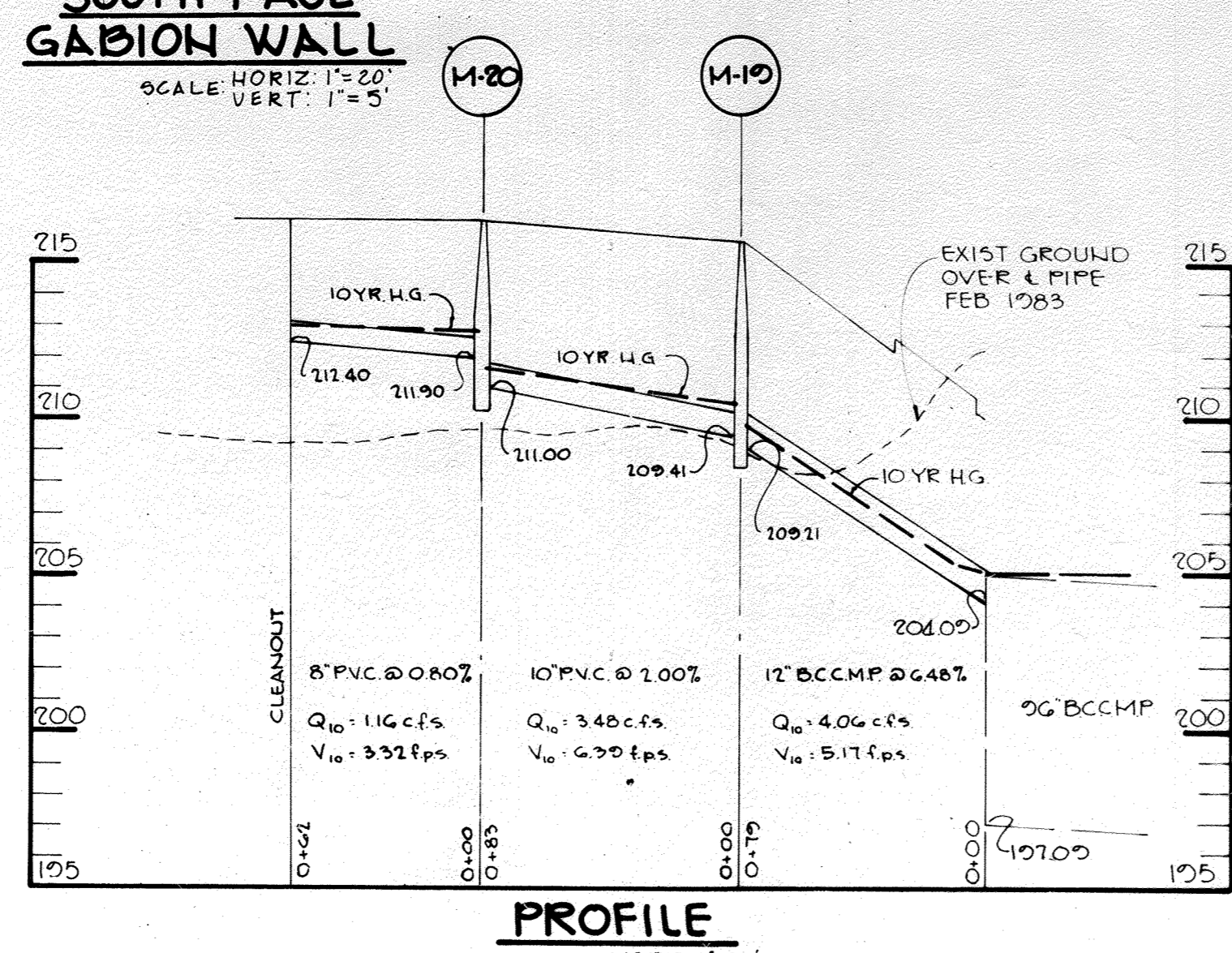
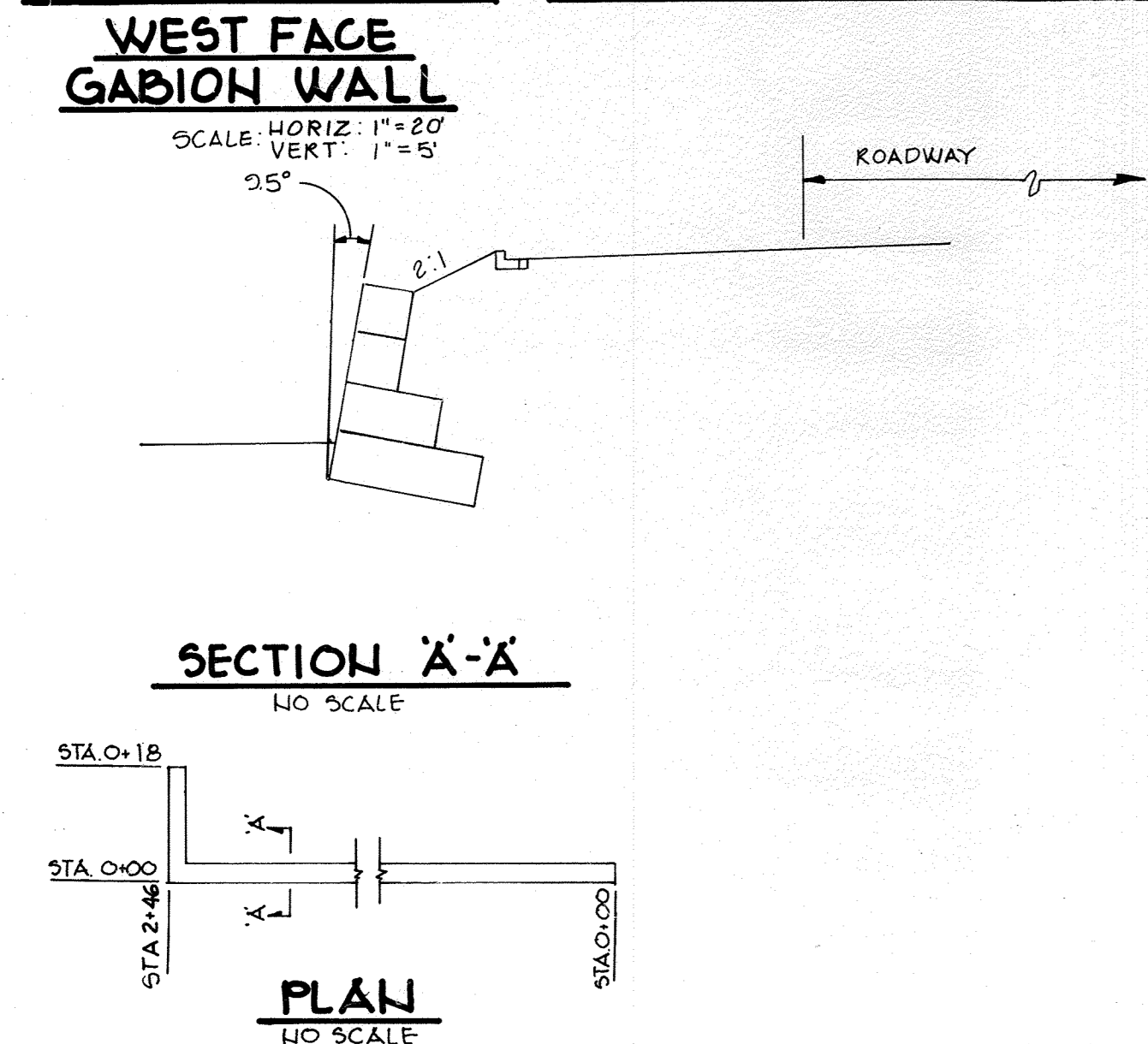
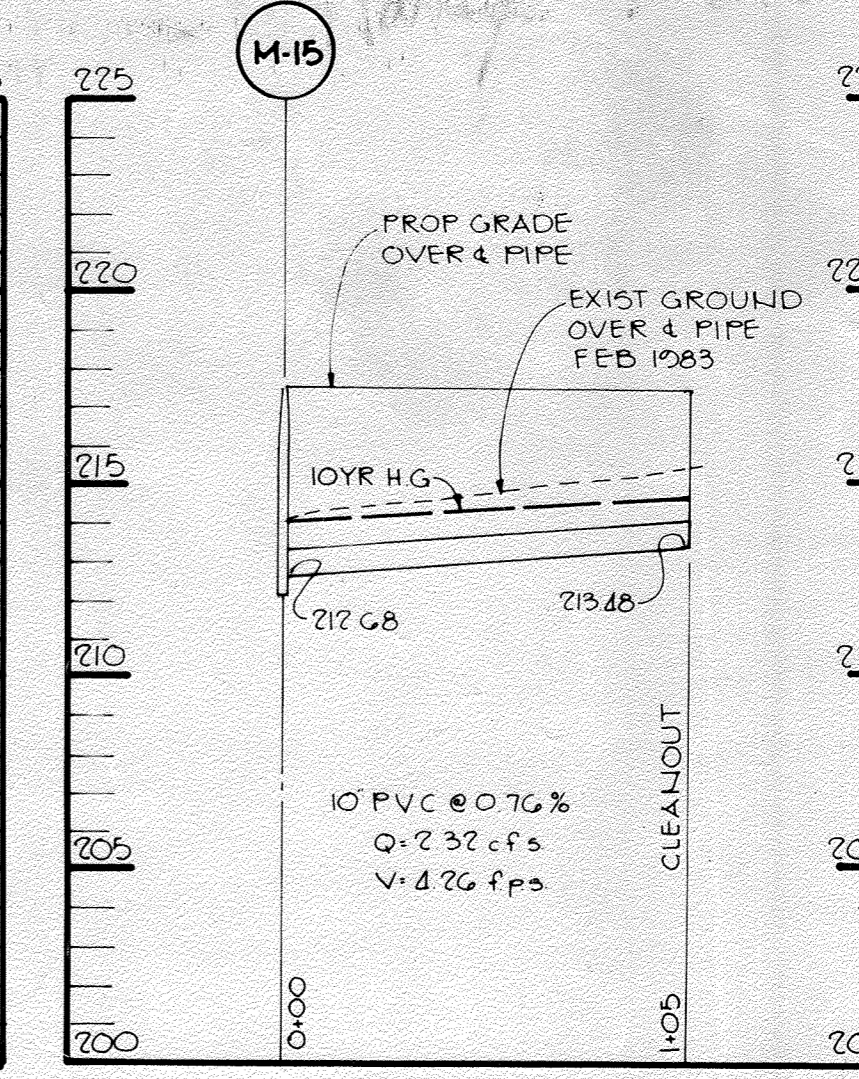
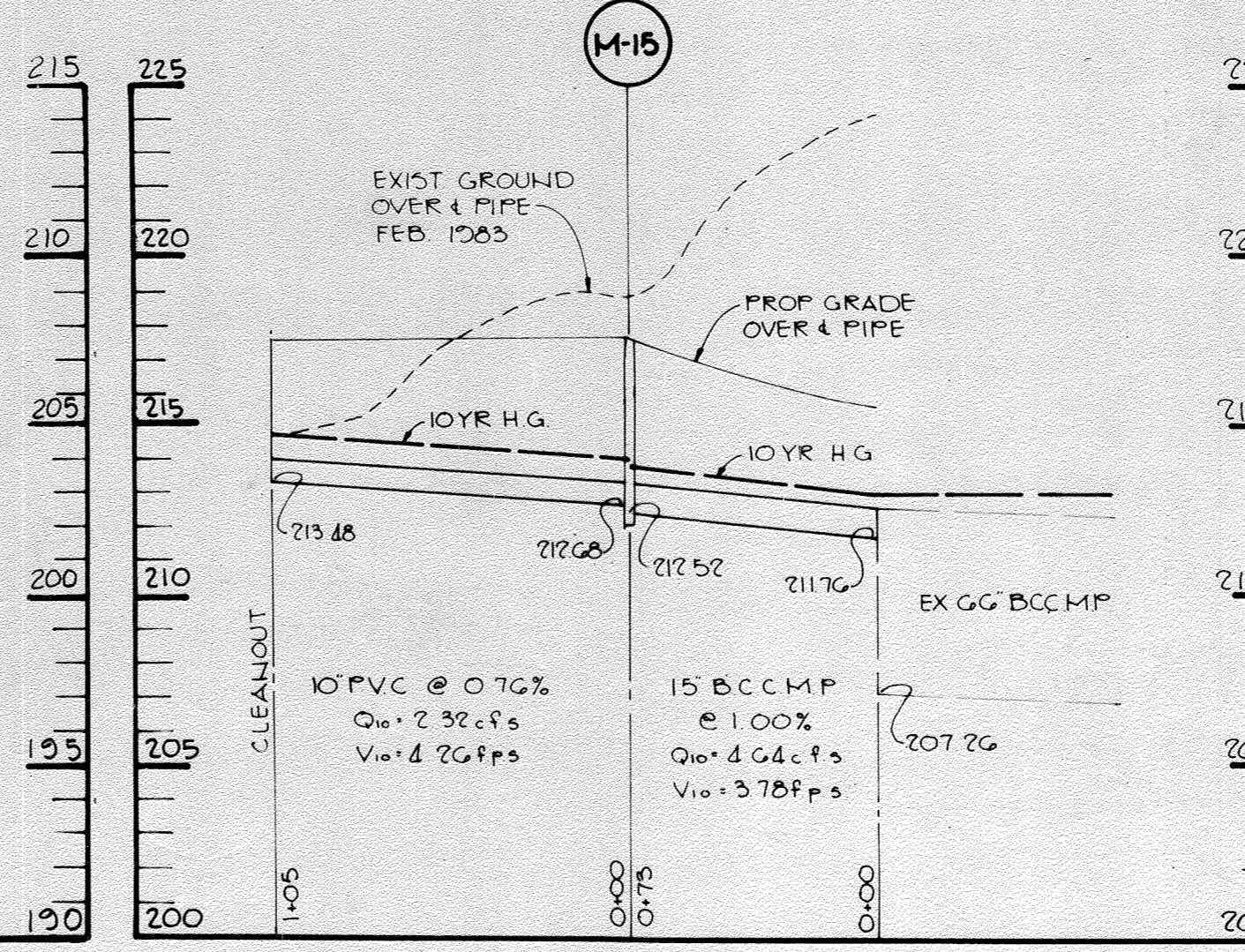
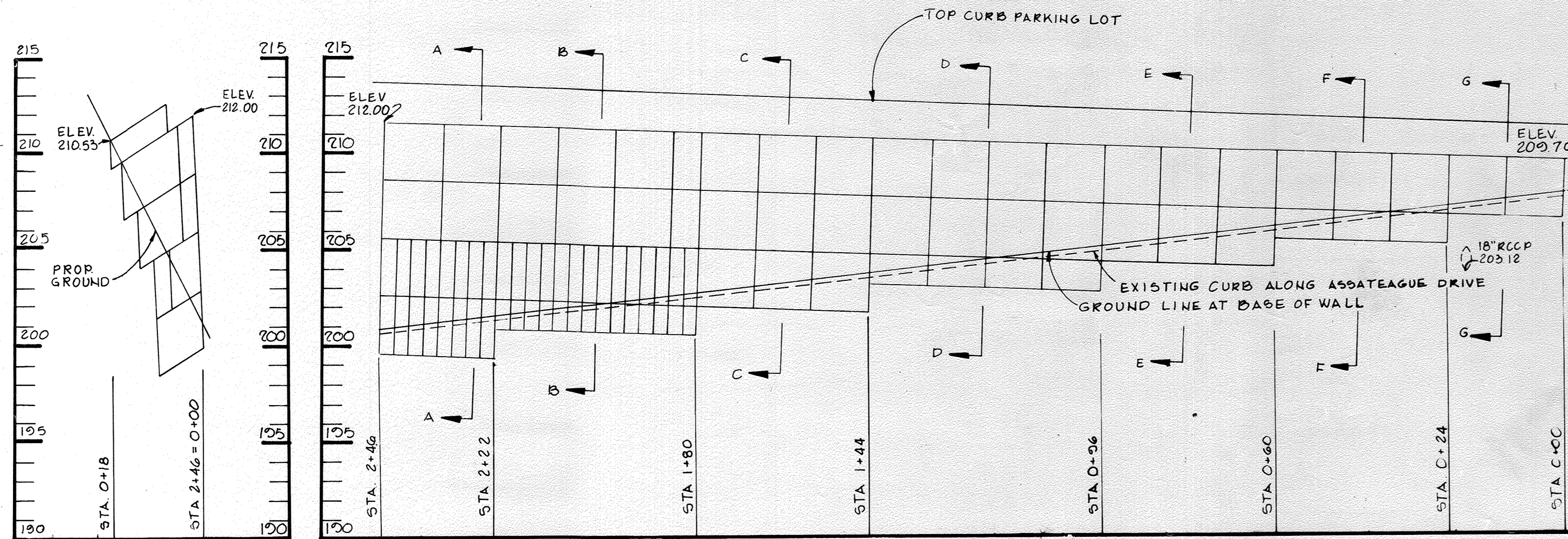
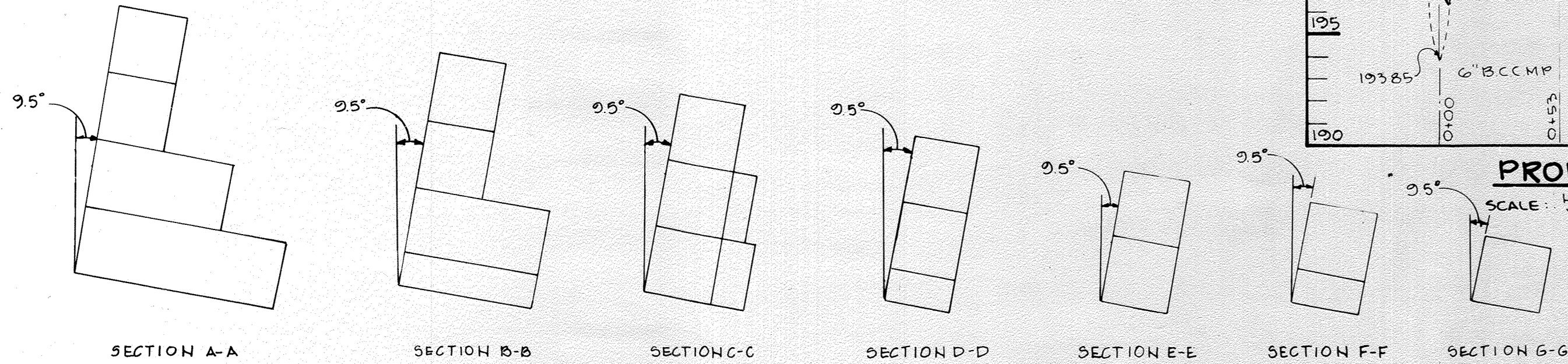
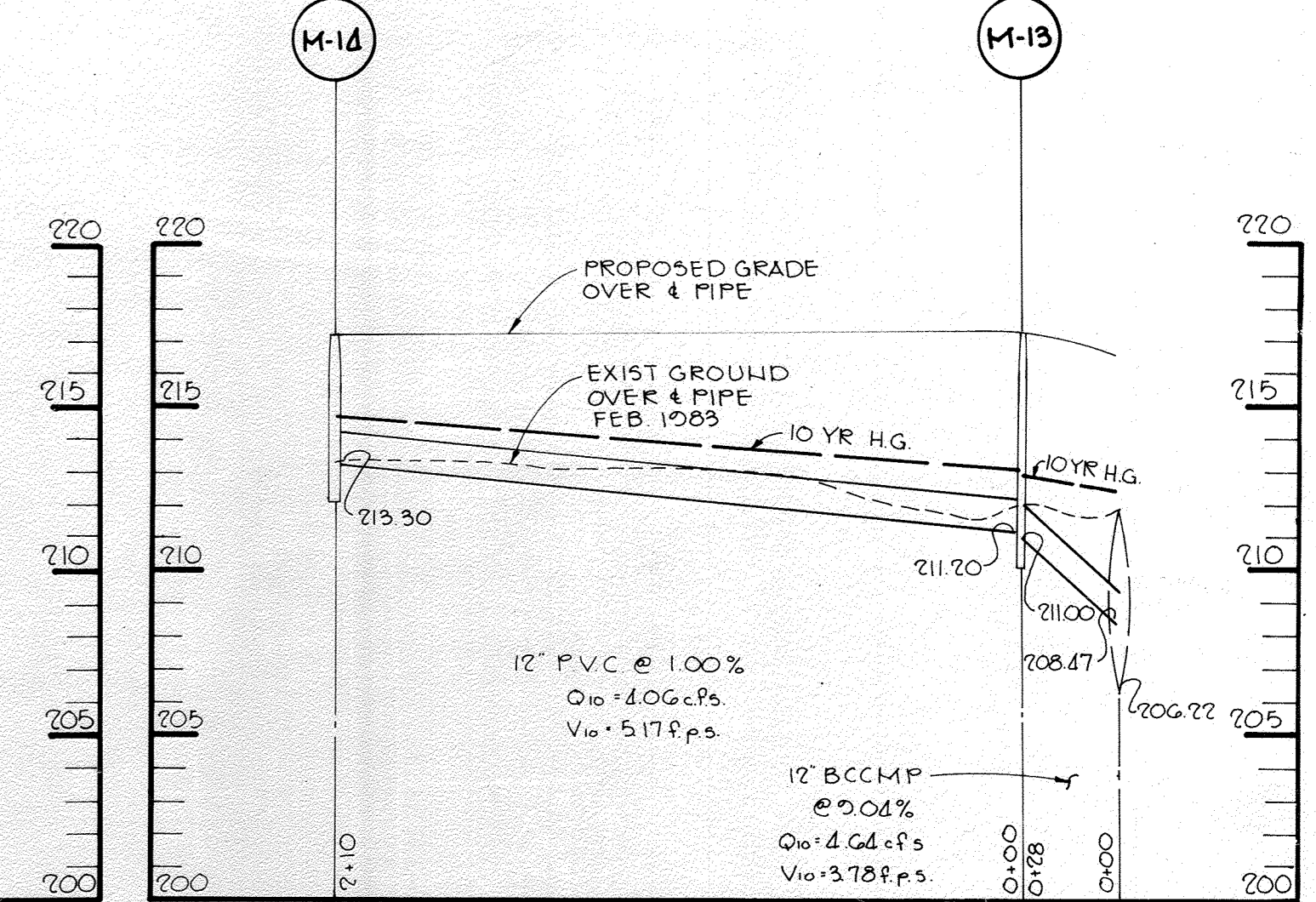
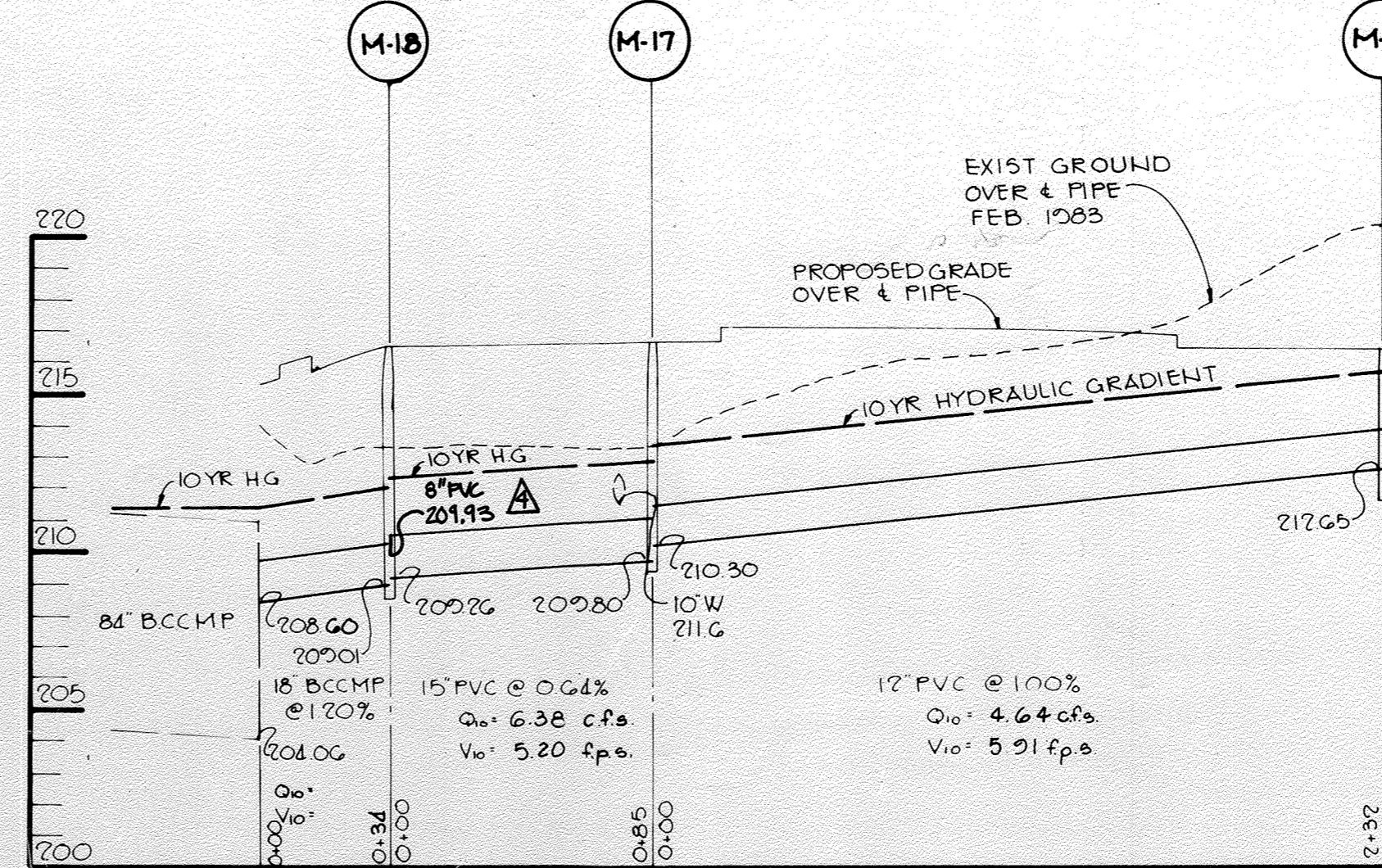
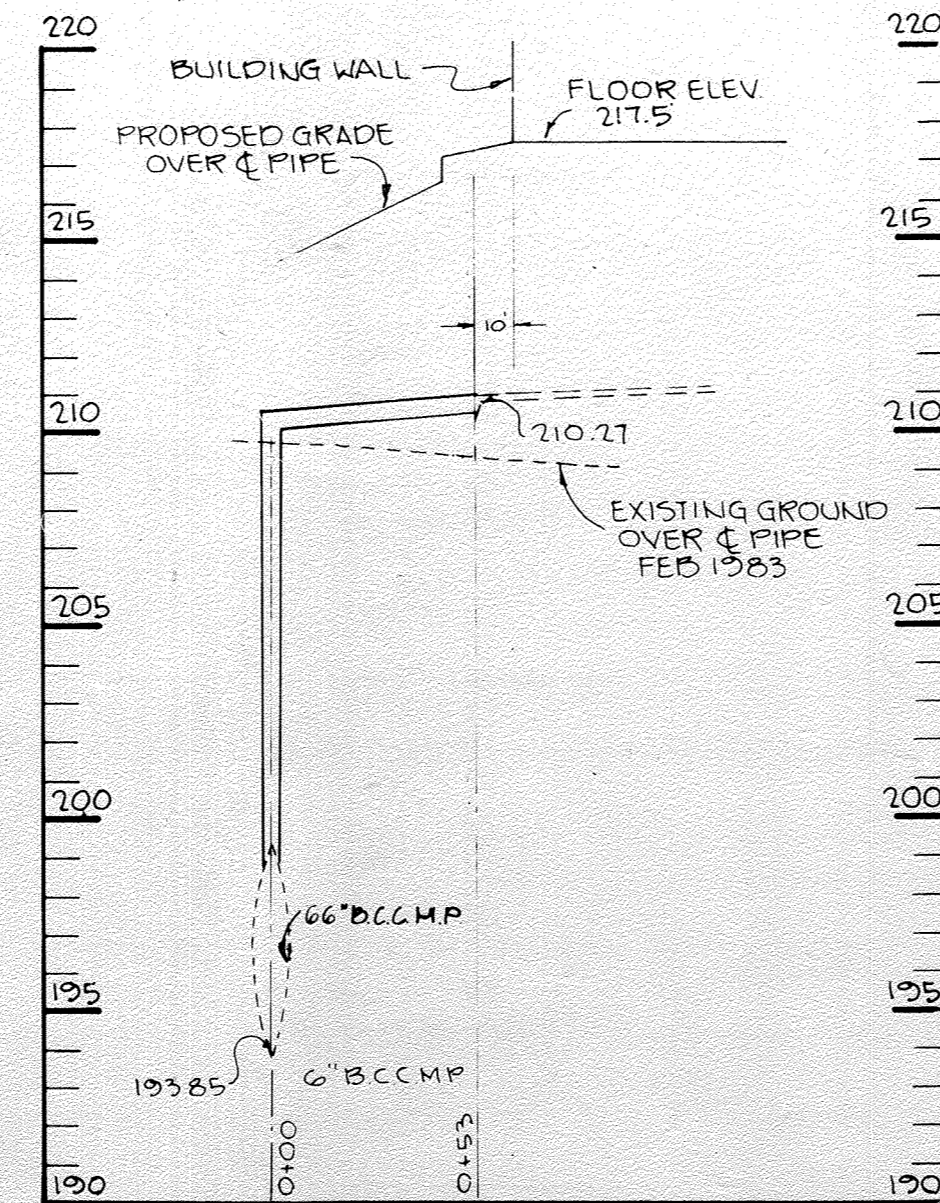
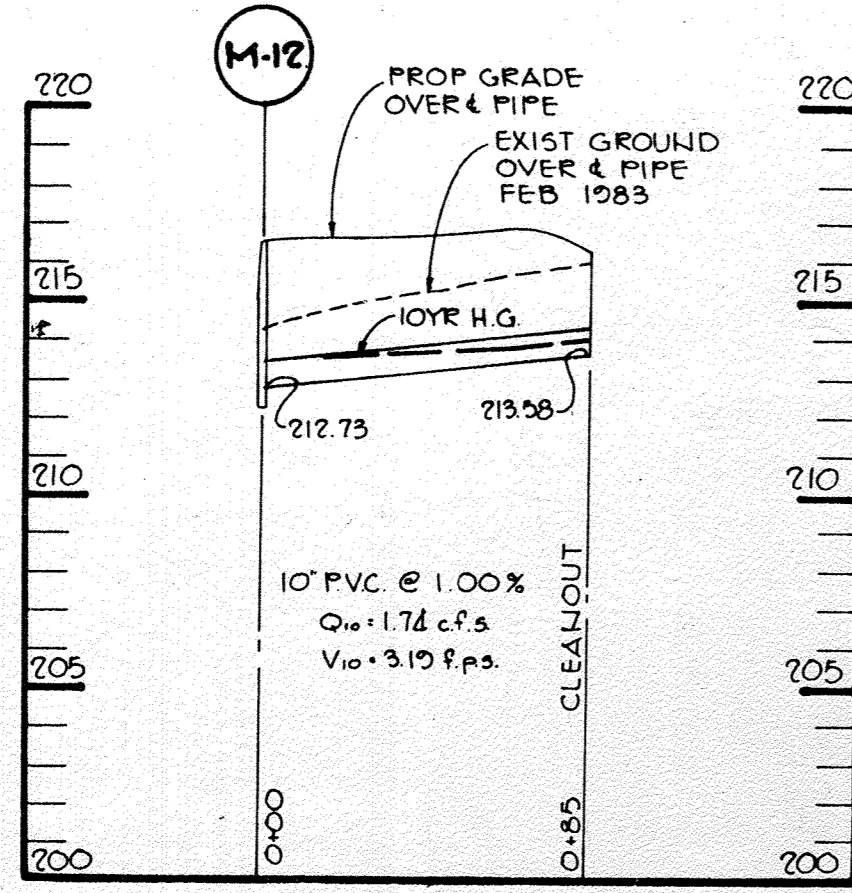
APPROVED  
 DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
 HOWARD COUNTY, MARYLAND  
 DATE: 9-1-88  
*JFD*

GABION BASKET SIZES

SECTION	SECTION							WEST FACE
	A	B	C	D	E	F	G	
6'x3'x3'	8	16						1
9'x3'x3'	8							1
12'x3'x3'	4	6	9	8	6	3	2	1
6'x3'x1.5'		16						
12'x3'x1.5'			3					
12'x3'x1'			3					1

BUILDING STORM DRAIN WEST SIDE

- GABIONS SHALL BE HEAVILY GALVANIZED STEEL WIRE BASKETS AS MANUFACTURED BY MACCAPERRI GABIONS, INC. OR AN APPROVED EQUAL.
- GABIONS SHALL BE INSTALLED AND LACED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- THE STONE FOR THE GABIONS SHALL BE HARD AND ANGULAR AND OF SUCH QUALITY THAT IT WILL NOT DISINTEGRATE ON EXPOSURE TO WATER OR WEATHERING.
- THE EXPOSED FACES OF THE GABION WALL SHALL BE HAND-PLACED TO GIVE A UNIFORM APPEARANCE USING SELECT STONE.



NO AS-BUILT INFORMATION THIS SHEET.

4/25/24/18	CHANGE SHEET NUMBER	
06/01/16	5 CHANGE SHEET NUMBER	
11/14/08	4 ADDED LOADING DOCK & STORM DRAIN	
DATE	NO.	REVISION

APPROVED  
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE: 9-1-83  
S.T.O. JMM

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.  
Joseph Byrnes 9-16-83  
COUNTY HEALTH OFFICER DATE

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING.  
Thomas L. Harris 9-15-83  
PLANNING DIRECTOR DATE  
Chief, Division of Land Development and Zoning Administration

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
George F. Neuman 9-16-83  
DIRECTOR DATE  
Chief, Bureau of Engineering

72805	2	CHANGED SHEET NUMBER
52405	4	REVISED PROJECT NAME & SHEET NUMBER
DATE	NO.	REVISION

OWNER: MARYLAND FOOD CENTER AUTHORITY  
201 WEST PRESTON STREET  
BALTIMORE MARYLAND 21201

DEVELOPER: K.M.S.  
1000 EQUITABLE BANK CENTER  
COLUMBIA, MARYLAND 21044

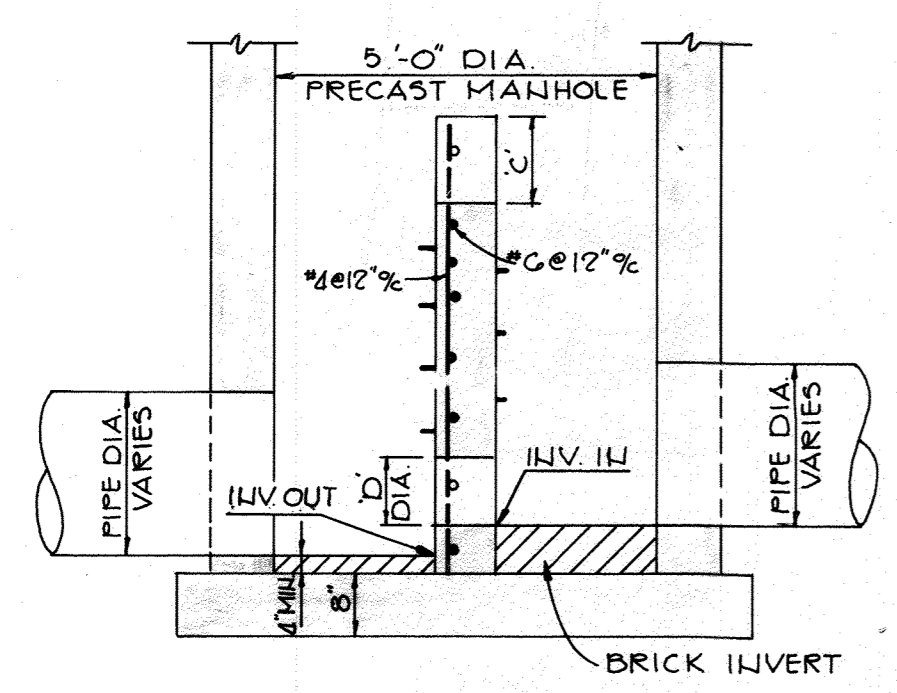
PROJECT: EASTGATE SHOPPING CENTER  
MARYLAND WHOLESALE CENTER

RECORD PLAT RECORDING REFERENCE MAP  
MARYLAND WHOLESALE FOOD CENTER  
BLOCK B PARCEL B-1 TAX MAP NO. 83  
C-TH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

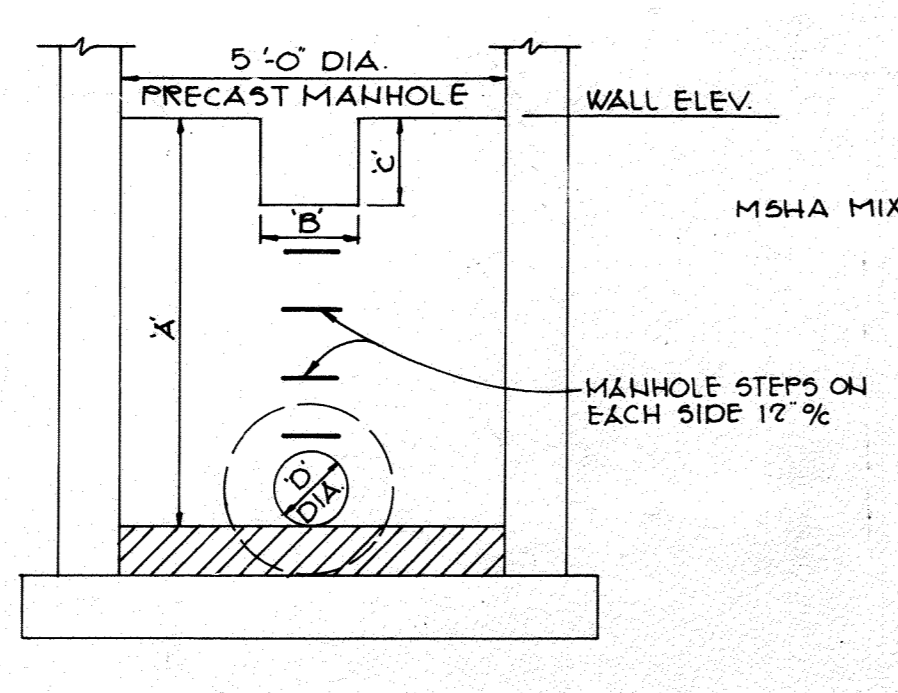
TITLE: PROFILES OF ROOF DRAINS AND GABION WALL

THE RIEMER GROUP, INC.  
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
8659 Baltimore National Pike, Ellicott City, Maryland, 21043 301 461-2690

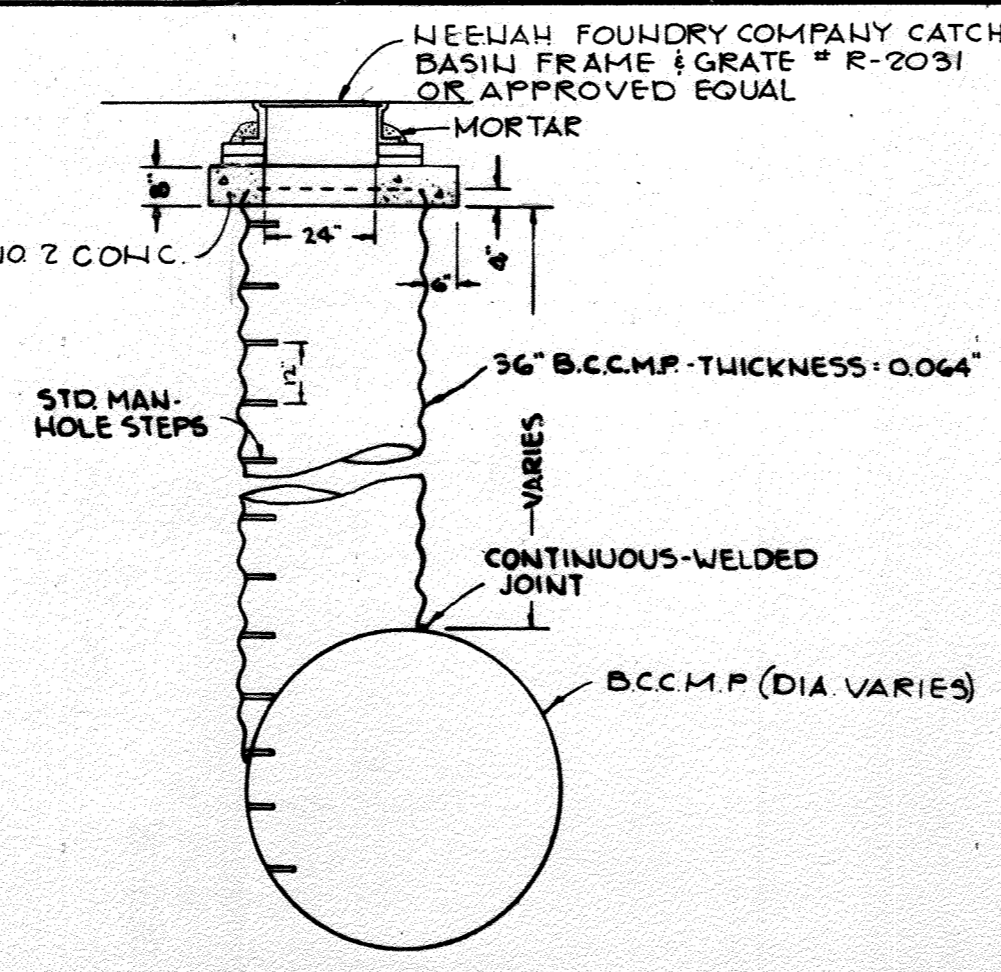
DATE: 9-1-83  
DESIGNED BY: V.L.S.  
DRAWN BY: D.A.M.  
PROJECT NO: 000400  
DATE: 3-16-83  
SCALE: AS SHOWN  
DRAWING NO. 5 OF 22



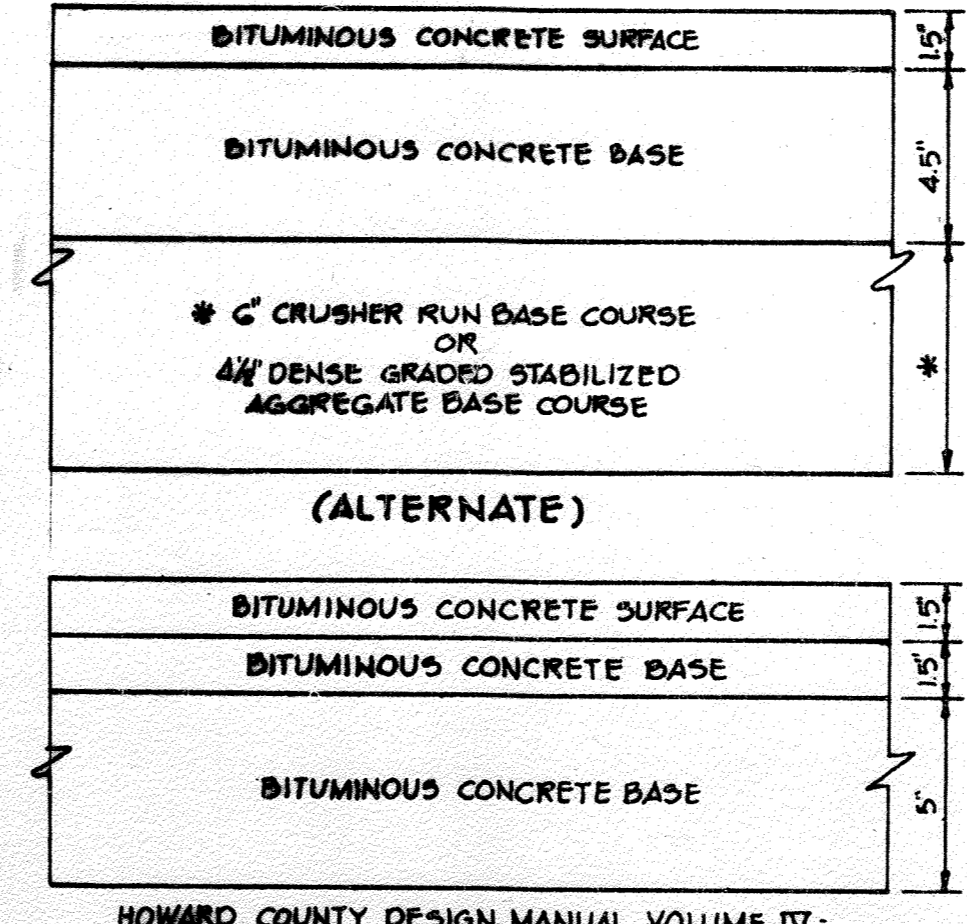
SECTION 'A-A'



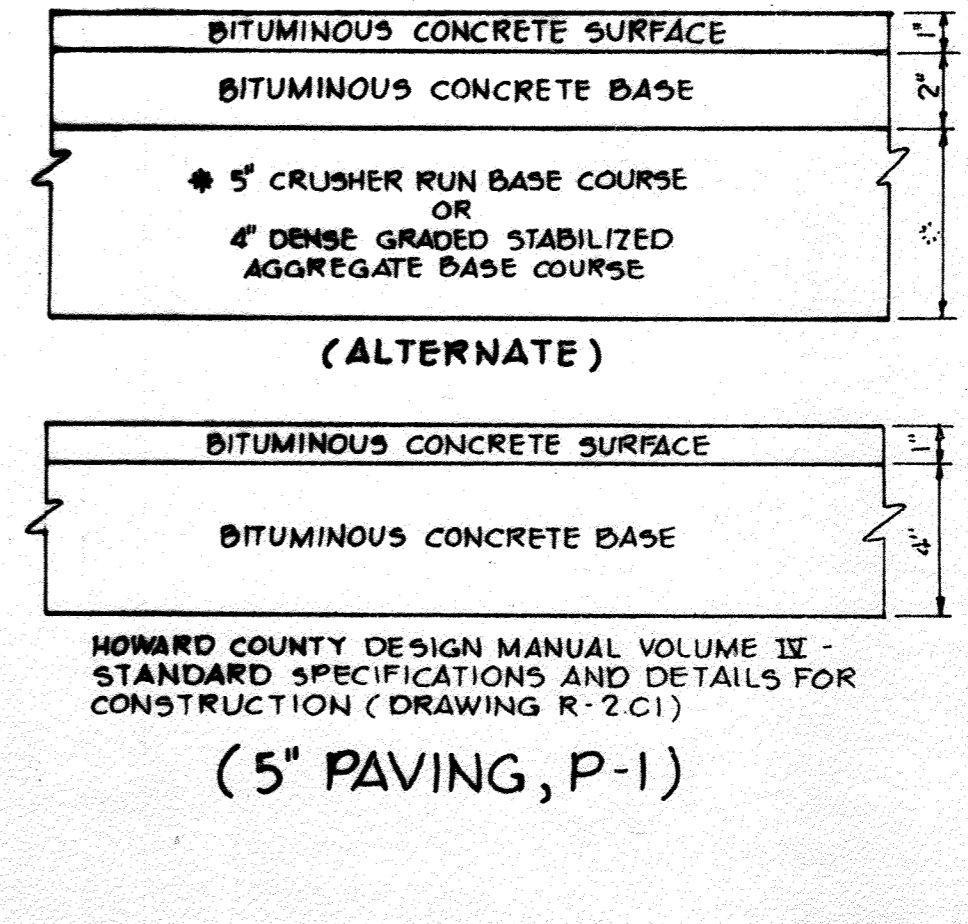
SECTION 'B-B'



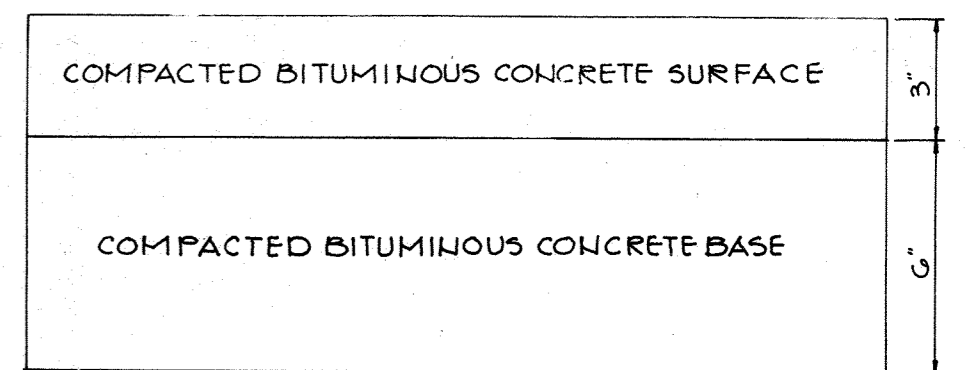
DETAIL-36" B.C.C.M.P. RISER  
NO SCALE



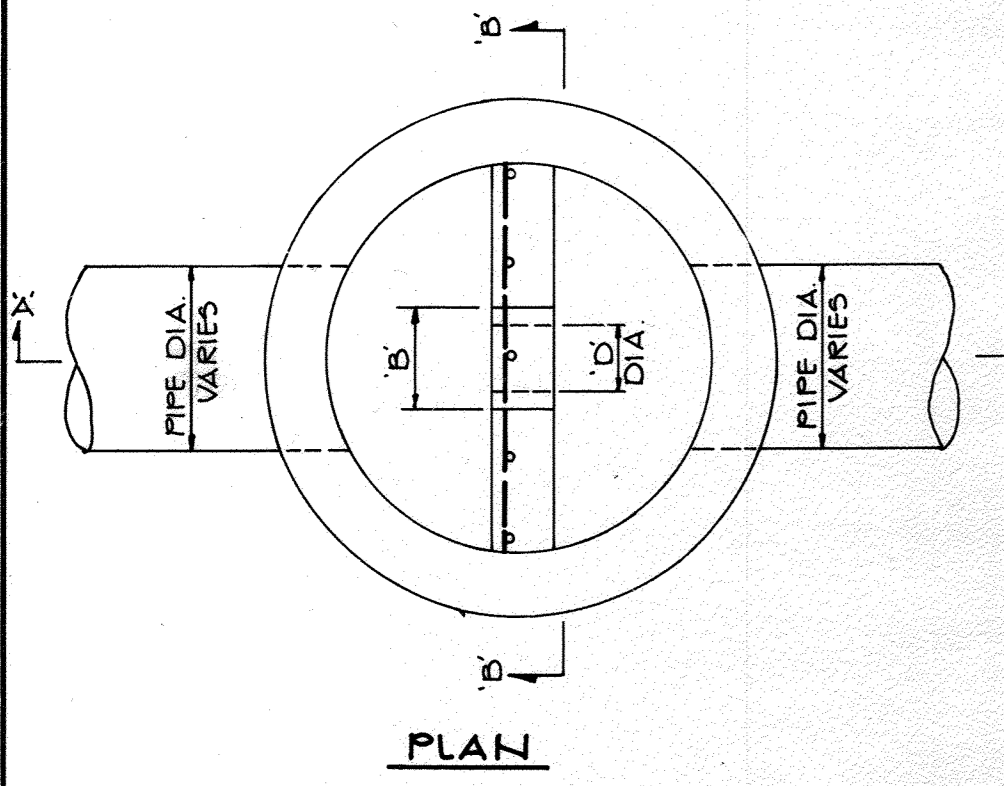
HOWARD COUNTY DESIGN MANUAL VOLUME IX - STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (DRAWING R-2.01)  
(8" PAVING, P-3)



TYPICAL PAVING SECTIONS  
NO SCALE

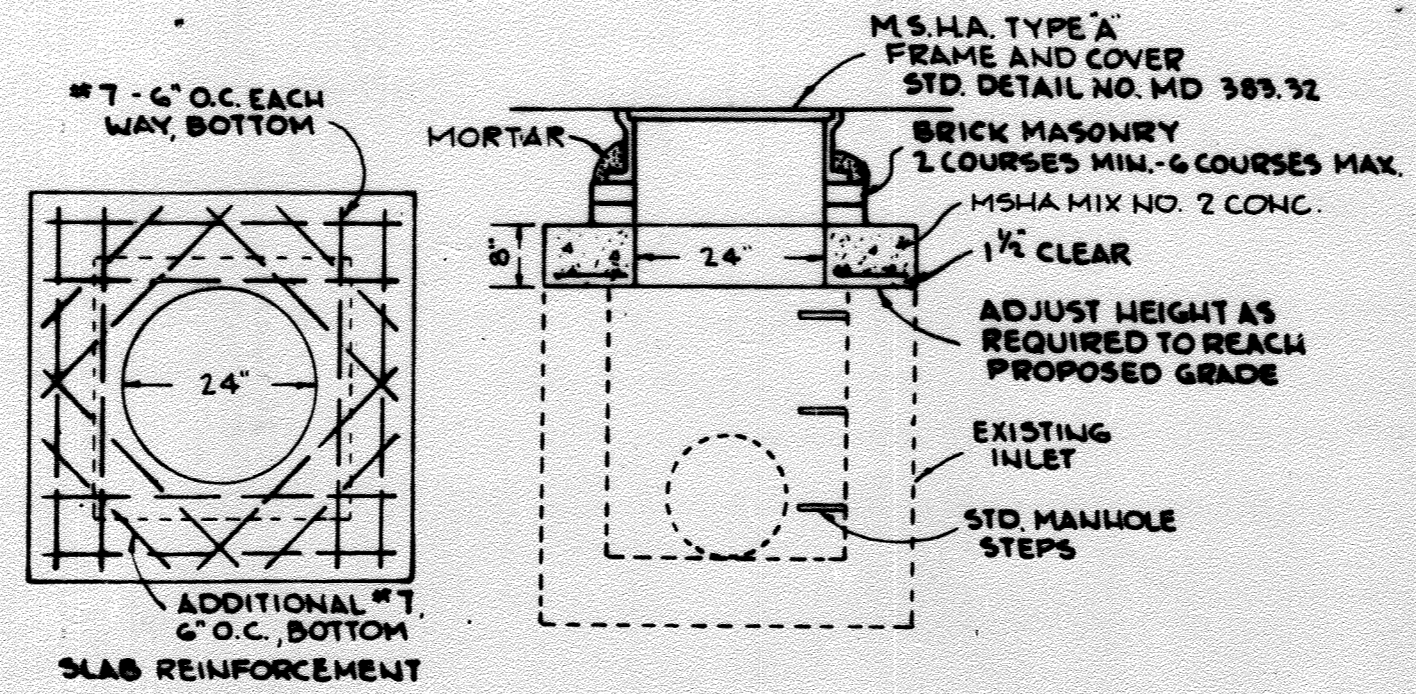


(M.S.H.A. PAVING)  
(FOR MARYLAND ROUTE #175 ONLY)

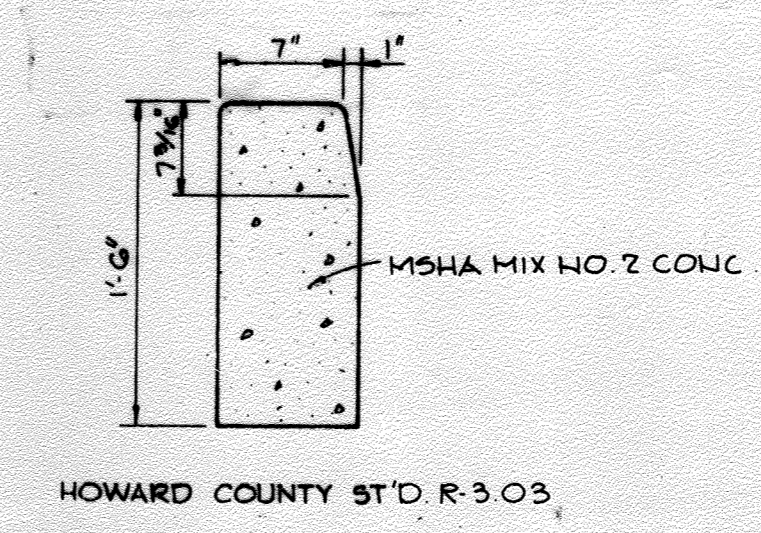


STORM WATER MANAGEMENT STRUCTURE DETAIL  
NO SCALE

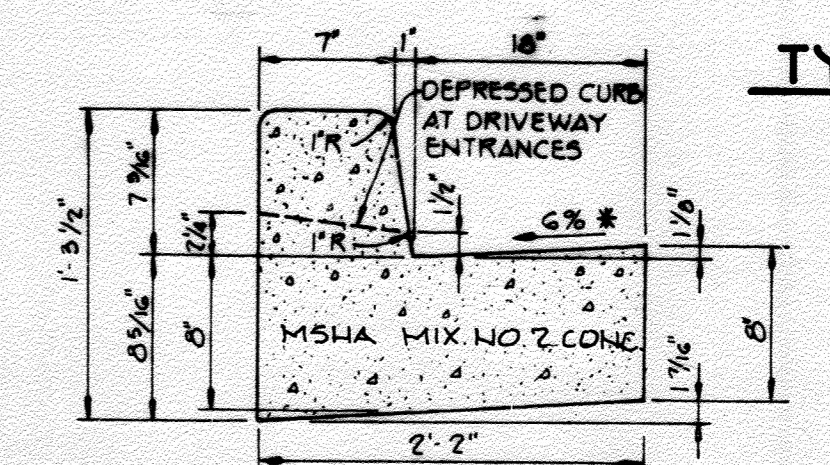
structure	dimension				elev.	invert elev.	in	out
	A	B	C	D				
5	7.17'	2.0'	0.58'	10"	213.00	220.00	205.83	205.32
6	10.30'	2.0'	0.59'	8"	211.00	218.40	200.70	200.20
7	8.30'	1.0'	0.37'	6"	205.10	208.40	196.80	196.30
8	7.57'	1.5'	0.50'	8"	211.40		203.83	203.33
9	5.13'	1.0'	0.25'	6"	215.80	217.50	210.67	210.17
10	5.34'	1.0'	0.56'	6"	216.50	219.50	211.16	210.66



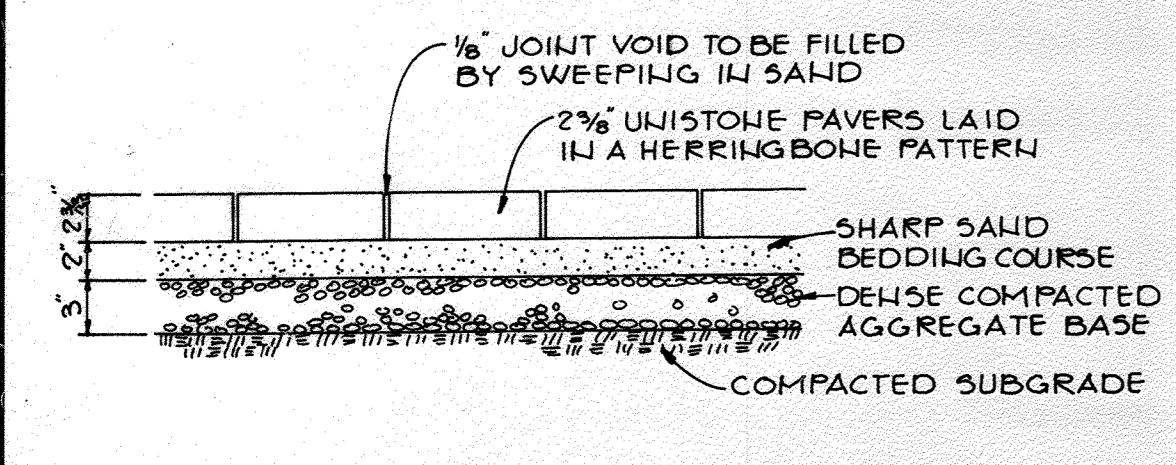
SLAB DETAIL - EX I-75A & I-75  
NO SCALE



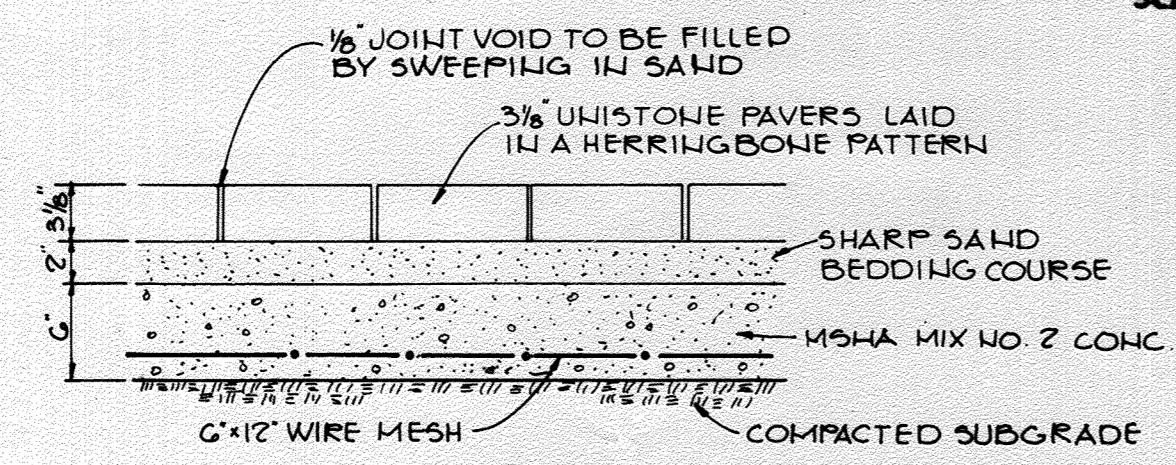
STANDARD BARRIER CURB  
NO SCALE



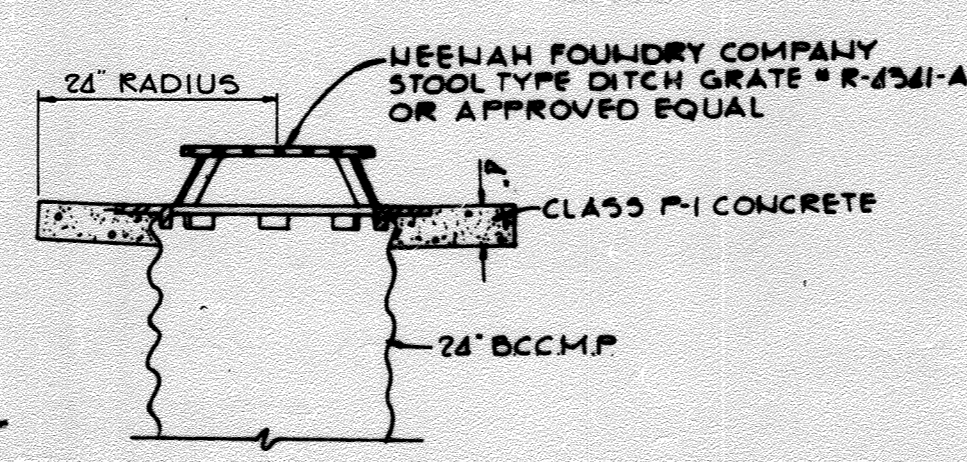
STANDARD 7" COMBINATION CURB AND GUTTER  
NO SCALE



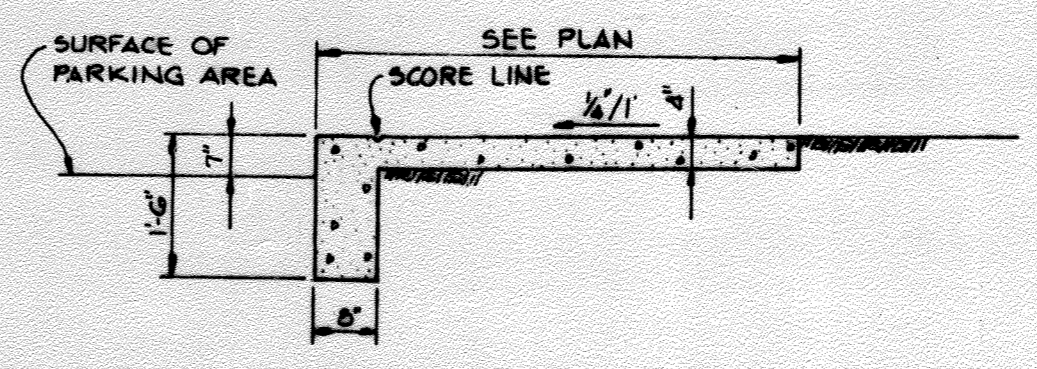
LIGHT PAVER DETAIL  
NO SCALE



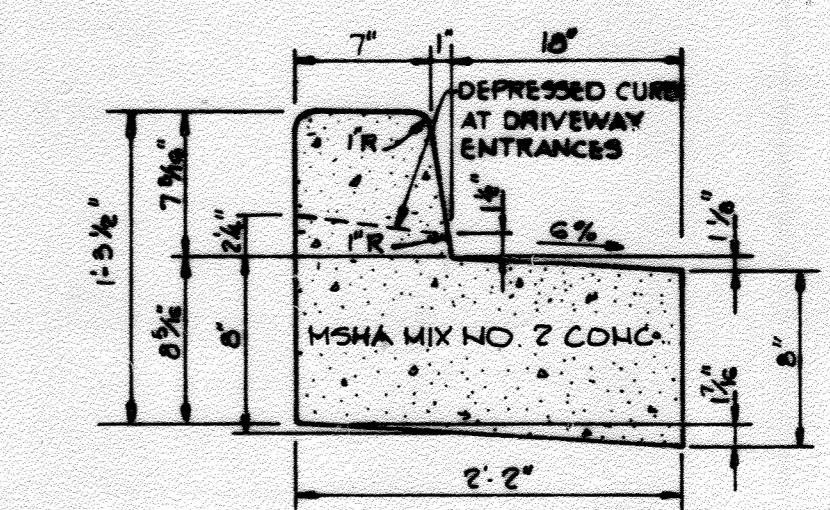
HEAVY PAVER DETAIL  
NO SCALE



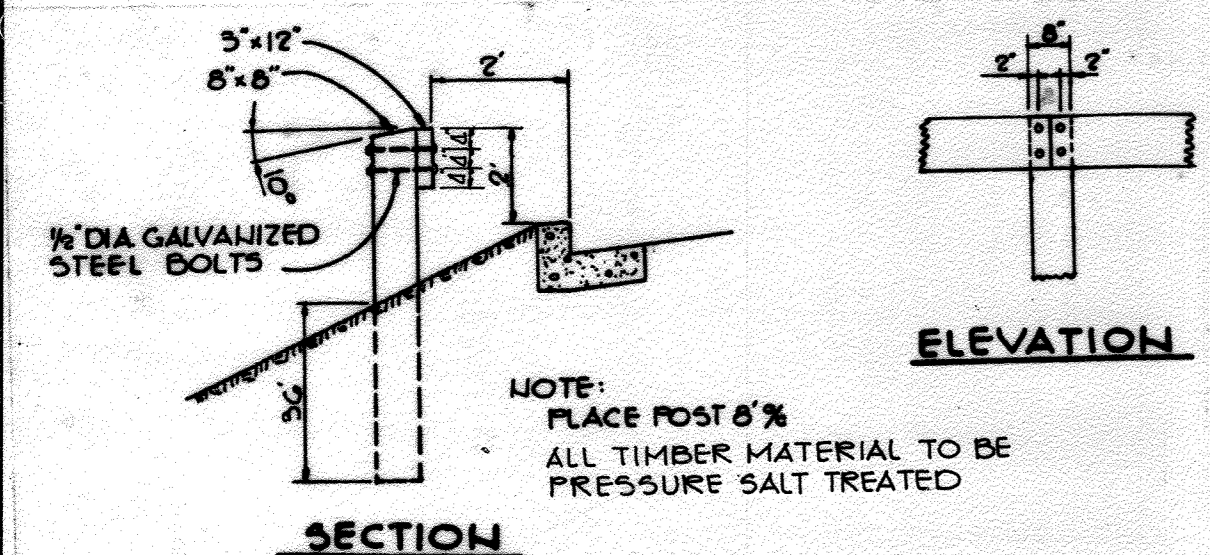
YARD INLET DETAIL I-4  
NO SCALE



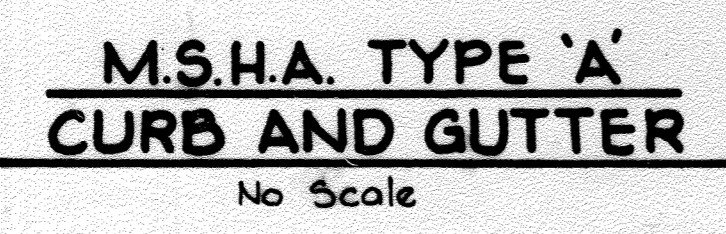
SIDEWALK w/ INTEGRAL CURB  
NO SCALE



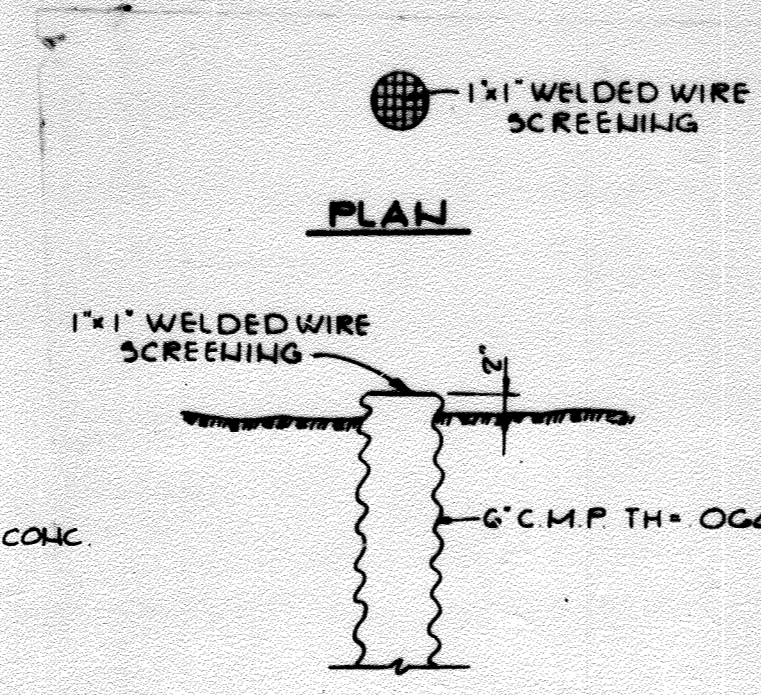
REVERSE 7" COMBINATION CURB AND GUTTER  
NO SCALE



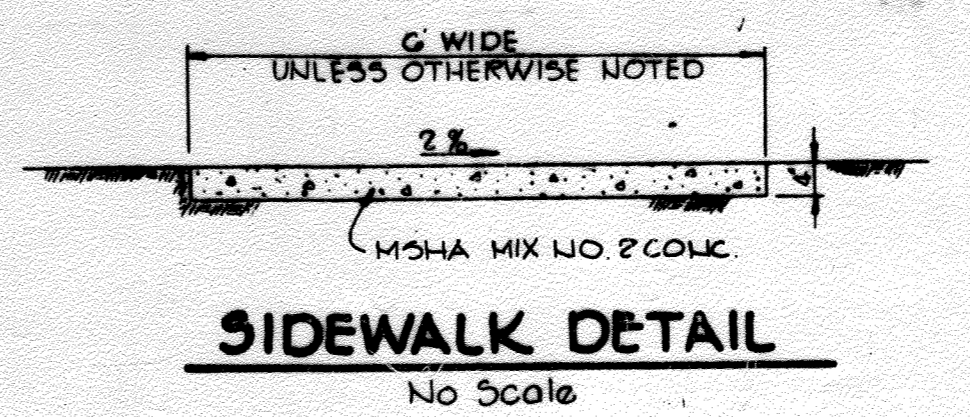
GUARDRAIL DETAIL  
NO SCALE



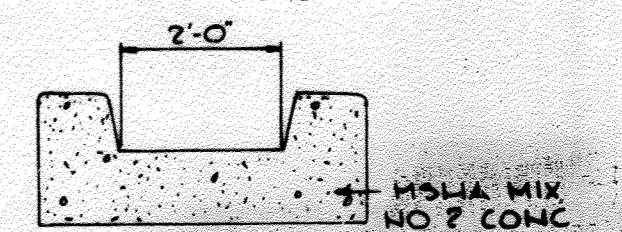
M.S.H.A. TYPE 'A' CURB AND GUTTER  
NO SCALE



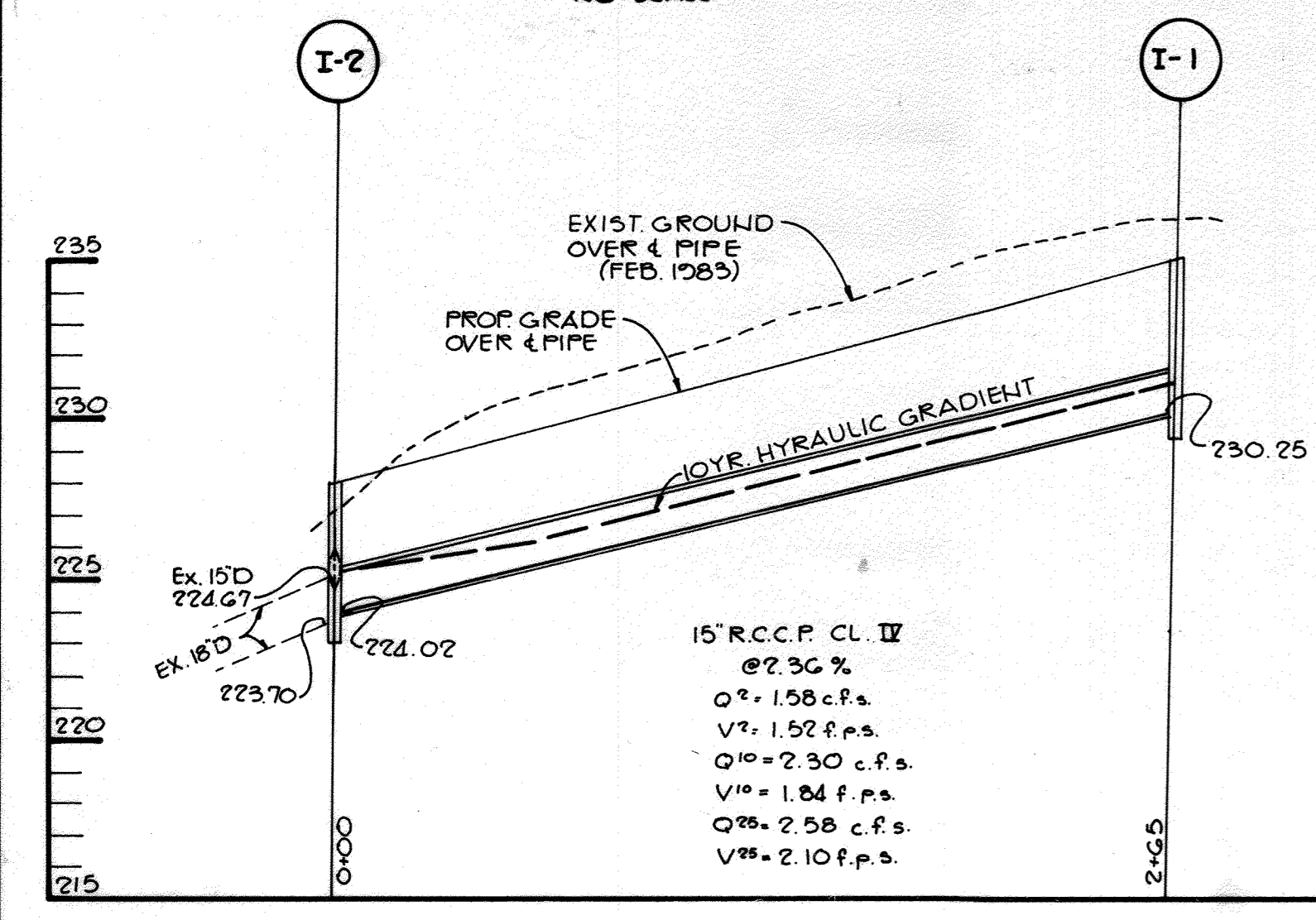
VENT PIPE DETAIL  
NO SCALE



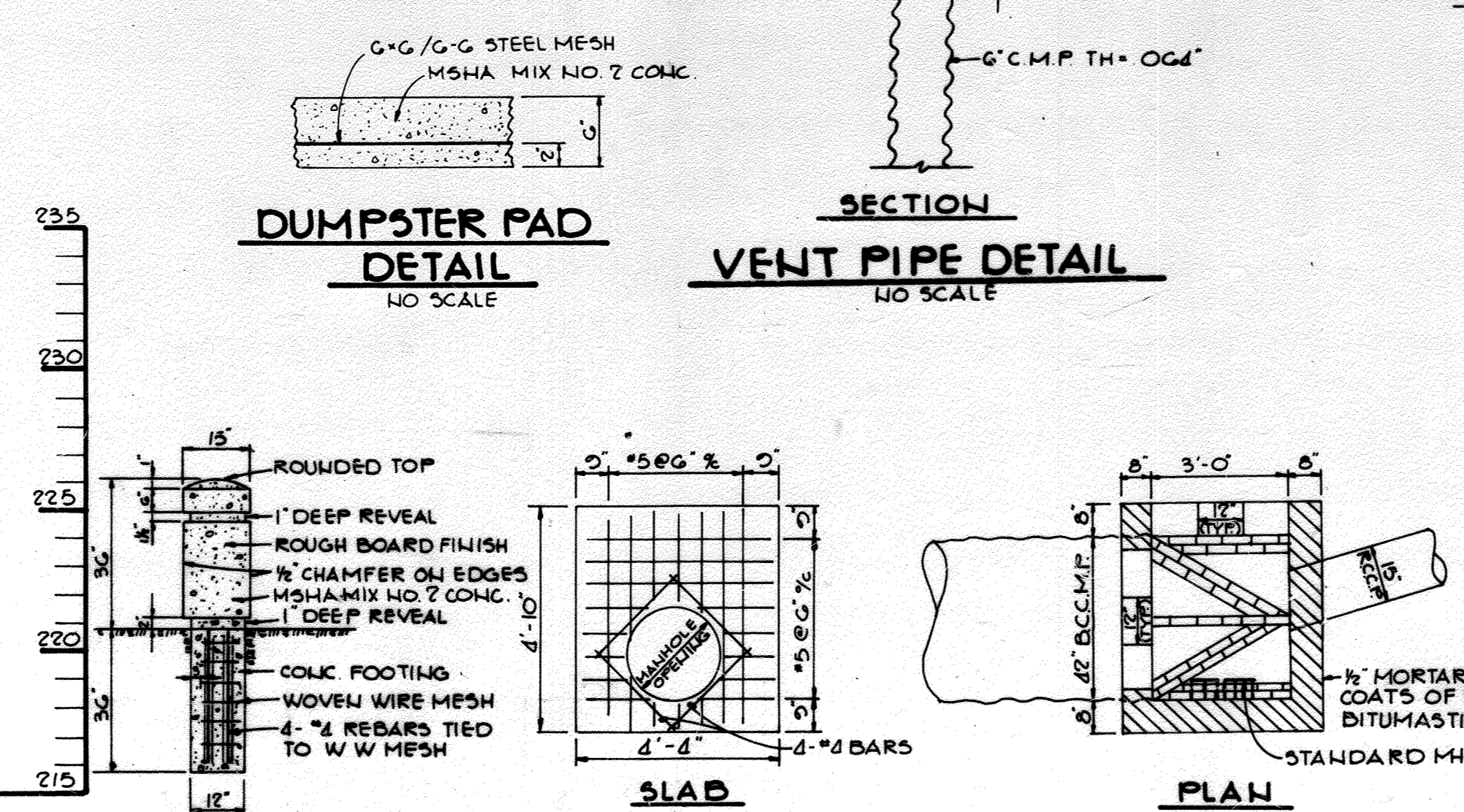
SIDEWALK DETAIL  
NO SCALE



CURB CUT DETAIL  
NO SCALE



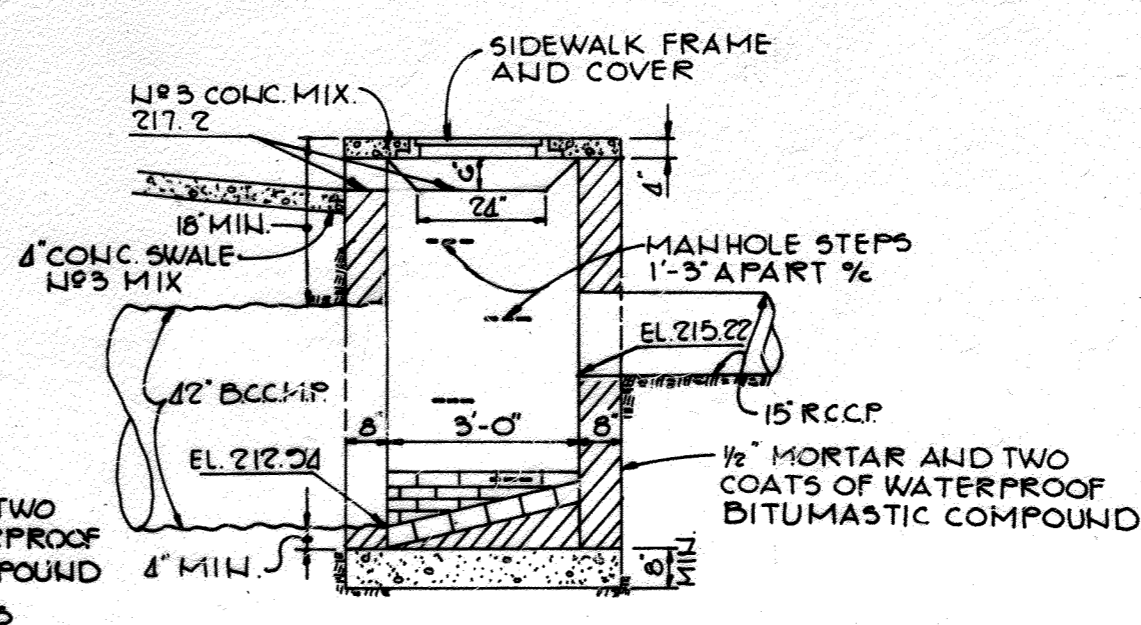
PROFILE  
SCALE: HORIZ: 1"=50'  
VERT: 1"=5'



SQUARE BOLLARD DETAIL  
NO SCALE



DUMPSTER PAD DETAIL  
NO SCALE



DETAIL OF INLET 2  
NO SCALE

DATE	NO.	REVISION
4/25/18	18	CHANGE SHEET NUMBER

APPROVED  
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 9-1-83

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

*John Bradley* 9-16-83  
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

*Donald A. Smith* 9-16-83  
PLANNING DIRECTOR DATE

*Shelley M. Hume* 9-16-83  
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*George E. Sherry* 9-16-83  
DIRECTOR DATE

*Walter L. ...* 9-16-83  
CHIEF, BUREAU OF ENGINEERING DATE

DATE	NO.	REVISION
6/31/18	13	CHANGED SHEET NUMBER
7/28/06	2	CHANGED SHEET NUMBER
9-24-05	1	REVISED PROJECT NAME & SHEET NUMBER

OWNER: MARYLAND FOOD CENTER AUTHORITY  
201 WEST PRESTON STREET  
BALTIMORE, MARYLAND 21201

DEVEL: K.M.S.  
1000 EQUITABLE BANK CENTER  
COLUMBIA, MARYLAND 21044

PROJECT: EASTGATE SHOPPING CENTER  
MARYLAND WHOLESALE CENTER  
RECORD PLAT RECORDING REFERENCE NO.

AREA: MARYLAND WHOLESALE FOOD CENTER  
BLOCK B PARCEL B-1 TAX MAP W043  
6TH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

TITLE: DETAILS AND STORM DRAIN PROFILE

THE RIEMER GROUP, INC.  
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
8659 Baltimore National Pike, Ellicott City, Maryland, 21043 301-461-2690

9/14/83 DATE  
DESIGNED BY: V.L.S.  
DRAWN BY: D.A.M.  
PROJECT NO: 000400  
DATE: 9/16/83  
SCALE: AS SHOWN  
DRAWING NO. 6 OF 22

SEDIMENT TRAP DATA											
		TRAP NO.									
		1	2	3	4	5	6	7	8	9	10
DRAINAGE AREA	Ac.	1.35	0.73	1.24	2.20	3.20	0.93	1.0	0.78	1.30	2.42
DISTURBED AREA	Ac.	1.35	0.25	1.24	2.20	3.20	0.82	0.82	0.78	1.30	2.42
VOLUME	REQUIRED	2450	1314	2236	4000	5760	1674	1800	1404	2340	4356
	AVAILABLE	2620	1411	2236	4000	6545	1740	1830	1600	2788	4600
CREST ELEV.		207.0	212.8	213.0	214.0	215.4	210.5	220.0	218.2	215.2	211.8
BOTTOM ELEV.		205.5	211.0	212.0	212.5	214.0	218.5	218.5	217.7	213.5	210.3
CLEANOUT ELEV.		206.2	211.5	212.5	213.2	214.7	219.0	219.3	217.5	214.3	211.5
BOTTOM DIM.		87'x75'	33'x42'	51'x57'	30'x68'	65'x215'	30'x160'	32'x130'	65'x65'	45'x100'	50'x210'

**SITE ANALYSIS**

1. IMPERVIOUS SURFACES - 11.73 ACRES
2. AREA TO BE REVEGETATED - 4.13 ACRES

BY THE DEVELOPER:

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT."

*Patrick McEuan* 9/14/83  
DEVELOPER: PATRICK MCEUAN DATE

BY THE ENGINEER:

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*Arthur E. Muegge* 9/14/83  
ENGINEER: ARTHUR E. MUEGGE DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

*Jocelyn Bodum* 9-16-83  
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING

*Donald L. Harris* 9-16-83  
PLANNING DIRECTOR DATE

*Joseph M. Hershman* 9-16-83  
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

*Wayne F. Nummy* 8-16-83  
DIRECTOR DATE

*M. M. M. M.* 9-16-83  
CHIEF, BUREAU OF ENGINEERING DATE

4/25/83 CHANGE SHEET NUMBER

7/28/83 2 CHANGED SHEET NUMBER

5/24/85 REVISED PROJECT NAME & SHEET NUMBER

DATE NO. REVISION

OWNER MARYLAND FOOD CENTER AUTHORITY

201 WEST PRESTON STREET

BALTIMORE MARYLAND 21201

DEVEL: K.M.S.

1000 EQUITABLE BANK CENTER

COLUMBIA, MARYLAND 21044

PROJECT: EASTGATE SHOPPING CENTER

MARYLAND WHOLESALE CENTER

RECORD PLAT RECORDING REFERENCE NO.

AREA MARYLAND WHOLESALE FOOD CENTER

BLOCK B PARCEL B TAX MAP NO.43

IN ELECTRIC DISTRICT

HOWARD COUNTY, MARYLAND

TITLE: SEDIMENT CONTROL PLAN

THE RIEMER GROUP, INC.

The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm

8659 Baltimore National Pike, Ellicott City, Maryland, 21043 301 461-2690

9/14/83

DATE

DESIGNED BY: G.R.B.

DRAWN BY: D.A.M.

PROJECT NO: 000400

DATE: 3-16-83

SCALE: 1"=50'

DRAWING NO. 7 OF 22

PROFESSIONAL ENGR. NO. 8707

SEPTEMBER 14, 1983

REVIEWED FOR *Howard* NAME S.C.D.

AND MEETS TECHNICAL REQUIREMENTS

*Arthur E. Muegge* 9-15-83 DATE

U.S. SOIL CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

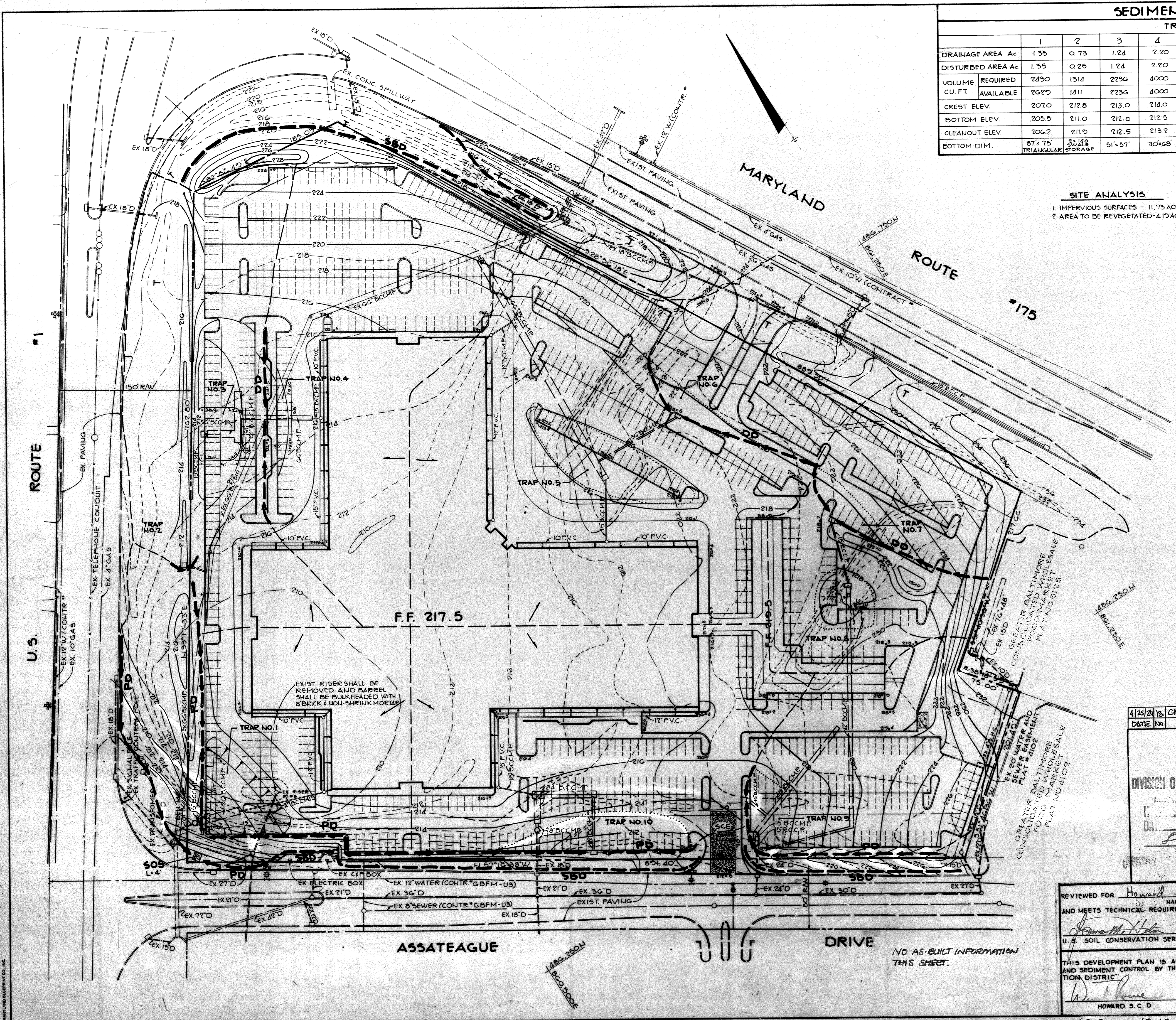
*Arthur E. Muegge* 9-15-83 DATE

HOWARD S.C.D.

APPROVED  
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE: 9-1-83  
*P. J. J.*

AS-BUILT 12-18-15

SDP-83-144



NO AS-BUILT INFORMATION THIS SHEET.

ASSATEAGUE DRIVE

DRIVE

ROUTE #1

ROUTE #175

U.S.

F.F. 217.5

EXIST. RISER SHALL BE REMOVED AND BARREL SHALL BE BULKHEADED WITH 8" BRICK & NON-SHRINK MORTAR

GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET SALE PLAT NO. 8125

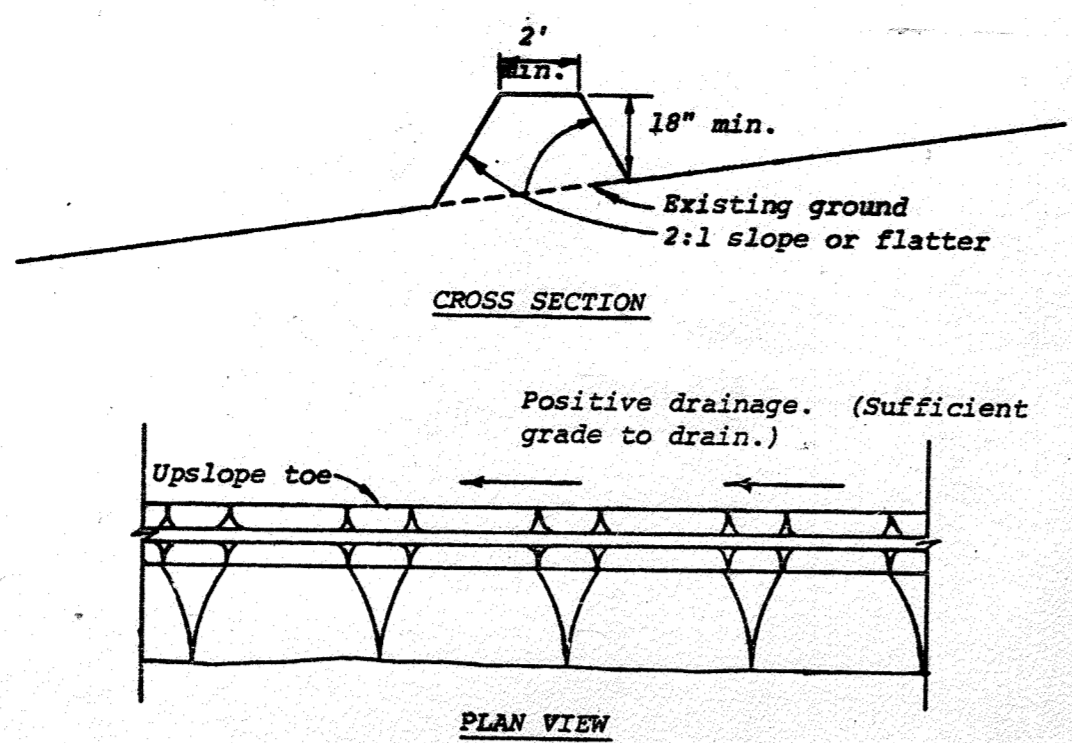
GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET SALE PLAT NO. 8102

GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET SALE PLAT NO. 8102

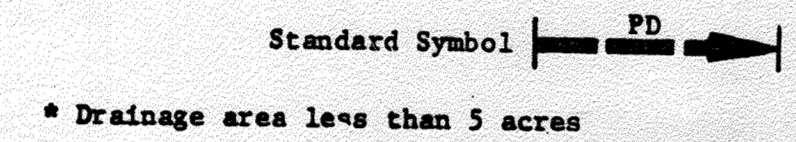
MARYLAND SUPPLY CO., INC.

**SEQUENCE OF CONSTRUCTION**

- OBTAIN GRADING PERMIT.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- INSTALL STRAW BALE DIKES.
- INSTALL STONE OUTLET STRUCTURE WITH RELATING PERIMETER DIKE AT CORNER OF ASSATEAGUE DRIVE AND U.S. ROUTE 1 AS SHOWN ON PLAN.
- MASS GRADE THE SITE, MAINTAINING EXISTING SEDIMENT CONTROL POND.
- INSTALL STORM DRAIN/STORM WATER MANAGEMENT SYSTEM.
- BLOCK ALL INLETS IN ACCORDANCE WITH DETAILS SHEET 7 OF 8.
- CONSTRUCT SEDIMENT TRAPS 2-10 AND INSTALL RELATING DIVERSION OR PERIMETER DIKES.
- UPON APPROVAL OF SEDIMENT CONTROL INSPECTOR REMOVE EXISTING RISER & BULKHEAD THE BARRELL. (SEE NOTE SHEET 6 OF 8)
- ROUGH GRADE TO REMOVE EXISTING SEDIMENT CONTROL POND, INSTALL TRAP NO. 1 & RELATING PERIMETER DIKE.
- STABILIZE ALL PERIMETER GRASSED AREAS IMMEDIATELY AFTER ROUGH GRADING IN ACCORDANCE WITH PERMANENT SEEDING NOTES.
- IMMEDIATELY PRIOR TO PAVING, REMOVE EACH SEDIMENT TRAP AS NECESSARY WITH APPROVAL OF SEDIMENT CONTROL INSPECTOR.
- STABILIZE ALL REMAINING DISTURBED AREAS IN ACCORDANCE WITH PERMANENT SEEDING NOTES.

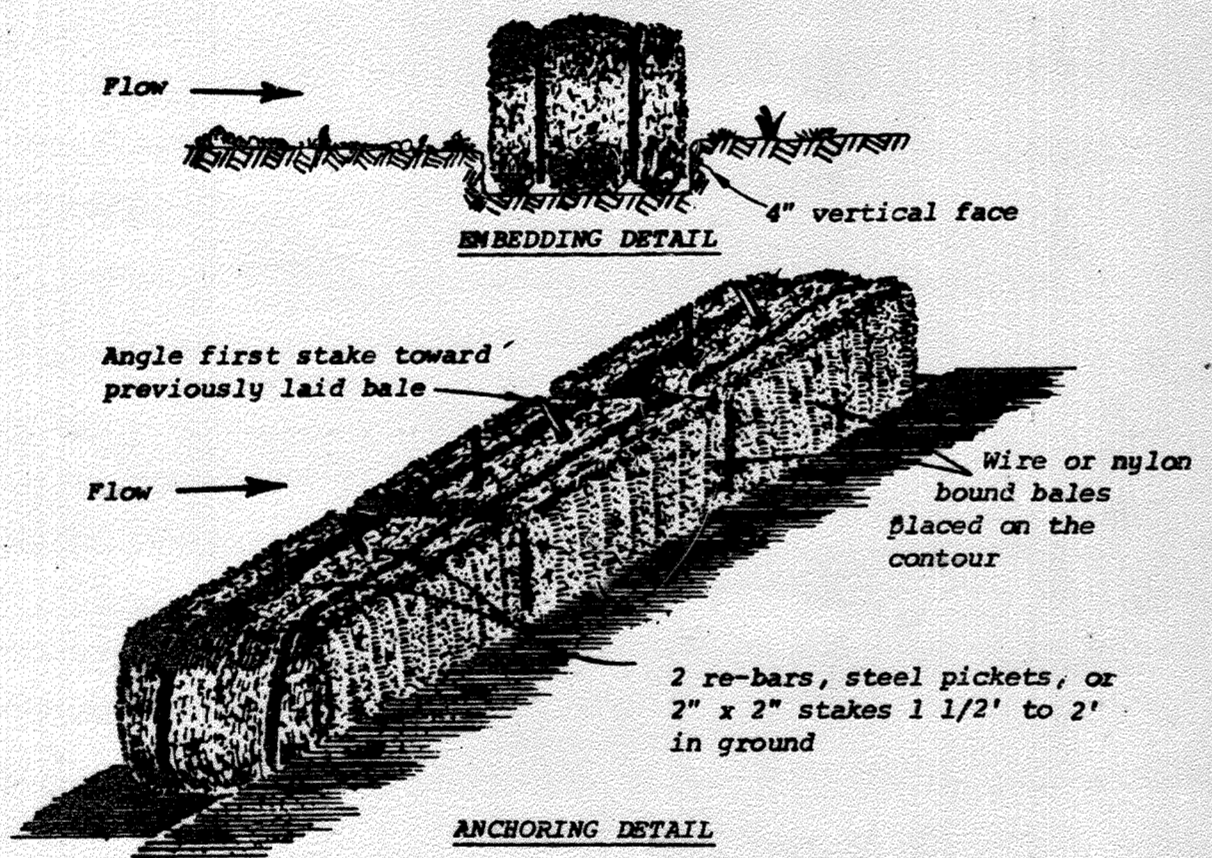


- Construction Specifications**
- All dikes shall be machine compacted.
  - All perimeter dikes shall have positive drainage to an outlet.
  - A. Diverted runoff from a protected or stabilized upland area shall outlet directly onto an undisturbed stabilized area or into a level spreader or grade stabilization structure.  
B. Diverted runoff from a disturbed or exposed upland area shall be conveyed to a sediment trapping device such as sediment trap or a sediment basin or to an area protected by any of these practices.
  - Stabilization, when required, shall be done in accordance with Standard and Specifications for Grassed Waterway. The minimum area to be stabilized shall be the channel flow area.
  - Periodic inspection and required maintenance shall be provided.



**PERIMETER DIKE**

NO SCALE



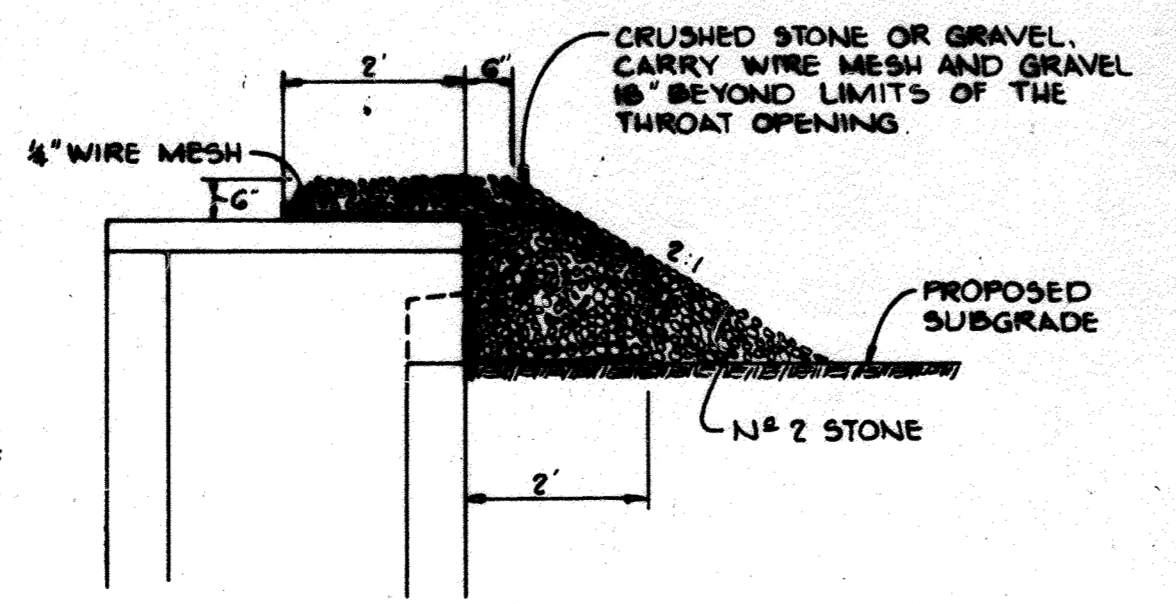
- Construction Specifications**
- Bales shall be placed in a row with ends tightly abutting the adjacent bales.
  - Each bale shall be embedded in the soil a minimum of 4".
  - Bales shall be securely anchored in place by stakes or re-bars driven through the bales. The first stake in each bale shall be angled toward previously laid bale to force bales together.
  - Inspection shall be frequent and repair or replacement shall be made promptly as needed.
  - Bales shall be removed when they have served their usefulness so as not to block or impede storm flow or drainage.



Drainage area less than 1/2 acre.

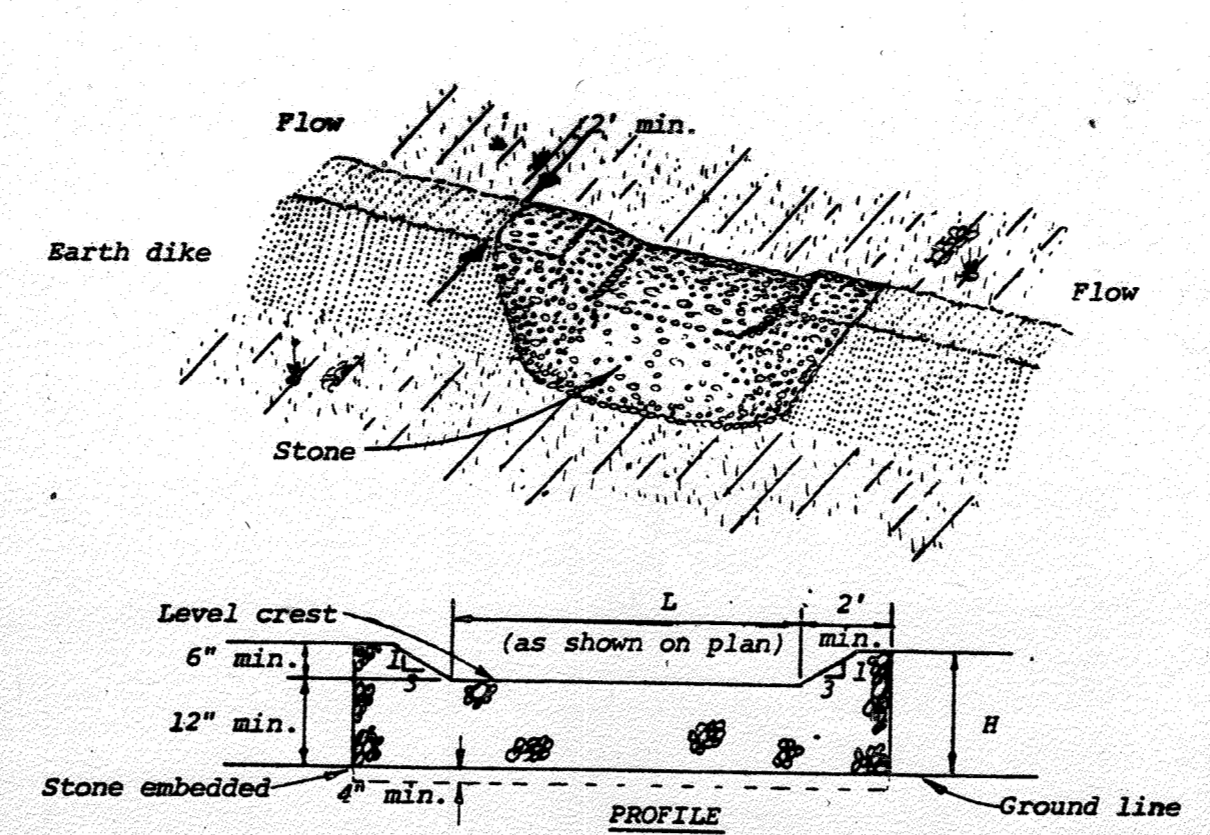
**STRAW BALE DIKE**

NO SCALE



**INLET BLOCKING**

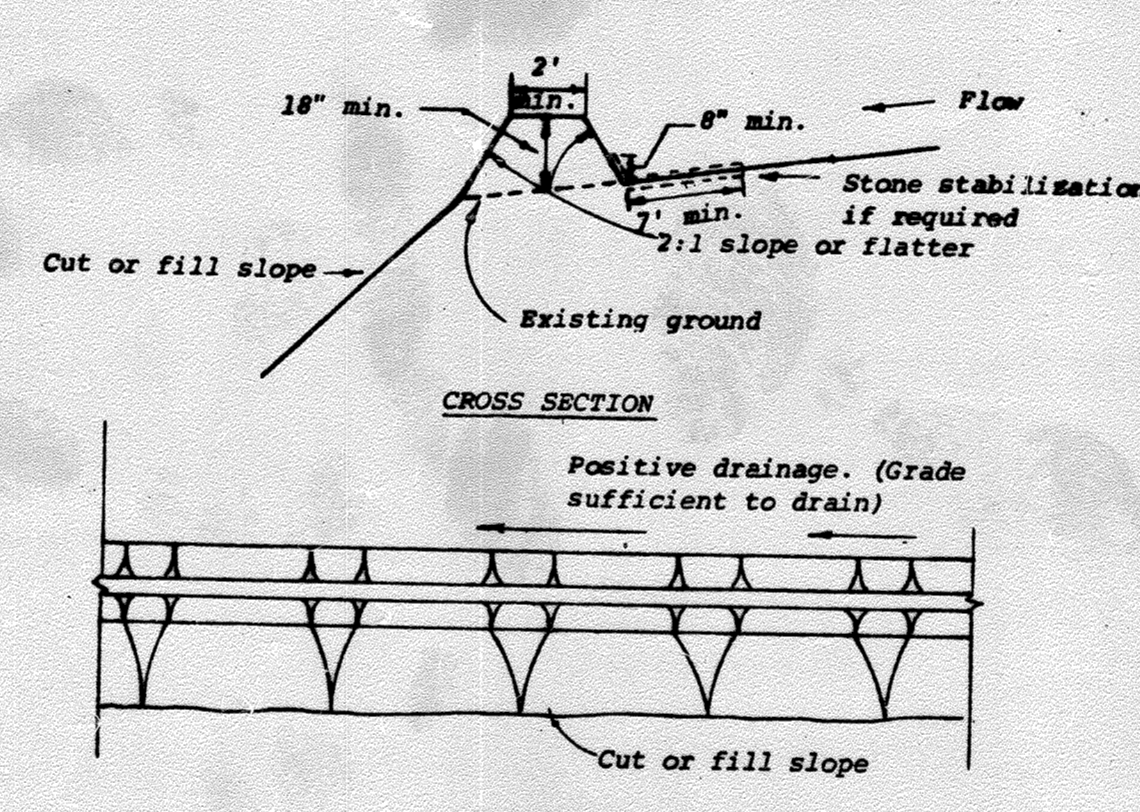
NO SCALE



- Construction Specifications**
- The stone shall be crushed stone. Gravel may be used if crushed stone is not available. The stone shall meet MSHA Size No. 2 or AASHTO designation M43 Size No. 2 or 24.
  - The crest of the stone dike shall be at least six inches lower than the lowest elevation of the top of the earth dike and shall be level.
  - The stone outlet structure shall be embedded into the soil a minimum of four inches.
  - The minimum length, in feet, of the crest of the stone outlet structure shall be equal to six times the number of acres of contributing drainage area.
  - The stone outlet structure shall be inspected after each rain, and the stone shall be replaced when the structure ceases to function as intended due to silt accumulation among the stone, washout, construction traffic damage, etc.

**STONE OUTLET STRUCTURE**

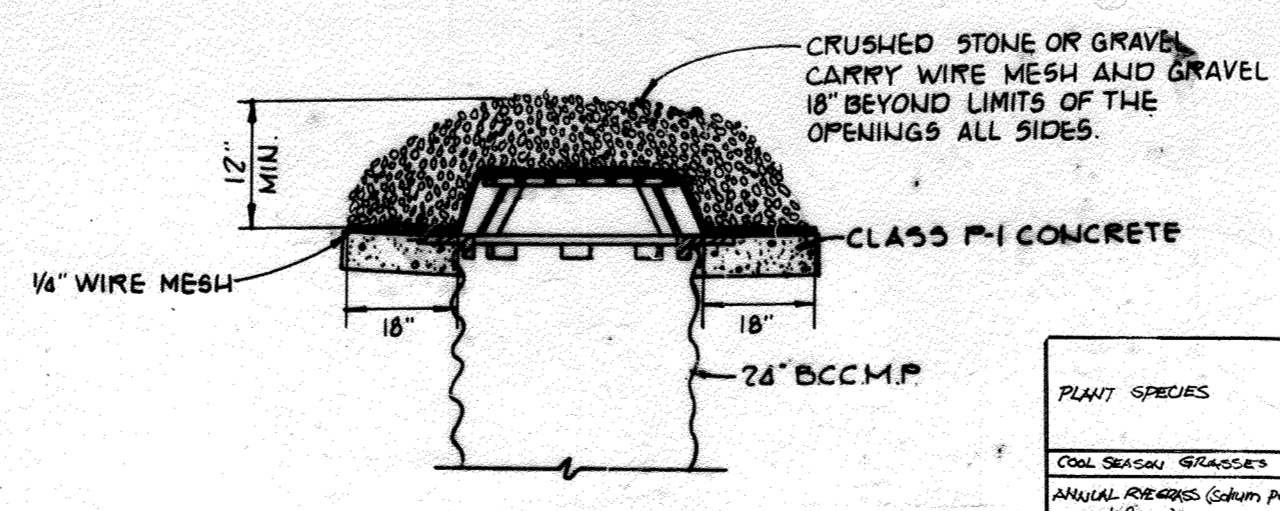
NO SCALE



- Construction Specifications**
- All dikes shall be machine compacted.
  - All diversion dikes shall have positive drainage to an outlet.
  - A. Diverted runoff from a protected or stabilized area shall outlet directly to an undisturbed stabilized area or into a level spreader or grade stabilization structure.  
B. Diverted runoff from a disturbed or exposed upland area shall be conveyed to a sediment trapping device such as a sediment trap or a sediment basin or to an area protected by any of these practices.
  - Stabilization, as specified by the plans, shall be: (1) in accordance with Standard and Specifications for Grassed Waterway, and the area to be stabilized shall be the channel (flow area); or (2) the flow area shall be lined with stone that meets MSHA size No. 2 or AASHTO M43 size No. 2 or 24 which is placed in a 3 inch thick layer and pressed into the soil. The area covered by the stone shall be as shown on the drawing above.
  - Periodic inspection and required maintenance shall be provided.

**DIVERSION DIKE**

NO SCALE



**INLET BLOCKING @ I-4 & I-13**

NO SCALE

NO AS-BUILT INFORMATION THIS SHEET.

**SEDIMENT CONTROL CONSTRUCTION NOTES**

- A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION. (922-2070)
- ALL SEDIMENT CONTROL STRUCTURES WILL BE INSTALLED IN ACCORDANCE WITH "THE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS" AS PREPARED BY THE U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE.
- SITE GRADING WILL BEGIN ONLY AFTER ALL PERIMETER SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED AND ARE IN A FUNCTIONING CONDITION.
- ALL DISTURBED AREAS ARE TO BE DRESSED AND STABILIZED ACCORDING TO THE TEMPORARY OR PERMANENT SEEDING SCHEDULES AS SOON AS PROPER WEATHER CONDITIONS EXIST FOR THE ESTABLISHMENT OF A PERMANENT VEGETATIVE COVER.
- SEDIMENT WILL BE REMOVED FROM TRAPS WHEN THE DEPTH REACHES THE CLEAN OUT ELEVATION SHOWN ON THE PLANS.
- FERTILIZER AND LIME RATES MAY BE CHANGED THROUGH AUTHORIZATION BY THE HOWARD SOIL CONSERVATION DISTRICT IF SOIL TESTS DETERMINE A REDUCTION IN THE SPECIFIED RATES IS JUSTIFIED.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

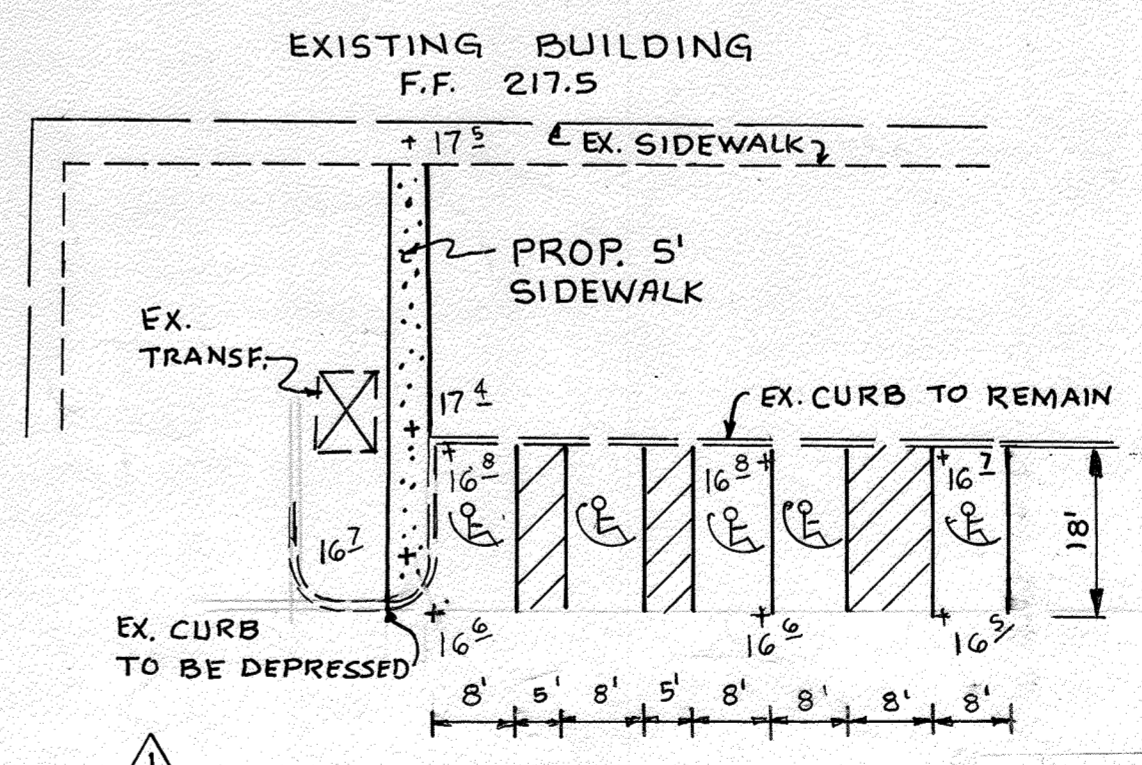
**TEMPORARY SEEDING**

- AREA TO BE SEEDDED SHALL BE RECENTLY LOOSENEED. IF THE GROUND IS PACKED, CRUSTED OR HARD, THE TOP LAYER OF SOIL SHALL BE LOOSENEED BY DISCING, RAKING OR OTHER ACCEPTABLE MEANS.
- APPLY 10-20-10 FERTILIZER (OR EQUIVALENT) AT THE RATE OF 600 LBS. PER ACRE OR 15 LBS. PER 1000 SQ. FT.
  - WHERE SOIL IS KNOWN TO BE HIGHLY ACID, APPLY DOLOMITIC LIMESTONE AT THE RATE OF 1 TON PER ACRE.
  - WORK BOTH INTO SOIL AND SEED WITH CYCLONE SEEDER, DRILL, CULTIPAKER SEEDER OR HYDROSEEDER (SLURRY WILL INCLUDE SEED AND FERTILIZER) AT THE RATE OF 40 LBS. PER ACRE OF ITALIAN OR PERENNIAL RYEGRASS.
  - MULCH WITH UNWEATHERED SMALL GRAIN STRAW AT THE RATE OF 1 1/2 TO 2 TONS PER ACRE AND ANCHOR WITH A CUTBACK ASPHALT OR EMULSIFIED ASPHALT AT THE RATE OF 5 GAL. PER 1000 SQ. FT.

**PERMANENT SEEDING**

- FINAL STABILIZATION WILL TAKE PLACE AS SOON AS POSSIBLE AS WEATHER CONDITIONS PERMIT, AS FOLLOWS:
- APPLY DOLOMITIC LIMESTONE AT THE RATE OF 2 TONS PER ACRE (ONE TON PER ACRE IF APPLICATION OF ONE TON PER ACRE WAS MADE FOR TEMPORARY SEEDING).
  - APPLY 0-20-20 FERTILIZER AT THE RATE OF 600 LBS PER ACRE HARROW OR DISC LIME AND 0-20-20 FERTILIZER INTO THE SOIL TO MINIMUM DEPTH OF 3" LAWNS OR HIGH MAINTENANCE AREAS WILL BE DRAGGED AND LEVELED WITH A YORK RAKE. AT THE TIME OF SEEDING APPLY 400 LBS. OF 30-0-0 UREAFORM FERTILIZER AND 500 LBS. OF 10-20-20 OR EQUIVALENT FERTILIZER PER ACRE.
  - SEED WITH A MIXTURE OF CERTIFIED "MERION" KENTUCKY BLUEGRASS - 40 LBS. PER ACRE; COMMON KENTUCKY BLUEGRASS @ 40 LBS. PER ACRE; RED FESCUE, PENNLAWN OR JAMESTOWN @ 20 LBS. PER ACRE.
  - MULCH WITH UNWEATHERED SMALL GRAIN STRAW AT THE RATE OF 1 1/2 TO 2 TONS PER ACRE AND ANCHOR WITH A CUTBACK ASPHALT OR EMULSIFIED ASPHALT AT THE RATE OF 5 GAL. PER 1000 SQ. FT.
  - SEED ALL SLOPES WITH A MIXTURE OF CERTIFIED KENTUCKY 31 TALL FESCUE @ 50 LBS. PER ACRE AND INOCULATED KOREAN LESPEDEZA @ 15 LBS. PER ACRE.
  - SOODED SWALES SHALL BE KENTUCKY 31 TALL FESCUE.

IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES:  
WESTERN AND MICHIGAN: 15 TO 30 APRIL, AUGUST 1 TO OCT 1 (WARMER SOILS: 15 TO 30 APRIL)  
CENTRAL AND MICHIGAN: 15 TO 30 APRIL, 15 TO 30 OCTOBER (WARMER SOILS: 15 TO 30 APRIL)  
SOUTHERN AND MICHIGAN: 15 TO 30 APRIL, 15 TO 30 OCTOBER (WARMER SOILS: 15 TO 30 APRIL)



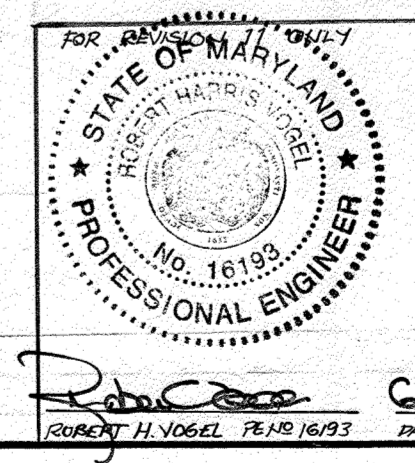
**HANDICAP DETAIL**

SCALE: 1" = 20'

TABLE B.1: TEMPORARY SEEDING FOR SITE STABILIZATION

PLANT SPECIES	SEEDING RATE (LBS./AC)	SEEDING DATE (MONTH)	RECOMMENDED SEEDING DATES BY PLANT HARDINESS ZONES			
			VB AND CA	GB	TA AND TB	TS
ANNUAL BERMUDA GRASS (Cynodon dactylon)	10	1.0	APR 15 TO MAY 31; AUG 1 TO SEP 30	APR 15 TO MAY 31; AUG 15 TO SEP 30	APR 15 TO MAY 31; AUG 15 TO SEP 30	APR 15 TO MAY 31; AUG 15 TO SEP 30
BERBERIS (Berberis vulgaris)	36	2.2	APR 15 TO MAY 31; AUG 1 TO SEP 30	APR 15 TO MAY 31; AUG 15 TO SEP 30	APR 15 TO MAY 31; AUG 15 TO SEP 30	APR 15 TO MAY 31; AUG 15 TO SEP 30
GRASS (Lolium perenne)	70	1.7	APR 15 TO MAY 31; AUG 1 TO SEP 30	APR 15 TO MAY 31; AUG 15 TO SEP 30	APR 15 TO MAY 31; AUG 15 TO SEP 30	APR 15 TO MAY 31; AUG 15 TO SEP 30
WHEAT (Triticum aestivum)	120	2.8	APR 15 TO MAY 31; AUG 1 TO SEP 30	APR 15 TO MAY 31; AUG 15 TO SEP 30	APR 15 TO MAY 31; AUG 15 TO SEP 30	APR 15 TO MAY 31; AUG 15 TO SEP 30
ORCHARD GRASS (Dactylis glomerata)	112	2.8	APR 15 TO MAY 31; AUG 1 TO SEP 30	APR 15 TO MAY 31; AUG 15 TO SEP 30	APR 15 TO MAY 31; AUG 15 TO SEP 30	APR 15 TO MAY 31; AUG 15 TO SEP 30
PERENNIAL BERMUDA GRASS (Cynodon dactylon)	36	0.7	APR 15 TO MAY 31	APR 15 TO MAY 31	APR 15 TO MAY 31	APR 15 TO MAY 31
PERENNIAL RYEGRASS (Lolium perenne)	90	0.5	APR 15 TO MAY 31	APR 15 TO MAY 31	APR 15 TO MAY 31	APR 15 TO MAY 31

APPROVED  
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE: 9-1-83  
BY: [Signature]



**CHANGE SHEET NUMBER**

03/03/83	11	AMEND THE PARKING FOR BUILDING B
11/14/86	4	ADDED LOADING DOCK & STORM DRAIN

BY THE DEVELOPER:  
I, [Signature], CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.  
DEVELOPER: PATRICK MCQUINN 9/14/83 DATE

BY THE ENGINEER:  
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
ENGINEER: ARTHUR E. MUEGGE 9/14/83 DATE

REVIEWED FOR [Signature] NAME S. C. D.  
AND MEETS TECHNICAL REQUIREMENTS  
U.S. SOIL CONSERVATION SERVICE 9-15-83 DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT  
[Signature] 9-15-83 DATE  
HOWARD S. C. D.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.  
[Signature] 9-16-83 DATE  
COUNTY HEALTH OFFICER

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.  
[Signature] 9-16-83 DATE  
PLANNING DIRECTOR

CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION  
[Signature] 9-16-83 DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
[Signature] 9-16-83 DATE  
DIRECTOR

CHIEF, BUREAU OF ENGINEERING  
[Signature] 9-16-83 DATE

7-28-85 2 CHANGED SHEET NUMBER  
5-24-05 1 ADDED HANDICAP DETAIL, REVISED SHT. No. 1  
DATE NO REVISION

OWNER: MARYLAND FOOD CENTER AUTHORITY  
201 WEST PRESTON STREET  
BALTIMORE MARYLAND 21201

DEVEL: K.M.S.  
1000 EQUITABLE BANK CENTER  
COLUMBIA, MARYLAND 21044

PROJECT: EASTGATE SHOPPING CENTER  
MARYLAND WHOLESALE CENTER  
RECORD PLAT RECORDING REFERENCE NO.

ARE: MARYLAND WHOLESALE FOOD CENTER  
BLOCK B PARCEL B-1 TAX MAP NO. 03  
6TH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

TITLE: SEDIMENT CONTROL NOTES AND DETAILS

**THE RIEMER GROUP, INC.**  
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
8659 Baltimore National Pike, Ellicott City, Maryland, 21043 301-461-2690

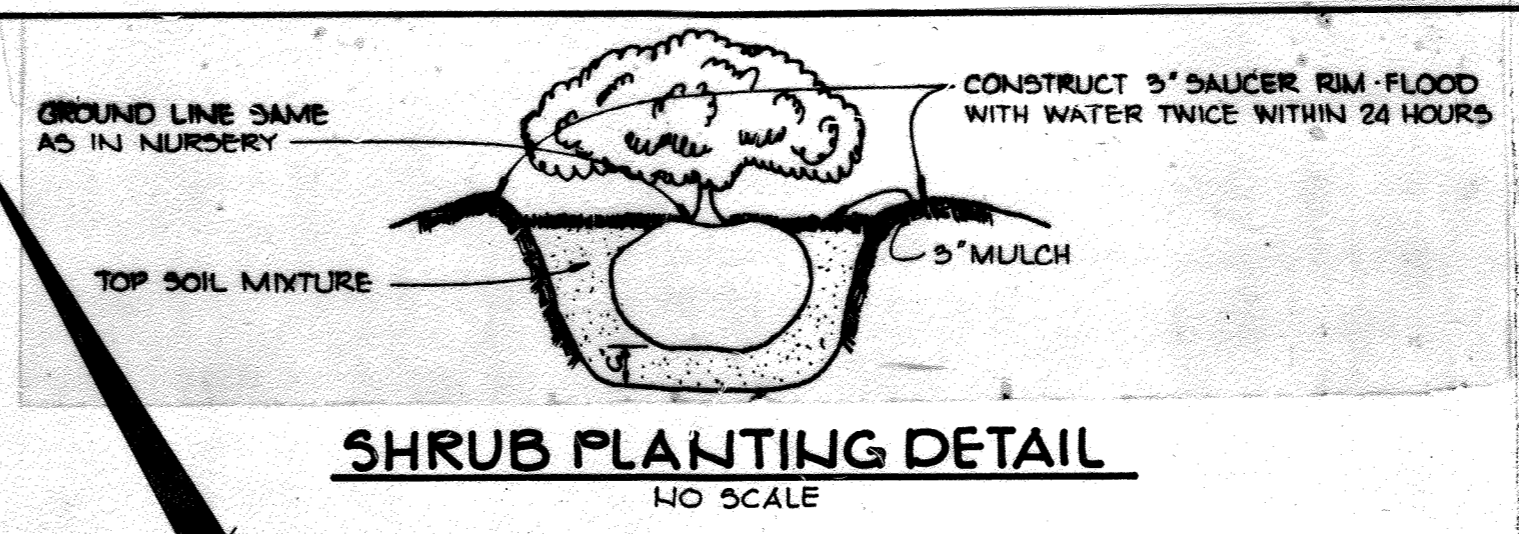
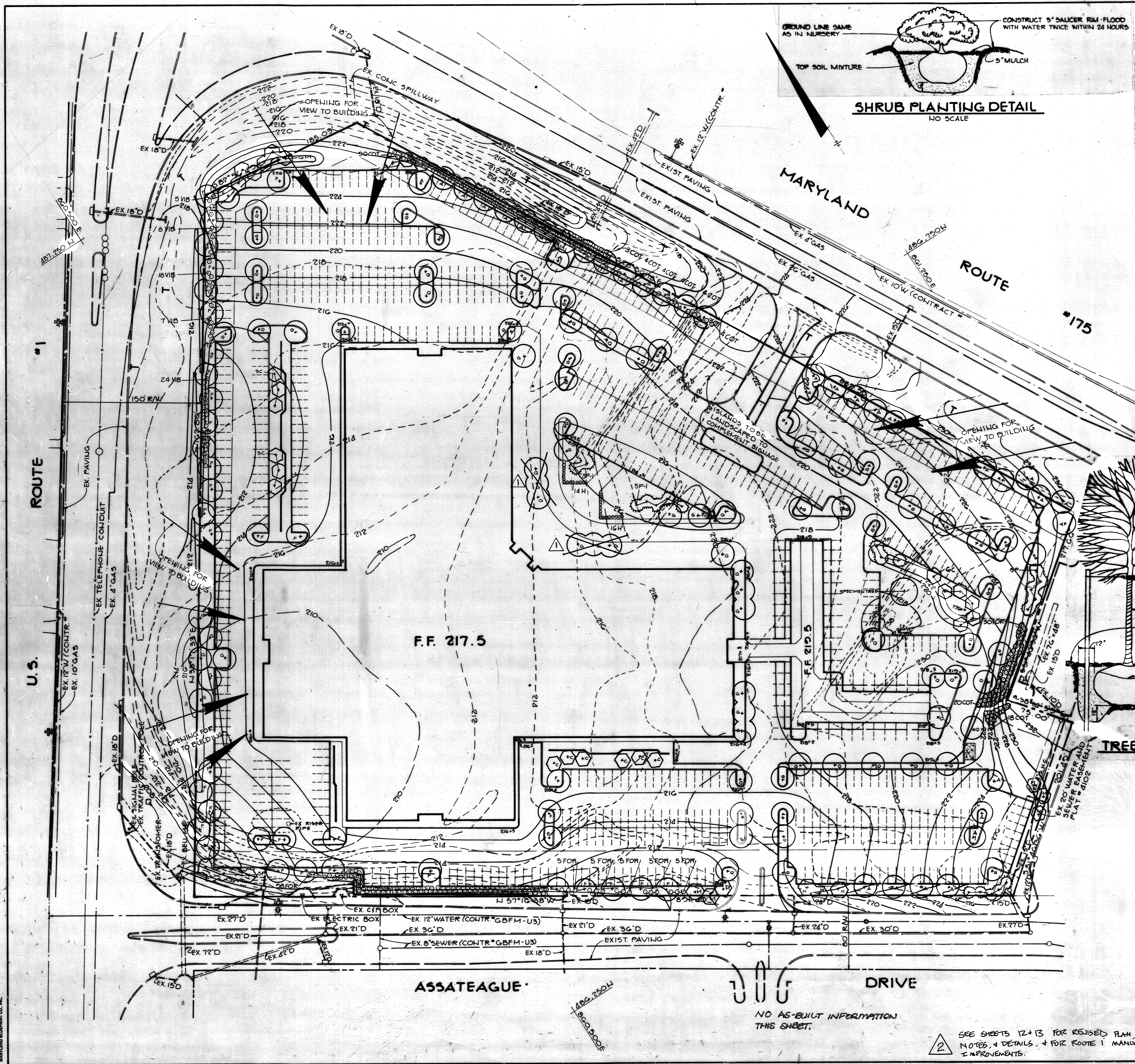
314443 DATE  
DESIGNED BY: G.R.B.  
DRAWN BY: J.S.K.  
PROJECT NO: 000400  
DATE: 3-16-83  
SCALE: A5 SHOWN  
DRAWING NO. 8 OF 22

PROFESSIONAL ENGR. NO. 8707

AS-BUILT 12-18-15

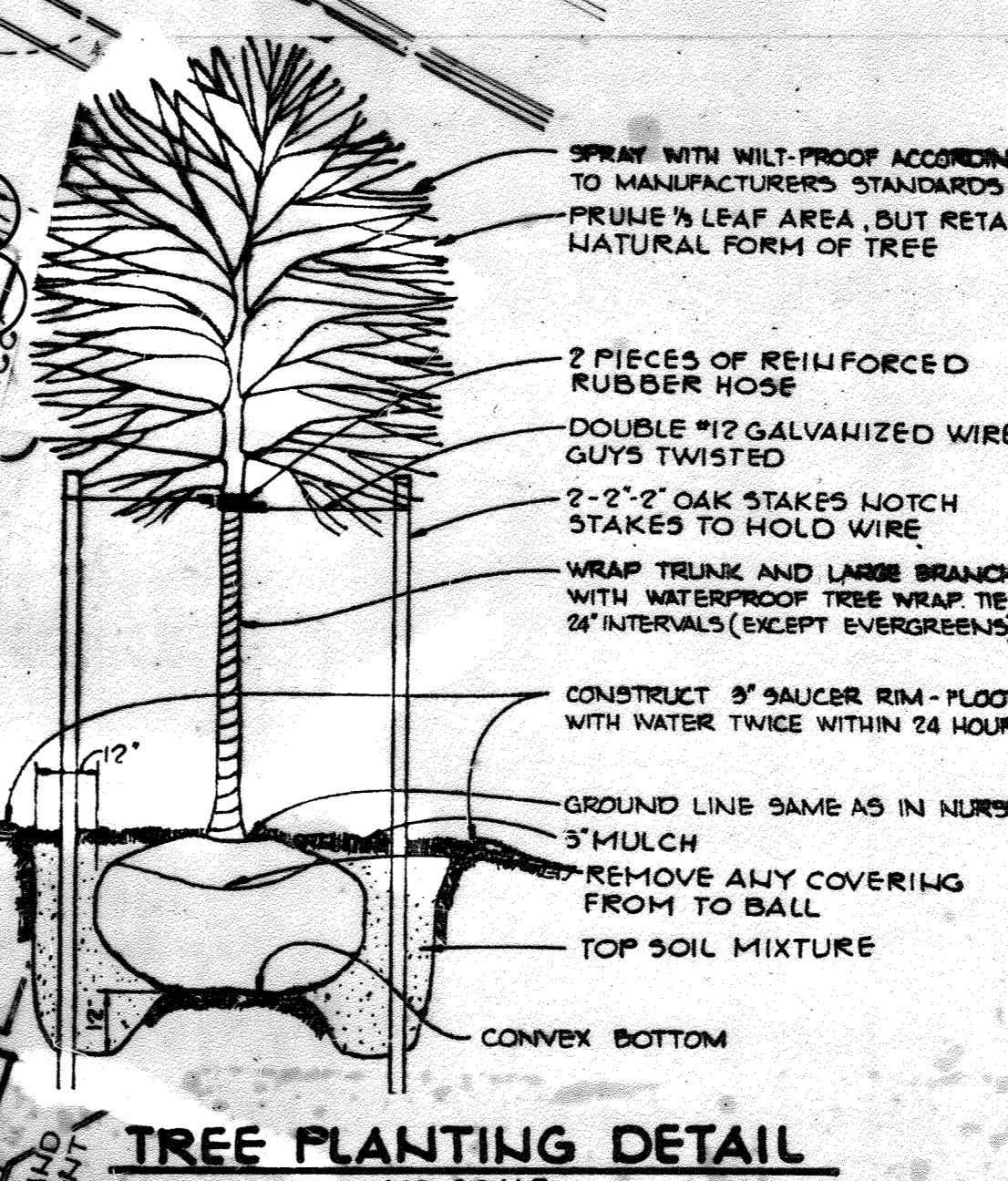
SDP-83-144 SEPTEMBER 14, 1983





PLANT LIST

symbol	quantity	name	size	remarks
(+)		SHADE TREES		
A	36	ACER RUBRUM - Red Maple	2 1/2"-3" 12'-14" CAL. HT.	B&B FULL HEAD
F	39	FRAXINUS LANCEOLATA 'MARSHALL' - Marshall's Green Ash	2 1/2"-3" 12'-14" CAL. HT.	
G	25	GLEDITSIA TRIANCANTHOS INERMOS - Thornless Honey Locust	2 1/2"-3" 12'-14" CAL. HT.	
Q	57	QUERCUS RUBRA - Red Oak	2 1/2"-3" 12'-14" CAL. HT.	
(*)	1	SPCCIMEN TREE - Quercus rubra or Acer rubrum	5"-6" CAL.	
(*)		FLOWERING TREES		
C	18	CRATAEGUS OXYCANTHA 'SUPERBA' - Crimson Cloud Hawthorn	6'-8" HT.	B&B FULL HEAD
M	18	MALUS 'SNOWCLOUD' - Snowcloud Crabapple	6'-8" HT.	
(*)		EVERGREEN TREES		
P	16	PINUS STROBUS - Eastern White Pine	8 @ 5'-6" 8 @ 6'-8" 8 @ 8'-10" HT. HT. HT.	
P-1	8			
(*)		SHRUBS		
COT	151	COTONEASTER HORIZONTALIS - Rock Spray Cotoneaster	18"-24" SPD.	B&B
FOR	123	FORSYTHIA SUSPENS - Weeping Forsythia	3'-4" HT.	
H	20	ILEX CRENATA 'HETZL' - Hetz Japanese Holly	24"-30" SPD.	
VIB	83	VIBURNUM CARLESII - Korean Spice Viburnum	30"-36" HT.	



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

*John Bedus* 9-16-83  
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

*Thomas L. Harris* 9-16-83  
PLANNING DIRECTOR DATE

*William L. F.* 9-16-83  
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

*John F. Neumeier* 9-16-83  
DIRECTOR DATE

*William L. F.* 9-16-83  
CHIEF BUREAU OF ENGINEERING DATE

7-28-85 2 CHANGED SHEET NUMBER  
5-24-85 2 ADD NOTE, CHANGE SHEET NUMBER & PROJECT NAME

DATE	NO.	REVISION

OWNER: MARYLAND FOOD CENTER AUTHORITY  
201 WEST PRESTON STREET  
BALTIMORE MARYLAND 21201

DEVELOPER: K.M.S.  
1000 EQUITABLE BANK CENTER  
COLUMBIA, MARYLAND 21044

PROJECT: EASTGATE SHOPPING CENTER  
MARYLAND WHOLESALE CENTER

AREA: MARYLAND WHOLESALE FOOD CENTER  
BLOCK B PARCEL B-1 TAX MAP NO. 43  
6TH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

TITLE: PLANTING PLAN

THE RIEMER GROUP, INC.  
The Riemer Group, Inc. - A Land Planning, Design & Civil Engineering Firm  
6559 Baltimore National Pike, Ellicott City, Maryland, 21043 301-461-2690

4/25/88 CHANGE SHEET NUMBER  
DATE NO. REVISION

APPROVED  
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE: 9-1-83

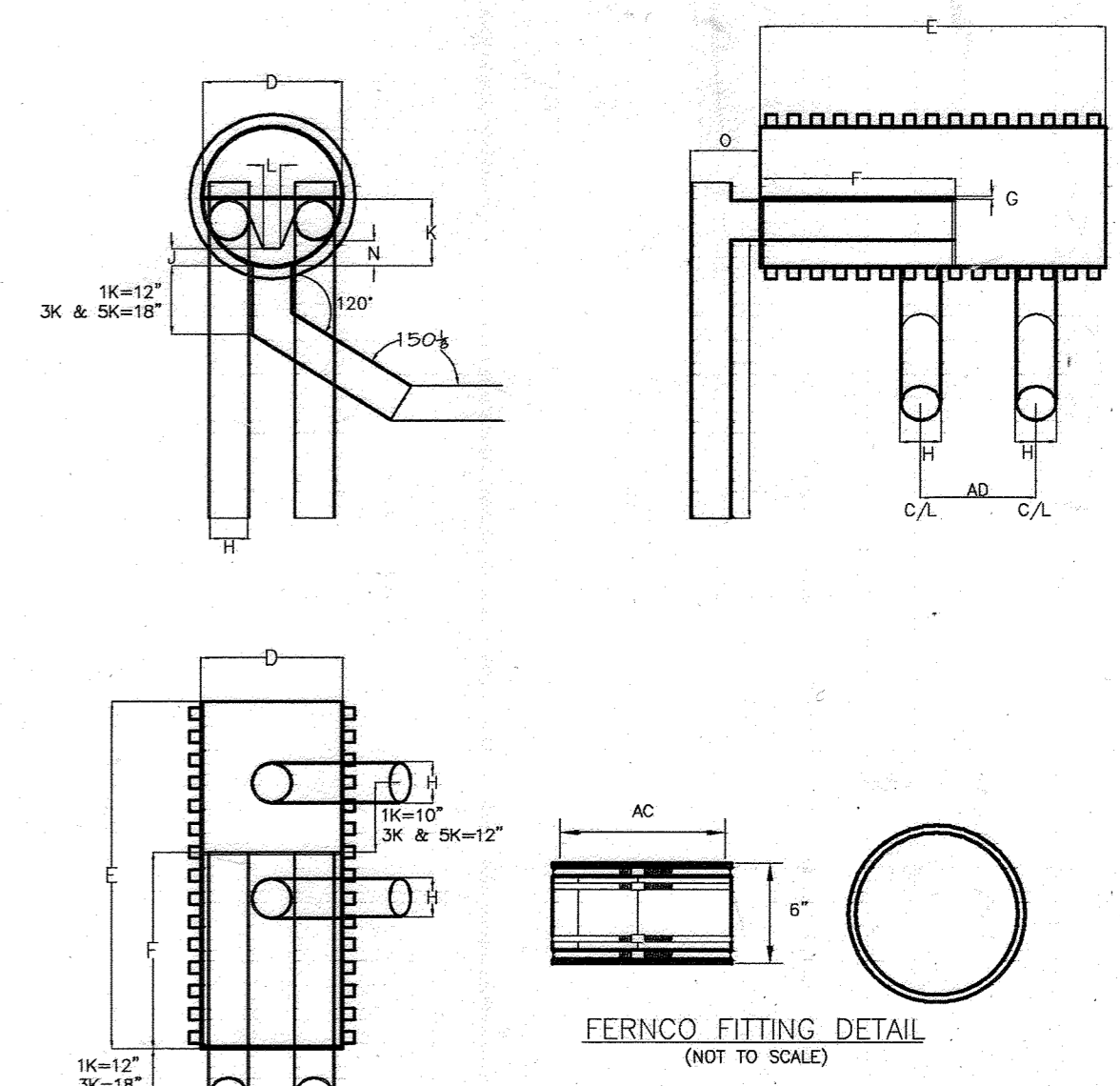
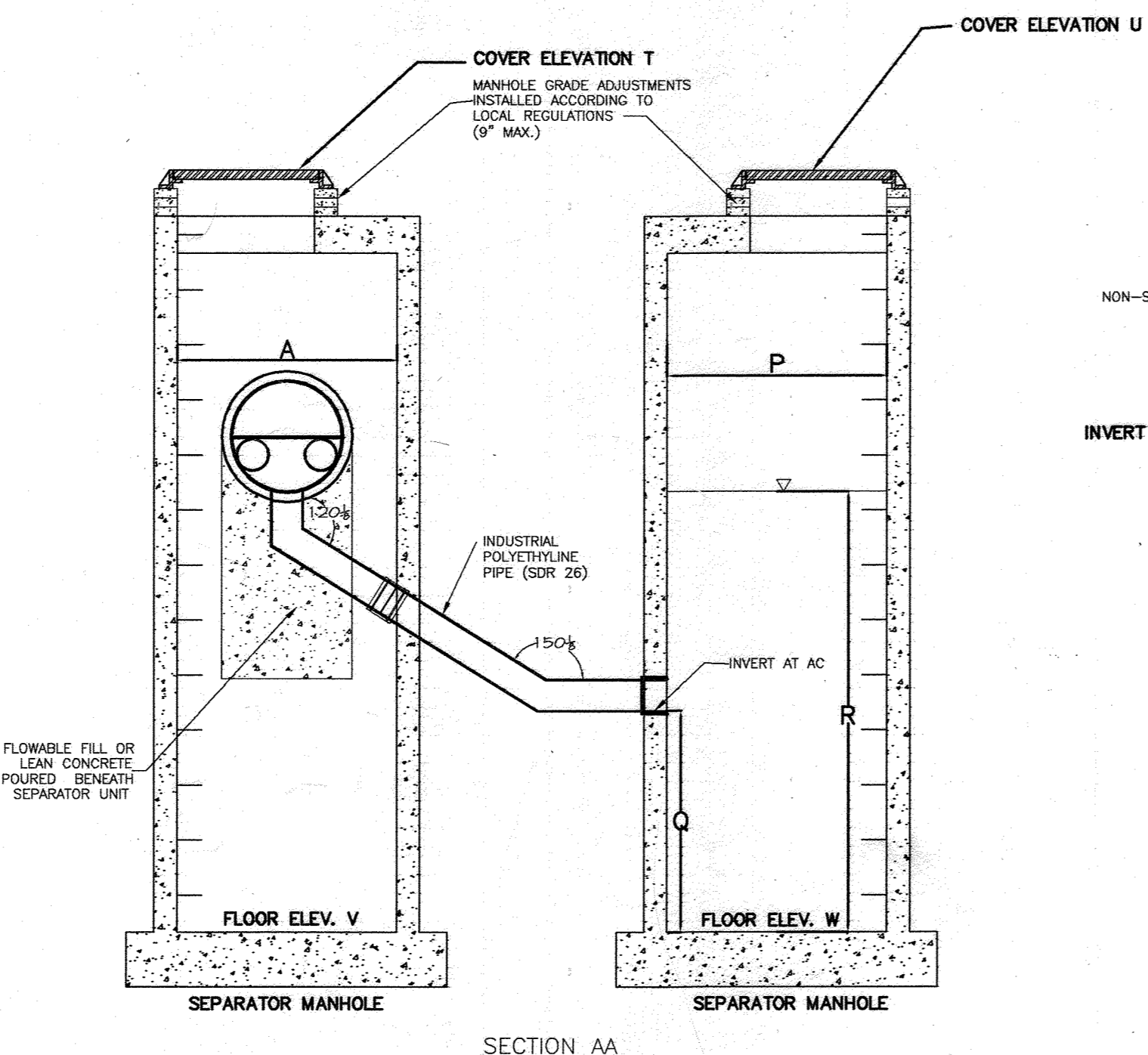
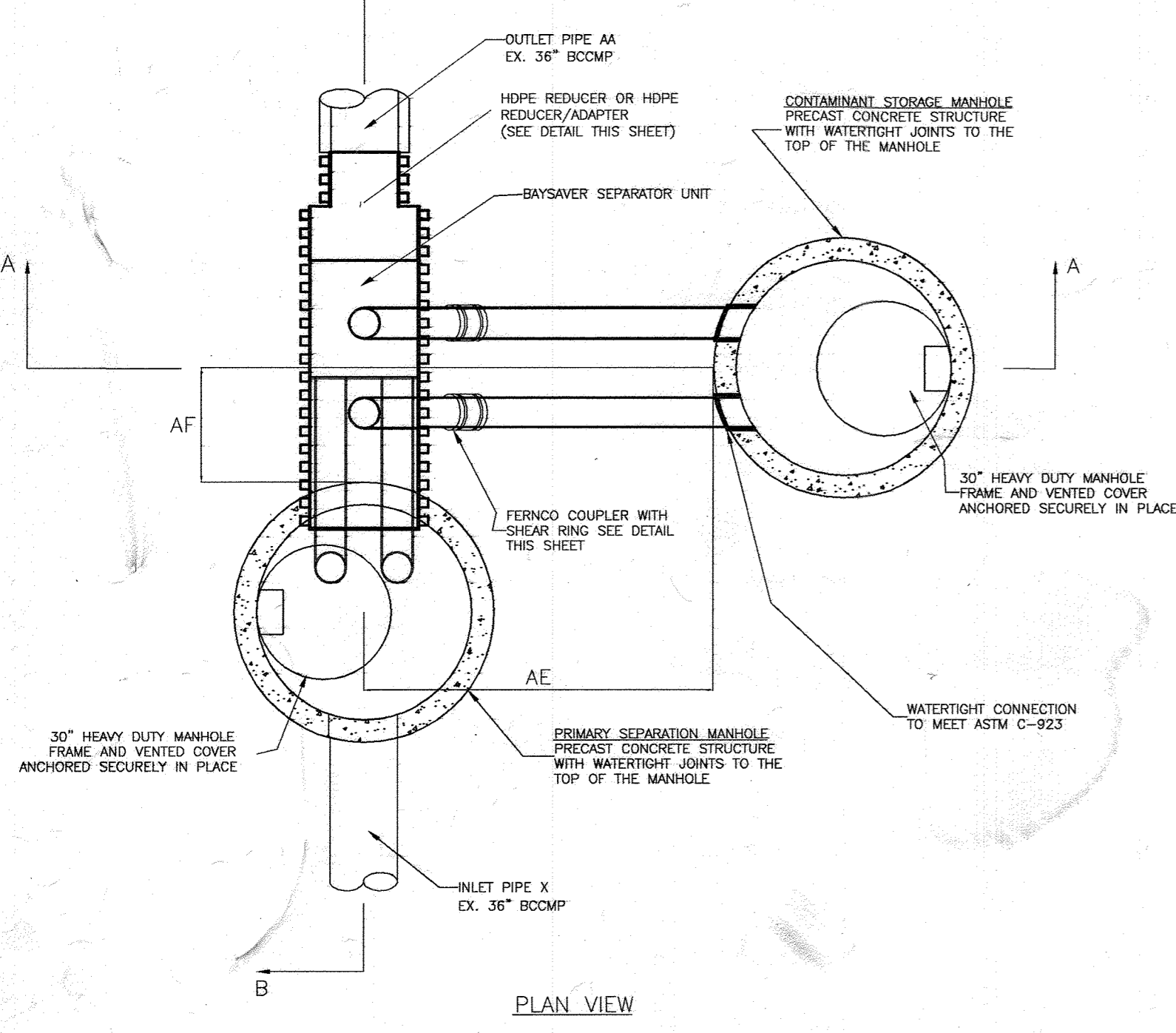
2-14-83 DATE

STATE OF MARYLAND  
MICHAEL B. RIEMER  
REGISTERED PROFESSIONAL LAND PLANNER  
NO. 201  
CAPS REGISTRY

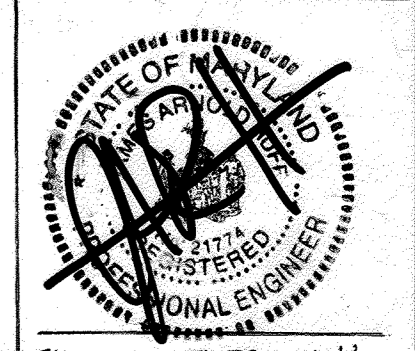
DESIGNED BY:  
DRAWN BY: D.A.M.  
PROJECT NO: 000400  
DATE: 3-16-83  
SCALE: 1"=50'  
DRAWING NO. 2 OF 22

NO AS-BUILT INFORMATION THIS SHEET.

SEE SHEETS 12+13 FOR REVISED PLAN, SCHEDULES, NOTES, & DETAILS, & FOR ROUTE 1 MANUAL IMPROVEMENTS.

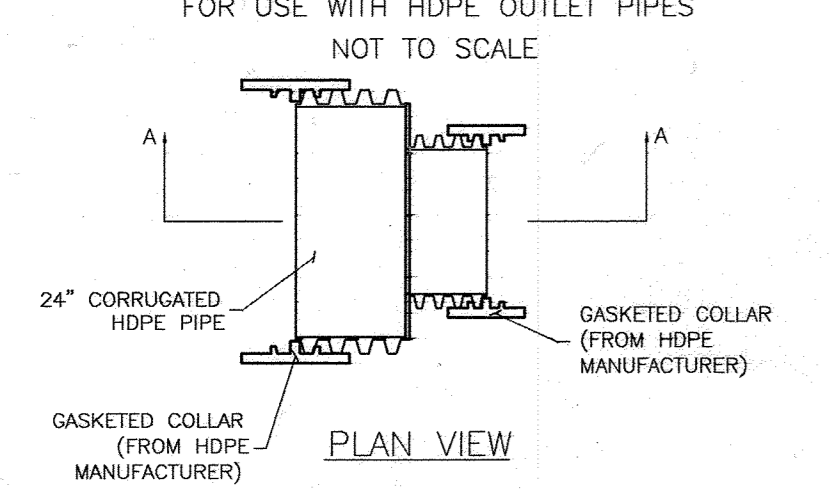


DISTANCE AC	FERNCO NO.	SHEAR RING
1K	1055-66	SR-27
3K	1056-1010	SR-39
5K	1004-1010	SR-44

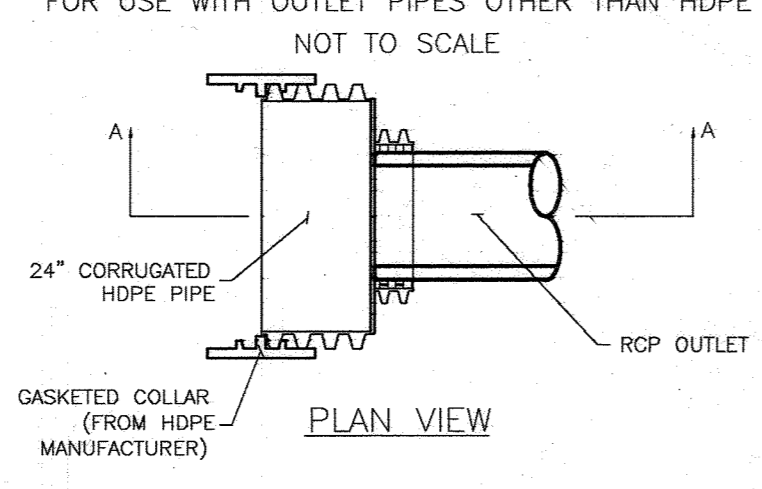


THIS SEAL APPLIES ONLY TO REVISIONS DATED: 10-3-11, 3-5-12

HDPE-HDPE REDUCER DETAIL



REDUCER/ADAPTER DETAIL



SEQUENCE OF CONSTRUCTION AND INSPECTOR'S CHECK-OFF LIST FOR DUAL MANHOLE SEPARATORS

STAGE (X = APPROVAL REQUIRED)	DEVELOPER'S/ENGINEER APPROVAL INITIALS	INSPECTOR INITIALS	DATE	DATE	DATE	DATE
1. PRE-CONSTRUCTION MEETING	X	X				
2. INSTALL MANHOLES AND ASSOCIATED STORM DRAINAGE						
A. OBTAIN APPROVAL OF SUBGRADE FROM GEOTECHNICAL ENGINEER (SUBGRADE TO HAVE A MINIMUM OF 95% COMPACTION)						X
B. INSTALLATION OF PRECAST BASE, LOWER TANK AND LOWER PIPING	X	X				
C. BACKFILL AND MIN. 95% COMPACTION AROUND LOWER TANK AND LOWER PIPING						X
D. INSTALLATION OF PRECAST MIDDLE SECTION(S) WITH SEPARATOR UNIT AND REMAINING PIPING	X	X				
E. INSTALLATION OF PRECAST TOP SLAB	X	X				
F. INSTALLATION OF ADJUSTMENT RINGS AND FRAME AND COVER	X	X				
G. INSTALLATION OF FLOWABLE FILL OR CONCRETE BACKFILL						X
3. BACKFILLING OPERATION AND COMPACTION						X
4. SITE IS PERMANENTLY STABILIZED; SEDIMENT CONTROL MEASURES REMOVED; AND ALL SEDIMENT AND DEBRIS REMOVED FROM DUAL MANHOLE SEPARATORS						X
5. FINAL INSPECTION						X

- GENERAL CONSTRUCTION NOTES
- ALL WORK MUST BE DONE WITH REGARD FOR THE SAFETY OF THE CONSTRUCTION CREW.
  - ALL WORK AND MATERIALS MUST COMPLY WITH APPLICABLE STATE AND LOCAL REGULATIONS.
  - KNOW THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES BEFORE EXCAVATION BEGINS.

NOTE: BAYSAVERS ARE TO BE INSTALLED WITH THE STORM DRAIN SYSTEM AND WILL FUNCTION AS SECONDARY SEDIMENT CONTROL DEVICES. UPON COMPLETION OF SITE STABILIZATION, EACH BAYSAYER SYSTEM SHALL BE FLUSHED CLEAN & THE MANHOLES CLEANED OUT AND REFILLED WITH CLEAN WATER.

NOTE: DIMENSIONAL SHOP DRAWINGS ARE TO BE APPROVED BY THE DESIGN ENGINEER

BAYSAYER MAINTENANCE

- REMOVE THE ENTIRE VOLUME OF THE CONTAMINATED WATER BY VACUUM TRUCK.
- CLEAN THE MANHOLE WALLS AND FLUSH OUT THE MANHOLE USING A HIGH PRESSURE HOSE AND REMOVE FLUSHING WATER BY VACUUM TRUCK. MAKE CERTAIN MANHOLE IS CLEAN.
- REMOVE THE SETTLED SEDIMENT AND REMAINING WATER BY VACUUM TRUCK.
- CLEAN THE MANHOLE WALLS AND FLUSH OUT THE MANHOLE USING A HIGH PRESSURE HOSE AND REMOVE FLUSHING WATER BY VACUUM TRUCK. MAKE CERTAIN MANHOLE IS CLEAN.
- CONTAMINATED MATERIAL REMOVED FROM THE MANHOLES MUST BE DISPOSED OF RESPONSIBLY AND LEGALLY BY THE OPERATOR OF THE VACUUM TRUCK.

BAYSAYER INSTALLATION INSTRUCTIONS

- EXCAVATION MUST PROVIDE ADEQUATE SPACE TO CONNECT INLET AND OUTLET PIPES TO SEPARATOR MANHOLE AND BAYSAYER UNIT. INSTALL PRECAST DROP STRUCTURES ON SOLID GROUND AS VERIFIED BY A GEOTECHNICAL ENGINEER.
- VERIFY THE SUBGRADE ELEVATION AGAINST THE MANHOLE DIMENSIONS AND CONNECTING STORM DRAIN INVERTS.
- MAKING SURE THE BASES ARE LEVEL AND THE STORAGE MANHOLE OPENINGS ARE ALIGNED WITH THE SEPARATOR LINE. INSTALL PRIMARY AND STORAGE MANHOLES. INSTALL RUBBER GASKETS ON BASE UNITS AND COAT WITH LUBRICATING GREASE. INSTALL ADDITIONAL MANHOLE SECTIONS AS REQUIRED. SEAL LIFT HOLES WITH NON-SHRINK GROUT.
- BACKFILL BASE SECTIONS OF MANHOLES TO INVERT OF STORAGE MANHOLE CONNECTING PIPES. USING APPROVED BACKFILL MATERIAL BACKFILL AND COMPACT IN 8 INCH LIFTS. BACKFILL AND COMPACTION SHOULD BE MONITORED BY A GEOTECHNICAL ENGINEER.
- INSTALL BAYSAYER SEPARATOR UNIT AND CONNECTING PIPES. SEAL ALL CONNECTING JOINTS AND INSTALL SEPARATOR UNIT STORM DRAIN JOINT GASKETS. CUT EXCESS LENGTH OFF CONNECTING PIPES INSIDE STORAGE MANHOLE.
- BACKFILL SEPARATOR UNIT AND MANHOLES - AREAS NOT ACCESSIBLE TO COMPACTION EQUIPMENT MUST BE BACKFILLED WITH LEAN CONCRETE OR FLOWABLE FILL.
- INSTALL AND SET MANHOLE COVER GRADE ADJUSTMENT RINGS AS NECESSARY.
- INSTALL AND SET MANHOLE FRAME AND COVER UNITS.

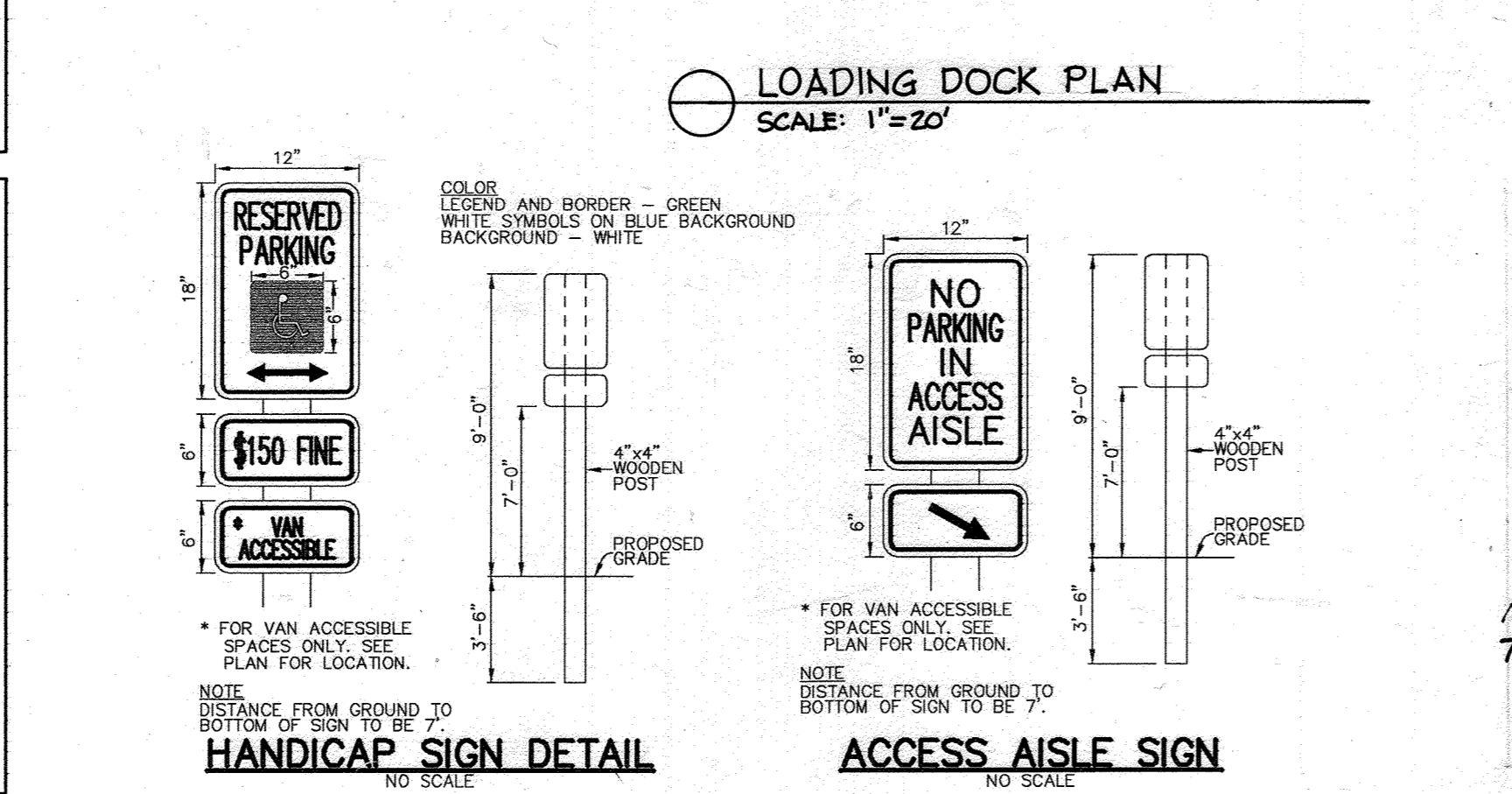
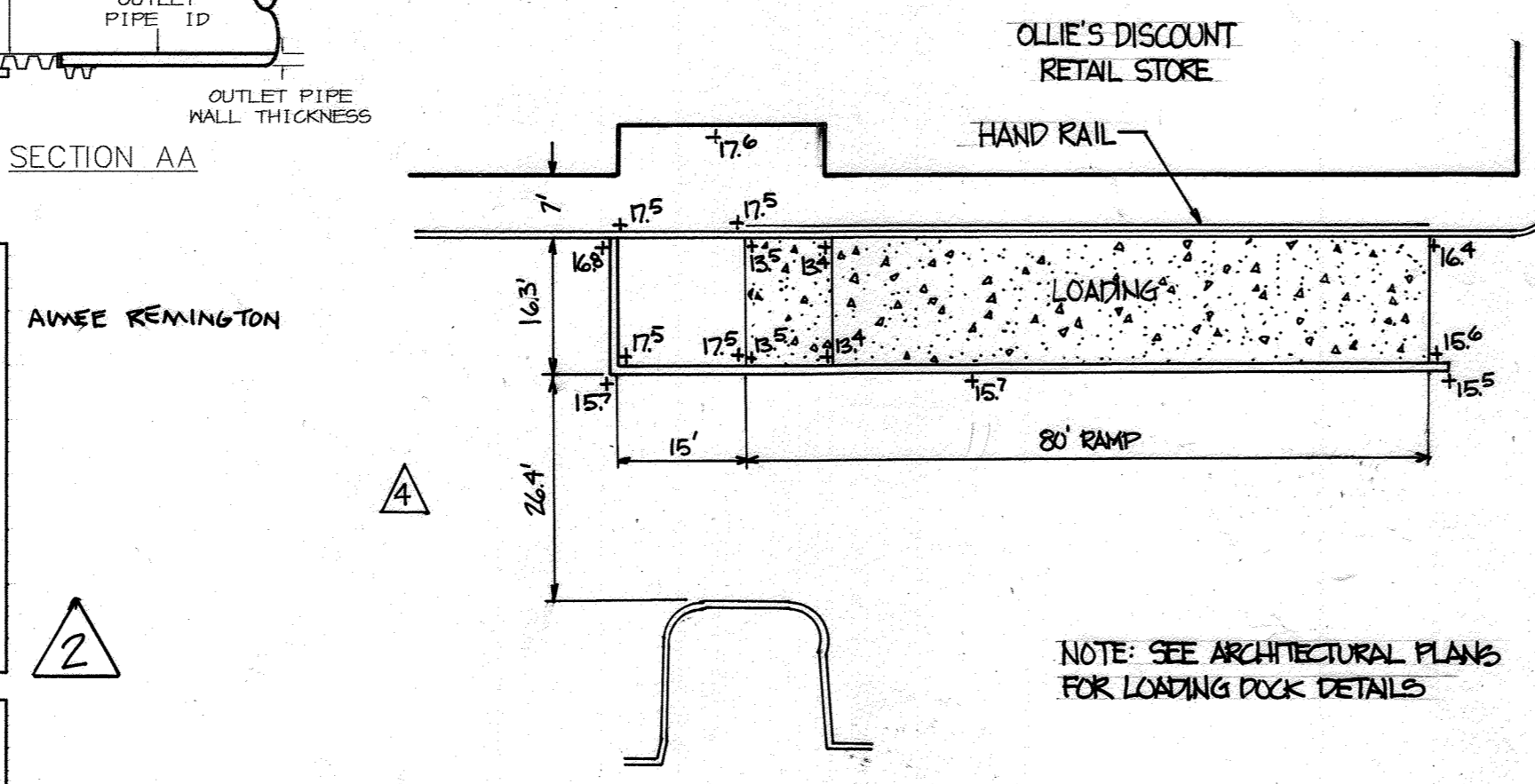
**EASTGATE SHOPPING CENTER**  
**MARYLAND WHOLESALE CENTER**  
 Project: 1351 ASSATEAGUE DRIVE, JESSUP, MD 20794  
 Designer: PHRIA  
 Contact: CHRIS REID  
 Phone: 410-497-8900  
 Fax: 410-497-4282

Delivery Date: \_\_\_\_\_  
 Owner: MARYLAND FOOD CENTER AUTHORITY  
 Contractor: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Contact: \_\_\_\_\_  
 Phone: \_\_\_\_\_  
 Fax: \_\_\_\_\_

Separator Unit Model:  
 1K   
 3K   
 5K

Manhole Specifications:  
 Primary Manhole Diameter: 60 inches  
 Storage Manhole Diameter: 60 inches  
 Floor Elevations:  
 WQ-1 Primary Manhole 200.50  
 WQ-1A Storage Manhole 200.50  
 Primary Manhole Inverts:  
 Separator Unit 208.50  
 Inlet Pipe(s) 208.60

Cover Elevations:  
 Primary Manhole 214.33  
 Storage Manhole 214.33



- OPERATION AND MAINTENANCE SCHEDULE FOR BAYSAYER UNITS
- BAYSAYER STRUCTURES WILL REQUIRE PERIODIC INSPECTION AND CLEANING TO MAINTAIN OPERATION AND FUNCTION. OWNERS WILL HAVE THE BAYSAYER UNIT INSPECTED YEARLY OR AS REQUIRED BY HOWARD COUNTY, UTILIZING THE BAYSAYER UNITS INSPECTION/MONITORING FORM. INSPECTIONS CAN BE DONE BY USING A CLEAR FLEXIGLAS TUBE ('SLUDGE JUDGE') TO EXTRACT A WATER COLUMN SAMPLE. WHEN SEDIMENT DEPTHS EXCEED THE SPECIFIED LEVEL (TABLE 6 OF TECHNICAL MANUAL), THEN CLEANING OF THE UNIT IS REQUIRED.
  - BAYSAYER STRUCTURES MUST BE CHECKED AND CLEANED IMMEDIATELY AFTER PETROLEUM SPILLS. CONTACT APPROPRIATE REGULATORY AGENCIES.
  - MAINTENANCE OF BAYSAYER UNITS SHOULD BE DONE BY A VACUUM TRUCK WHICH WILL REMOVE THE WATER, SEDIMENT, DEBRIS, FLOATING HYDROCARBONS, AND OTHER MATERIALS IN THE UNIT. THE PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIALS AND LIQUID MUST BE FOLLOWED.
  - INLET AND OUTLET PIPES MUST BE CHECKED FOR ANY OBSTRUCTIONS AND IF ANY OBSTRUCTIONS ARE FOUND THEY MUST BE REMOVED. STRUCTURAL PARTS OF THE BAYSAYER WILL BE REPAIRED AS NEEDED.
  - OWNER SHALL RETAIN AND MAKE BAYSAYER UNITS INSPECTION/MONITORING FORMS AVAILABLE TO HOWARD COUNTY OFFICIALS UPON THEIR REQUEST.

BAYSAYER SYSTEM DIMENSIONS

DESCRIPTION	1K SYSTEM	3K SYSTEM	5K SYSTEM
SEPARATOR MANHOLE DIMENSIONS			
A PRIMARY MANHOLE DIAMETER	48"	60"	96"
B MANHOLE DEPTH BELOW OUTLET	8' - 0"	8' - 0"	8' - 0"
C MINIMUM FLUID DEPTH	8' - 3"	8' - 4 1/2"	8' - 6"
STANDARD SEPARATOR UNIT DIMENSIONS			
D SEPARATOR UNIT ID	24"	36"	48"
E SEPARATOR UNIT LENGTH	60"	80.0"	78"
F BYPASS PLATE LENGTH	34"	45"	45"
G WEIR/BYPASS PLATE THICKNESS	3/4"	3/4"	3/4"
H ELBOW AND CONNECTING PIPE OD	7.125"	10.75"	12.75"
I ELBOW LENGTH	48"	48"	48"
J WEIR HEIGHT ABOVE INVERT	3"	4"	6"
K BYPASS PLATE HEIGHT ABOVE INVERT	12"	18"	24"
L WIDTH OF WEIR AT BASE	3"	4 1/2"	6"
M OUTLET PIPE DIAMETER	M	M	M
N ELBOW INVERT HEIGHT ABOVE INVERT	4 1/2"	7 1/2"	11"
O ELBOW PIPE OVERHANG	12"	18"	24"
STORAGE MANHOLE DIMENSIONS			
P STORAGE MANHOLE DIAMETER	48"	60"	96"
Q MANHOLE DEPTH BELOW INLET/OUTLET	48"	48"	48"
R FLUID DEPTH	8' - 0"	8' - 3"	8' - 6"
S TOTAL STORAGE VOLUME	200 CF	398 CF	1000 CF
SYSTEM DIMENSIONS AND ELEVATIONS			
T SEPARATOR MANHOLE COVER ELEVATION	T	T	T
U STORAGE MANHOLE COVER ELEVATION	U	U	U
V SEPARATOR MANHOLE FLOOR ELEVATION	V	V	V
W STORAGE MANHOLE FLOOR ELEVATION	W	W	W
X INLET PIPE ID AND MATERIAL	X1	X2	X2
Y INLET PIPE INVERT	Y1	Y1	Y1
Z SEPARATOR UNIT INVERT	Z	Z	Z
AA OUTLET PIPE ID AND MATERIAL	AA	AA	AA
AB ELBOW INVERT ELEVATION	AB	AB	AB
AC CONNECTING PIPE INVERT ELEVATION	AC	AC	AC
AD CONNECTION PIPE SPACING	20"	24"	24"
AE STORAGE MANHOLE SIDE OFFSET	72 ± 6"	72 ± 6"	72 ± 6"
AF STORAGE MANHOLE DOWNSTREAM OFFSET	23"	31"	25"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.  
 Director: \_\_\_\_\_ DATE: 6/2/15  
 Chief, Development Engineering Division: MK DATE: 4/2/15  
 Chief, Division of Land Development: \_\_\_\_\_ DATE: 6/2/15

7-23-05 2 REVISOR BAYSAYER INFORMATION CHANGED SHEET #  
 1/24/05 A1 ADDED SHEET

DATE: 10/3/11 REVISION: 3-5-12

OWNER / DEVELOPER: MARYLAND FOOD CENTER AUTHORITY, 201 WEST FRESTON STREET, BALTIMORE, MARYLAND 21201

ATLANTIC REALTY COMPANIES, 8150 LEESBORO PIKE, SUITE 1100, VIENNA, VIRGINIA 22182, 703-760-9500

PROJECT: EASTGATE SHOPPING CENTER MARYLAND WHOLESALE CENTER

AREA: MARYLAND WHOLESALE FOOD CENTER, BLOCK 83 PARCEL B-1 TAX MAP 43, 6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE: BAYSAYER DETAILS

Patton Harris Rust & Associates, pc  
 Engineers, Surveyors, Planners, Landscape Architects.  
 8818 Centre Park Drive, Columbia, MD 21045  
 T 410.997.8900  
 F 410.997.9282

DATE: 5/19/05

DESIGNED BY: C.J.R.  
 DRAWN BY: DAM  
 PROJECT NO: 13227-1-0 C-DETAILS3  
 DATE: JANUARY 24, 2005  
 SCALE: AS SHOWN  
 DRAWING NO. 10 OF 22

This order can be faxed to Bay Saver, Inc. at (301) 829-3747



**LEGEND**

- PROPERTY LINE
- PROP. BUILDING
- EX. TREES
- EX. TREE TO BE REMOVED
- PROP. SHADE TREE
- STREET TREE PLANTINGS
- PARKING LOT LANDSCAPE REQUIREMENT
- CREDITED LANDSCAPE ISLAND

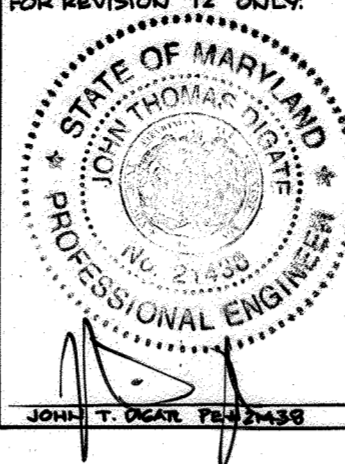
**SCHEDULE B - PARKING LOT INTERNAL LANDSCAPING**

PARKING LOT	1
NUMBER OF PARKING SPACES	806
NUMBER OF SHADE TREES REQUIRED (1/20 SPACES)	41
NUMBER OF TREES PROVIDED	30
SHADE TREES	
OTHER TREES (2:1 SUBSTITUTION)	
NUMBER OF ISLANDS PROVIDED	43

**PLANT SCHEDULE**

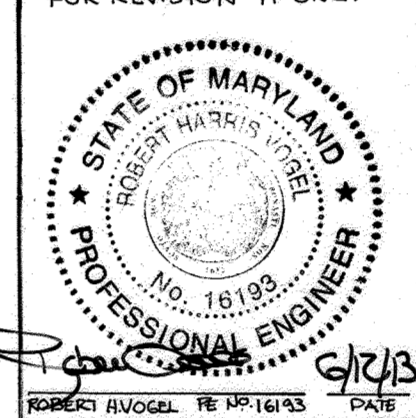
SYMBOL	QTY.	SCIENTIFIC/COMMON NAME	SIZE	ROOT	REMARKS
PA	20	PLATANUS X ACERIFOLIA 'BLOODGOOD'	2.5-3" CAL.	B&B	PLANT AS SHOWN
OP	22	BLOODGOOD LONDON PLANETREE	2.5-3" CAL.	B&B	PLANT AS SHOWN
AR	10	QUERCUS PHellos	2.5-3" CAL.	B&B	PLANT AS SHOWN
PS	6	WILLOW OAK	2.5-3" CAL.	B&B	PLANT AS SHOWN
TD	10	ACER FRAXINUM AUTUMN FLAME	2.5-3" CAL.	B&B	PLANT AS SHOWN
		PRUNUS STROBUS	6"-8" TALL	B&B	PLANT AS SHOWN
		WHITE PINE	2 1/2" - 3" HT	B&B	PLANT AS SHOWN

- GENERAL NOTES:**
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
  - FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$14,550.  
47 SHADE TREES @ \$300 = \$14,100.00  
0 ORNAMENTAL TREES @ \$150 = \$0  
3 EVERGREEN TREES @ \$150 = \$450  
0 SHRUBS @ \$30 = \$0
  - THIS PLAN IS FOR LANDSCAPING PURPOSES ONLY.
  - CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
  - ALL MATERIAL SELECTED SHALL BE EQUAL TO OR BETTER THAN THE REQUIREMENTS OF THE "USA STANDARD FOR NURSERY STOCK", LATEST EDITION, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
  - ALL MATERIAL SHALL BE PLANTED IN ACCORDANCE WITH THE MINIMUM STANDARDS CITED IN THE LATEST EDITION OF "LANDSCAPE SPECIFICATION GUIDELINES" PUBLISHED BY THE LANDSCAPE CONTRACTORS ASSOCIATION.
  - AT THE TIME OF INSTALLATION, ALL SHRUBS AND OTHER PLANTINGS SHALL BE OF THE PROPER HEIGHT AND/OR SPREAD REQUIREMENTS IN ACCORDANCE WITH THIS PLAN AND THE HOWARD COUNTY LANDSCAPE MANUAL.
  - NO SUBSTITUTIONS OR RELOCATION OF PLANTS MAY BE MADE WITHOUT PRIOR APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING OF HOWARD COUNTY. ANY DEVIATION FROM THIS LANDSCAPE PLAN MAY RESULT IN A REQUIREMENT FOR SUBMITTAL OF AN OFFICIAL "REDLINE REVISION" TO THE SITE DEVELOPMENT PLAN(S) AND/OR DENIAL IN THE RELEASE OF LANDSCAPE SURETY.
  - THIS PLAN IS A REDLINE REVISION OF A PREVIOUSLY APPROVED SDP AND REDLINE REVISION (SDP-83-144). NO CHANGES ARE PROPOSED TO THE PERIMETER LANDSCAPING, OTHER THAN THE DUMPSTER SCREENING WHICH HAS BEEN ADDED. THE ONLY CHANGES ARE TO THE PARKING LOT LANDSCAPING.
  - AS PART OF THE ROUTE 1 CORRIDOR IMPROVEMENTS STREET TREE PLANTING IS PROPOSED ALONG ROUTES 1 AND 175 AS SHOWN ON THIS PLAN. EIGHTEEN (18) LONDON PLANETREES ARE PROPOSED TO SUPPLEMENT THE EXISTING STREET TREES.
  - SHEET SHEET 9 AND 13 FOR ADDITIONAL LANDSCAPING NOTES AND DETAILS.



**SCHEDULE A - PERIMETER LANDSCAPE EDGE**

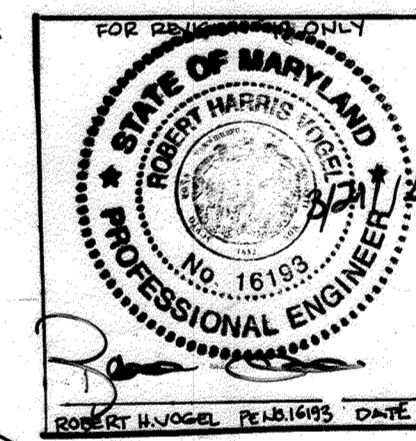
PERIMETER	ADJACENT TO PERIMETER PROPERTIES		DUMPSTER
	1	2	
LANDSCAPE TYPE	C	A	C
LINEAR FEET OF ROADWAY FRONTAGE/ PERIMETER	±60'	218'	52'
CREDIT FOR EXISTING VEGETATION (YES/NO/ LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	YES 1 SHADE	NO
CREDIT FOR MALL, FENCE, BERM OR DRIVE AISLE (YES/NO/ LINEAR FEET)	NO	NO	NO
LINEAR FEET REMAINING	±60'	218'	52'
NUMBER OF PLANTS REQUIRED			
SHADE TREES	1	1:60'-3"	1:40'-2"
EVERGREEN TREES	3	1:20'-3"	1:20'-3"
SHRUBS	1	1:20'-3"	1:20'-3"
NUMBER OF PLANTS PROVIDED			
SHADE TREES	1	3	3
EVERGREEN TREES	3	3	3
SHRUBS	1	3	3



**DEVELOPER'S/BUILDER'S CERTIFICATE:**

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

SIGNATURE: *[Signature]* DATE: 9/8/05



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DIRECTOR: *[Signature]* DATE: 9/20/05

CHIEF, DEVELOPMENT ENGINEERING DIVISION MK: *[Signature]* DATE: 9/20/05

CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* DATE: 9/20/05

8/30/05 ADD SHEET

1/2/08 REVISE BUILDING B AND PARKING

OWNER: EASTGATE, LLC  
8130 LEESBURG PIKE, SUITE 1100  
VIENNA, VA 22182

DEVELOPER: ATLANTIC REALTY COMPANIES  
ATTN: CHRIS FENCEL  
8150 LEESBURG PIKE, SUITE 1100  
VIENNA, VA 22182

PROJECT: EASTGATE SHOPPING CENTER

AREA: MARYLAND WHOLESALE FOOD CENTER  
BLOCK B PARCEL B-1 TAX MAP 43  
8TH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

TITLE: LANDSCAPE PLAN

Patton Harris Rust & Associates, pc  
Engineers, Surveyors, Planners, Landscape Architects.  
8818 Centre Park Drive  
Columbia, MD 21045  
T 410.997.8900  
F 410.997.9282

DESIGNED BY: ALC

DRAWN BY: ALC

PROJECT NO.: 13227-1-0

DATE: AUGUST 30, 2005

SCALE: 1" = 50'

DRAWING NO. 12 OF 22

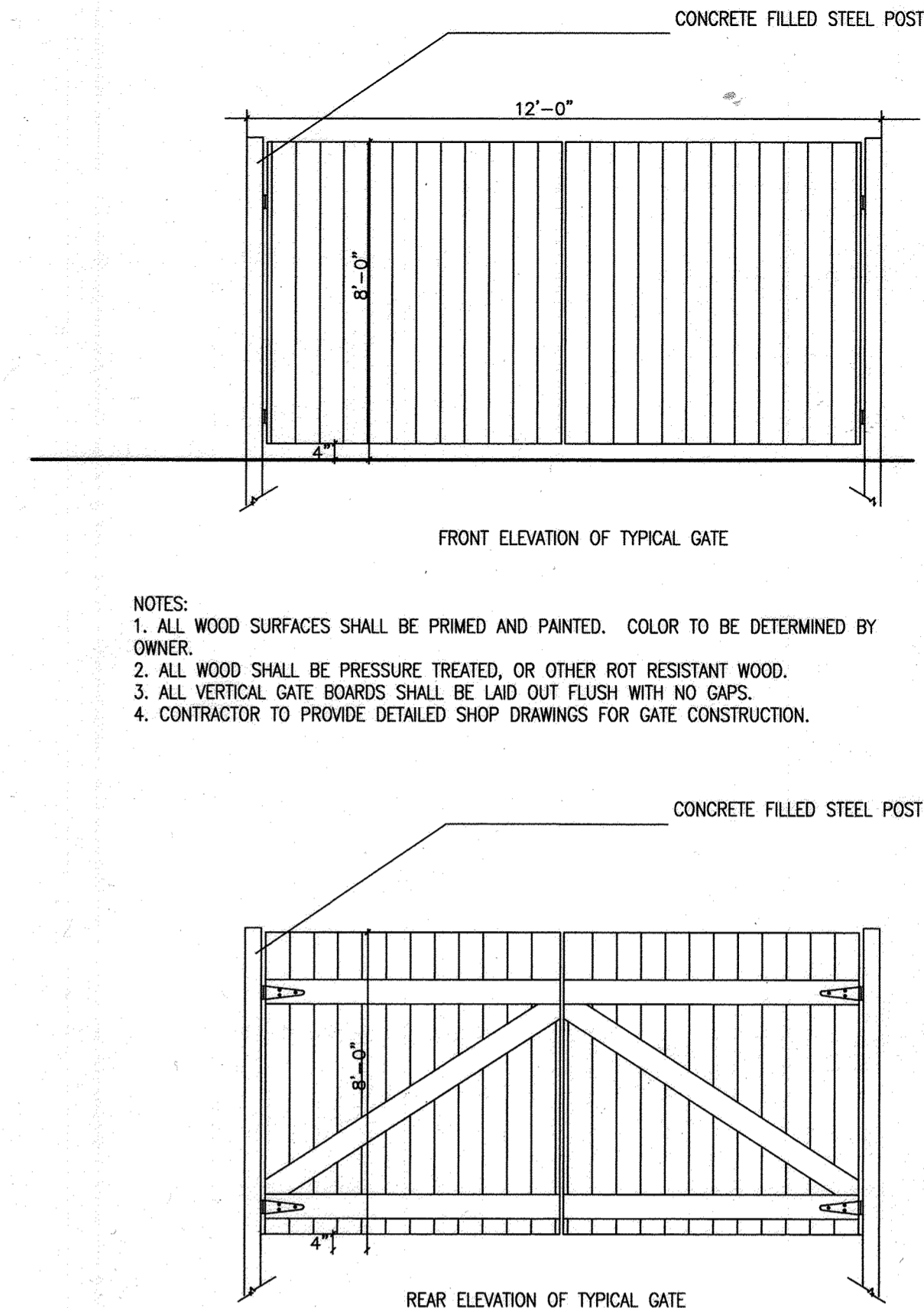
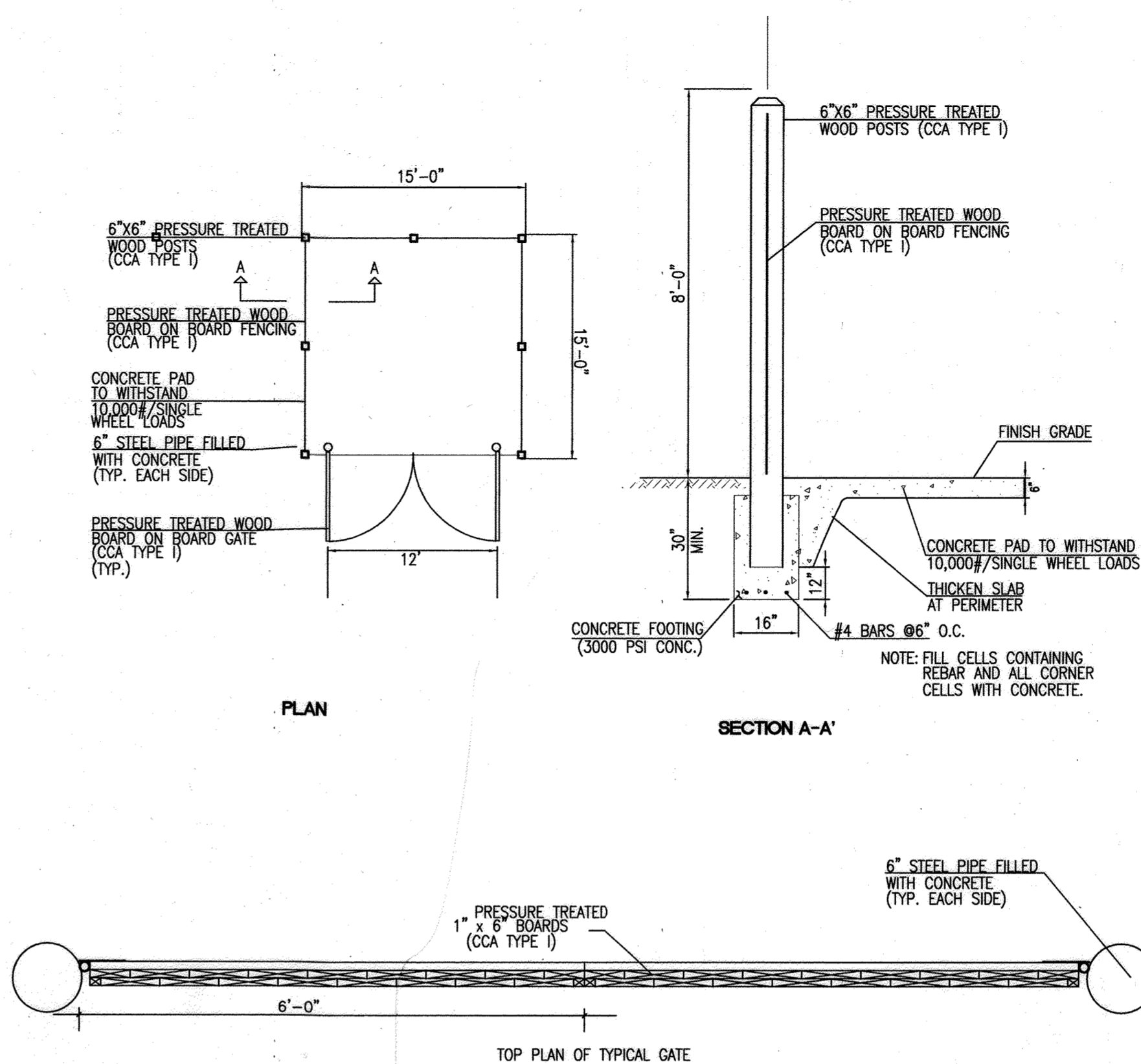
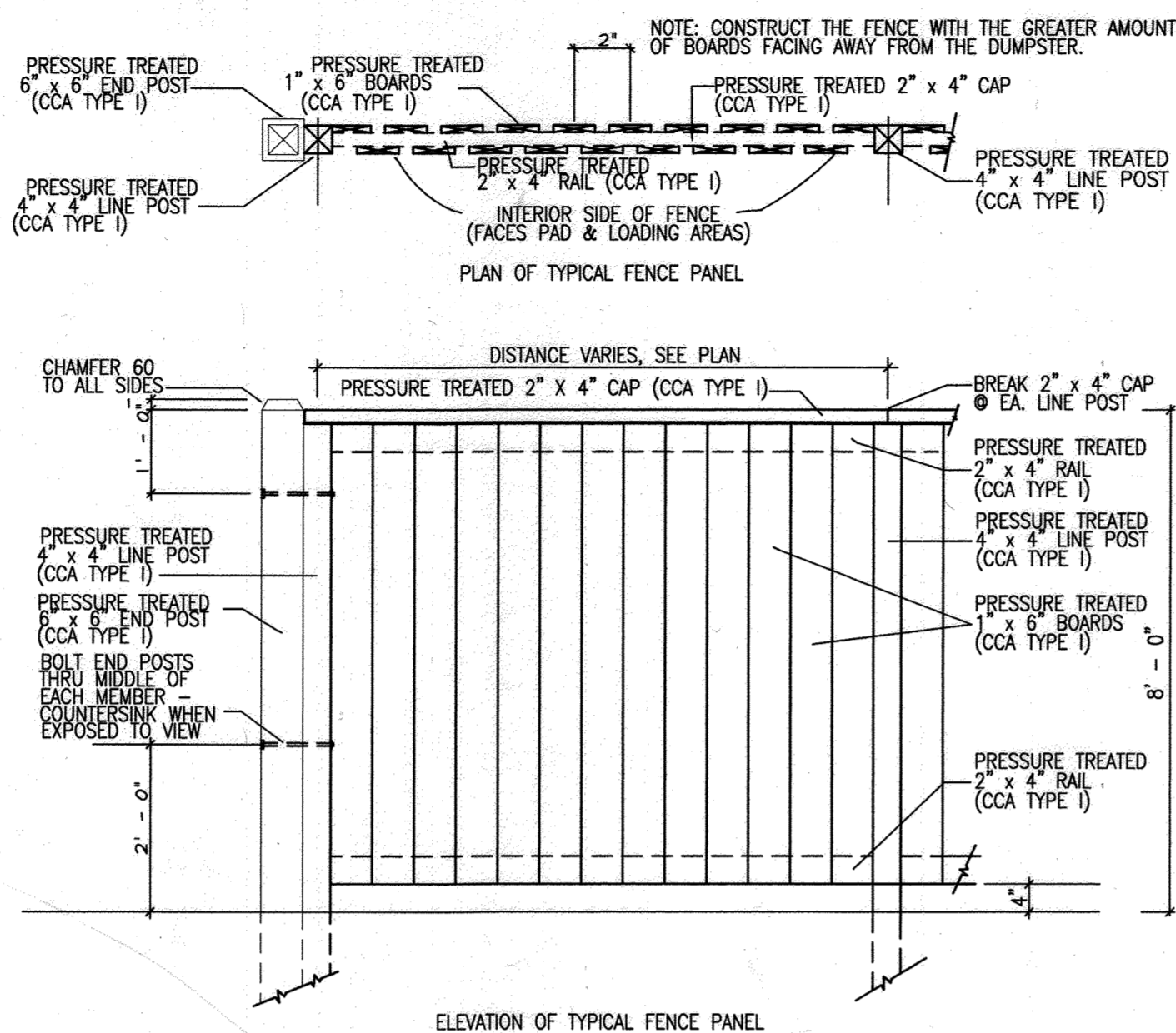
REVISIONS

DATE	NO.	DESCRIPTION
8/20/05	1	CHANGE SHEET NUMBER
8/20/05	2	CHANGE SHEET NUMBER
8/20/05	3	ADD A BUILDING WALL, TIERED RETAINMENT WALL AND RELOCATED PARKING
8/20/05	4	REVISED FOR SHOP BUILDING
8/20/05	5	AMEND THE PARKING FOR BUILDING B

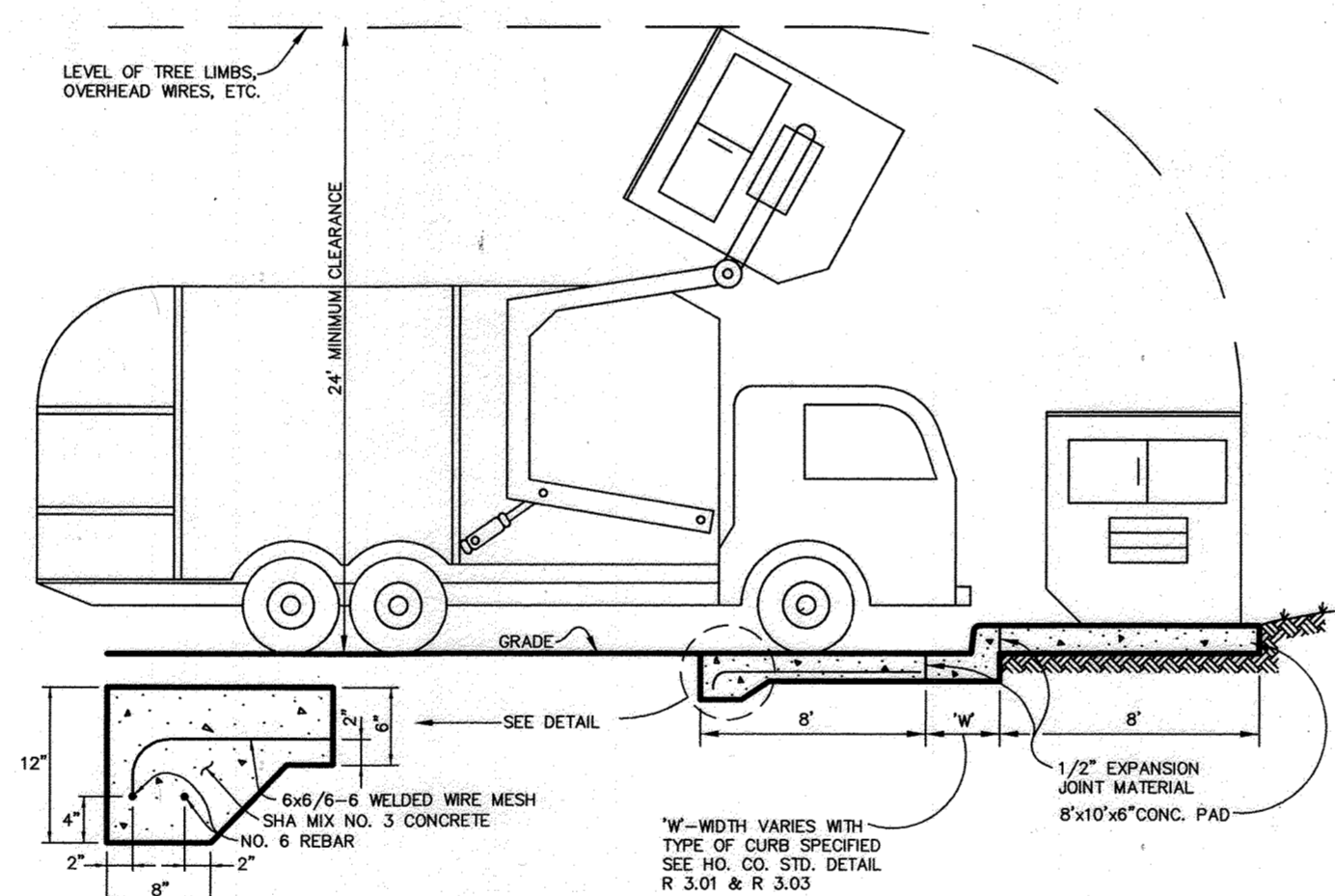
NO AS-BUILT INFORMATION THIS SHEET.

**PLANTING SPECIFICATIONS**

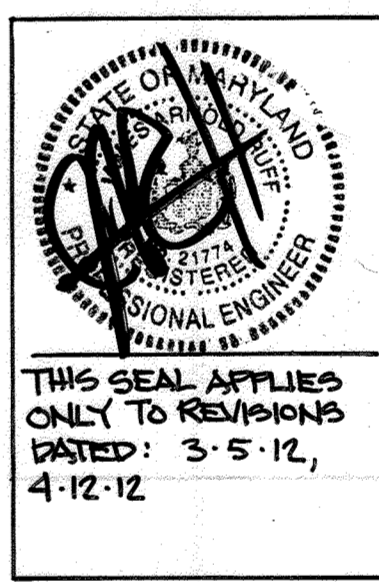
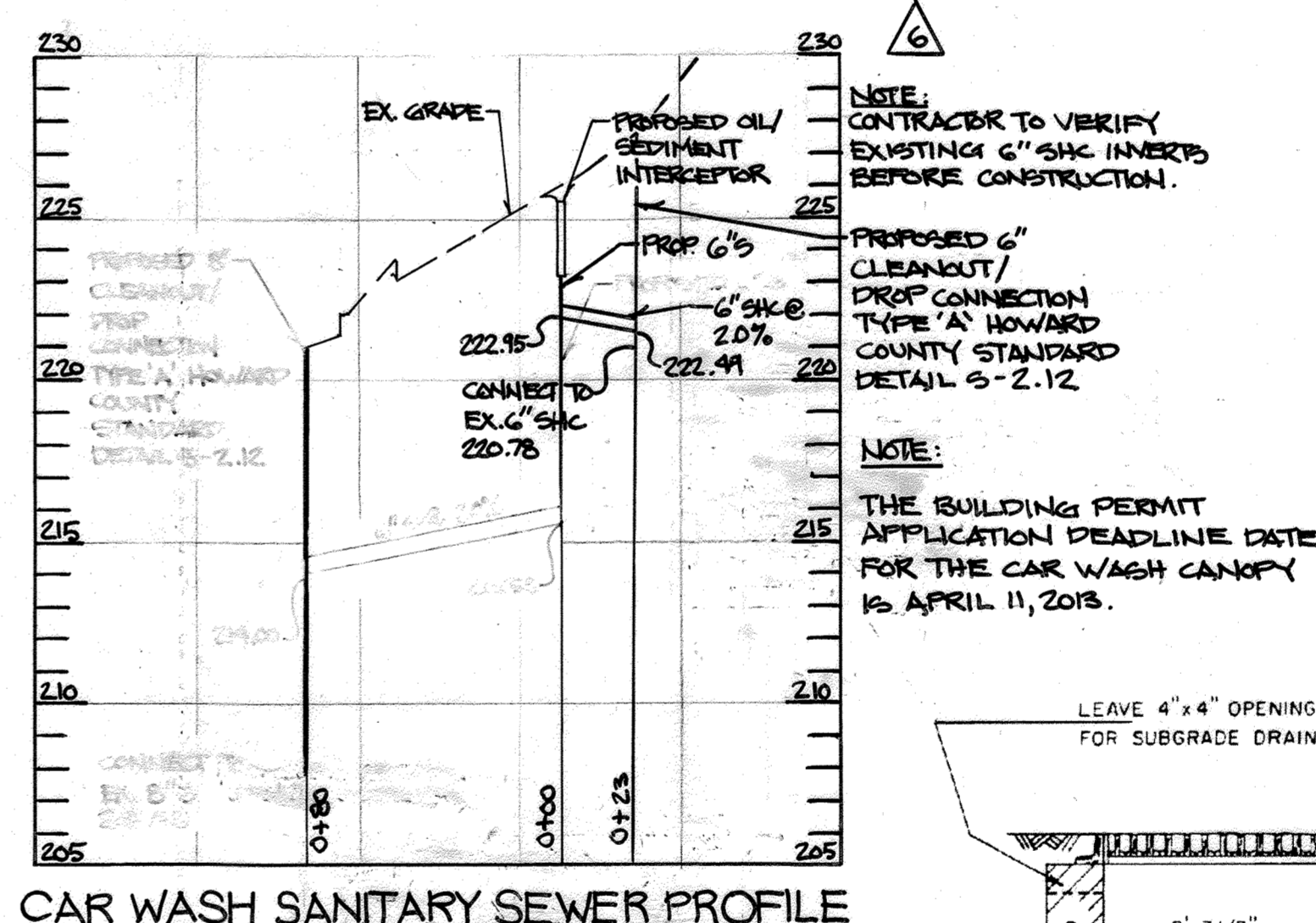
- Plants, related material, and operations shall meet the detailed description, as given on the plans and as described herein. Where discrepancies exist between Standards & Guidelines referenced within these specifications and the Landscape Manual of the applicable jurisdiction, the latter takes precedence.
- All plant material, unless otherwise specified, that is not nursery grown, uniformly branched, does not have a vigorous root system, and does not conform to the most recent edition of the American Association of Nurserymen (AAN) Standards will be rejected. Plant material that is not healthy, vigorous, free from defects, decay, disfiguring roots, sunscald injuries, abrasions of the bark, plant disease, insect pest eggs, borers and all forms of insect infestations or objectionable disfigurements will be rejected. Plant material that is weak or which has been cut back from larger grades to meet specified requirements will be rejected. Trees with forked leaders will be rejected. All B & B plants shall be freshly dug; no healed-in plants or plants from cold storage will be accepted.
- Unless otherwise specified, all general conditions, planting operations, details and planting specifications shall conform to the most recent edition of the "Landscape Specification Guidelines by the Landscape Contractors Association of MD, DC, & VA", (hereinafter "Landscape Guidelines") approved by the Landscape Contractors Association of Metropolitan Washington and the Potomac Chapter of the American Society of Landscape Architects.
- Contractor shall guarantee all plant material for a period of one year after date of acceptance in accordance with the appropriate section on the Landscape Guidelines. Contractor's attention is directed to the maintenance requirements found within the one year specifications including watering and replacement of specified plant material.
- Contractor shall be responsible for notifying all relevant and appropriate utility companies, utility contractors, and "Miss Utility" a minimum of 48 hours prior to the beginning of any work. Contractor may make minor adjustments in spacing and location of plant material to avoid conflicts with utilities. Major changes will require the approval of the landscape architect. Damage to existing structure and utilities shall be repaired at the expense of the Contractor.
- Protection of existing vegetation to remain shall be accomplished via the temporary installation of 4 foot high snow fence at the drip line, see detail.
- Contractor is responsible for installing all material in the proper planting season for each plant type. All planting is to be completed within growing season of completion of site construction. Do not plant Pinus strobus or Xcupressocyparis leylandii between November 15 and March 15. Landscape plants are not to be installed before site is graded to final grade.
- Contractor to regrade, fine grade, sod, hydroseed and straw mulch all areas disturbed by their work.
- Bid shall be based on actual site conditions. No extra payment shall be made for work arising from actual site conditions differing from those indicated on drawings and specifications.
- Plant quantities are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on plan and those shown on the plant list, the quantities on the plan take precedence. Where discrepancies on the plan exist between the symbols and the callout leader, the number of symbols take precedence.
- All shrubs and groundcover areas shall be planted in continuous planting beds, prepared as specified, unless otherwise indicated on plans. (See Specification 13). Beds to be mulched with minimum 2" and maximum 3" of composted, double-shredded hardwood mulch throughout.
- Positive drainage shall be maintained on planting beds (minimum 2 percent slope).
- Bed preparation shall be as follows: Till into a minimum depth of 6" 1 yard of Compro or Leafgro per 200 SF of planting bed, and 1 yard of topsoil per 100 SF of bed. Add 3 lbs of standard 5-10-5 fertilizer per cubic yard of planting mix and till. Ericaceous plants (Azaleas, Rhododendrons, etc.): top dress after planting with iron sulfate or comparable product according to package directions. Taxus baccata 'Repandens' (English weeping yews): Top dress after planting with 1/4 to 1/2 cup lime each.
- Planting mix: For trees not in a prepared bed, mix 50% Compro or Leafgro with 50% soil from tree hole to use as backfill, see tree planting detail.
- Weed & insect control: Incorporate a pre-emergent herbicide into the planting bed following recommended rates on the label. For tree planting, apply a pre-emergent on top of soil and root ball before mulching. Caution: For areas to be planted with a ground cover, be sure to carefully check the chemical used to assure its adaptability to the specific groundcover to be treated. Maintain the mulch weed-free for the extent of the warranty period. Under no circumstances is a pesticide containing chlorpyrifos to be used as a means of pest control.
- Water: All plant material planted shall be watered thoroughly the day of planting. All plant material not yet planted shall be properly protected from drying out until planted. At a minimum, water unplanted plant material daily and as necessary to avoid desiccation.
- Pruning: Do not heavily prune trees and shrubs at planting. Prune only broken, dead, or diseased branches.
- All areas within contract limits disturbed during or prior to construction not designated to receive plants and mulch shall be fine graded, grass seed planted, and covered with straw mulch.



- NOTES:
- ALL WOOD SURFACES SHALL BE PRIMED AND PAINTED. COLOR TO BE DETERMINED BY OWNER.
  - ALL WOOD SHALL BE PRESSURE TREATED, OR OTHER ROT RESISTANT WOOD.
  - ALL VERTICAL GATE BOARDS SHALL BE LAID OUT WITH NO GAPS.
  - CONTRACTOR TO PROVIDE DETAILED SHOP DRAWINGS FOR GATE CONSTRUCTION.



**DUMPSTER ENCLOSURE DETAILS**



DATE	NO.	REVISION
4/25/16	16	CHANGE SHEET NUMBER
6/6/16	17	CHANGE SHEET NUMBER
4-12-12	6	REVISE SEWER PROFILE
3-5-12	5	ADD SEWER PROFILE & REMOVE INLET DETAIL

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

*Mark DeLay* 9/20/15  
DIRECTOR DATE

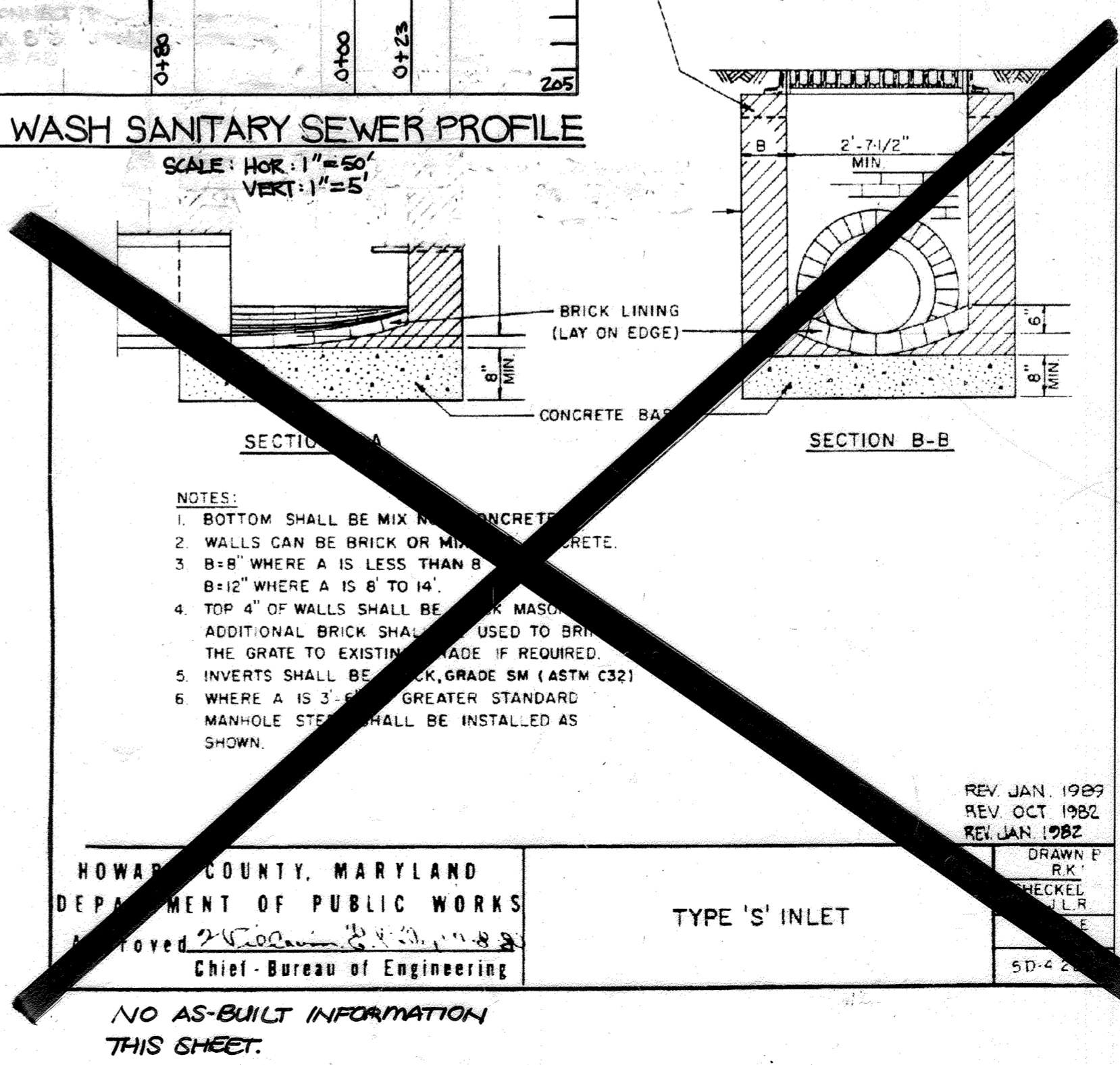
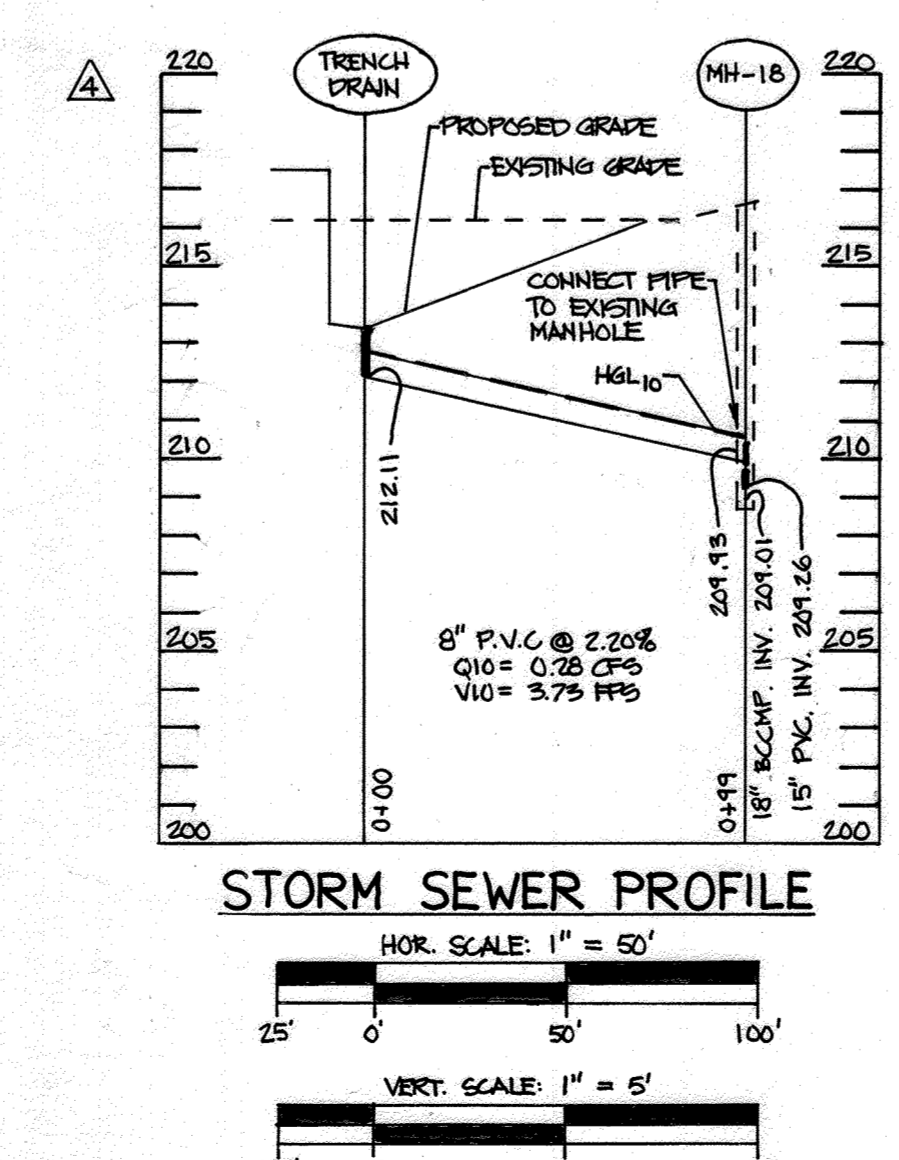
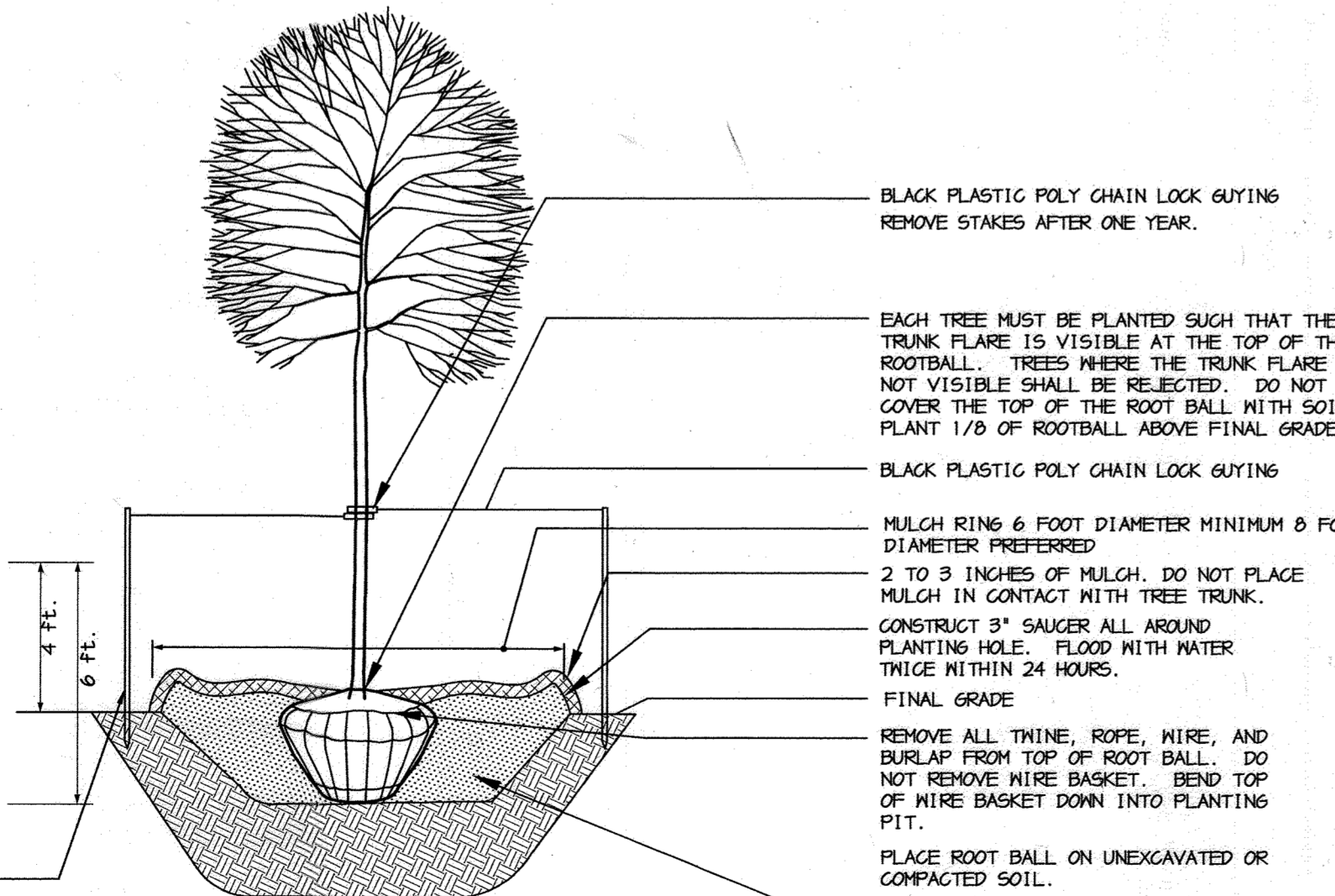
*Mike Reardon* 9/20/15  
CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

*Cindy Hamlin* 9/20/15  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

11/14/08 4 ADDED LOADING DOCK & STORM DRAIN

8/30/05 1 ADD SHEET

- NOTES:
- DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR THIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
  - STAKE TREES AS SHOWN.
  - DIG PLANTING PIT TWICE AS WIDE AS THE DIAMETER OF THE TOP OF THE ROOT BALL WITH A MINIMUM PLANTING PIT DIAMETER OF 9".
  - TIGHTEN GUYS ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. GUYS SHALL BE LONG ENOUGH TO ACCOMMODATE 1.5 IN. OF GROWTH AND BUFFER ALL BRANCHES.
  - TUCK ANY LOOSE ENDS OF THE GUY SO THAT NO LOOSE ENDS ARE EXPOSED.



NOTES:

- BOTTOM SHALL BE MIX IN CONCRETE.
- WALLS CAN BE BRICK OR MIX IN CONCRETE.
- B=8" WHERE A IS LESS THAN 8"  
B=12" WHERE A IS 8" TO 14"
- TOP 4" OF WALLS SHALL BE BRICK MASONRY. ADDITIONAL BRICK SHALL BE USED TO BRING THE GRATE TO EXISTING GRADE IF REQUIRED.
- INVERTS SHALL BE CHECK GRADE SM (ASTM C32)
- WHERE A IS 3" OR GREATER STANDARD MANHOLE STEPS SHALL BE INSTALLED AS SHOWN.

HOWARD COUNTY, MARYLAND  
DEPARTMENT OF PUBLIC WORKS  
Approved: *[Signature]*  
Chief - Bureau of Engineering

REV JAN 1989  
REV OCT 1982  
REV JAN 1982

DESIGNED BY: ALC/JSN  
DRAWN BY: ALC  
PROJECT NO: 13227-1-0  
DATE: AUGUST 30, 2005  
SCALE: 1" = 50"  
DRAWING NO. 13 OF 22

OWNER: EASTGATE, LLC  
8130 LEESBURG PIKE, SUITE 1100  
VIENNA, VA 22182

DEVELOPER: ATLANTIC REALTY COMPANIES  
8150 LEESBURG PIKE, SUITE 1100  
VIENNA, VA 22182

PROJECT: EASTGATE SHOPPING CENTER

AREA: MARYLAND WHOLESALE FOOD CENTER  
BLOCK B PARCEL B-1 TAX MAP 43  
6TH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

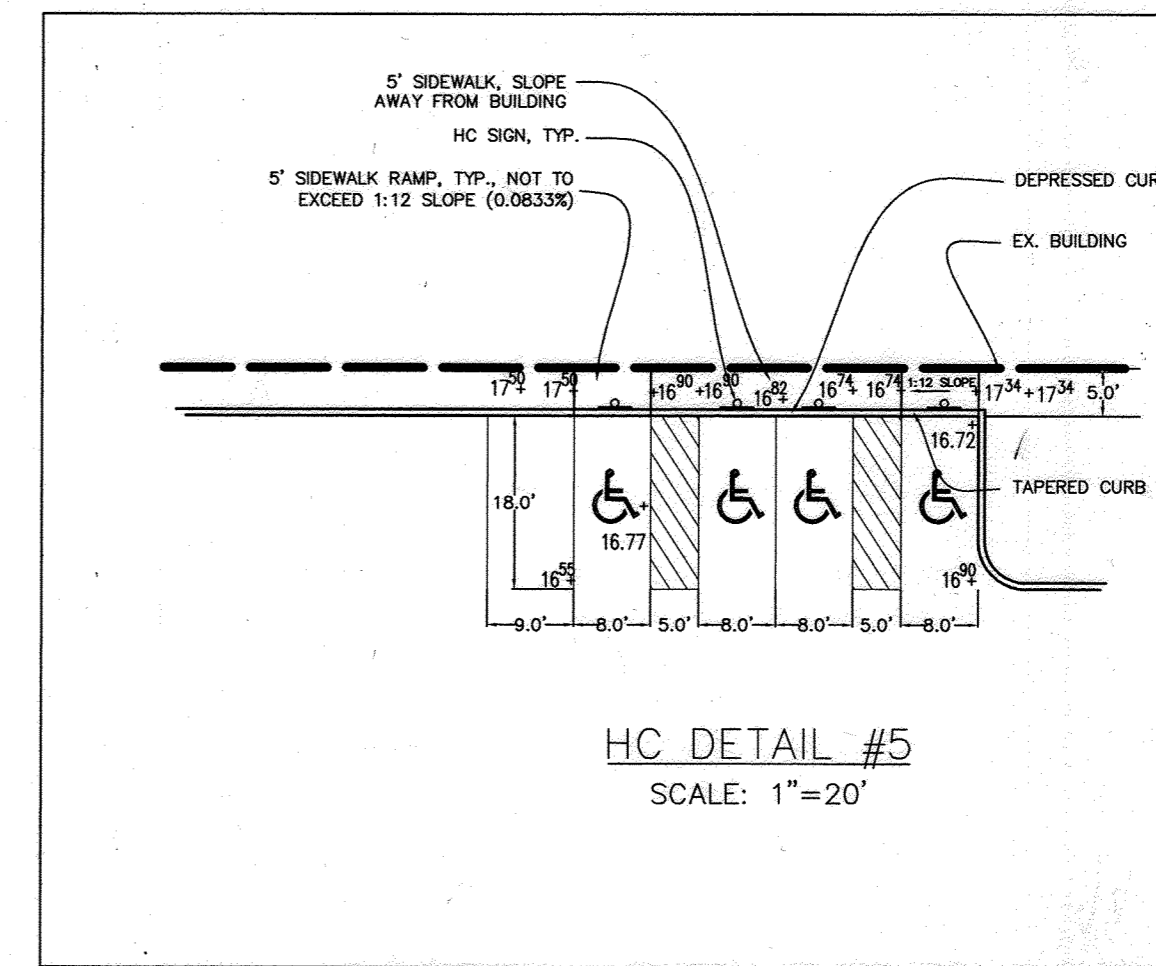
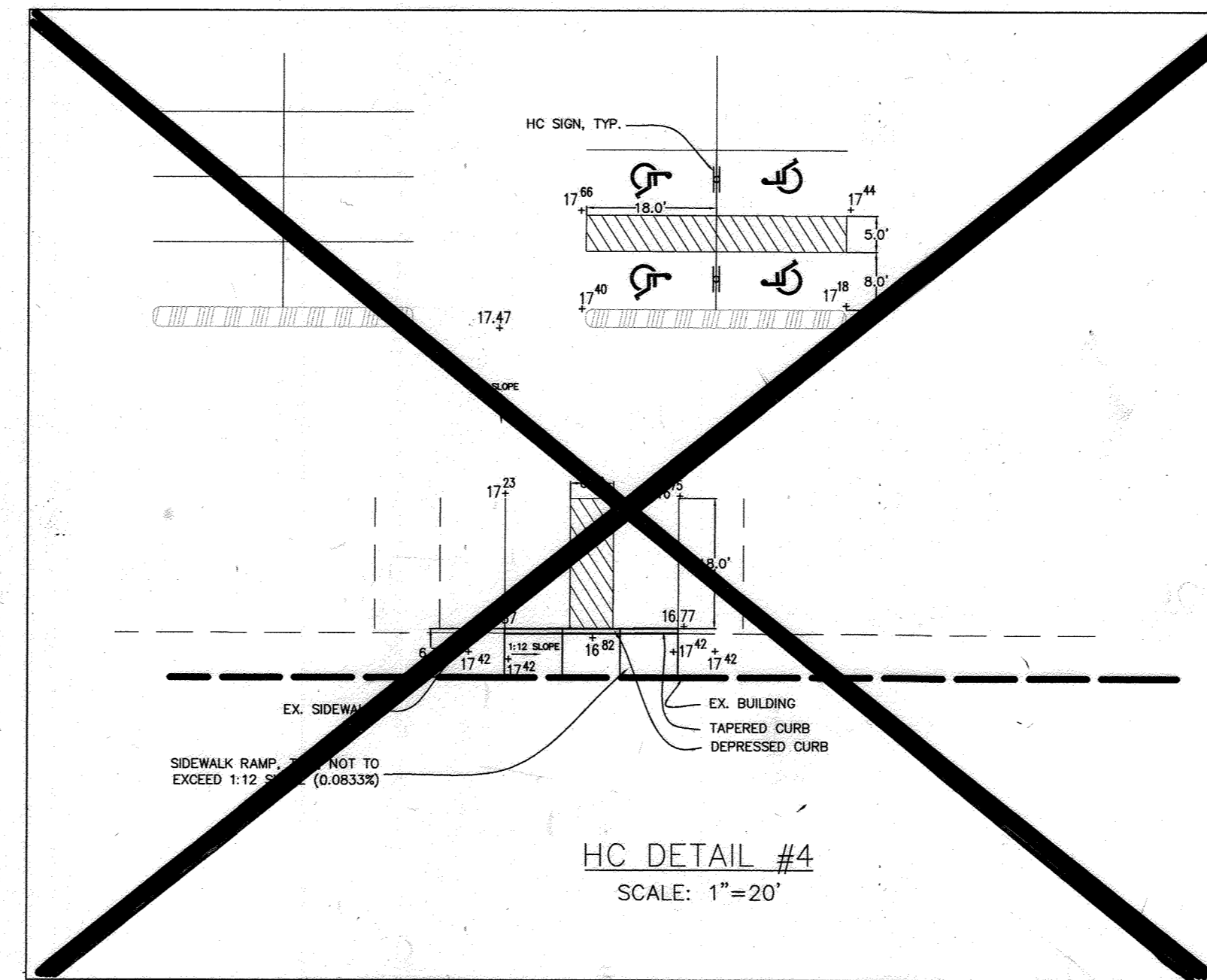
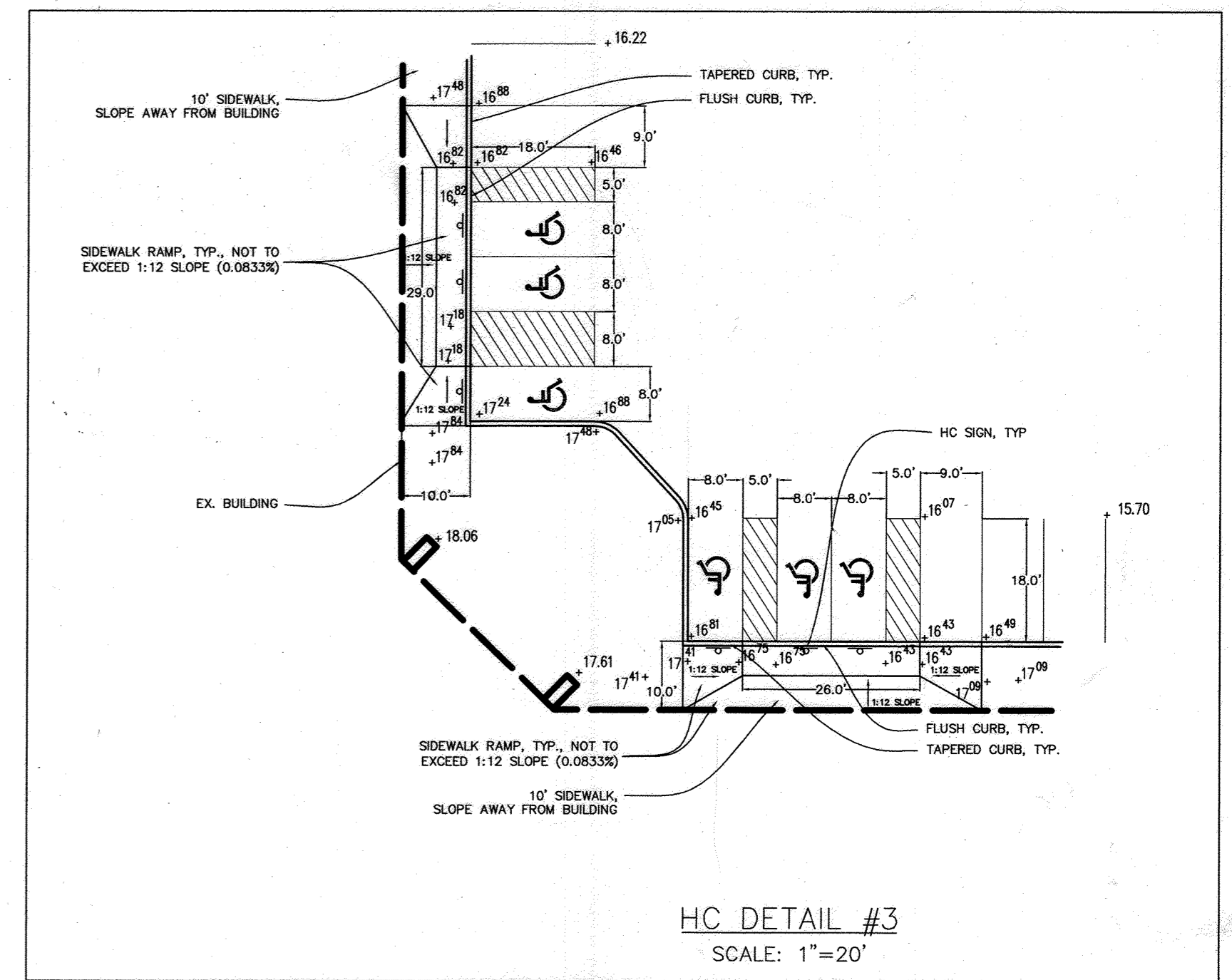
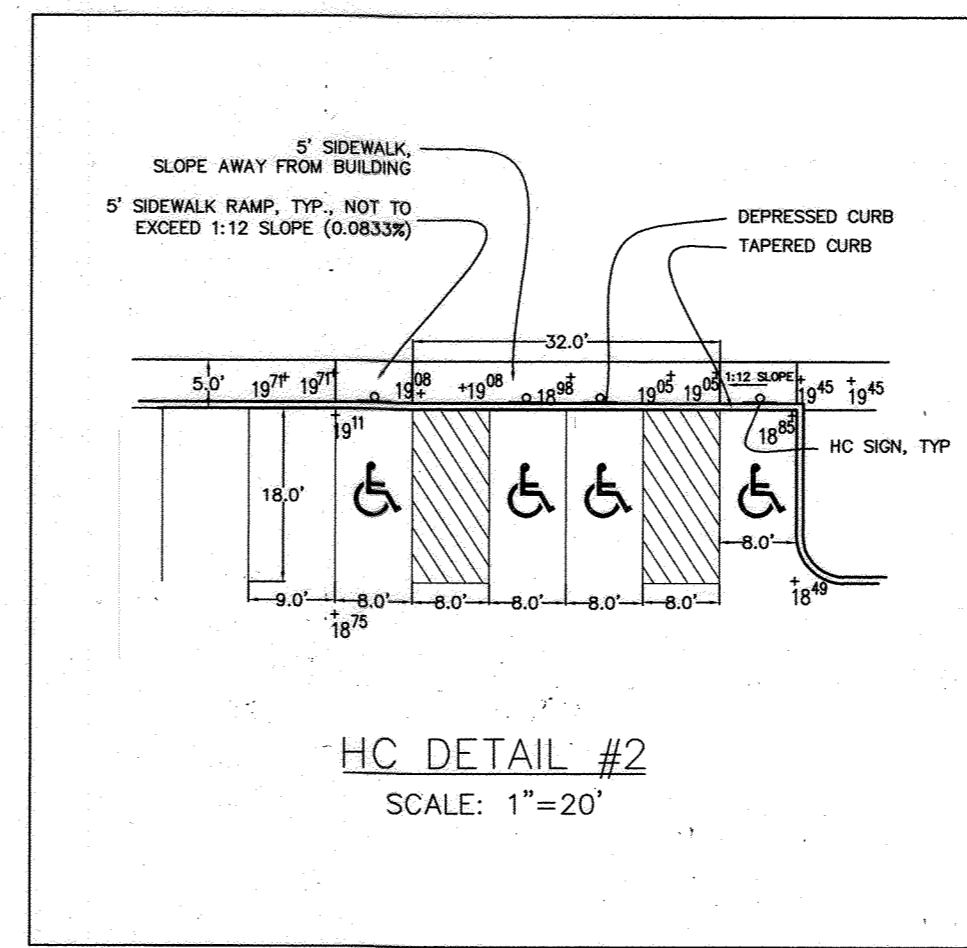
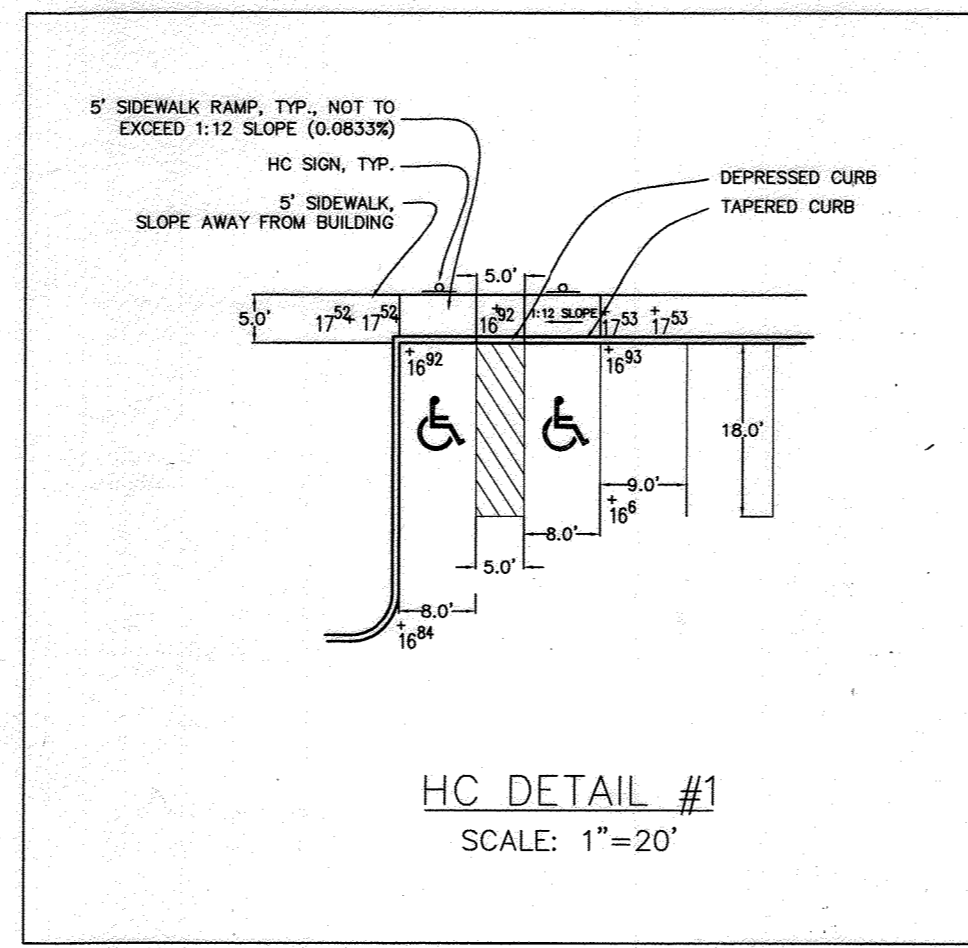
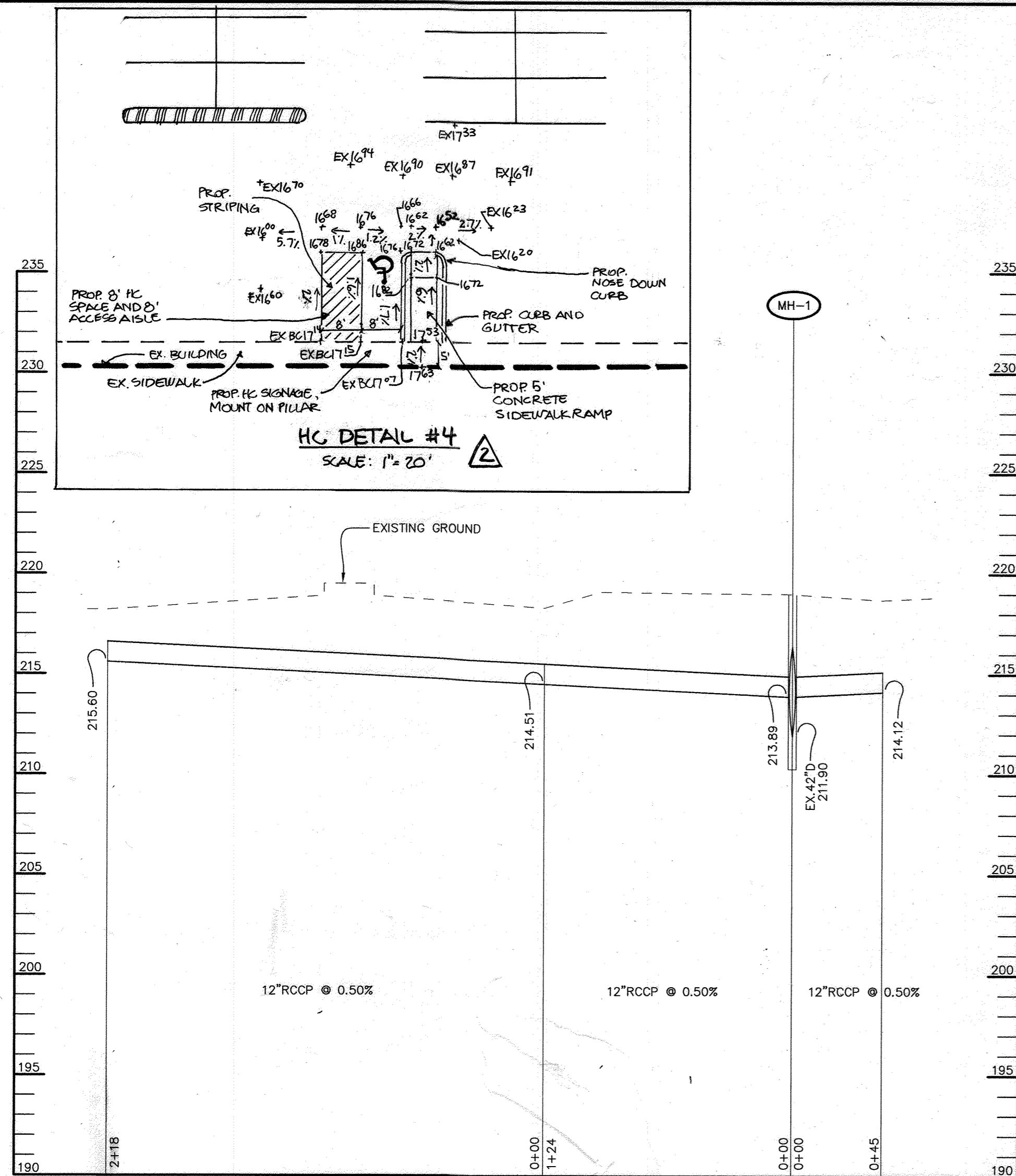
TITLE: DETAILS

Patton Harris Rust & Associates, pc  
Engineers, Surveyors, Planners, Landscape Architects.  
8818 Centre Park Drive  
Columbia, MD 21045  
T 410.997.8900  
F 410.997.9282

DATE: 9-07-05

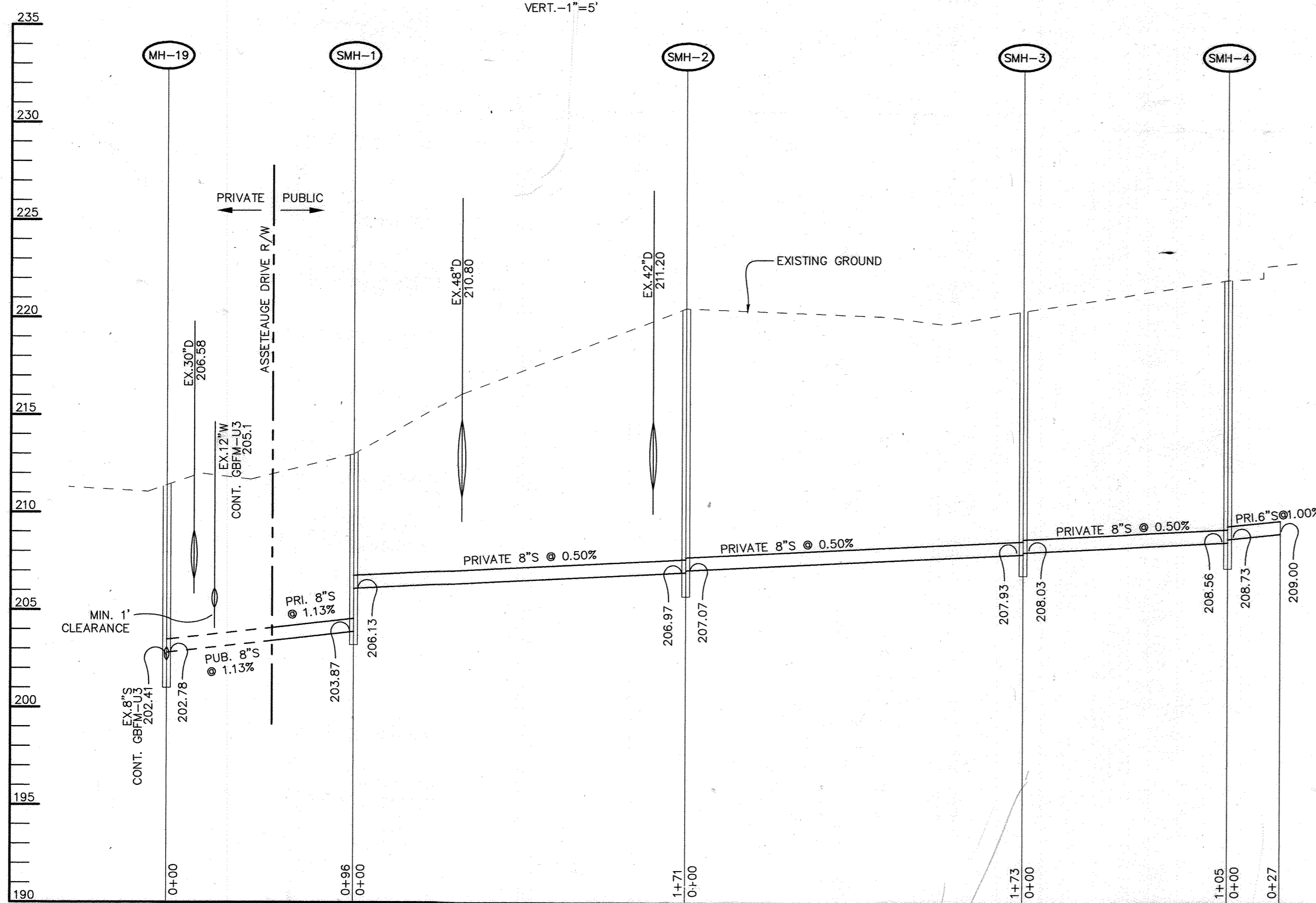
DESIGNED BY: ALC/JSN  
DRAWN BY: ALC  
PROJECT NO: 13227-1-0  
DATE: AUGUST 30, 2005  
SCALE: 1" = 50"  
DRAWING NO. 13 OF 22

*[Signature]*



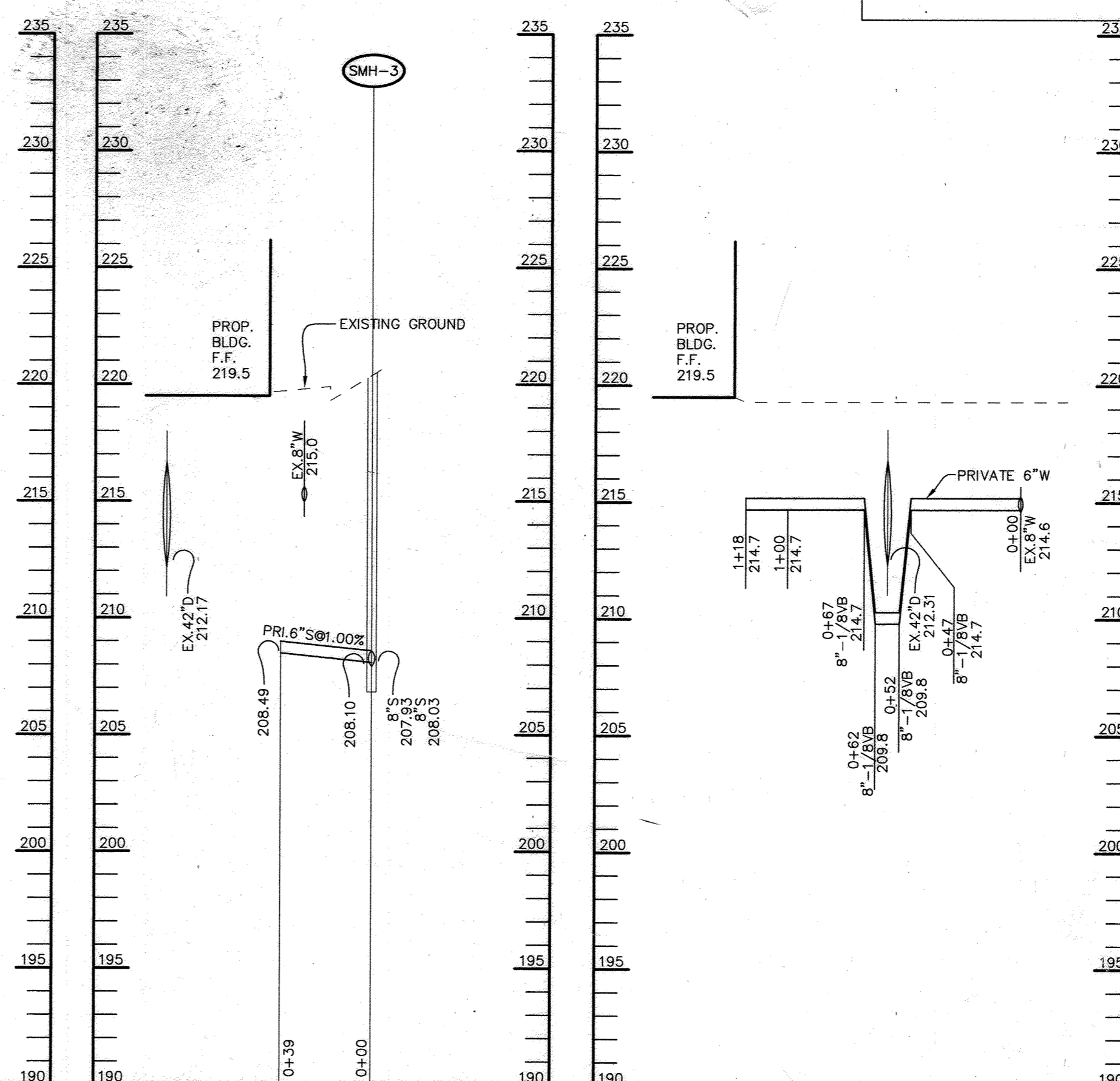
**STORM DRAIN PROFILE**

SCALE: HOR.-1"=50'  
VERT.-1"=5'



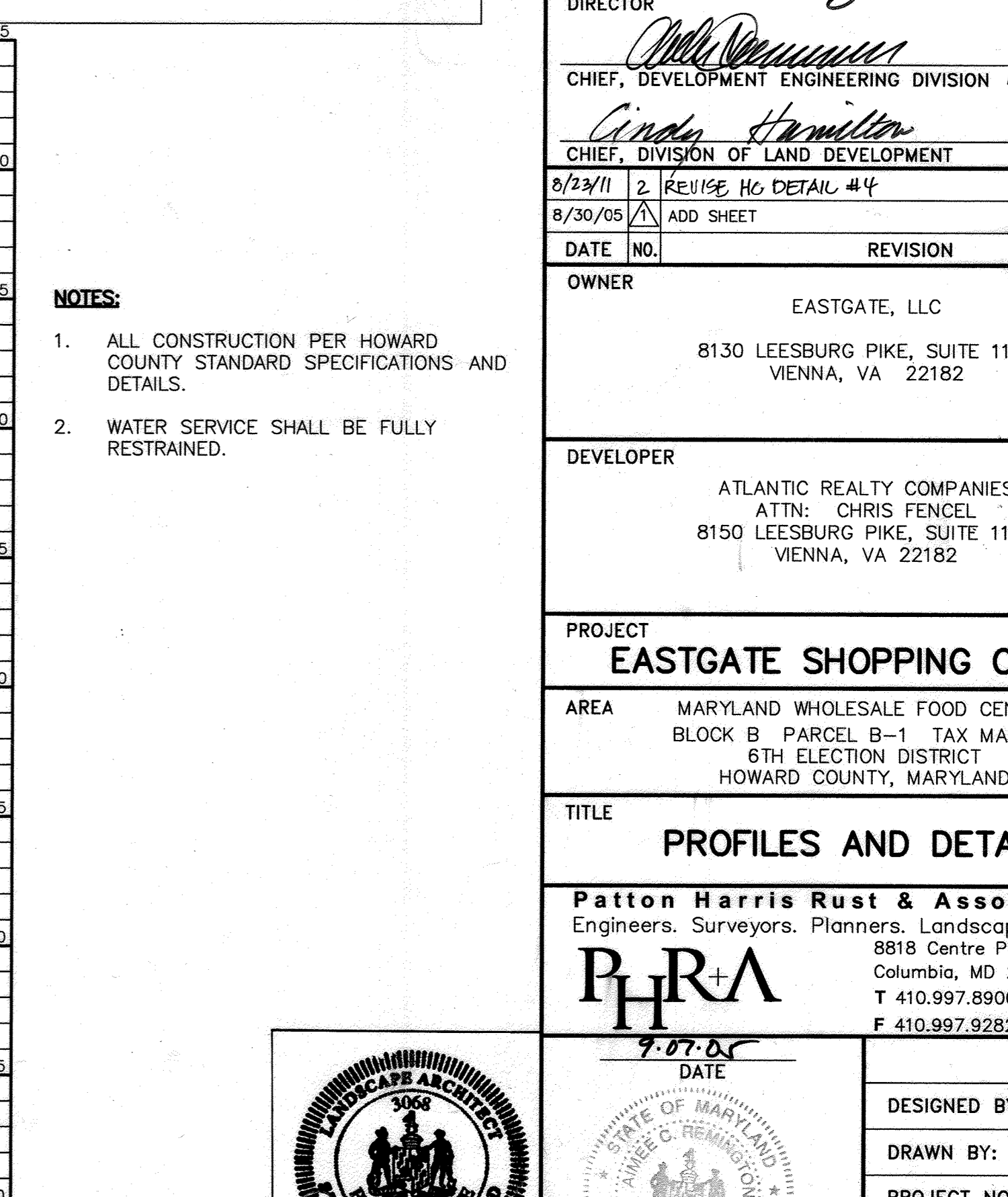
**SEWER PROFILE**

SCALE: HOR.-1"=50'  
VERT.-1"=5'



**SEWER PROFILE**

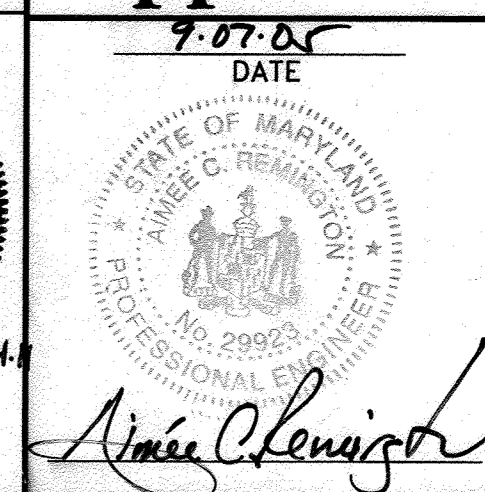
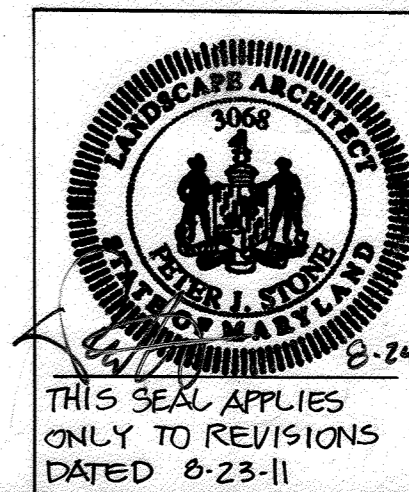
SCALE: HOR.-1"=50'  
VERT.-1"=5'



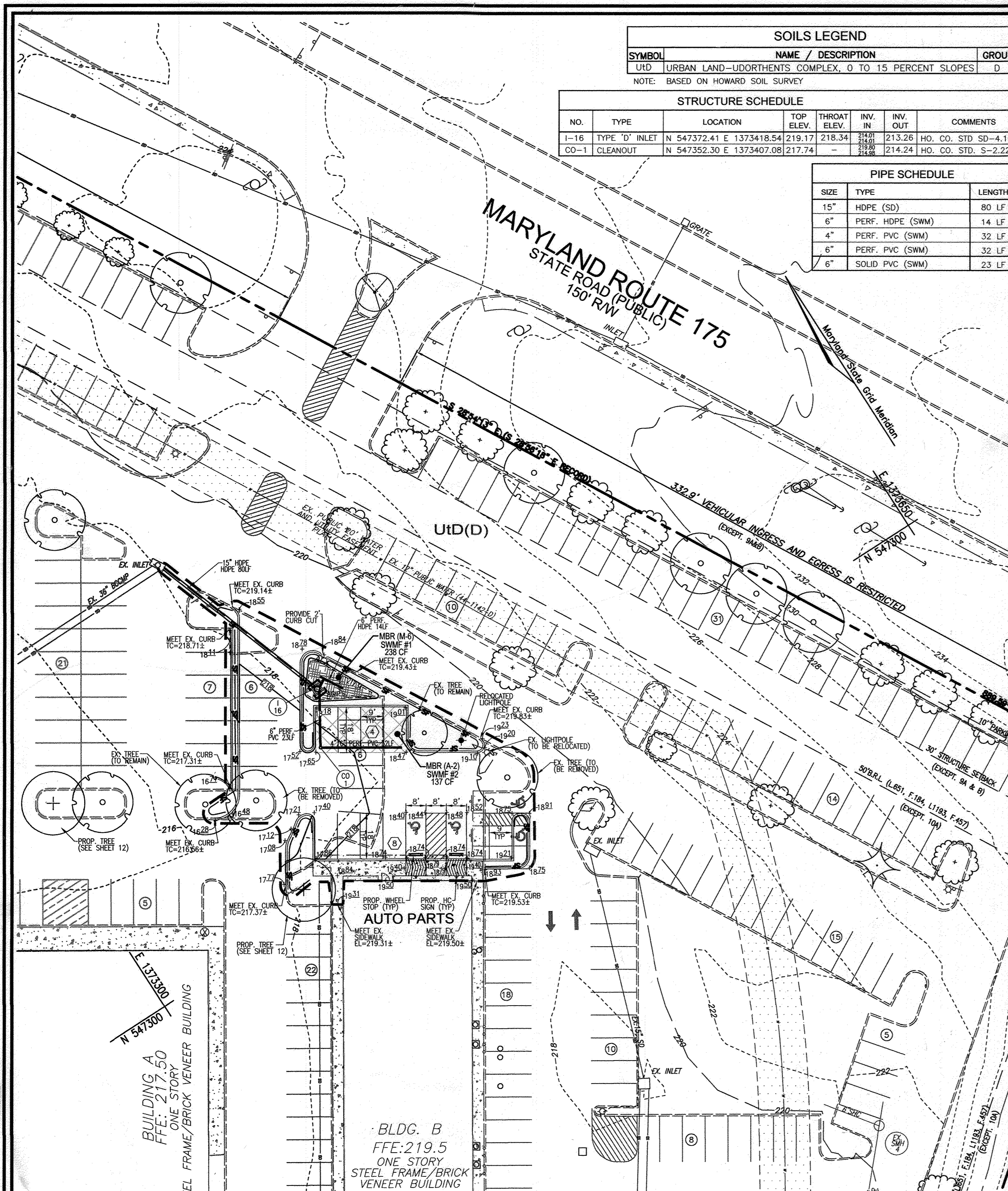
**WATER PROFILE**

SCALE: HOR.-1"=50'  
VERT.-1"=5'

NO AS-BUILT INFORMATION THIS SHEET.



4/25/11	18	CHANGE SHEET NUMBER
8/30/05	3	CHANGE SHEET NUMBER
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.		
<i>Mark H. Leyle</i>	9/21/05	DATE
DIRECTOR		
<i>Chris Hamilton</i>	9/21/05	DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION		
<i>Chris Hamilton</i>	9/21/05	DATE
CHIEF, DIVISION OF LAND DEVELOPMENT		
8/23/11	2	REVISE HC DETAIL #4
8/30/05	1	ADD SHEET
DATE NO.		REVISION
OWNER	EASTGATE, LLC 8130 LEESBURG PIKE, SUITE 1100 VIENNA, VA 22182	
DEVELOPER	ATLANTIC REALTY COMPANIES ATTN: CHRIS FENCEL 8150 LEESBURG PIKE, SUITE 1100 VIENNA, VA 22182	
PROJECT	EASTGATE SHOPPING CENTER	
AREA	MARYLAND WHOLESALE FOOD CENTER BLOCK B PARCEL B-1 TAX MAP 43 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	
TITLE	PROFILES AND DETAILS	
Patton Harris Rust & Associates, PC Engineers, Surveyors, Planners, Landscape Architects. 8818 Centre Park Drive Columbia, MD 21045 T 410.997.8900 F 410.997.9282		
DATE	DESIGNED BY:	DAM
8-23-11	DRAWN BY:	DAM
	PROJECT NO:	13227-1-0
	DATE:	AUGUST 30, 2005
	SCALE:	1" = 50'
	DRAWING NO.:	14 OF 22



**OPERATION AND MAINTENANCE SCHEDULE FOR LANDSCAPE INFILTRATION (M-3), MICRO-BIORETENTION (M-6), RAIN GARDENS (M-7), BIORETENTION SWALES (M-8), AND ENHANCED FILTERS (M-9)**

- THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD PLANTING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL, VOLUME II, TABLE A-4.1 AND 2.
- THE OWNER SHALL PERFORM A PLANT IN THE SPRING AND IN THE FALL OF EACH YEAR. DURING THE INSPECTION, THE OWNER SHALL REMOVE DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT. REPLACE DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL, TRIM DISEASED TREES AND SHRUBS, AND REPLACE ALL DEFICIENT STAKES AND WIRES.
- THE OWNER SHALL INSPECT THE MULCH EACH SPRING. THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS. THE PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS APPLIED.
- THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER EACH HEAVY STORM.

**ADVANCED AUTO PARTS SITE DATA**

USE OF STRUCTURE, AUTO PARTS STORE, AREA OF WETLANDS AND BUFFERS: 0.00 AC. AREA OF STREAMS AND BUFFERS ON SITE: 0.00 AC. AREA OF 100 YEAR FLOODPLAIN ON SITE: 0.00 AC. AREA OF FOREST ON SITE: 0.00 AC. AREA OF STEEP SLOPES ON SITE: 0.00 AC. AREA OF ERODIBLE SOIL ON SITE: 0.00 AC. PROJECT AREA/LIMIT OF DISTURBED AREA: 0.22 AC. AREA MANAGED BY ESDV (THIS PLAN): 0.22 AC. \*IMPERVIOUS AREA: 0.18 AC. \*GREEN AREA: 0.04AC.

**APPENDIX B.4.C SPECIFICATIONS FOR MICRO-BIORETENTION, RAIN GARDEN, LANDSCAPE INFILTRATION & INFILTRATION BERMS**

THESE PRACTICES MAY BE USED IN THESE PRACTICES AS DETAILED IN TABLE B.4.1.

**1. MATERIAL SPECIFICATIONS**

**2. FILTERING MEDIA OR PLANTING SOIL**

**3. COMPACTION**

**4. PLANT MATERIAL**

**5. PLANT INSTALLATION**

**6. UNDERDRAINS**

**7. MISCELLANEOUS**

**B.4.B SPECIFICATIONS FOR PERMEABLE PAVEMENTS & REINFORCED TURF**

THESE SPECIFICATIONS INCLUDE INFORMATION ON ACCEPTABLE MATERIALS FOR TYPICAL APPLICATIONS AND ARE NOT EXHAUSTIVE OR LIMITING. THE DESIGNER IS RESPONSIBLE FOR DEVELOPING SPECIFICATIONS FOR INDIVIDUAL PROJECTS AND SPECIFIC CONDITIONS.

**1. PERVIOUS CONCRETE SPECIFICATIONS**

**2. PERMEABLE INTERLOCKING CONCRETE PAVEMENTS (PICP)**

**3. REINFORCED TURF**

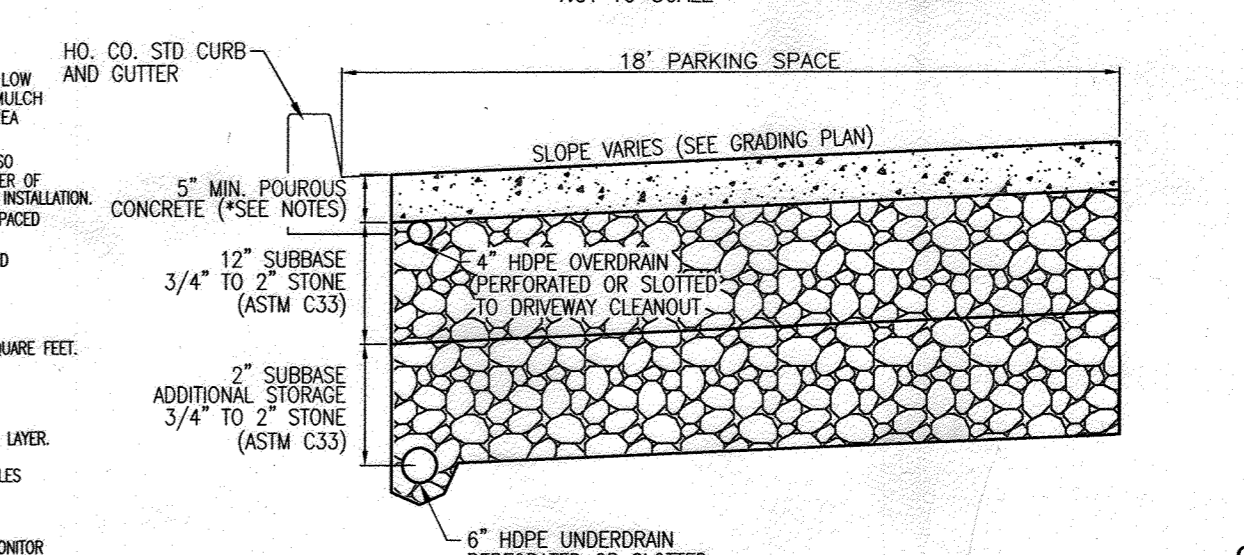
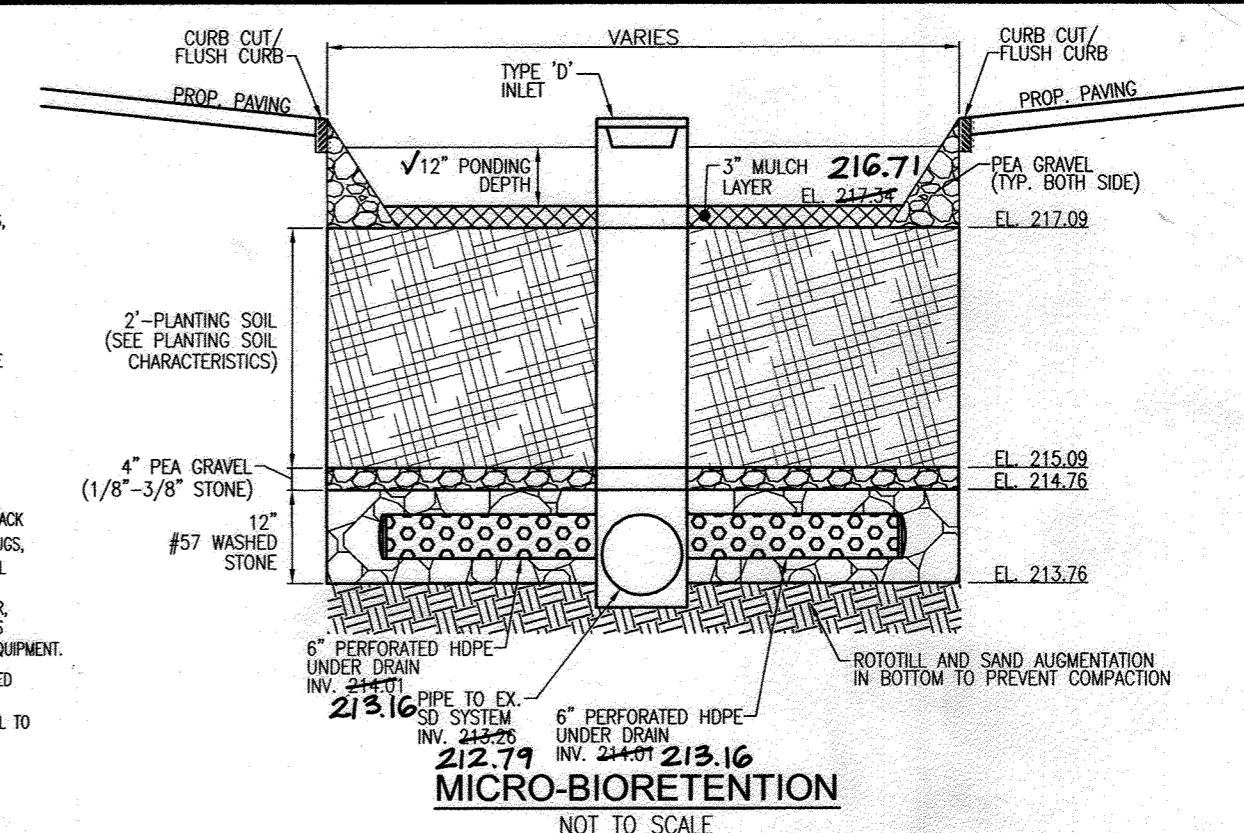
**AS-BUILT CERTIFICATION**

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE 'AS-BUILT' PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS.

ROBERT H. VOGEL, P.E. 12/18/15

Appendix B.4. Construction Specifications for Environmental Site Design Practices

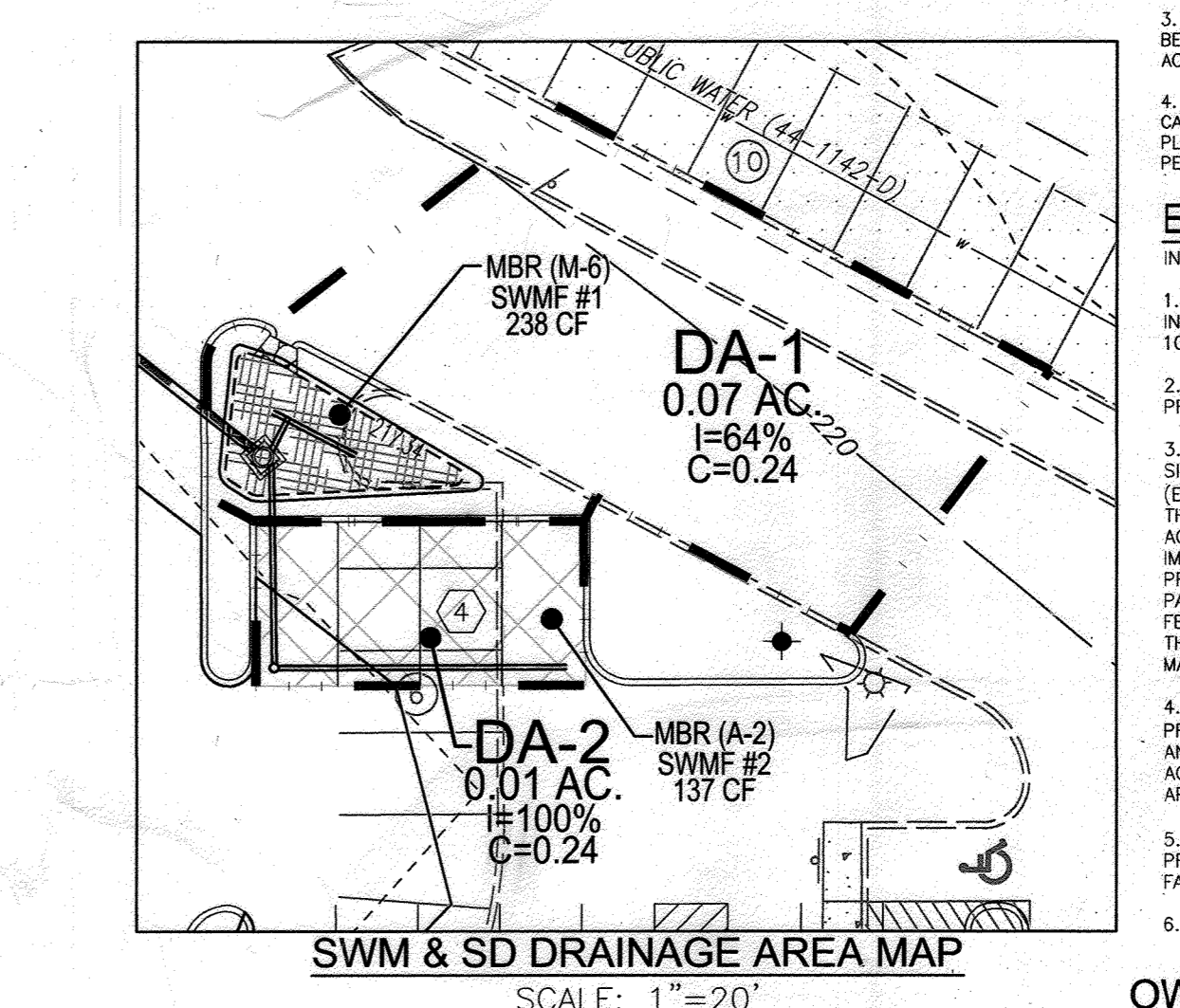
Material	Specification	Size	Notes
Planting soil	see Appendix A, Table A.4	n/a	plantings are site-specific
Planting soil	lean sand (60-65%) & compost (35-40%) or sandy loam (30%), coarse sand (30%) & compost (40%)	n/a	USDA soil types loamy sand or sandy loam; clay content < 5%
Organic content	Min. 10% by dry weight (ASTM D 2974)	n/a	aged 6 months; minimum no pine or wood chips
Match	per gravel discharge	NO. 8 OR NO. 9 (1/8" TO 3/8")	see Appendix A, Table A.4
Curtain drain	permanental stone: washed cobbles	stone: 2" to 5"	see Appendix A, Table A.4
Gravel (underdrains and infiltration berms)	AASHTO M-43	n/a	see Appendix A, Table A.4
Underdrain piping	F 75k, Type PS 28 or AASHTO M-78	4" to 6" rigid subdrain 40 PVC or SDR35	Slot or perforated pipe; 3/8" perf. @ 6" on center, 4 holes per row; minimum of 3" of gravel over pipe; not necessary underdrain pipe. Perforated pipe shall be wrapped with 1/2 inch geotextile filter fabric.
Found in place concrete (if required)	MESMA Min. No. 3; f'c = 3000 psi (28 day, normal weight, air-entrained; reinforcing to meet ASTM-615-00	n/a	on-site testing of poured-in-place concrete required; 28 day strength slump test; all concrete design cast-in-place or pre-cast; not using previously approved State or local standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland - design to include meeting ACT Code 530.8(R); vertical loading (H-10 to H-20); allowable horizontal loading (based on soil pressure); and analysis of potential cracking.
Sand	AASHTO M-66 or ASTM-C-33	0.075 to 0.04"	Sand substitution such as Dolomite and Crystalline (AASHTO) #10 are not acceptable. No calcium carbide or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand.



**NOTE:**

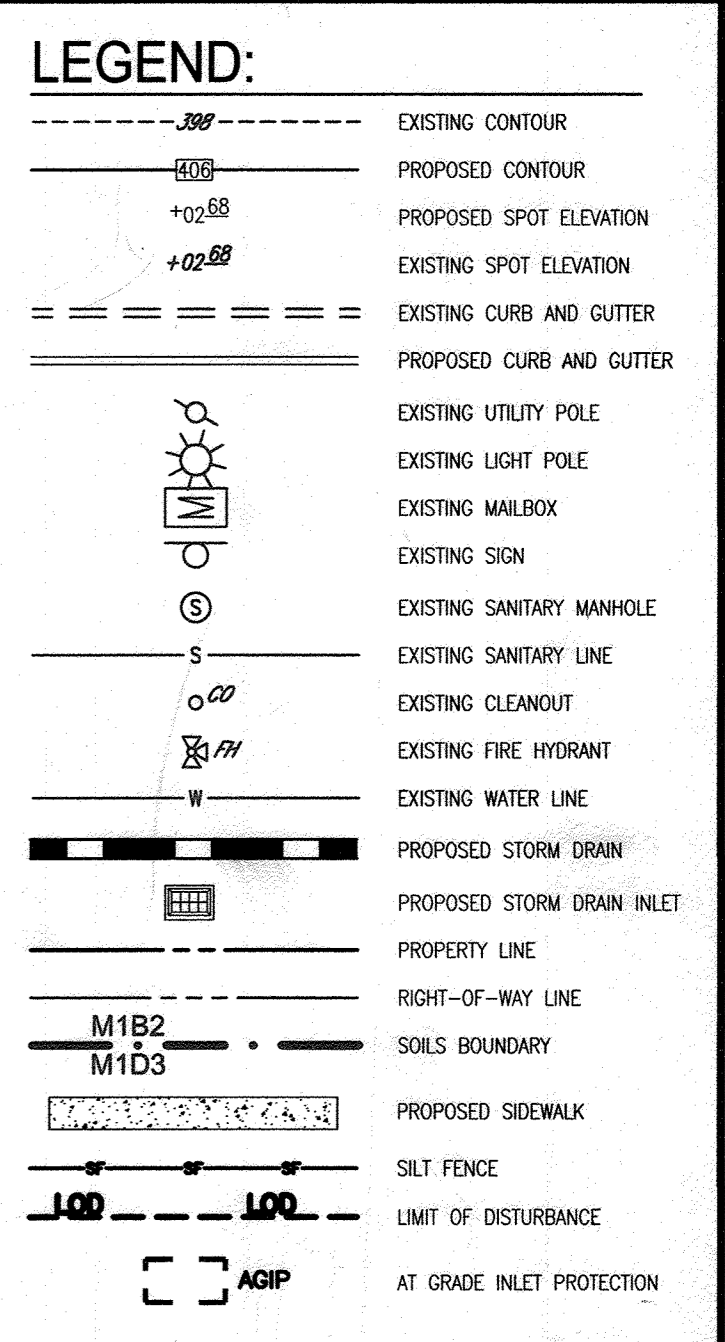
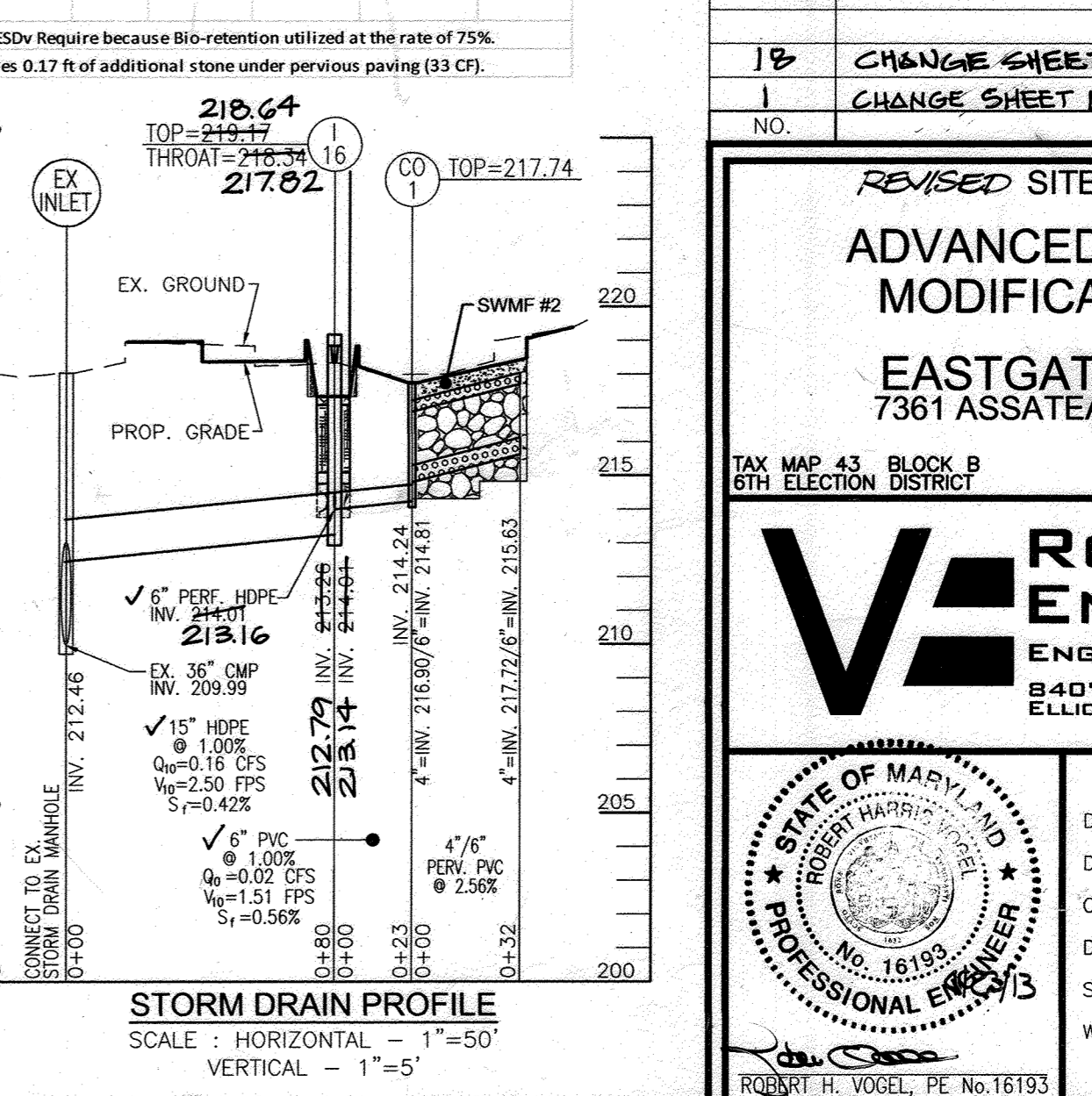
- PAVEMENT CROSS SECTION TO BE CONFIRMED BY GEOTECHNICAL ENGINEER.
- PERVIOUS CONCRETE SECTION TO CONFORM TO APPENDIX B.4.B (SPECIFICATIONS FOR PERMEABLE PAVEMENTS) AND DESIGNED BY THE PROJECT GEOTECHNICAL ENGINEER.
- UNDERDRAINS/OVERDRAINS SHALL CONNECT INTO A TRAFFIC BEARING CANAL AS SHOWN ON THE PLANS.

**TYPICAL DETAIL - PERMEABLE CONCRETE PARKING SPACES**  
(FOR ELEVATIONS AND INVERTS, SEE PROFILES)  
NOT TO SCALE



DA	% IMPERV	Rv	DA	ESDV	MINIMUM REQ. VOLUME	MAXIMUM VOLUME	VOLUME PROVIDED*
1	64	0.63	0.07	309	155	402	238
2	100	0.95	0.01	103	51	133	137
TOTAL ESDV by SUBAREA				412			375

\* Provided Volume is less than ESDV Required because of Bio-retention utilized at the rate of 75%.  
Volume provided in DA2 includes 0.17 ft of additional storage over previous paving (33 CF).



**OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED PERMEABLE PAVEMENT (A-2)**

- THE OWNER SHALL PERIODICALLY SWEEP (OR VACUUM POROUS CONCRETE PAVEMENT) THE PAVEMENT SURFACES TO REDUCE SEDIMENT ACCUMULATION AND ENSURE CONTINUED SURFACE POROSITY. SWEEPING SHOULD BE PERFORMED AT LEAST TWICE ANNUALLY WITH A COMMERCIAL CLEANING UNIT. WASHING OR COMPRESSED AIR UNITS SHOULD NOT BE USED TO PERFORM SURFACE CLEANING.
- THE OWNER SHALL PERIODICALLY CLEAN DRAINAGE PIPES, INLETS, STONE EDGE DRAINS AND OTHER STRUCTURES WITHIN OR DRAINING TO THE SUBBASE.
- THE OWNER SHALL ENSURE SNOW PLOWING IS PERFORMED CAREFULLY WITH BLADES SET ONE-INCH ABOVE THE SURFACE. PLOWED SNOW PILES AND SNOWMELT SHOULD NOT BE DIRECTED TO PERMEABLE PAVEMENT.

**ENVIRONMENTAL SITE DESIGN NARRATIVE**

IN ACCORDANCE WITH CHECKLIST ITEM 11.K

- THE PROPERTY DOES NOT CONTAIN ANY NATURAL RESOURCE AREAS INCLUDING SPECIEN TREES, WETLANDS, STREAMS, STEEP SLOPES OR 100 YEAR FLOODPLAIN THAT WOULD REQUIRE PROTECTION.
- NO DISTURBANCE TO THE NATURAL DRAINAGE PATTERNS ARE PROPOSED. ALL AREAS SHALL DRAIN AS IN THE EXISTING CONDITIONS.
- THE CONCEPTUAL REDUCTION IN IMPERVIOUS AREA THROUGH BETTER SITE DESIGN IS ACHIEVED THROUGH THE ENVIRONMENTAL SITE DESIGN (ESD) FOR THE PROJECT TO THE MAXIMUM EXTENT PRACTICABLE (MEP). THE AREA TREATED DOES NOT NECESSARILY CORRESPOND TO THE ACTUAL DISTURBED AREA BUT DOES UTILIZE THE OTHER EXISTING IMPERVIOUS AREAS TO EQUIVALE TO THE SAME AREA. THE ESD CONCEPT PROPOSES THE USE OF MICRO BIORETENTION FACILITY AND PERVIOUS PAVING. THE MBR WILL DRAIN TO THE EXISTING INLET WHICH FEEDS INTO THE EXISTING BAY SAVER AND UNDERGROUND SWM PIPING. THE PROPOSED ESD PRACTICE SHALL BE PRIVATELY OWNED AND MAINTAINED.
- SEDIMENT CONTROL FOR THIS SPECIFIC SITE PLAN WILL BE PROVIDED THROUGH THE USE OF PERMIER CONTROLS (SILT FENCE) AND INLET PROTECTION. SEDIMENT CONTROL SHALL BE IN ACCORDANCE WITH THE CURRENT REQUIREMENTS AND SHALL BE APPROVED BY THE HOWARD SOIL CONSERVATION DISTRICT.
- AS STATED IN #3 ABOVE, STORMWATER MANAGEMENT FOR THE PROJECT SHALL BE MET THROUGH THE USE OF A MICRO BIORETENTION FACILITY AND PERVIOUS PAVING.
- NO WARNERS ARE ANTICIPATED TO FULFILL THIS CONCEPT.

**OWNER/DEVELOPER**

EASTGATE LLC  
8150 LEESBURG PIKE STE 1100  
VIENNA, VA 22182

NO.	CHANGE SHEET NUMBER	REVISION	DATE
1	CHANGE SHEET NUMBER		4/25/14
2	CHANGE SHEET NUMBER		06/09/10

**REVISED SITE DEVELOPMENT PLAN**

**ADVANCED AUTOPARTS PARKING MODIFICATIONS; SWM DETAILS**

**EASTGATE SHOPPING CENTER**  
7361 ASSATEGUE DRIVE, JESSUP, MD 20794  
MD WHOLESALE FOOD CENTER  
ZONED: B2/P1 AT 555  
PROPOSED USE: RETAIL

TAX MAP 43, BLOCK B  
HOWARD COUNTY DISTRICT

PARCEL 659, LOT B-1  
HOWARD COUNTY, MARYLAND

**ROBERT H. VOGEL ENGINEERING, INC.**  
ENGINEERS • SURVEYORS • PLANNERS  
8407 MAIN STREET  
ELLIOTT CITY, MD 21043  
TEL: 410.461.7666  
FAX: 410.461.8961

DESIGN BY: DZ/RHV  
DRAWN BY: DZ  
CHECKED BY: RHV  
DATE: APRIL 2013  
SCALE: AS SHOWN  
W.O. NO.: 11-38

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 18193, EXPIRATION DATE 06-27-2014

15 SHEET OF 22

**BIORETENTION PLANTING PLAN**  
SCALE: 1"=10'

KEY	QTY	BIORETENTION PLANTING SCHEDULE	SIZE	REMARKS
1	7	BIS. SIBERICA BANNER BLUE BANNER BLUE SIBERIAN	1 GALLON	18" O.C.
2	4	HEMORRHUS X PRINCE BLUE EYES PRINCE BLUE EYES (DAVILA)	1 GALLON	30" O.C.
3	2	CORNUS SERICEA FLORIBUNDA YELLOW TRINGED BOWEN	4" HT	SEE BIODETENTION PLAN
4	20	CONNALANIA MAULS LILI-OF-THE-VALLEY	1 OT.	12" O.C.
5	25	ALBIS GRAMINEA SAGIN GOLDEN WINDMILLS STREET FLAG	1 OT.	12" O.C.

MBR	AREA	STEMS REQUIRED	STEMS PROVIDED
SWMF #1	238 SF	6	13

BIORETENTION AREAS ARE TO BE PLANTED BASED ON A MINIMUM DENSITY OF 1000 STEMS PER PLANTED ACRE (0.228 STEMS PER SQUARE FOOT).

BY THE DEVELOPER:  
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

DATE: 5/23/13  
DATE: 5/23/13

**SCHEDULE D - STORMWATER MANAGEMENT AREA LANDSCAPING**

LINEAR FEET OF PERIMETER	69 LF (TOTAL ALL MICRO-BIORETENTIONS)
CREDIT FOR EXISTING VEGETATION (NO. YES AND LINEAR FEET)	NO
CREDIT FOR OTHER LANDSCAPING (NO. YES AND %) (SEE BIODETENTION PLAN)	YES, 100%
NUMBER OF TREES REQUIRED (8 BUFFER) (0 SHADE TREES 0 EVERGREEN TREES)	SEE BIODETENTION PLAN LIST*
NUMBER OF TREES PROVIDED (8 BUFFER) (0 SHADE TREES 0 EVERGREEN TREES)	SEE BIODETENTION PLAN LIST*

\*SURETY FOR BIODETENTION PROVIDED IN THE BID COST ESTIMATE

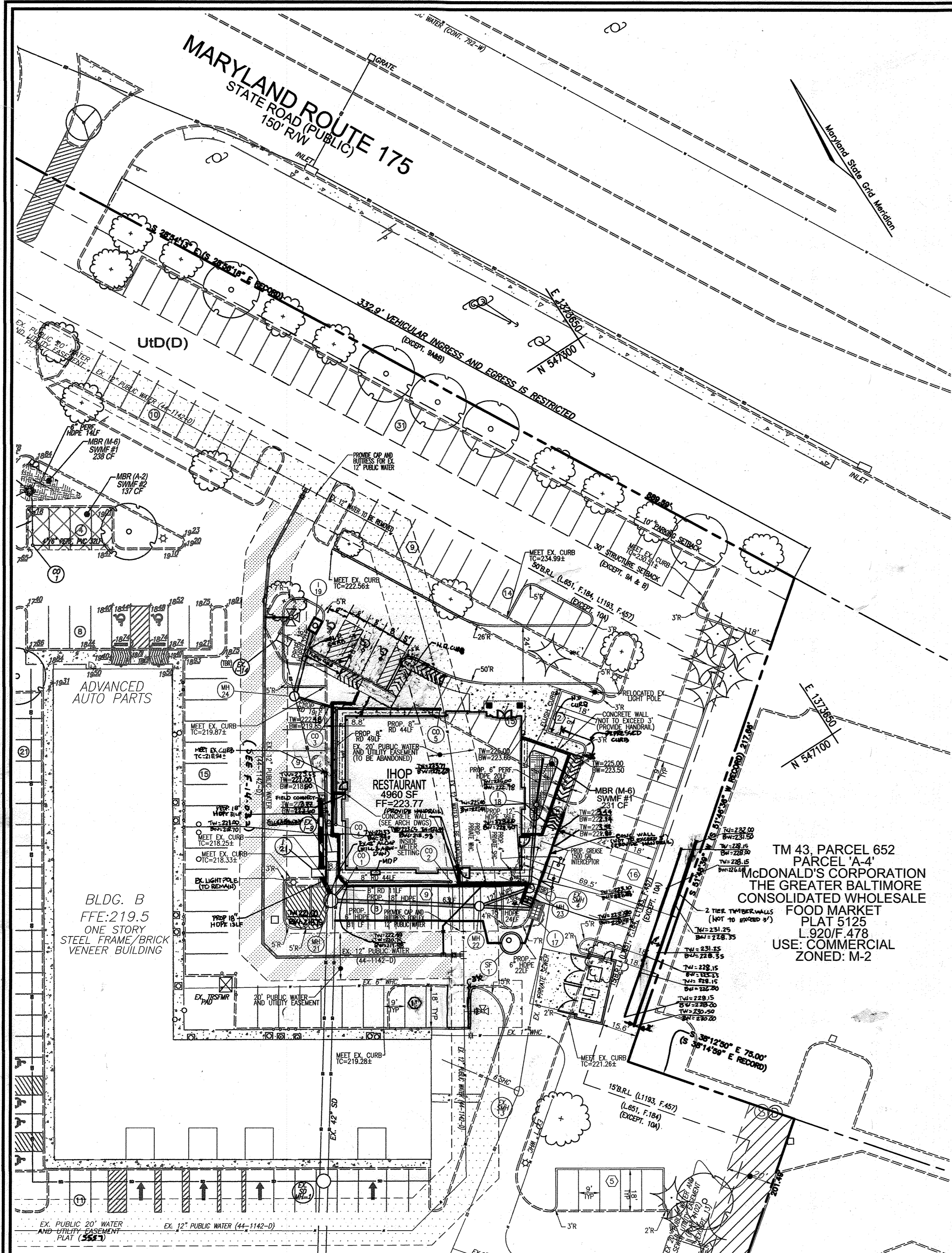
BY THE ENGINEER:  
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DATE: 4-22-13  
DATE: 4/23/13

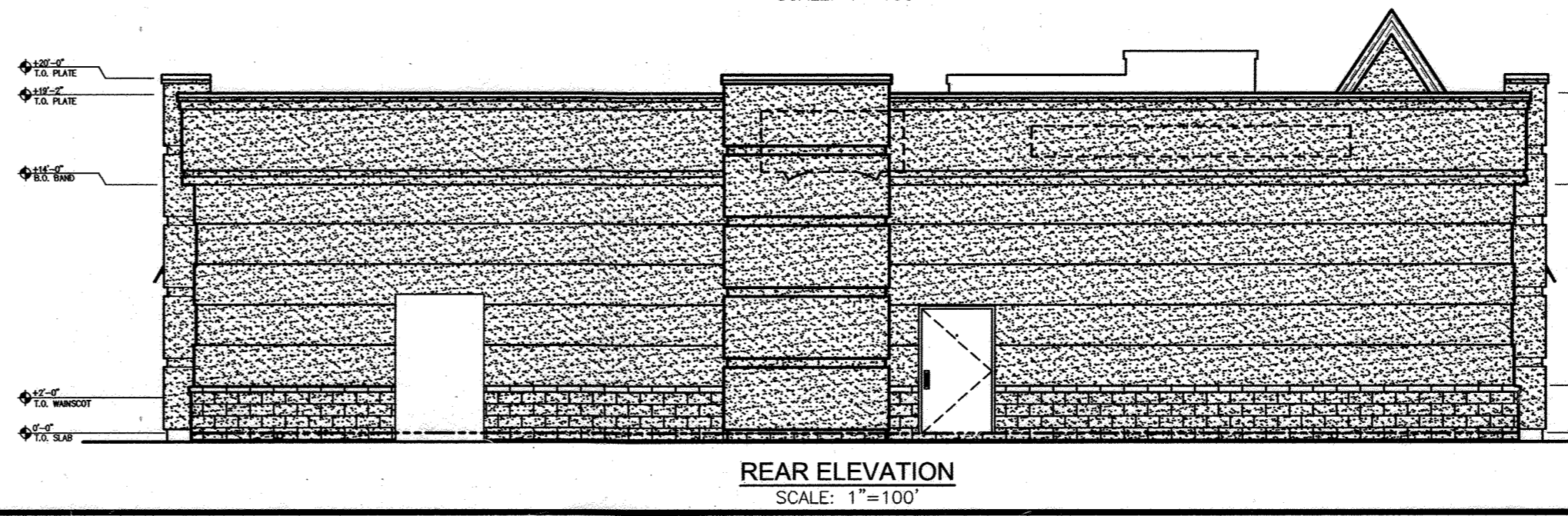
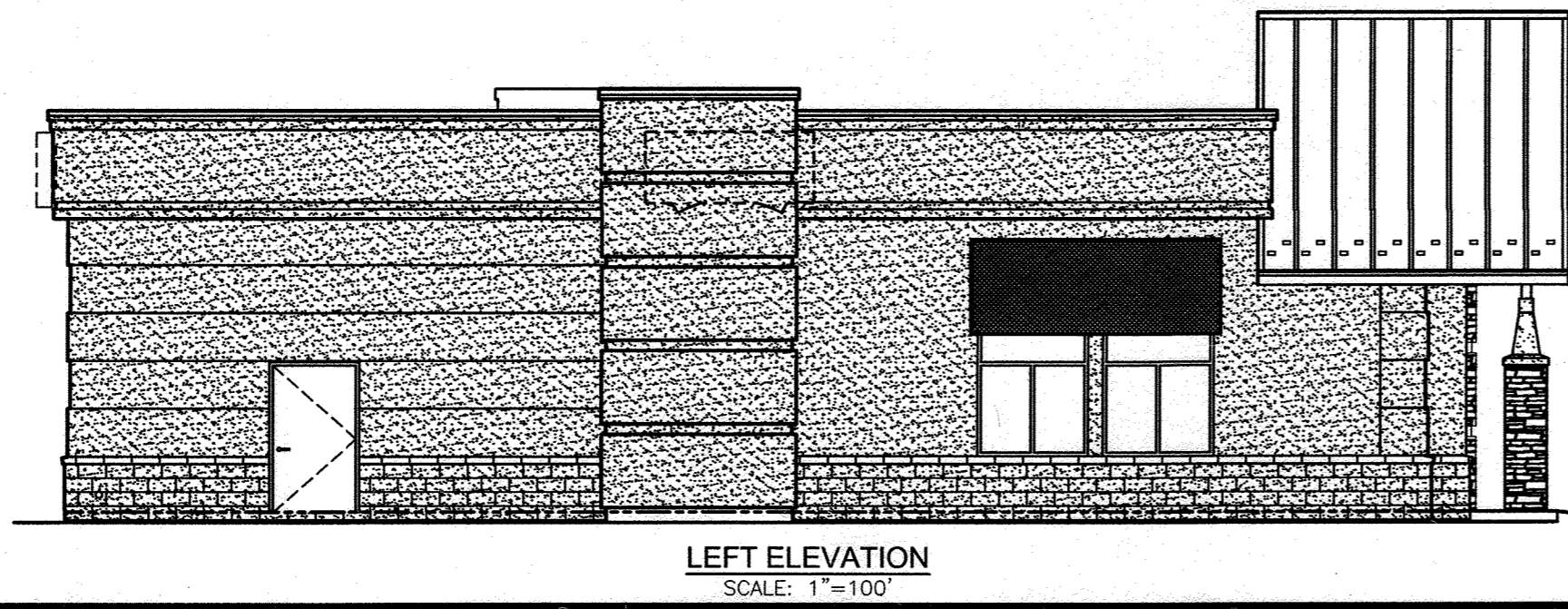
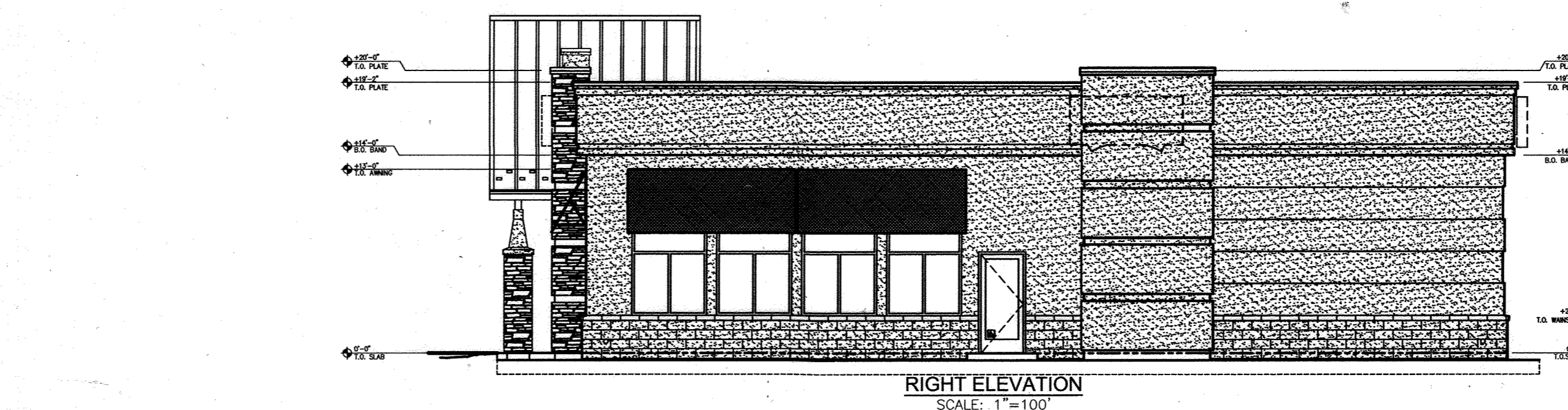
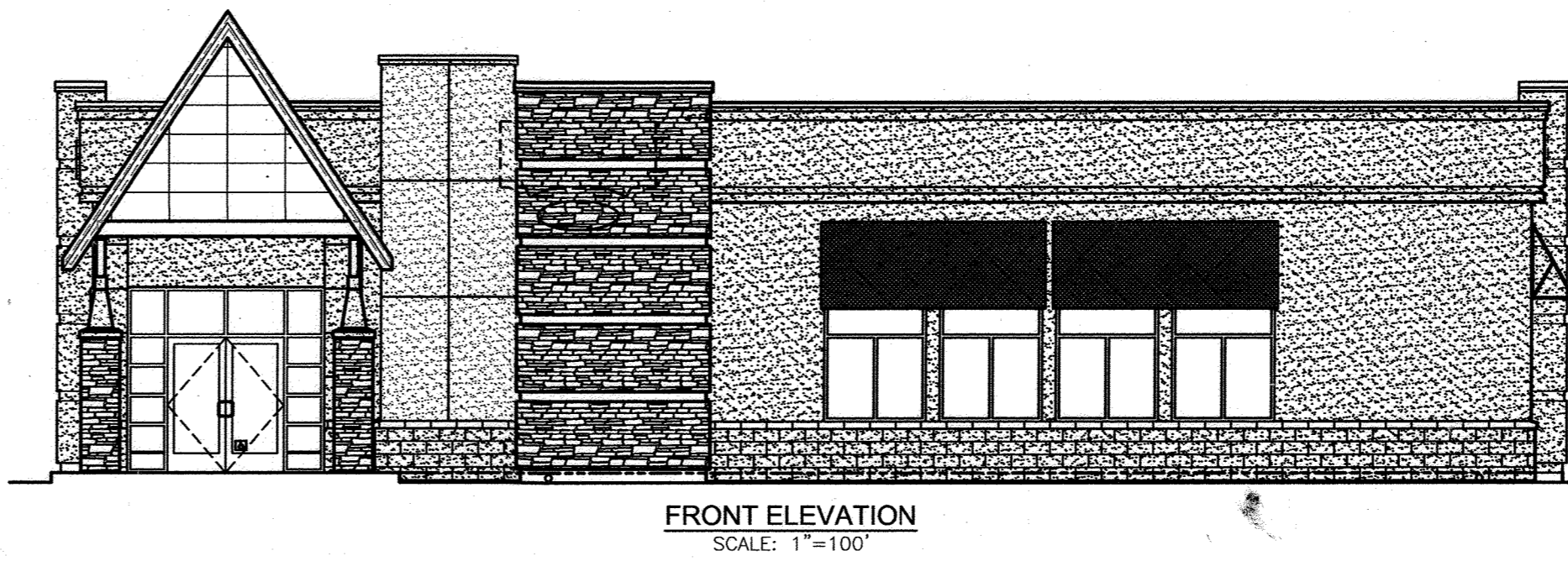
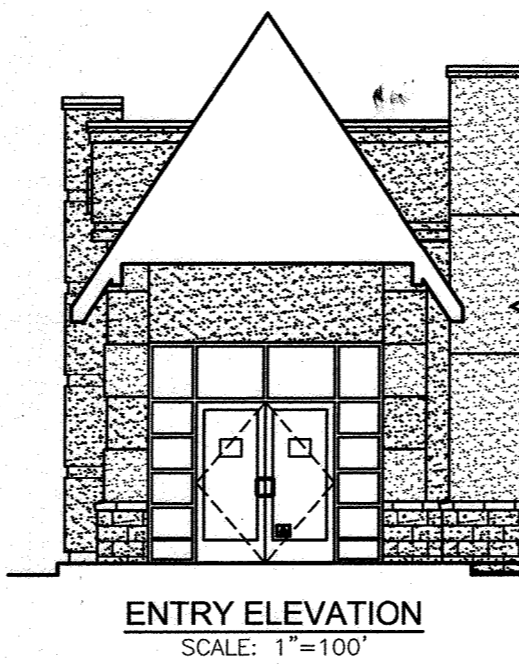
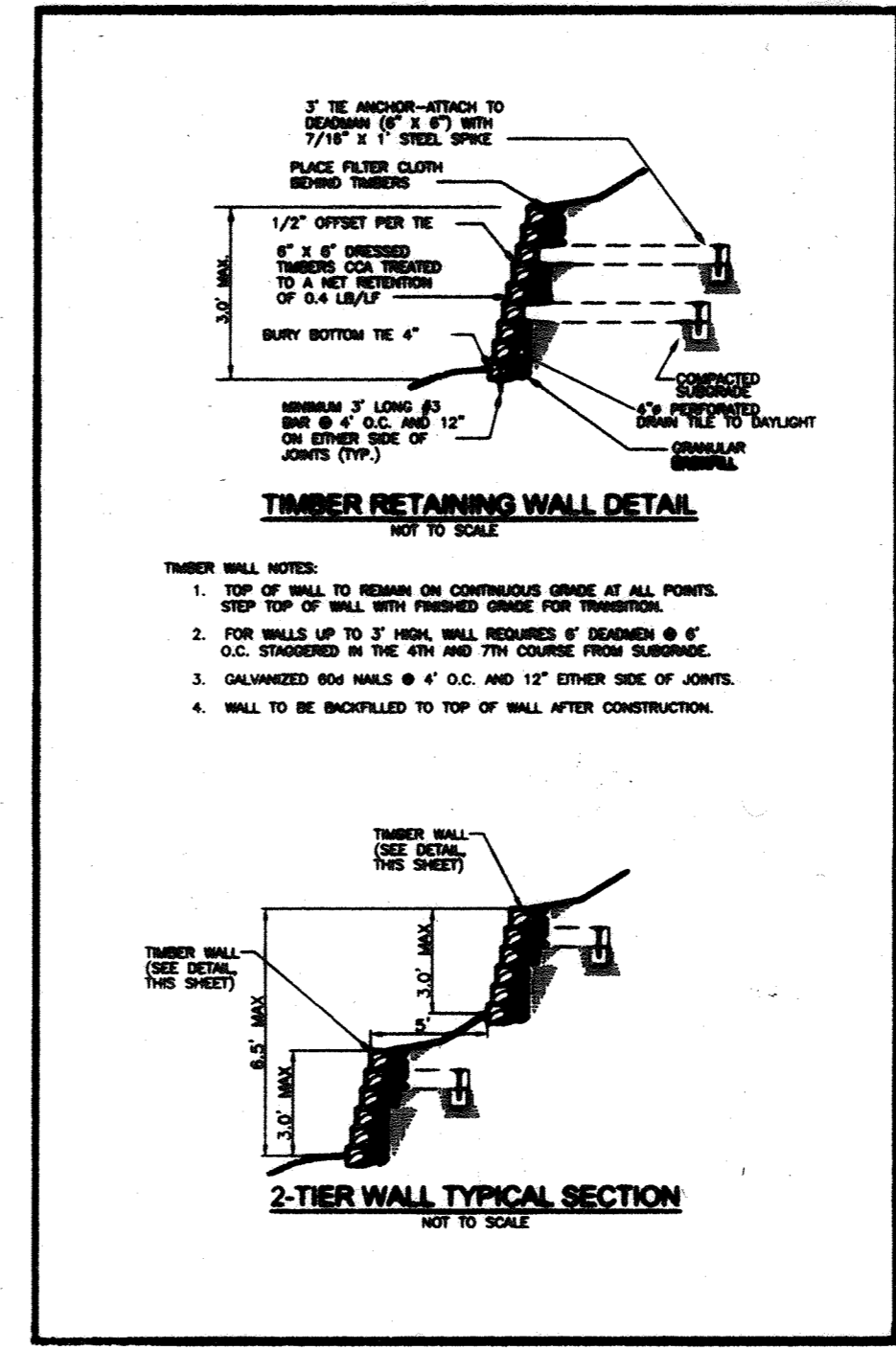
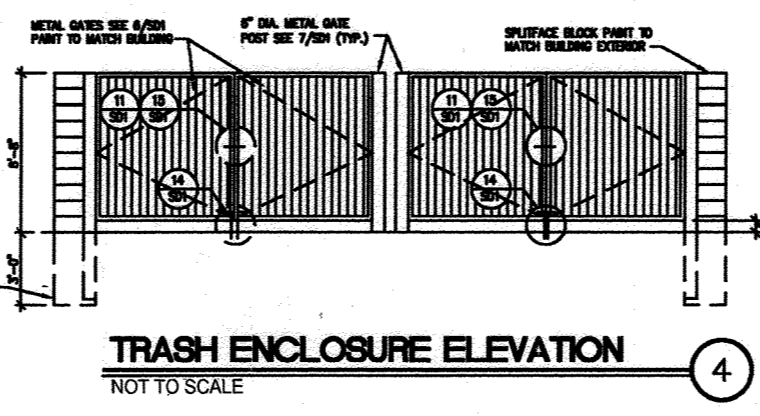
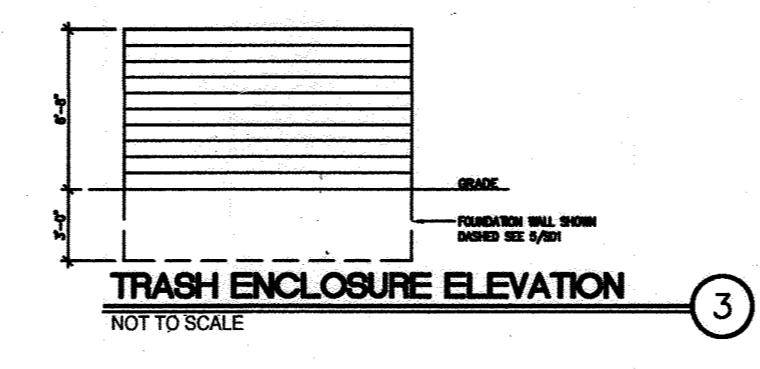
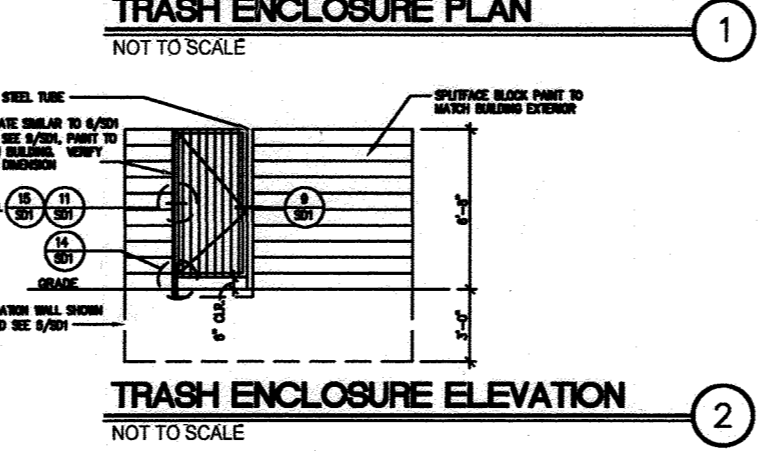
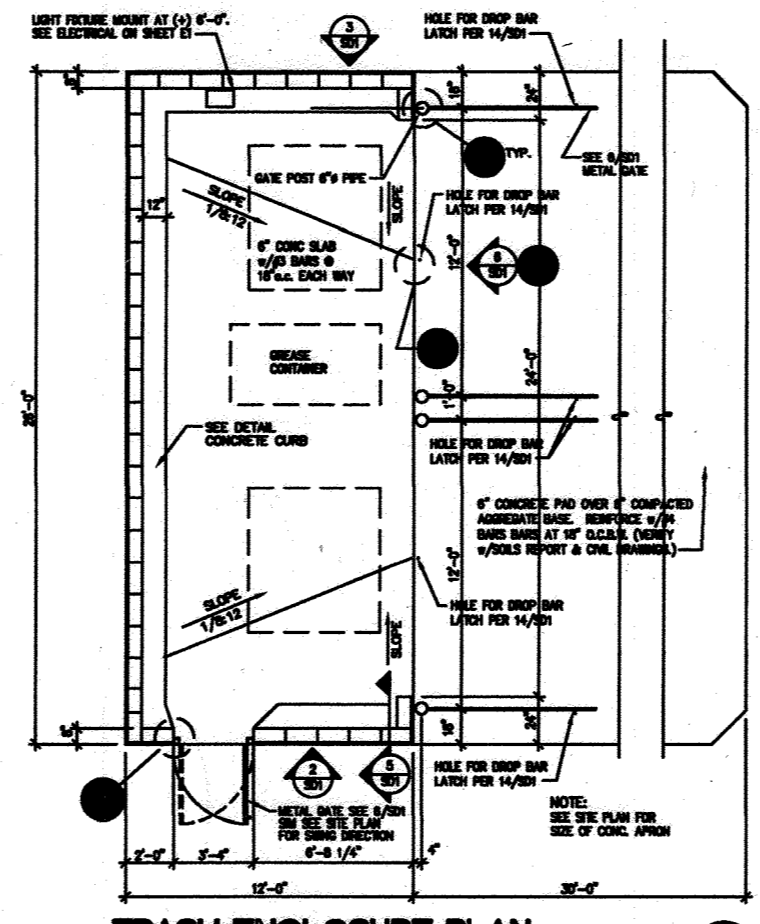
**TM 43, PARCEL 652 PARCEL A-4**  
McDONALD'S CORPORATION  
THE GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET  
PLAT 5125  
L 920/F 478  
USE: COMMERCIAL  
ZONED: M-2

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DATE: 5/16/13  
DATE: 5/16/13



LAYOUT PLAN - IHOP  
SCALE: 1"=30'



LEGEND:

	EXISTING CURB AND GUTTER
	PROPOSED CURB AND GUTTER
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING MAILBOX
	EXISTING SIGN
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY LINE
	EXISTING CLEANOUT
	EXISTING FIRE HYDRANT
	EXISTING WATER LINE
	PROPOSED STORM DRAIN
	PROPOSED STORM DRAIN INLET
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	M1B2 SOILS BOUNDARY
	M1D3 SOILS BOUNDARY
	PROPOSED SIDEWALK

NO AS-BUILT INFORMATION  
THIS SHEET.

OWNER/DEVELOPER  
EASTGATE LLC  
8150 LEESBURG PIKE, STE 1100  
VIENNA, VA 22182

12	CHANGE SHEET NUMBER	4/25/14
14	CHANGE SHEET NUMBER	06/09/16
13	ADD A BUILDING WALL, TIERED RETAINING WALL AND ASSOCIATED PARKING	02/21/14
16	REVISE PLAN TO ADD AND IHOP TO THE SITE	05-15-13
NO.	REVISION	DATE

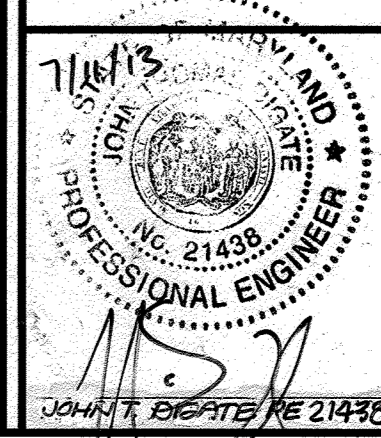
REVISED SITE DEVELOPMENT PLAN

IHOP LAYOUT PLAN

EASTGATE SHOPPING CENTER  
7361 ASSATEAGUE DRIVE, JESSUP, MD 20794  
MD WHOLESALE FOOD CENTER  
ZONED: B-2 PLAT 657  
PROPOSED USE: RETAIL

TAX MAP 43, BLOCK B, 6TH ELECTION DISTRICT  
PARCEL 659, LOT B-1  
HOWARD COUNTY, MARYLAND

**ROBERT H. VOGEL**  
ENGINEERING, INC.  
ENGINEERS • SURVEYORS • PLANNERS  
8407 MAIN STREET  
ELLICOTT CITY, MD 21043  
TEL: 410.461.7666  
FAX: 410.461.8961



DESIGN BY: DZ/RHV  
DRAWN BY: DZ  
CHECKED BY: RHV  
DATE: JULY 2013  
SCALE: AS SHOWN  
W.O. NO.: 11-38

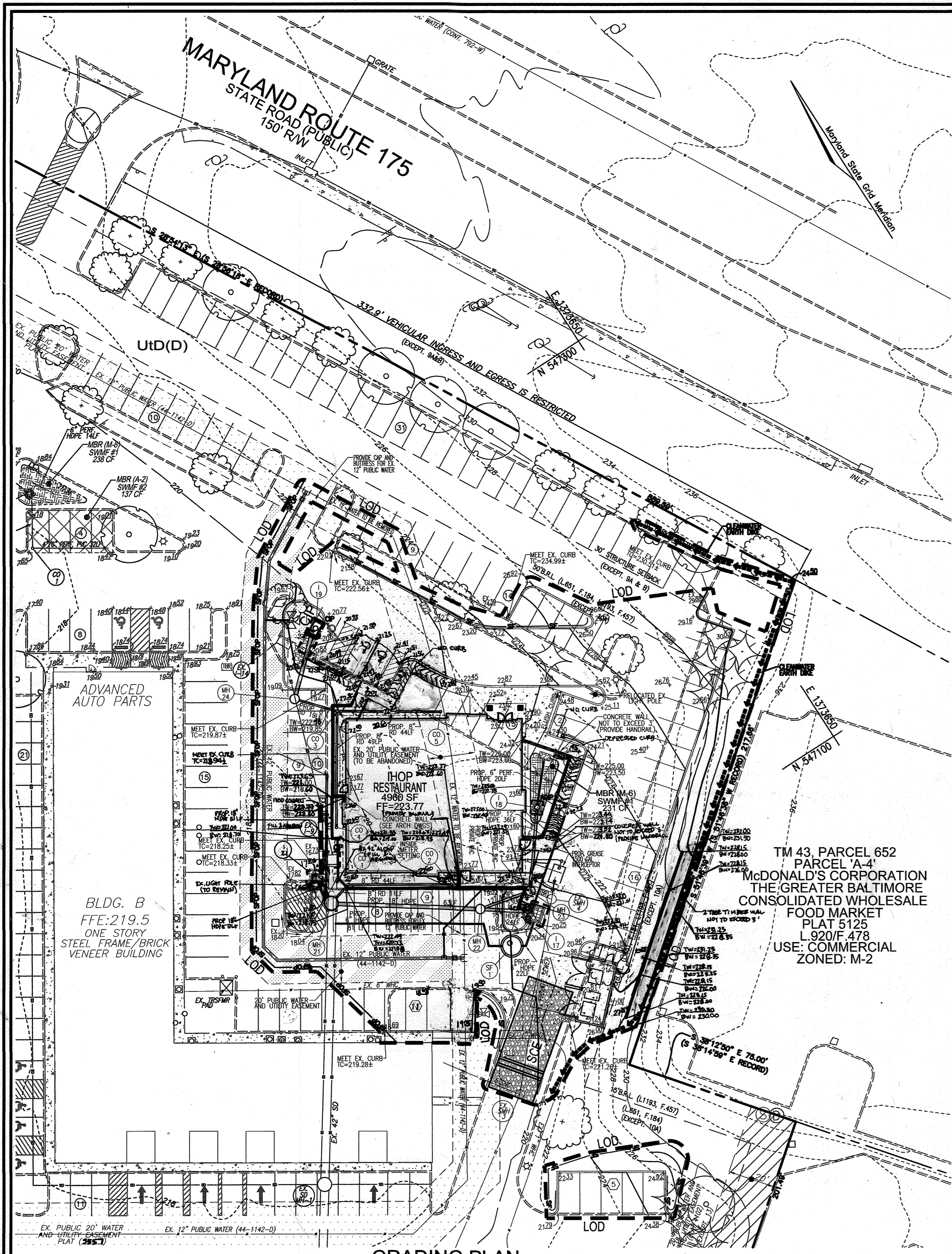
PROFESSIONAL CERTIFICATE  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21438, EXPIRATION DATE 09-27-2014.

16 SHEET OF 22

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

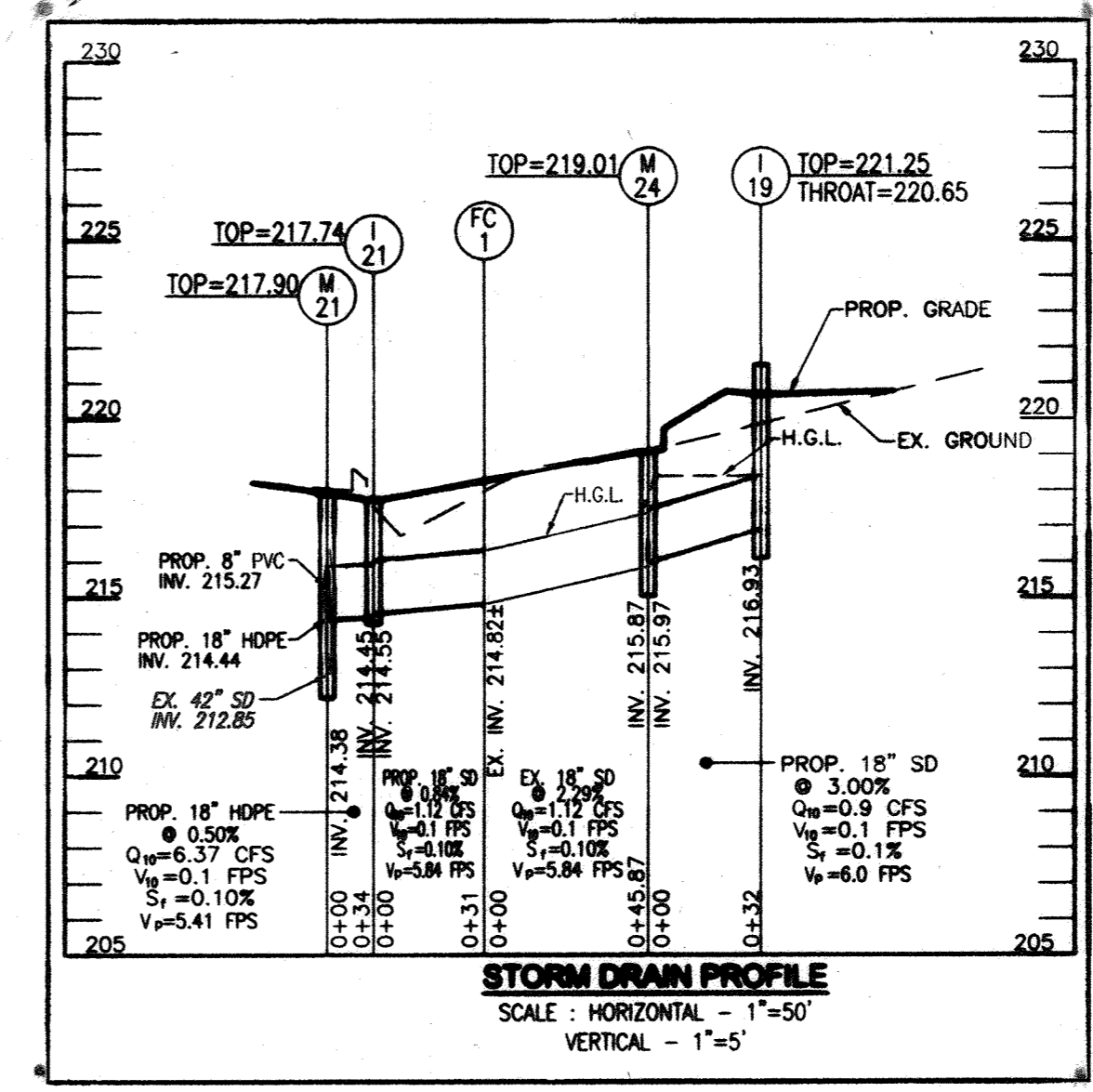
8/15/13  
DATE  
Karl Stalder  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
9/13/13  
DATE  
Mark A. Lough  
CHIEF, DIVISION OF LAND DEVELOPMENT  
9/13/13  
DATE  
DIRECTOR



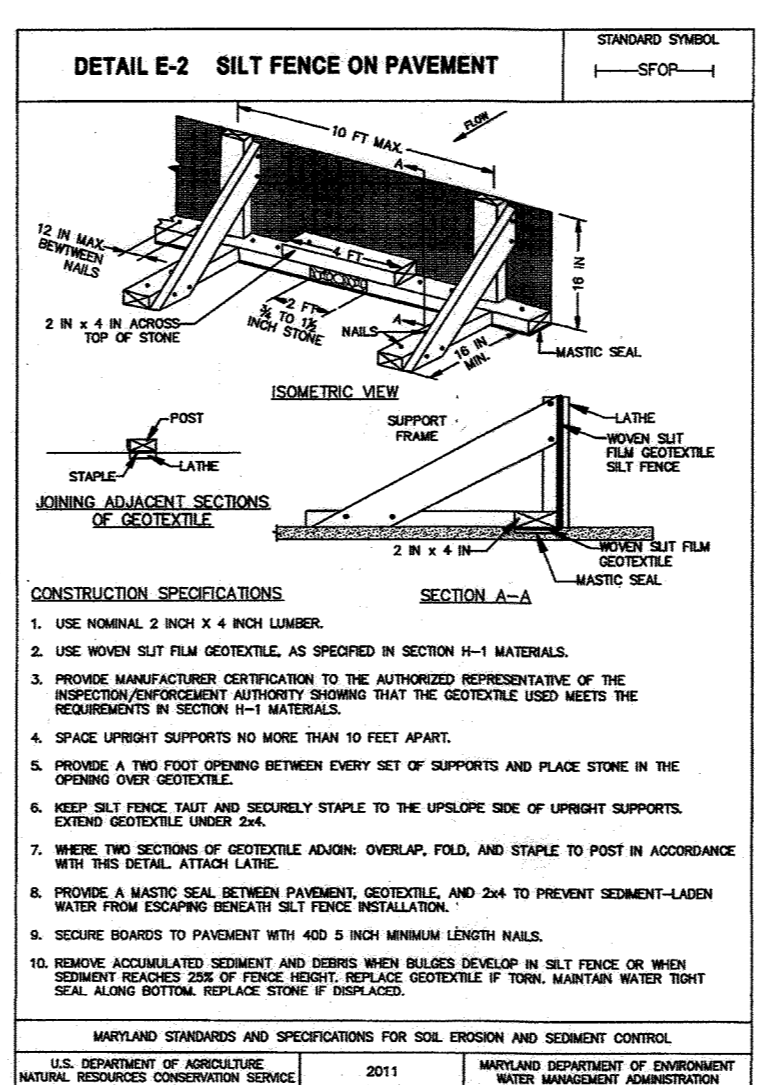
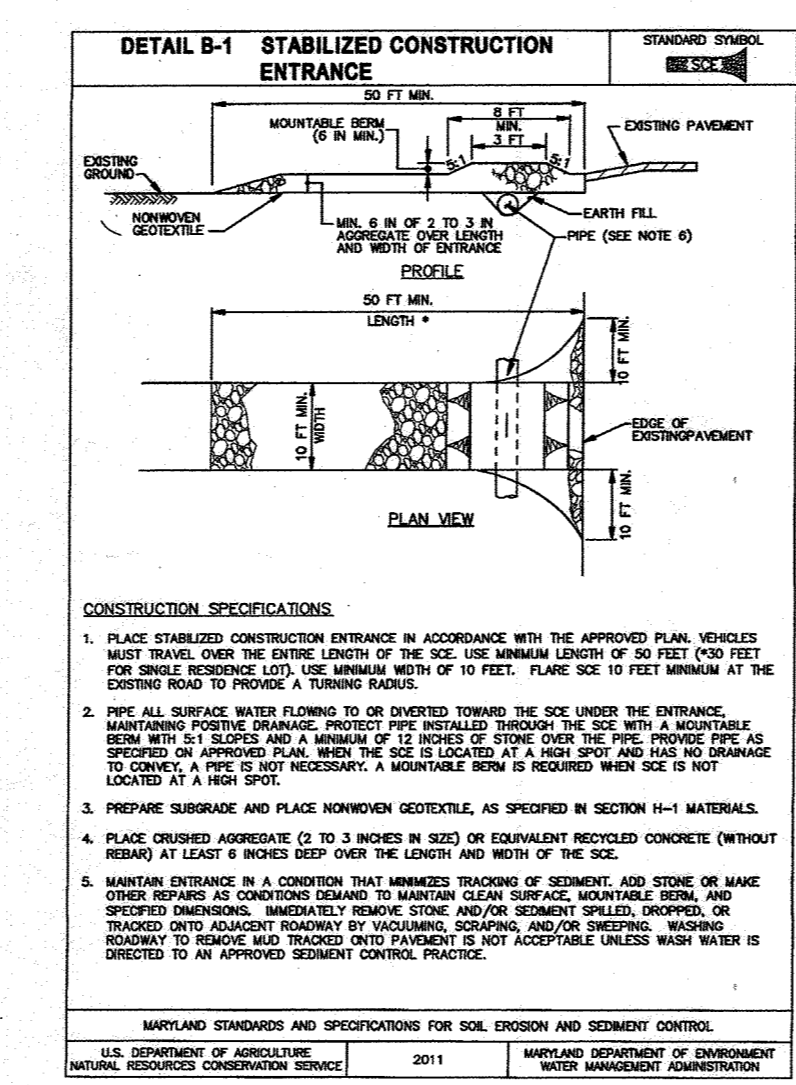


- ### HOWARD SOIL CONSERVATION DISTRICT STANDARD SEDIMENT CONTROL NOTES
- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION, (313-1855).
  - ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT "MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", AND REVISIONS THERE TO.
  - FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 3 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, B) 7 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
  - ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
  - ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (SECTION G) FOR PERMANENT SEEDING, 500% TEMPORARY SEEDING, AND MULCHING. TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
  - ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
  - SITE ANALYSIS:
 

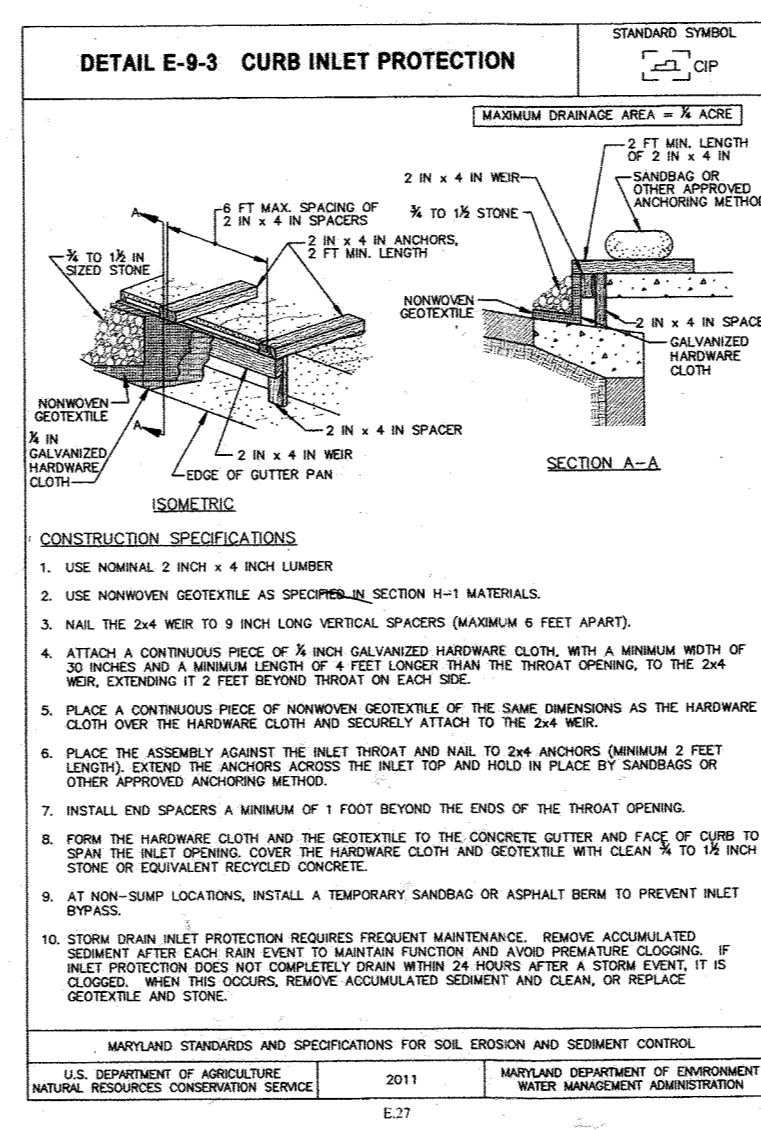
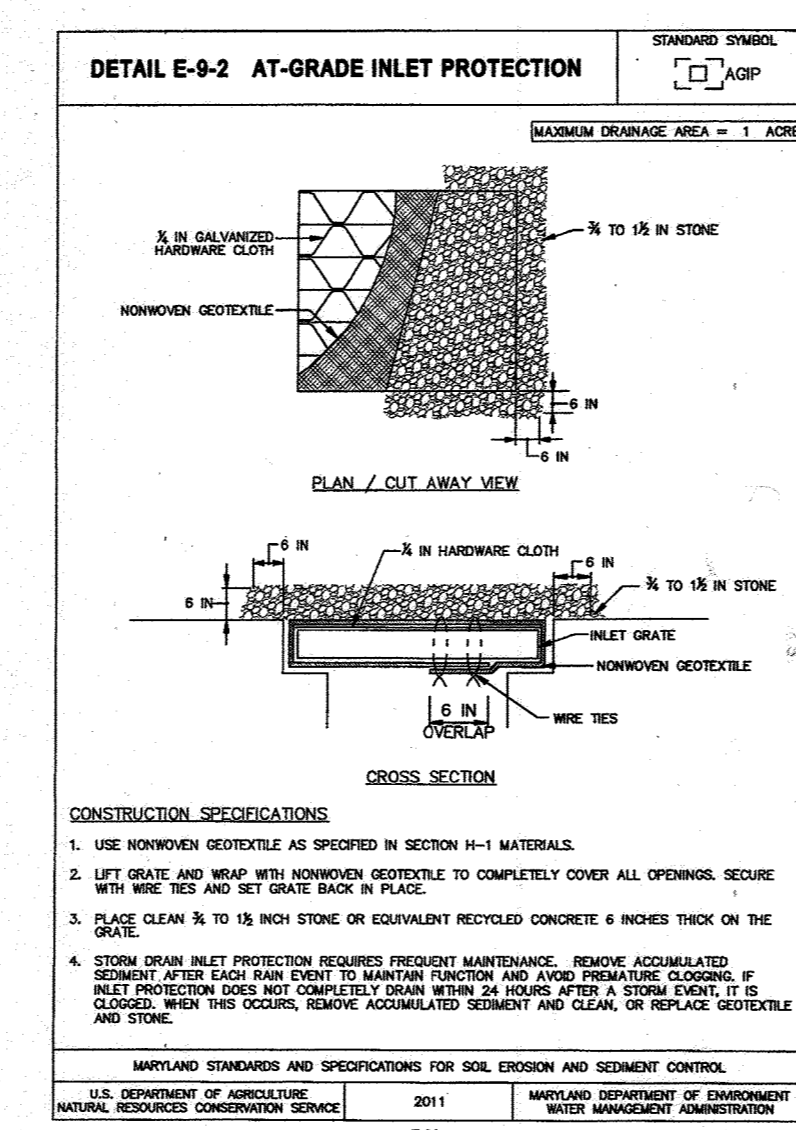
TOTAL AREA OF SITE	0.87 AC.
AREA DISTURBED	0.87 AC.
AREA TO BE ROOFED OR PAVED	0.77 AC.
AREA TO BE VEGETATIVELY STABILIZED	0.10 AC.
TOTAL CUT	500 CY*
TOTAL FILL	500 CY*
OPPOSITE WASTE/BORROW AREA LOCATION	**
  - ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
  - ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
  - ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROL, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
  - TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN BE BACK FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.
  - ESTIMATE ONLY; CONTRACTOR SHALL VERIFY QUANTITIES TO HIS OWN SATISFACTION.
  - TO BE DETERMINED BY CONTRACTOR, WITH PRE-APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, WITH AN APPROVED AND ACTIVE GRADING PERMIT.



- ### LEGEND:
- 300 --- EXISTING CONTOUR
  - 102.88 --- PROPOSED CONTOUR
  - +02.88 EXISTING SPOT ELEVATION
  - +02.88 EXISTING CURB AND GUTTER
  - ==== PROPOSED CURB AND GUTTER
  - EXISTING UTILITY POLE
  - EXISTING LIGHT POLE
  - EXISTING MAILBOX
  - EXISTING SIGN
  - EXISTING SANITARY MANHOLE
  - EXISTING SANITARY LINE
  - EXISTING CLEANOUT
  - EXISTING FIRE HYDRANT
  - EXISTING WATER LINE
  - PROPOSED STORM DRAIN
  - PROPOSED STORM DRAIN INLET
  - PROPERTY LINE
  - RIGHT-OF-WAY LINE
  - M1B2 MTD3 SOILS BOUNDARY
  - PROPOSED SIDEWALK
  - ACIP AT GRADE INLET PROTECTION
  - CIP CURB INLET PROTECTION
  - SILT FENCE
  - SILT FENCE ON PAVEMENT
  - LIMIT OF DISTURBANCE
  - STABILIZED CONSTRUCTION ENTRANCE



- ### SEQUENCE OF CONSTRUCTION
- OBTAIN HOWARD COUNTY GRADING PERMIT. (2 DAYS)
  - NOTIFY HOWARD COUNTY AT LEAST 48 HOURS PRIOR TO START OF CONSTRUCTION. (1 WEEK)
  - CONDUCT A PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR PRIOR TO ANY LAND DISTURBANCE. (1 WEEK)
  - INSTALL ALL SILT FENCE, SILT FENCE ON PAVEMENT (2 DAYS)
  - INSTALL STABILIZED CONSTRUCTION ENTRANCE WITH MOUNTABLE BERM. DUE TO SITE CONDITIONS OF EXISTING PAVEMENT, INSPECTOR MAY NOT REQUIRE (200). (2 DAYS)
  - CLEAR AND GRUB SITE FOR CONSTRUCTION OF PARKING LOT AND BUILDING (1 WEEK)
  - BEGIN PROPOSED BUILDING CONSTRUCTION (16 WEEKS)
  - BEGIN CONSTRUCTION OF WATER, SANITARY SEWER, AND STORM DRAINS. PROVIDE INLET PROTECTION WHERE REQUIRED (2 WEEKS) NOTE: IF STORM DRAIN INSTALLATION IS STABILIZED EACH DAY THEN NO SILT FENCE WILL BE REQUIRED FOR STORM DRAINS
  - BEGIN CONSTRUCTION OF PARKING LOT & PERMEABLE CONCRETE (3 WEEKS)
  - BEGIN INSTALLING CURB AND GUTTER, ONCE INSTALLED BASE COURSE CAN BE INSTALLED. (2 WEEKS)
  - COMPLETE PROPOSED BUILDING (2 WEEKS)
  - INSTALL ALL PAVING SURFACE COURSE. (2 DAYS)
  - FINE GRADE AND STABILIZE ALL AREAS INCLUDING ANY EXPOSED EARTH AREAS OUTSIDE THE LOD. REMOVE ALL TRASH JUNK AND DEBRIS FROM ENTIRE PARCEL. (1 WEEK)
  - REMOVE ALL SEDIMENT CONTROL MEASURES AFTER RECEIVING APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR. (2 DAYS)



### NOTES

DURING GRADING AND AFTER EACH RAINFALL, THE CONTRACTOR SHALL INSPECT AND PROVIDE THE NECESSARY MAINTENANCE ON THE SEDIMENT AND EROSION CONTROL MEASURES SHOWN HEREON.

FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:

- 3 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, SWALES, DITCH PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1.
- 7 CALENDAR DAYS FOR ALL OTHER DISTURBED AREAS.

### GRADING PLAN

SCALE: 1"=30'

NOTE: STOCKPILING WILL NOT BE PERMITTED ON-SITE.

NOTES: REFER TO SHEET 8 FOR 2011 "TABLE B-1 - TEMPORARY SEEDING FOR SITE STABILIZATION" AND "IDEAL TIMES FOR SEEDING FOR TURF GRASS MIXTURES"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

8/1/13  
DATE

9/13/13  
DATE

9/13/13  
DATE

BY THE DEVELOPER:

7. I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

7-12-13  
DATE

BY THE ENGINEER:

7. I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

7/11/13  
DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

7/11/13  
DATE

NO AS-BUILT INFORMATION THIS SHEET.

OWNER/DEVELOPER  
EASTGATE LLC  
8150 LEESBURG PIKE STE 1100  
VIENNA, VA 22182  
SDP 93-144

1B	CHANGE SHEET NUMBER	4/25/24
14	CHANGE SHEET NUMBER	06/04/16
13	ADD A BUILDING WALL, TIERED RETAINING WALL AND ASSOCIATED DRIVE	02/21/14
12	REVISE PLAN TO ADD AND HOP TO THE SITE	05-15-13
NO.	REVISION	DATE

REVISED SITE DEVELOPMENT PLAN  
IHOP GRADING AND SEDIMENT CONTROL PLAN  
EASTGATE SHOPPING CENTER  
7361 ASSATEGUE DRIVE, JESSUP, MD 20794  
MD WHOLESALE FOOD CENTER  
ZONED: B-2  
PROPOSED USE: RETAIL

TAX MAP 43 BLOCK B  
6TH ELECTION DISTRICT

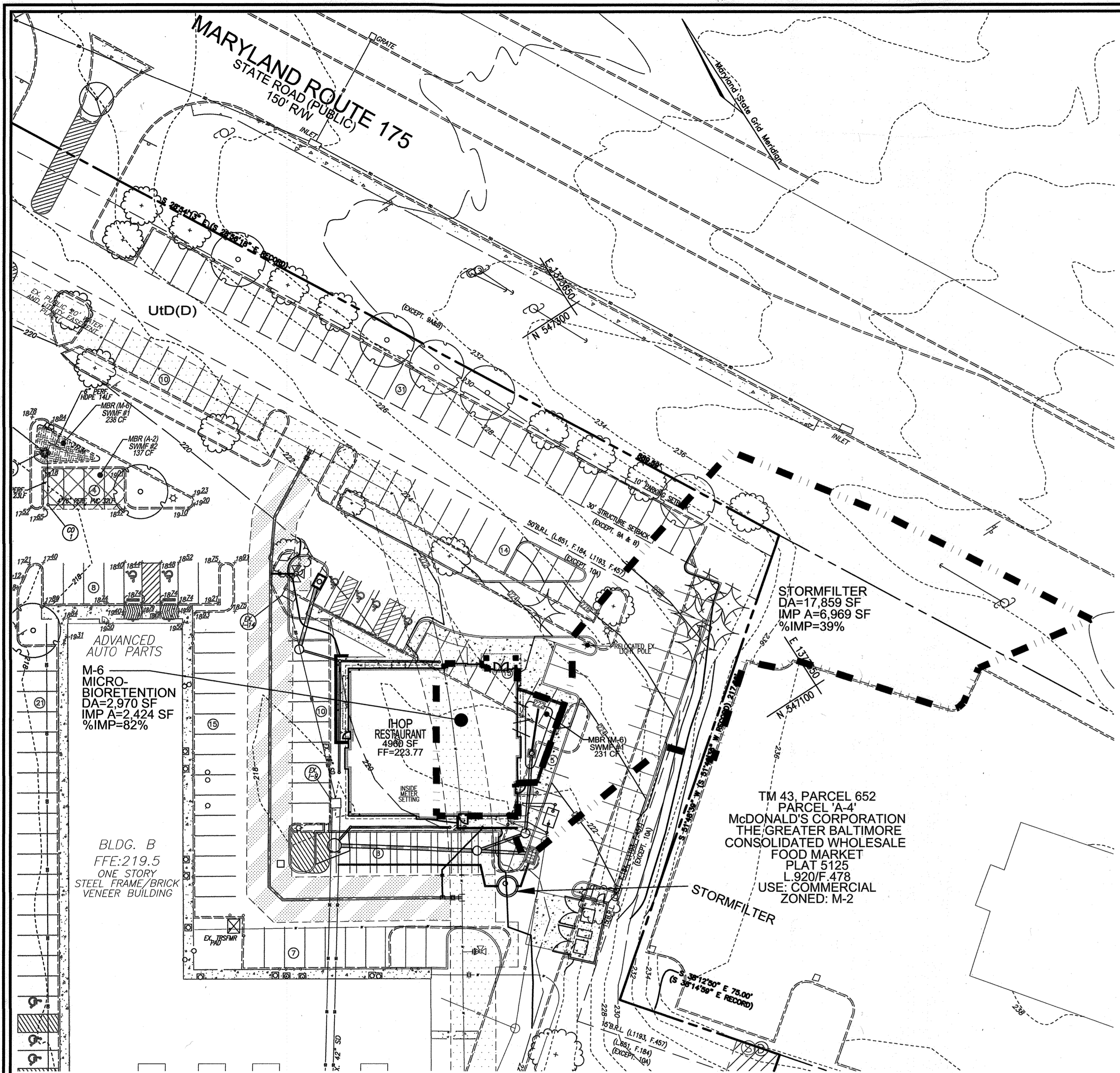
ROBERT H. VOGEL  
ENGINEERING, INC.  
ENGINEERS • SURVEYORS • PLANNERS  
8407 MAIN STREET  
ELICOTT CITY, MD 21043  
TEL: 410.461.7666  
FAX: 410.461.8961

DESIGN BY: DZ/RHV  
DRAWN BY: DZ  
CHECKED BY: RHV  
DATE: JULY 2013  
SCALE: AS SHOWN  
W.O. NO.: 11-38

PROFESSIONAL CERTIFICATE  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21438, EXPIRATION DATE 08-27-2014

17 SHEET OF 22

AS-BUILT 12.18.15 SDP-83-144



SWM DA MAP  
SCALE: 1"=30'

SCHEDULED B: STORMWATER MANAGEMENT AREA LANDSCAPING

LINEAR FEET OF PERIMETER	70 LF
CREDIT FOR EXISTING VEGETATION (NO, YES AND LINEAR FEET)	NO
CREDIT FOR OTHER LANDSCAPING (NO, YES AND #)	YES, 1000'
NUMBER OF TREES REQUIRED (8 BUFFER)	8 BUFFER
NUMBER OF TREES PROVIDED	8 SHADE TREES & 8 EVERGREEN TREES
NUMBER OF TREES PROVIDED (SHADE TREES)	SEE MICRO-BIOTENTION PLANT LIST*

\*SURETY FOR MICRO-BIOTENTION PROVIDED IN THE DED COST ESTIMATE

BIOTENTION PLANTING SCHEDULE

KEY	QTY	BOTANICAL NAME/COMMON NAME	SIZE	REMARKS
1	7	BRS. SIBERICA 'BENNETT'S BLUE' BURNING BUSH	1 GALLON	18" O.C.
2	4	HEMORICALLIS X PRARIE BLUE EYES PRARIE BLUE EYES DAYLILY	1 GALLON	30" O.C.
3	2	QUINQUEFOLIA 'SEROTINA' YELLO WINGED DOGWOOD	4" HT	SHOULDER QUALITY STRAIGHT TRUNK
4	20	CONVALARIA MAJALIS	1 QT.	12" O.C.
5	25	ACCORIS GRAMINEUS 'ODON' GOLDEN VAREGATED SWEET FLAG	1 QT.	12" O.C.

BIOTENTION PLANTING REQUIREMENTS

MBR	AREA	STEMS REQUIRED	STEMS PROVIDED
SWMF #1	231 SF	6	13

BIOTENTION AREAS ARE TO BE PLANTED BASED ON A MINIMUM DENSITY OF 1000 STEMS PER PLANTED ACRE (10229 STEMS PER SQUARE FOOT).

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DATE: 8/5/13

DATE: 9/3/13

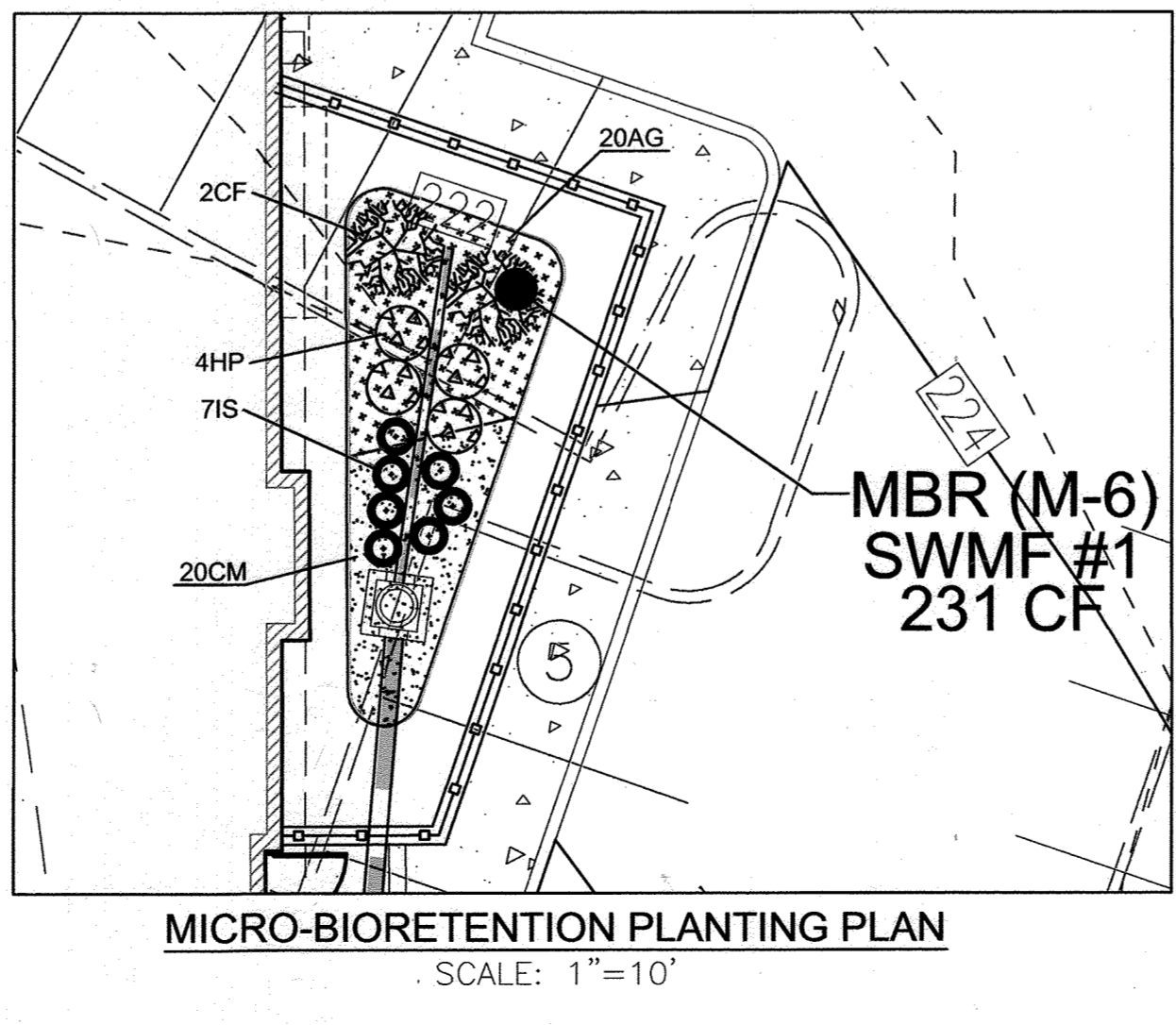
DATE: 7/12/13

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

SIGNATURE OF DEVELOPER: [Signature]

DATE: 7-12-13



MBR (M-6) SWMF #1 231 CF

MICRO-BIOTENTION PLANTING PLAN  
SCALE: 1"=10'

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS.

DATE: 12-18-15

ROBERT H. VOGEL, P.E.

**CONTECH Stormfilter**

**Stormfilter Maintenance Guidelines**

Maintenance requirements and frequency are dependent on the pollutant load characteristics of each site, and may be required to do a manual task or to excessive sediment loading.

**Maintenance Procedures**

Although there are other effective maintenance options, CONTECH recommends the following two procedures:

1. Manual: Stormfilter the need for maintenance.
2. Maintenance: Cartridge replacement and sediment removal.

**Inspection and Maintenance Activity Timing**

At least one scheduled inspection activity should take place per year with maintenance following as required.

First, inspection should be done before the winter season. During which, the need for maintenance should be determined and, if deemed necessary, maintenance should be performed. Samples of the accumulated sediment and media should be obtained.

Second, if warranted, maintenance should be performed during periods of dry weather.

In addition, you should check the condition of the Stormfilter unit after major storms for potential damage caused by high flows and for high sediment accumulation. It may be necessary to adjust the inspection/maintenance activity schedule depending on the actual operating conditions encountered by the system.

Generally, inspection activities can be conducted at any time, and maintenance should occur when flows into the system are within.

**Maintenance Activity Frequency**

Maintenance is performed on an as-needed basis, based on inspection. Average maintenance frequency is 1-2 years. The primary factor controlling timing of maintenance of the Stormfilter is sediment loading. Valid appropriate media is determined, use the following:

**Inspection:** One time per year After major storms

**Maintenance:** As needed In the event of a chemical spill

**Inspection Procedures**

It is desirable to inspect during a storm to observe the relative flow through the filter cartridge. If the accumulated cartridge are heavily plugged, then typically large amounts of sediment will be present and any flow that does pass through the filter cartridge will be slow. If this is the case, then maintenance is warranted and the cartridge must be replaced.

**Maintenance**

Depending on the configuration of the particular system, workers will be required to enter the unit to perform the maintenance.

**Important: Inspection should be performed by a person who is familiar with the Stormfilter equipment.**

1. If applicable, set up safety equipment to protect and notify surrounding vehicles and pedestrian traffic.
2. Visually inspect the overall condition of the unit and take notes concerning effectiveness.
3. Open the access panels to the unit and allow the system vent.
4. Without entering the unit, visually inspect the inside of the unit, and note accumulation of liquids and solids.
5. Be sure to inspect the level of sediment build-up on the floor of the unit, in the forebay, and on top of the cartridge. If flow is occurring, note the flow rate per discharge pipe. Record all observations. Digital pictures are valuable for historical documentation.
6. Close and fasten the access panels.
7. Remove safety equipment.
8. If appropriate, make notes about the local drainage area relative to ongoing construction, erosion protection, or high loading of other materials to the system.
9. Discuss conditions that suggest maintenance and make decision as to whether or not maintenance is needed.

**Maintenance Decision Tree**

The need for maintenance is typically based on results of the inspection, the following is a general guide. Other factors, such as regulatory requirements, may need to be considered.

1. Sediment loading on the unit floor: If "4" of accumulated sediment, then go to maintenance.
2. Sediment loading on top of the cartridge: If "1/4" of accumulation, then go to maintenance.
3. Submerged media: If "2" of dark water in the cartridge bay for more than 24 hrs after end of rain event, then go to maintenance.
4. Plugged media: If open space between media granules is absent, then go to maintenance.
5. Spacing condition: If inspection is conducted during an average rain fall event and Stormfilter remains in bypass condition longer than the normal outlet backflow or sediment, then go to maintenance.
6. Hazardous material release: If hazardous material release (including fuels or oil) is reported, then go to maintenance.
7. Protrusion condition: If protrusion on the top of "1/4" (80%) is present above top cap, then go to maintenance.
8. Cartridge leakage: If system has been maintained for 3 years, then go to maintenance.

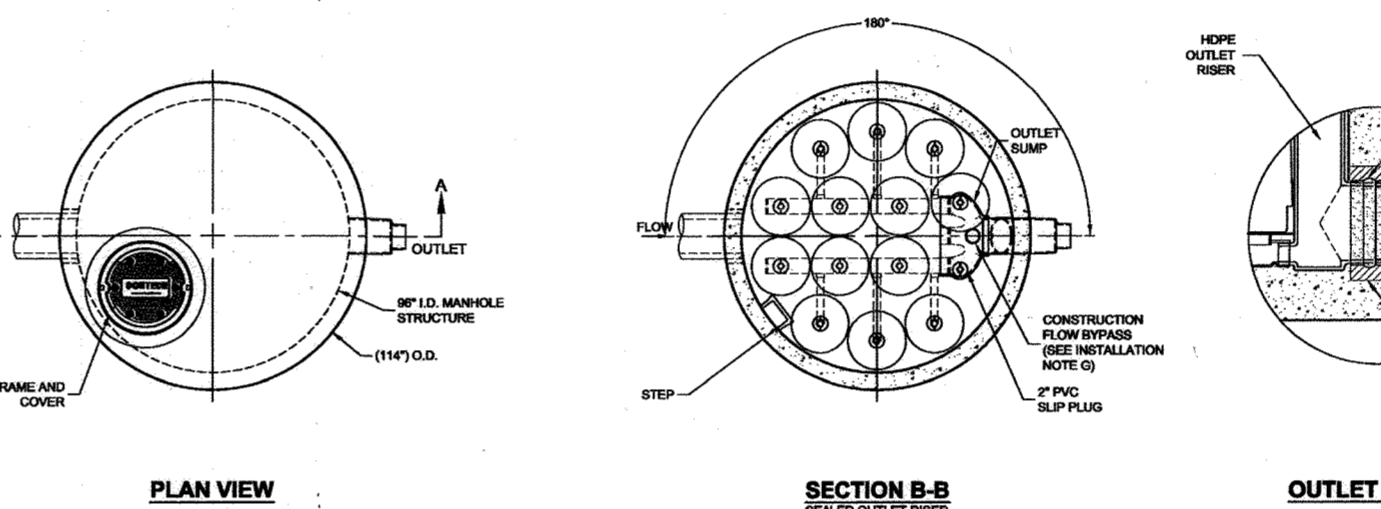
**Assumptions:** No system detention (at least not draining into Stormfilter). Structure is sealed. Outlet pipe is clear of obstruction. Construction types is rigid.

**Maintenance**

Depending on the configuration of the particular system, workers will be required to enter the unit to perform the maintenance.

**Important: Cartridge containing leaf media (LPM) do not require replacement. Leaf media (LPM) should be replaced only if damaged by the media. Leaf media (LPM) should be replaced only if damaged by the media. Leaf media (LPM) should be replaced only if damaged by the media.**

1. Remove the used cartridge from the unit.
2. Remove the used cartridge from the unit.
3. Set the used cartridge aside or load into the hauling truck.
4. Continue steps A through C until all cartridges have been replaced.



SECTION B-B  
FILTER OUTLET FILTER

QTY	DESCRIPTION	INITIATED BY
1	2" PVC RIGID PIPE	PRE-CASTER
1	1" RIGID OUTLET RISER	PRE-CASTER
1	FLOW KIT	PRE-CASTER
1	JOINT SEALANT (BY PRE-CASTER)	CONTRACTOR
1	1" RIGID 4" FRAME AND COVER	CONTRACTOR

CONTRACTOR TO GRANT TO IN-ROAD GRADE (SEE PLANTER LOCATION)

219.87  
217.32

SECTION A-A

CONTRACTOR TO GRANT TO IN-ROAD GRADE (SEE PLANTER LOCATION)

**LEGEND:**

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- SOILS BOUNDARY
- PROPOSED SIDEWALK
- DRAINAGE DIVIDE

**Method 2:**

1. Clean the unit using appropriate confined space protocols.
2. Remove the used cartridge from the unit.
3. Remove the used cartridge from the unit.
4. At location under structure access, lift the cartridge on its side.

**Important: Note that cartridges containing media other than the leaf media require unloading from their threaded connectors. This connector should remain installed in the manifold from the time of removal.**

1. Empty the cartridge onto the unit floor, heaviest side up.
2. Set the empty, used cartridge aside or load into the hauling truck.
3. Continue steps A through E until all cartridges have been removed.
4. Without entering the unit, check the inside of the unit, including components, a general condition inspection.
5. Make notes about the external and internal condition of the unit, give particular attention to recording the level of sediment build-up on the floor of the unit, in the forebay, and on top of the internal components.
6. Using appropriate equipment adjust the replacement cartridges up to 1/2" to match and set aside.
7. Remove used cartridges from the unit using one of the following methods:

**Method 1:**

1. This activity will require that workers enter the unit to remove the cartridges from the unit floor manifold and place them under the unit opening for lifting (removal). Uncover the manifold and install each filter cartridge from the underside connector. Roll the loose cartridge on edge to a convenient spot beneath the walk access.
2. Using appropriate hoisting equipment, attach a cable from the boom, crane, or tripod to the loose cartridge. Contact CONTECH for appropriate attachment device.
3. Set the used cartridge aside or load into the hauling truck.
4. Continue steps A through C until all cartridges have been removed.

**Important: Cartridge containing leaf media (LPM) do not require replacement. Leaf media (LPM) should be replaced only if damaged by the media. Leaf media (LPM) should be replaced only if damaged by the media. Leaf media (LPM) should be replaced only if damaged by the media.**

1. Remove the used cartridge from the unit.
2. Remove the used cartridge from the unit.
3. Set the used cartridge aside or load into the hauling truck.
4. Continue steps A through C until all cartridges have been removed.

**Important: Avoid damaging the cartridges during removal and installation.**

1. Remove the used cartridge from the unit.
2. Remove the used cartridge from the unit.
3. Set the used cartridge aside or load into the hauling truck.
4. Continue steps A through C until all cartridges have been removed.

SECTION B-B  
FILTER OUTLET FILTER

QTY	DESCRIPTION	INITIATED BY
1	2" PVC RIGID PIPE	PRE-CASTER
1	1" RIGID OUTLET RISER	PRE-CASTER
1	FLOW KIT	PRE-CASTER
1	JOINT SEALANT (BY PRE-CASTER)	CONTRACTOR
1	1" RIGID 4" FRAME AND COVER	CONTRACTOR

CONTRACTOR TO GRANT TO IN-ROAD GRADE (SEE PLANTER LOCATION)

219.87  
217.32

SECTION A-A

CONTRACTOR TO GRANT TO IN-ROAD GRADE (SEE PLANTER LOCATION)

OWNER/DEVELOPER

EASTGATE LLC  
8150 LEESBURG PIKE, STE 1100  
VIENNA, VA 22182

ESTGATE SHOP  
PK: 236  
ESD: 02/08/12  
V: 02/08/12  
Y: 02/08/12  
Vmax: 1/yr rainfall=0.2" (1.0/yr A)/2 (2.0/yr A)/2

DA	% IMPERV	Rv	DA	ESD	MAXIMUM VOLUME	ESD
1	82	0.79	0.07	**	300	5.3
2	40	0.41	0.41	**	630	1587
					3585	1585

TOTAL ESD BY SURFACE: 0 1816 1889

\* Provided Volume is less than ESDV because Bio-retention utilized in each cell at the rate of 25%.

\*\* ESDV based on redevelopment criteria, see attached.

NO.	REVISION	DATE
18	CHANGE SHEET NUMBER	4/29/14
17	CHANGE SHEET NUMBER	06/09/10
16	REVISE PLAN TO ADD AND IHP TO THE SITE	05-15-13

REVISED SITE DEVELOPMENT PLAN

IHP SWM DRAINAGE AREA MAP AND SWM DETAILS

EASTGATE SHOPPING CENTER  
7361 ASSATEQUE DRIVE, JESSUP, MD 20794

TAX MAP 43, BLOCK B  
6TH ELECTION DISTRICT

PARCEL 659, LOT B-1  
HOWARD COUNTY, MARYLAND

**ROBERT H. VOGEL ENGINEERING, INC.**  
ENGINEERS • SURVEYORS • PLANNERS

8407 MAIN STREET  
ELICOTT CITY, MD 21043  
TEL: 410.461.7666  
FAX: 410.461.8961

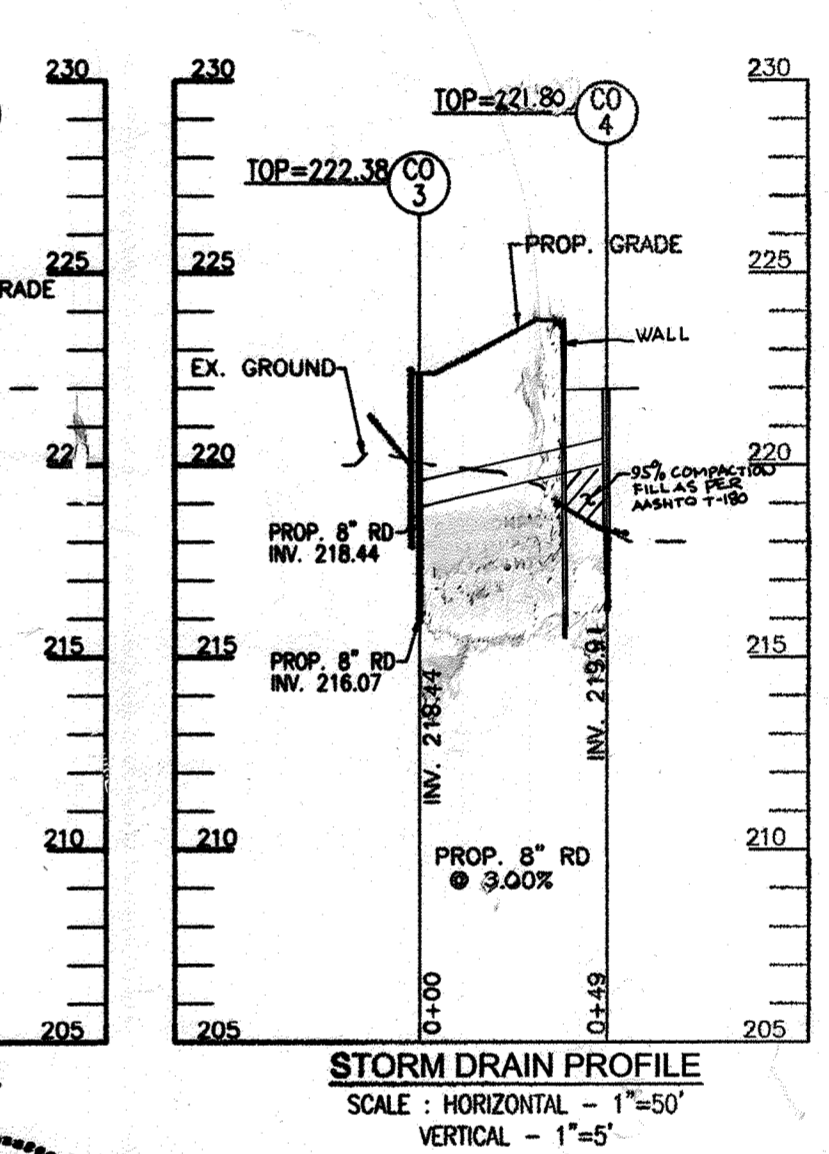
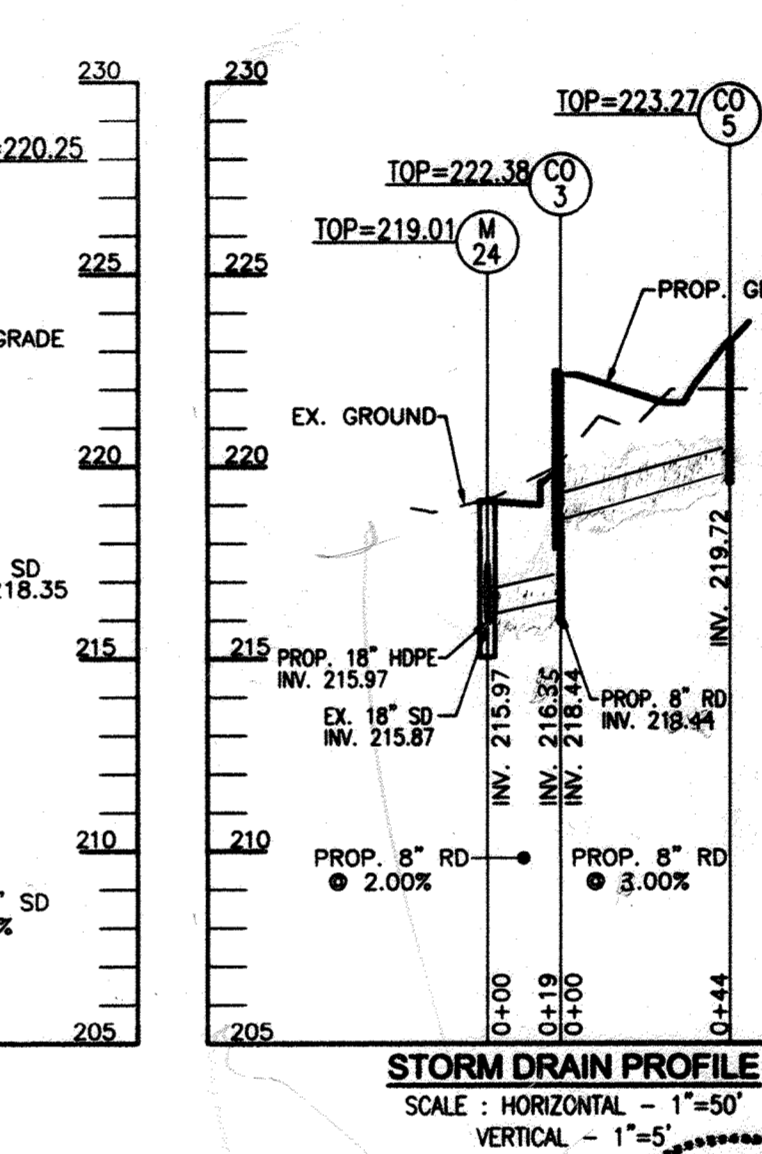
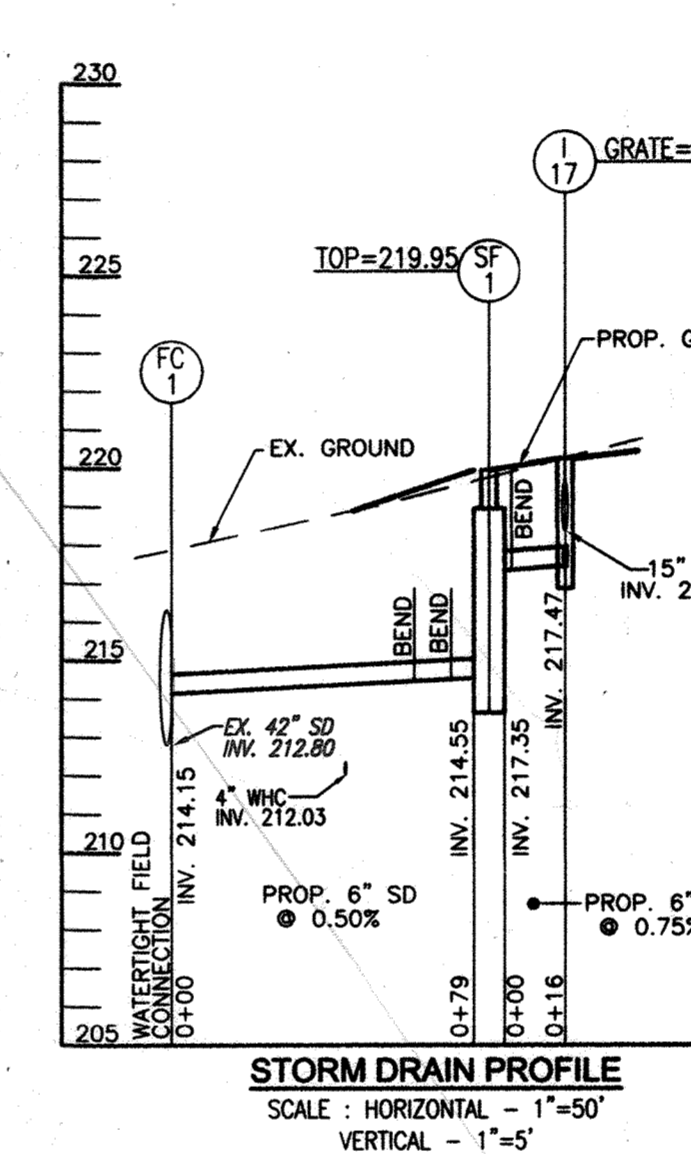
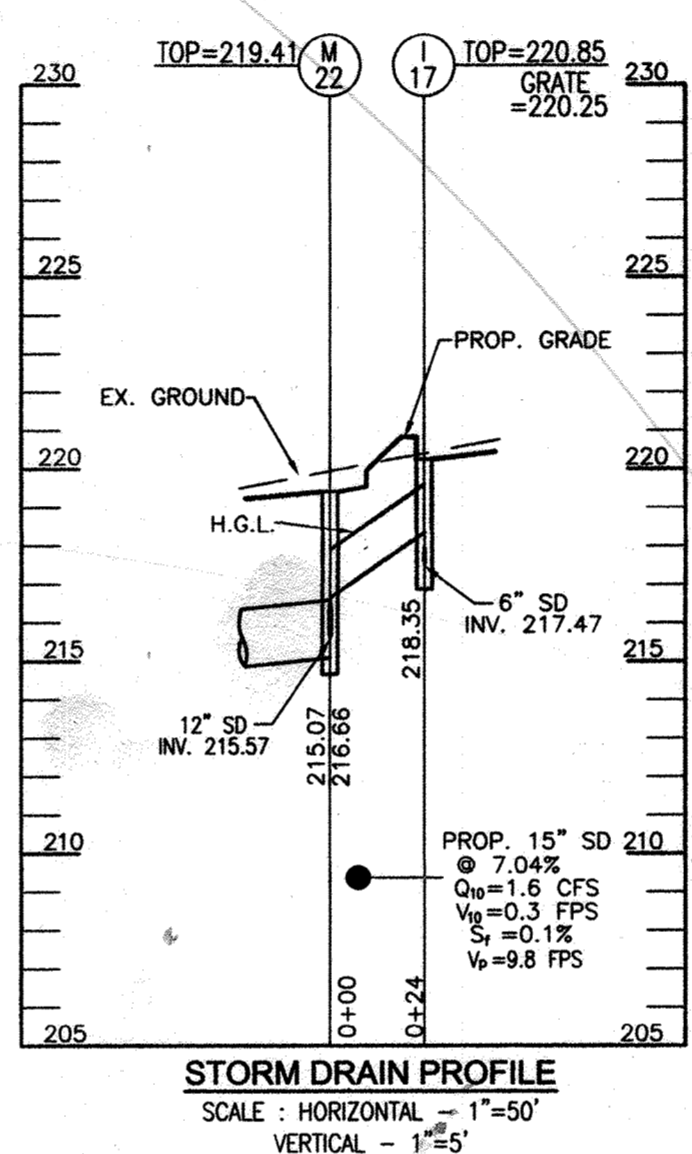
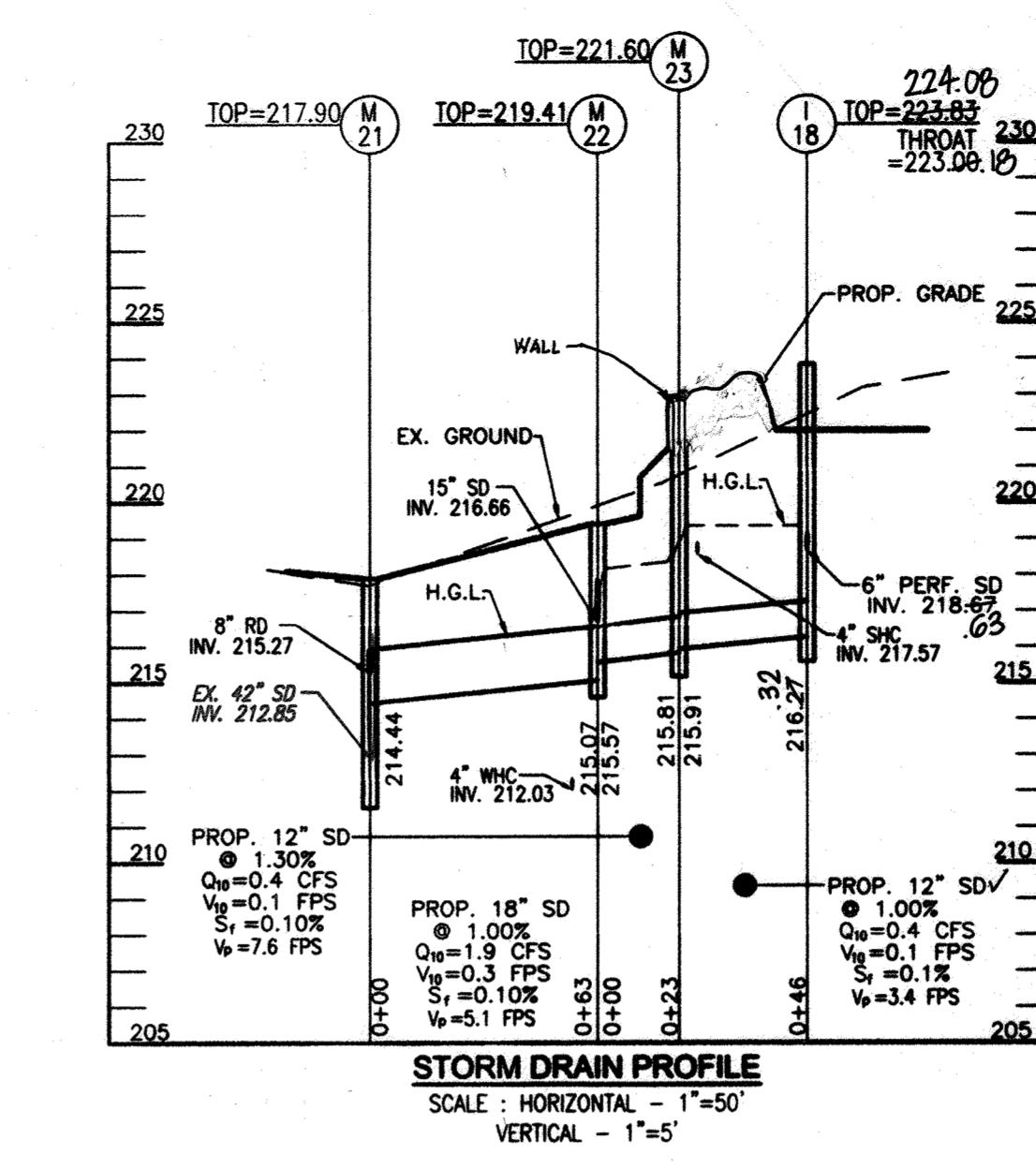
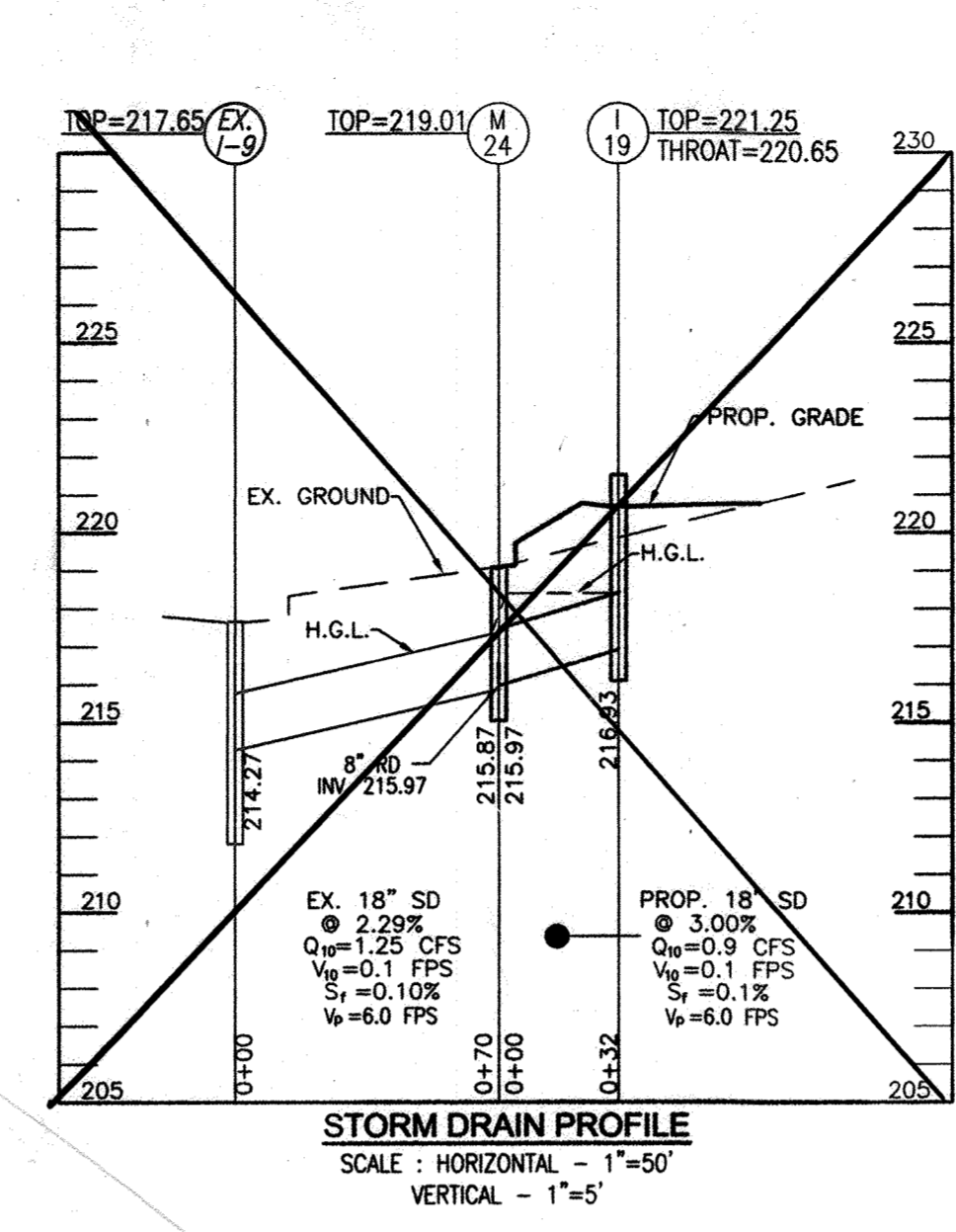
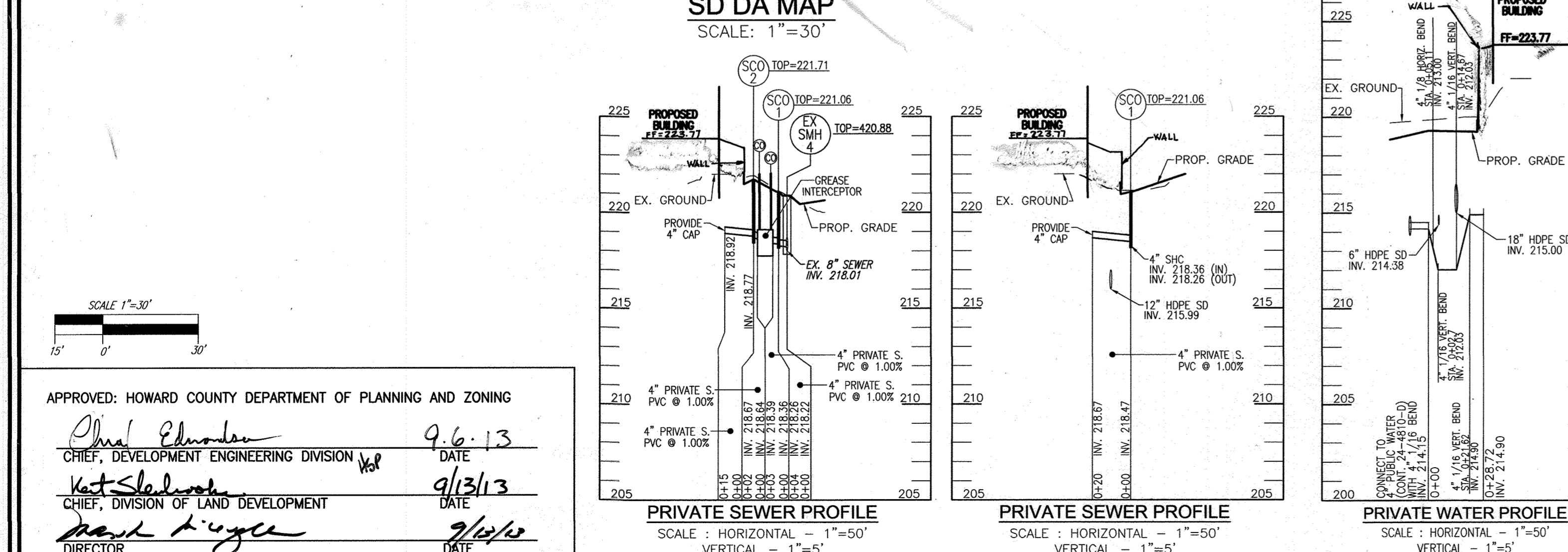
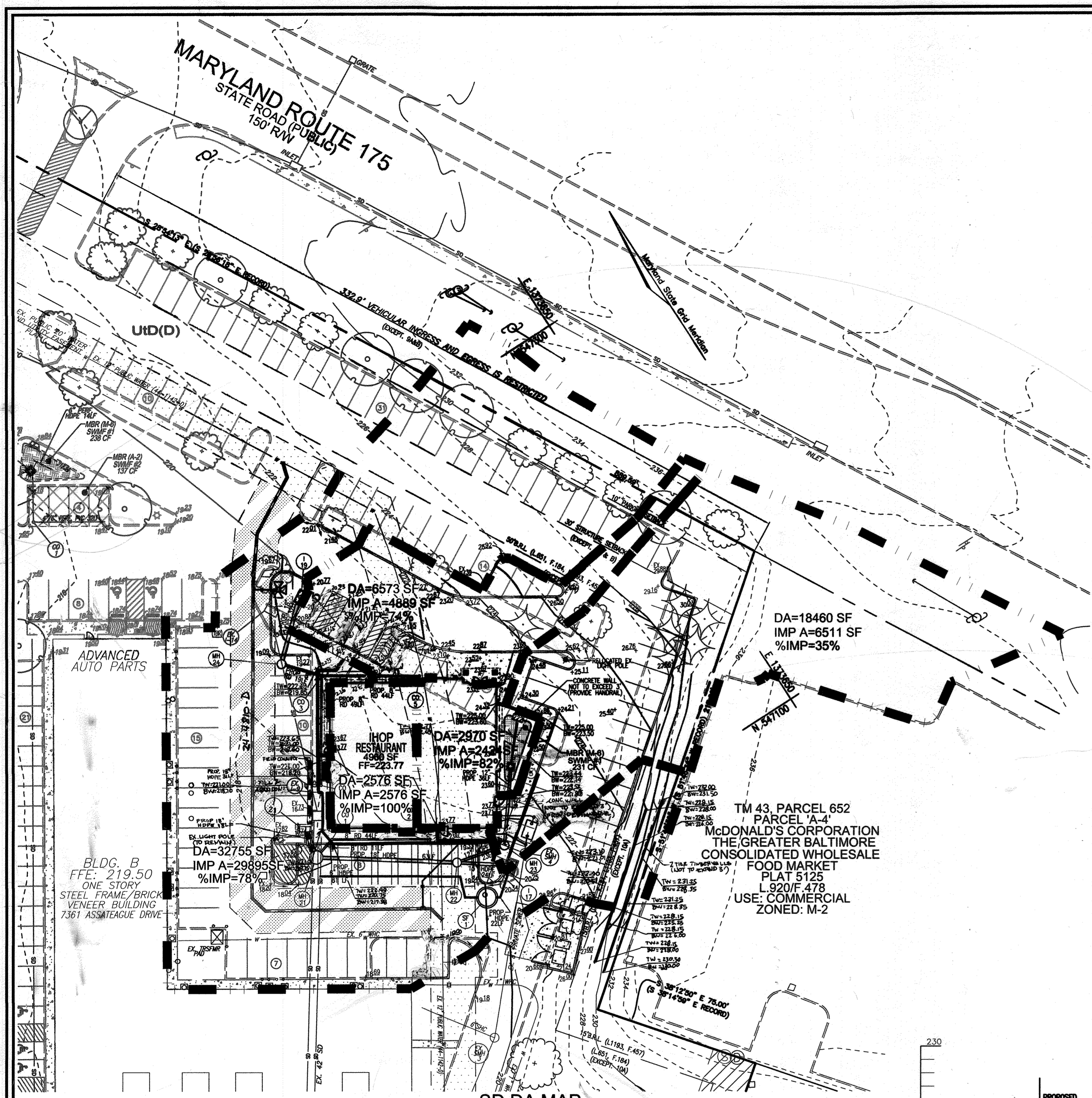
DESIGN BY: DZ/RHV  
DRAWN BY: DZ  
CHECKED BY: RHV  
DATE: JULY 2013  
SCALE: AS SHOWN  
W.O. NO.: 11-38

PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 18193, EXPIRATION DATE 08-27-2014.

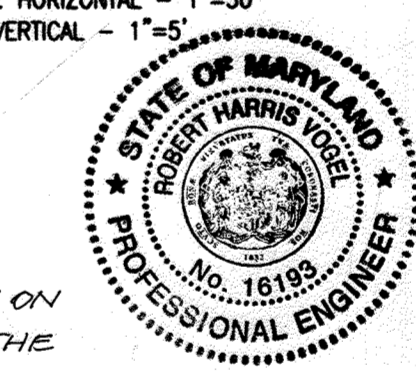
18 SHEET OF 22

AS-BUILT 12-18-15 SDP-88-144



- LEGEND:**
- EXISTING CONTOUR
  - - - - PROPOSED CONTOUR
  - EXISTING SPOT ELEVATION
  - EXISTING CURB AND GUTTER
  - EXISTING CURB AND GUTTER
  - EXISTING UTILITY POLE
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  - EXISTING SANITARY LINE
  - EXISTING CLEANOUT
  - EXISTING FIRE HYDRANT
  - EXISTING WATER LINE
  - PROPOSED STORM DRAIN
  - PROPOSED STORM DRAIN INLET
  - PROPERTY LINE
  - RIGHT-OF-WAY LINE
  - M1B2 SOLS BOUNDARY
  - M1D3 SOLS BOUNDARY
  - PROPOSED SIDEWALK
  - DRAINAGE DIVIDE

**AS-BUILT CERTIFICATION**  
 I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS.  
 16193 12-18-15  
 ROBERT H. VOGEL, P.E. NO. DATE



**OWNER/DEVELOPER**  
 EASTGATE LLC  
 8150 LEESBURG PIKE STE 1100  
 VIENNA, VA 22182

NO.	REVISION	DATE
18	CHANGE SHEET NUMBER	4/25/24
14	CHANGE BUILDING NUMBER	06/09/16
13	ADD A BUILDING WALL, TIERED RETAINING WALL AND ASSOCIATED PARKING	02/21/14
12	REVISE PLAN TO ADD AND IHOP TO THE SITE	05-15-13

**PIPE SCHEDULE**

SIZE	TYPE	LENGTH
6"	PERF. HDPE	20 LF
8"	HDPE	266 LF
12"	HDPE	58 LF
15"	HDPE	24 LF
18"	HDPE	95 LF

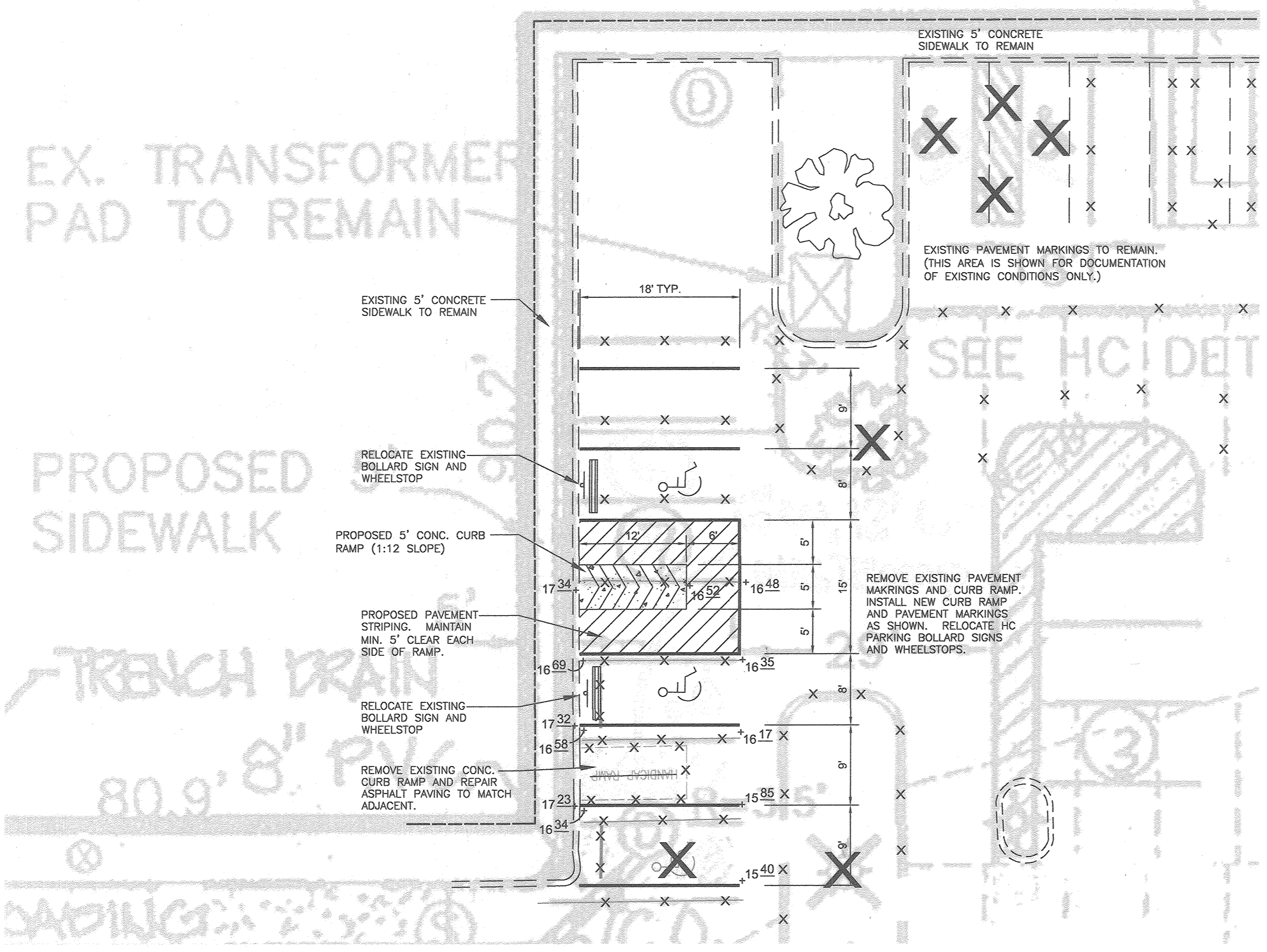
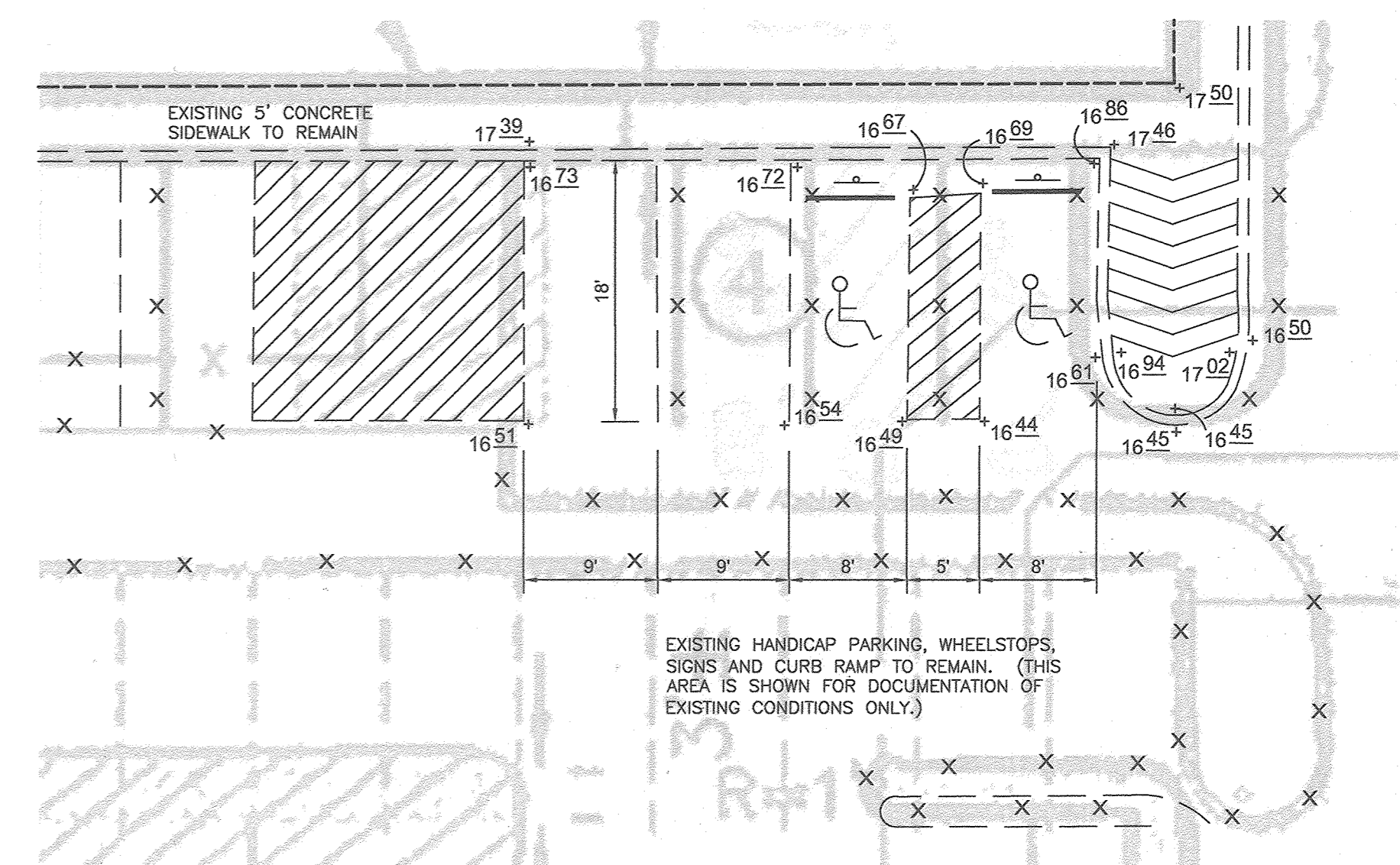
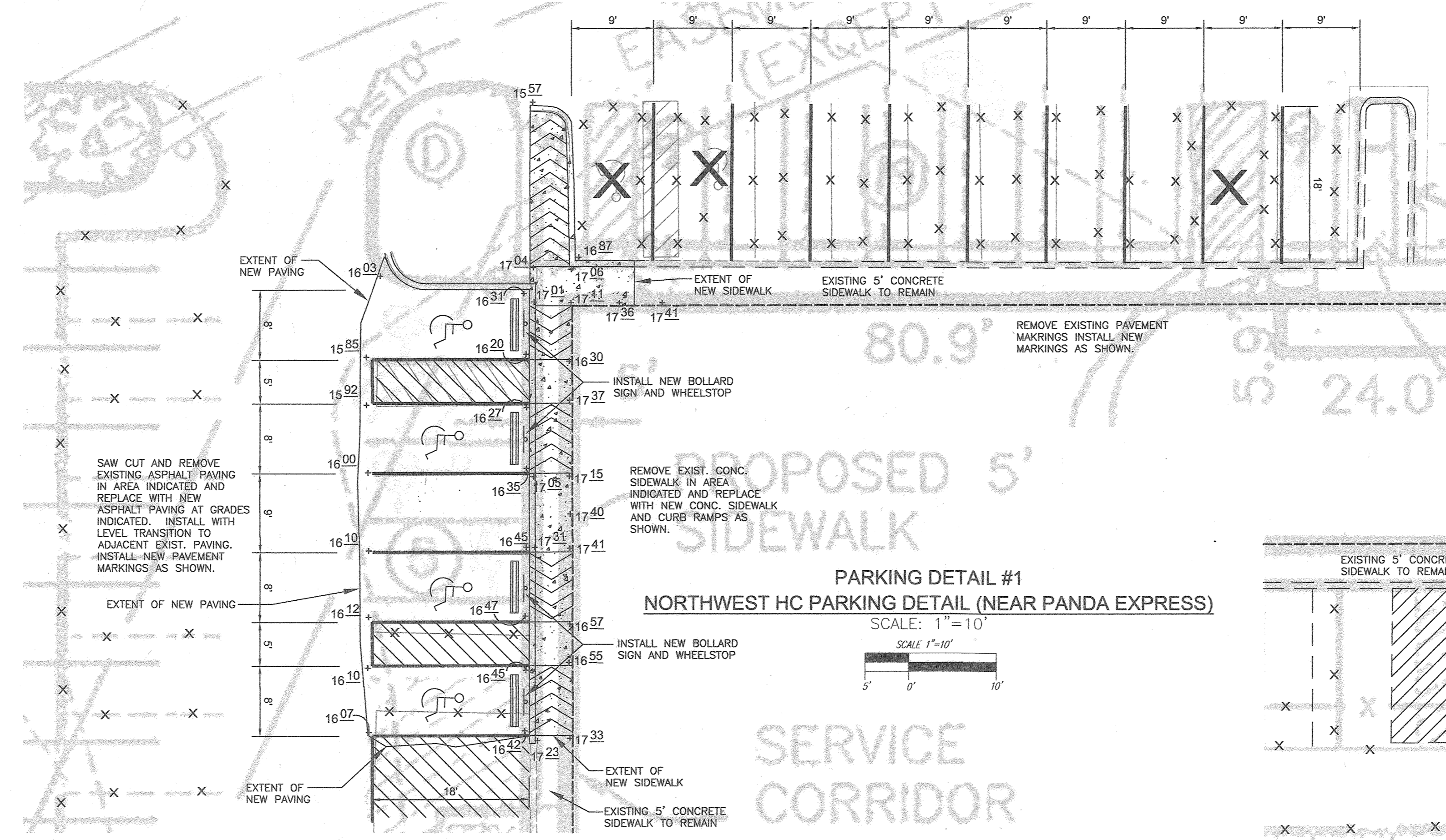
**STRUCTURE SCHEDULE**

NO.	TYPE	LOCATION	TOP ELEV.	THROAT ELEV.	INV. IN	INV. OUT	COMMENTS
I-17	DOUBLE TYPE "S" COMBINATION INLET	N 547105.24 E 1373503.21	220.85	220.25	-	219.37	MD SHA STD. 374.71
I-18	TYPE "D" INLET	N 547143.09 E 1373527.77	223.83	223.00	218.67	216.27	HO. CO. STD. D-4.10
I-19	TYPE "A-5" INLET	N 547288.35 E 1373490.02	221.25	220.65	216.93	HO. CO. STD. D-4.01	
M-21	8" PRECAST MANHOLE	N 547156.21 E 1373432.15	217.90	-	212.75	212.75	MD SHA STD. 384.05
M-22	4" PRECAST MANHOLE	N 547120.03 E 1373484.08	219.41	-	215.87	215.87	HO. CO. STD. G-5.12
M-23	4" PRECAST MANHOLE	N 547114.88 E 1373506.16	221.60	-	215.81	215.81	HO. CO. STD. G-5.12
M-24	4" PRECAST MANHOLE	N 547237.71 E 1373466.14	219.01	-	215.87	215.87	HO. CO. STD. G-5.12
SF-1	STORM FILTER (6" INSIDE DIAMETER)	N 547099.54 E 1373486.81	219.95	-	217.35	214.55	SEE DETAIL SHEET 18
CO-1	CLEANOUT	N 547159.13 E 1373442.47	218.60	-	215.58	214.55	HO. CO. STD. G-5.12
CO-2	CLEANOUT	N 547135.33 E 1373479.47	219.66	-	215.99	HO. CO. STD. G-5.12	
CO-3	CLEANOUT	N 547223.56 E 1373478.44	222.38	-	216.07	HO. CO. STD. G-5.12	
CO-4	CLEANOUT	N 547182.28 E 1373451.43	218.28	-	216.42	SEE DETAIL SHEET 18	
CO-5	CLEANOUT	N 547199.47 E 1373515.26	223.27	-	219.72	SEE DETAIL SHEET 18	

**SITE DEVELOPMENT PLAN**  
**IHOP STORMDRAIN DRAINAGE AREA MAP AND PROFILES**  
**EASTGATE SHOPPING CENTER**  
 7361 ASSATEAGUE DRIVE, JESSUP, MD 20794  
 MD WHOLESALE FOOD CENTER  
 TAX MAP 43, BLOCK B, 6TH ELECTION DISTRICT  
 PLAT 557  
 PROPOSED USE: RETAIL  
 PARCEL 659, LOT B-1  
 HOWARD COUNTY, MARYLAND

**ROBERT H. VOGEL ENGINEERING, INC.**  
 ENGINEERS • SURVEYORS • PLANNERS  
 8407 MAIN STREET  
 ELLICOTT CITY, MD 21043  
 TEL: 410.461.7666  
 FAX: 410.461.1891

**PROFESSIONAL CERTIFICATE**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 DESIGN BY: DZ/RHV  
 DRAWN BY: RH  
 CHECKED BY: DZ  
 DATE: JULY 2013  
 SCALE: AS SHOWN  
 W.O. NO.: 11-38



PARKING DETAIL #3  
SOUTHEAST HC PARKING DETAIL (NEAR POLLO FEUGO)  
SCALE: 1"=10'

PARKING DETAIL #2  
SOUTHEAST HC PARKING DETAIL (NEAR PAUL MITCHELL)  
SCALE: 1"=10'

OWNER/DEVELOPER  
EASTGATE LLC  
8150 LEESBURG PIKE STE 1100  
VIENNA, VA 22182

NO.	REVISION	DATE
13	CHANGE SHEET NUMBER	4/25/21
14	DOCUMENT EXISTING HC PARKING, REVISE HC PARKING AND ADD DETAILS	06-09-16

**SITE DEVELOPMENT PLAN**  
**HANDICAP PARKING DETAILS**

**EASTGATE SHOPPING CENTER**  
7361 ASSATEAGUE DRIVE, JESSUP, MD 20794  
MD WHOLESALE FOOD CENTER  
ZONED: B-2 (PLAT 565)  
PROPOSED USE: RETAIL

TAX MAP 43 BLOCK B 6TH ELECTION DISTRICT      PARCEL 659, LOT B-1 HOWARD COUNTY, MARYLAND

**ROBERT H. VOGEL ENGINEERING, INC.**  
ENGINEERS • SURVEYORS • PLANNERS  
8407 MAIN STREET      TEL: 410.461.7666  
ELLCOTT CITY, MD 21043      FAX: 410.461.8961

**PROFESSIONAL CERTIFICATE**

DESIGN BY: MR/RHV  
DRAWN BY: MR  
CHECKED BY: RHV  
DATE: MAY 2016  
SCALE: AS SHOWN  
W.O. NO.: 11-38

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2014.

20 SHEET OF 22

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 12-8-16  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 12-13-16  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 12-17-16  
DIRECTOR DATE

These drawings are the property of the Architect. Bignell Watkins Hasser Architects P.C. disclaims responsibility for any purpose to an illegitimate user. Reproduction or use of these drawings without the written consent of the Architect is prohibited. The user shall be responsible for all dimensions and conditions on the job and this office will not be held liable for any errors or omissions on the drawings and conditions shown by these drawings.

GENERAL NOTES

Revisions

#	Date	Description
17	3/22/18	MOM'S PARAPET EXTENSION
		SHEET #1 ADDITIONAL SHEET
18	4/25/24	CHANGE SHEET NUMBER

Client:

ATI ANTIC REALTY COMPANIES

Location:

JESSUP, MD

Project:

COLUMBIA E.MARKETPLACE FACADE IMPROVEMENTS

MOM's Organic Market ELEVATION

Drawn by:

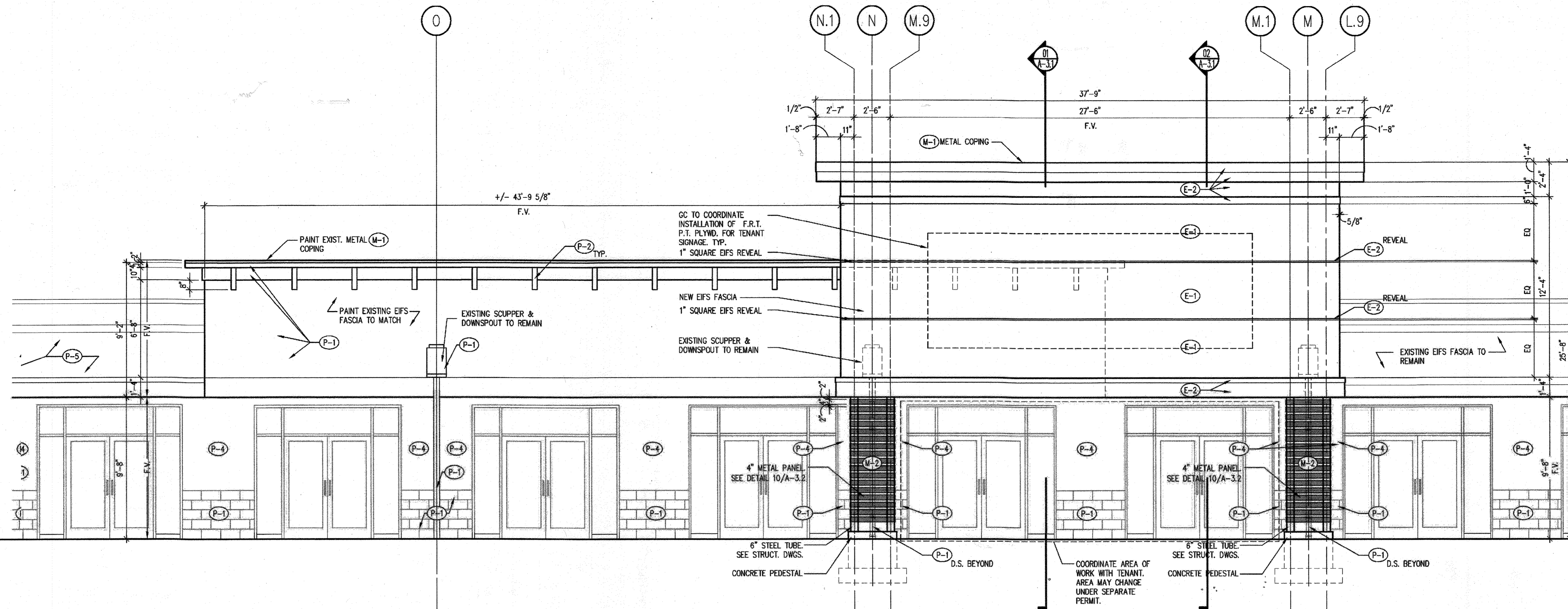
Project No. 09013.03

Date 3/22/2019

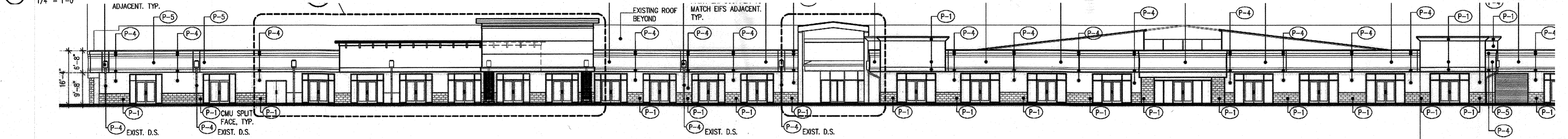
Professional Certification  
 I certify that these drawings were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland. License number: expiration date:



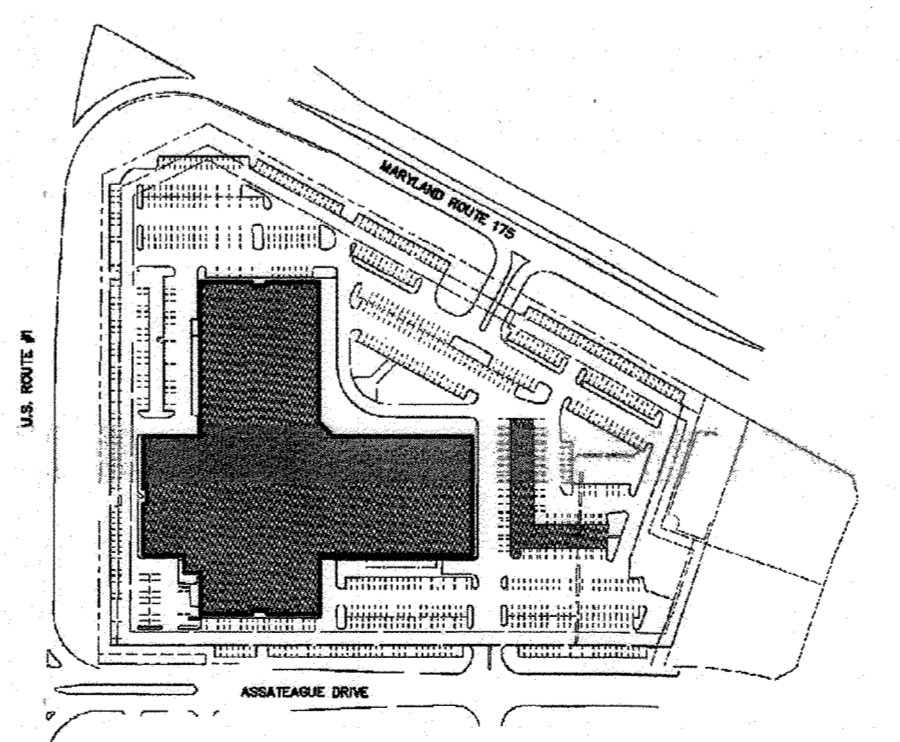
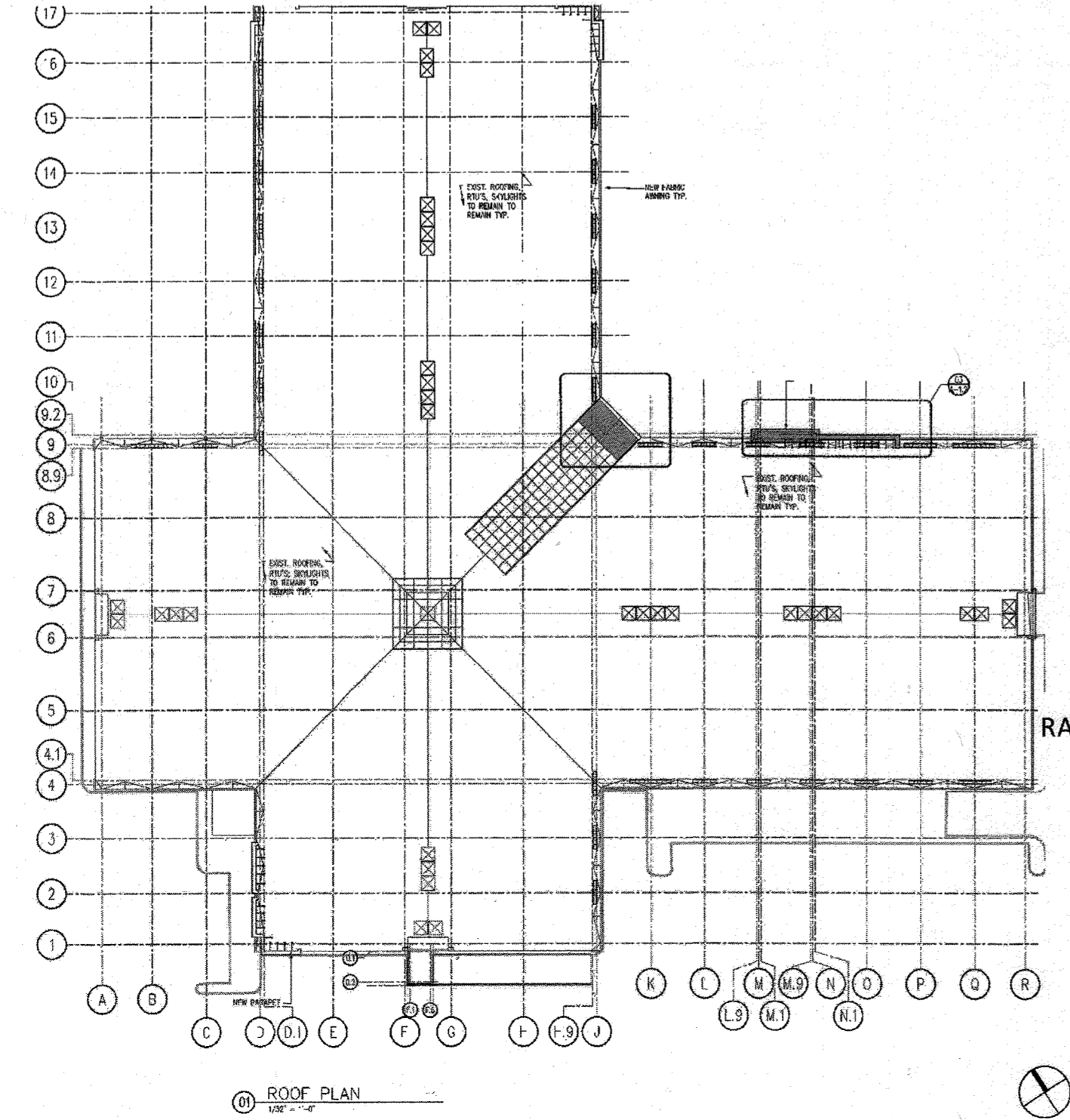
21 SHEET OF 22



6 ELEVATION DETAIL



NORTH (FRONT) ELEVATION

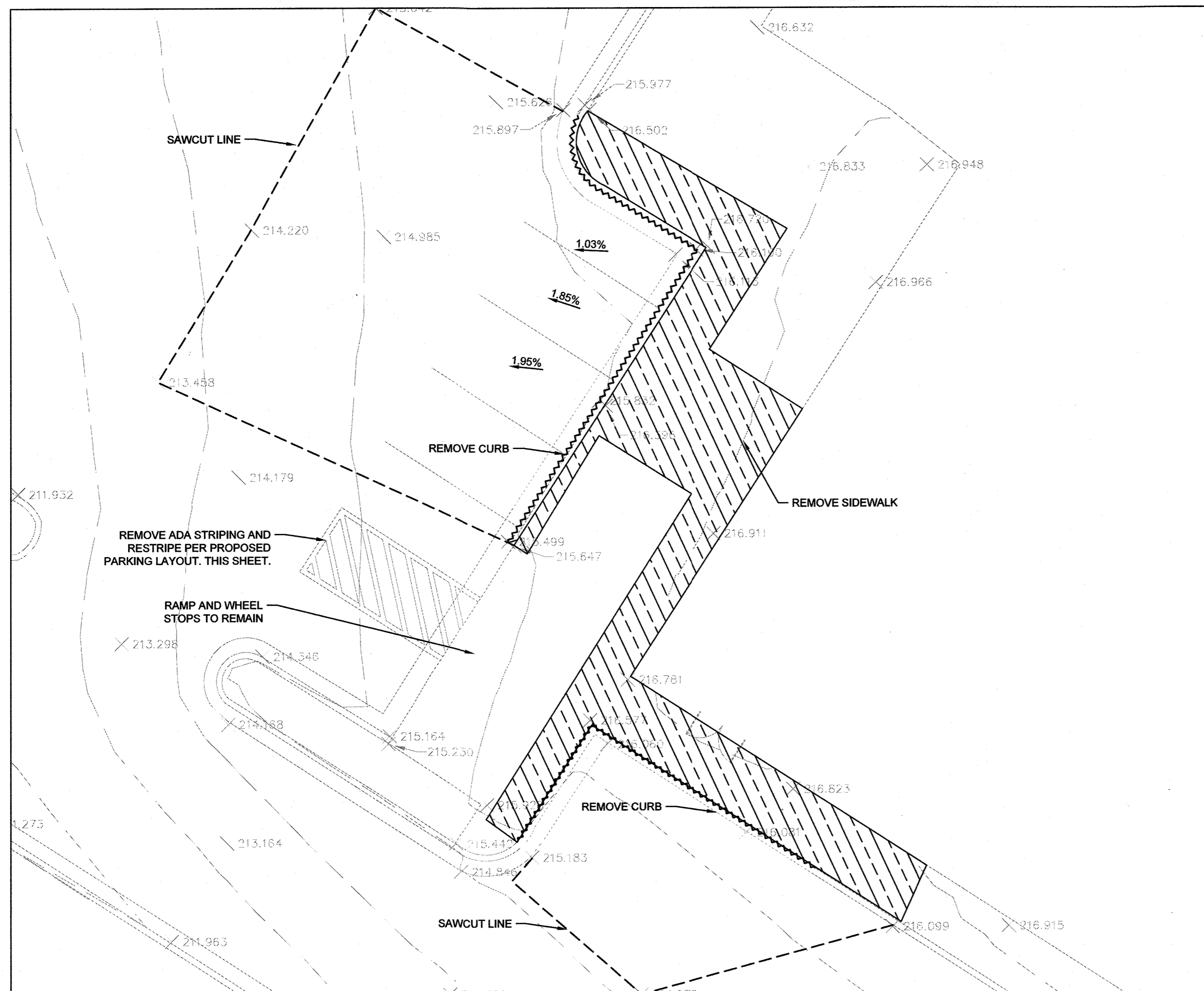


SITE PLAN / KEYPLAN

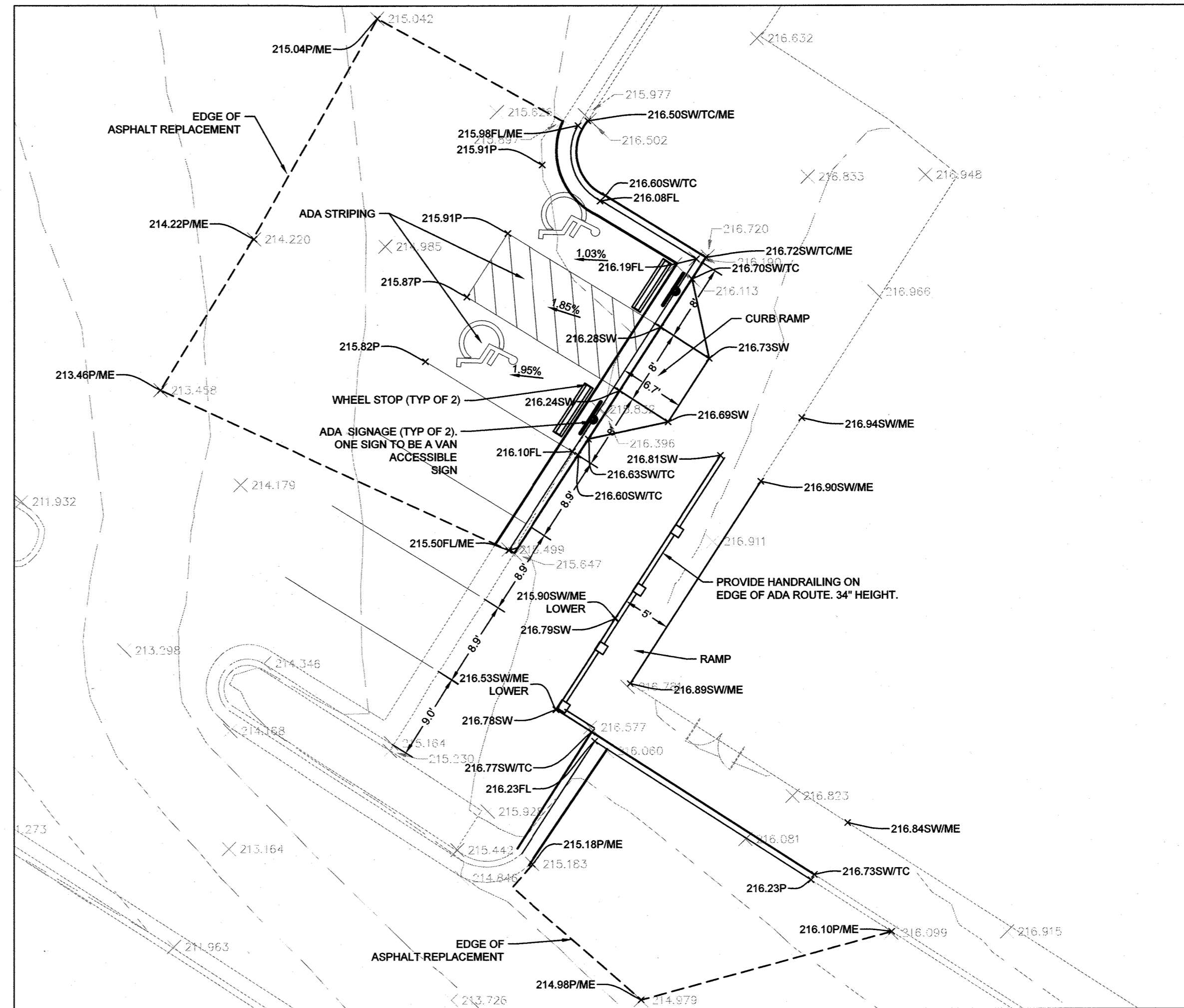
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
 Phil... 6-6-19  
 Chief, Development Engineering Division  
 ... 6-6-19  
 Chief, Division of Land Development  
 ... 6-6-19  
 Director

**NOTES:**

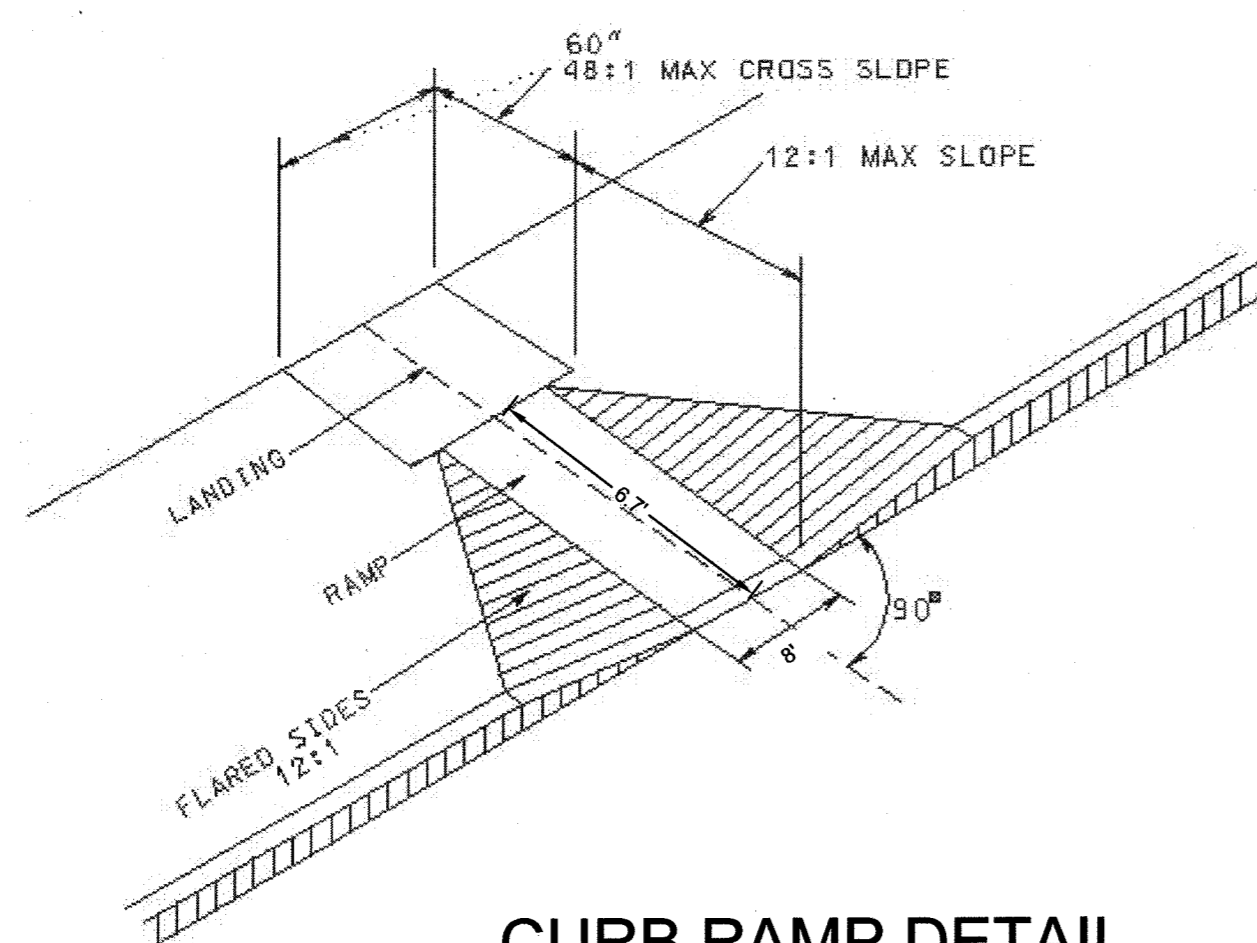
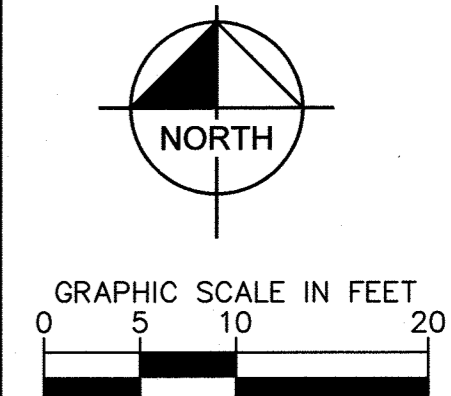
1. THESE PLANS ARE A RED LINE REVISION TO THE APPROVED MARYLAND WHOLESALE CENTER BLOCK B PARCEL B-1 PLANS (SDP-83-144) ORIGINALLY DATED 9/16/1983.
2. THE EXISTING CONDITIONS INFORMATION IN THESE PLANS ARE BASED ON THE 7351 ASSATEAGUE DRIVE PLANS PREPARED BY LANDTEK PARTNERS INC DATED 12/15/2023. CONTRACTOR TO FIELD VERIFY ADA SLOPES AND ENSURE ALL PROPOSED SIDEWALK AND PARKING AREAS ARE ADA COMPLIANT.
3. PARKING REQUIRED IS 795 SPACES BASED ON 1 SPACE PER 5,000 SF. BASED ON NEARMAP IMAGERY COUNT OF PARKING STALLS IN MARCH 2024, 799 SPACES EXIST ON-SITE. THERE IS NO NET LOSS OF SPACES WITH THIS PROPOSED PLAN.



**EXISTING PARKING LAYOUT**  
1" = 10'-0"



**PROPOSED PARKING LAYOUT**  
1" = 10'-0"



**CURB RAMP DETAIL**  
MD DOT STATE HIGHWAY ADMINISTRATION

N.T.S.



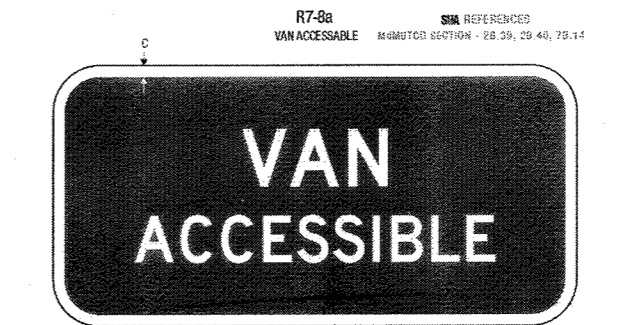
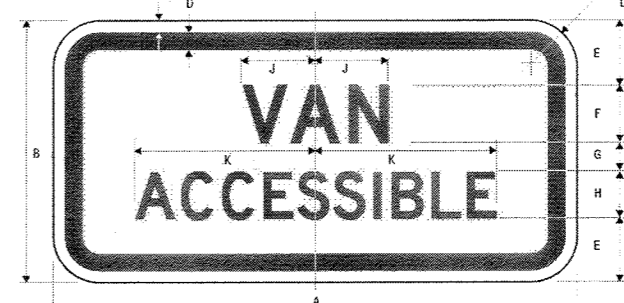
NOTES:  
1. SIGN MAY BE REMOVED IF NECESSARY.  
2. FOR 18" SIGN, REFER TO THE APPROPRIATE SECTION FROM FHWA'S STANDARD HIGHWAY SIGNAGE SPECIFICATIONS.

SIZE	A	B	C	D	E	F	G	H	I	J	K
STD	24	18	18	18	18	18	18	18	18	18	18

SIZE	L	V	N	F	T	R	S	T	U
STD	144	1	6	10	2 1/2	1/2	1 3/4	1/8	1/4

REFERENCES: 79.30, 29.40, 28.40, 28.40



SIZE	A	B	C	D	E	F	G	H	I	J	K	L
STD	48	6	3 1/2	4 1/2	15	10 1/2	4	10	1 1/2	1 1/2	1 1/2	1 1/2

REFERENCES: 79.30, 29.40, 28.40, 28.40

**ACCESSIBLE PARKING SIGNAGE**  
MD DOT STATE HIGHWAY ADMINISTRATION

N.T.S.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 5/16/24  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 5/14/24  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 5/15/24  
DIRECTOR DATE

NO.	REVISIONS	DATE	BY
	NEW SHEET ADDED	5-16-24	

REVISED SITE DEVELOPMENT PLAN  
HANDICAP PARKING DETAILS

EASTGATE SHOPPING CENTER  
7351 ASSATEAGUE DRIVE, JESSUP, MD 20794

**Kimley Horn**  
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.  
4525 MAIN STREET, SUITE 1000,  
VIRGINIA BEACH, VA 23462  
PHONE: 757-213-8600 FAX: 757-213-8601  
WWW.KIMLEY-HORN.COM

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 58218 EXPIRATION DATE 09/13/2025

*[Signature]*  
KHA PROJECT  
117529000  
DATE  
03-18-2024

SCALE: AS SHOWN  
DESIGNED BY: LMO  
DRAWN BY: LMO  
CHECKED BY: DDL

SHEET NUMBER  
**22 OF 22**

4/26/24