

VICINITY MAP
SCALE: 1" = 1760'

VILLAGE OF KINGS CONTRIVANCE
PLAT 4949
CREY SPACE LOT 289

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: 3-23-83

NO.	REVISION	DATE
1	Rev. Storm Drain @ 54' I-4A	9-20-83
2	REV. TO UPDATE SALES CENTER	9-24-83

- GENERAL NOTES:**
- All Materials and Construction to be in accordance with Howard County Road Construction Code and Specifications.
 - This Plan is Covered by Final Development Plan Phase 178, Part II (FDP 178 A-1, Part II).
 - Any damage to County owned rights of way shall be corrected at the developer's expense.
 - Installation of Traffic Control Devices shall be in accordance with the latest edition of the "Manual of Uniform Traffic Control".
 - Topography was compiled from actual field survey.
 - The area included in this submission is located on Tax Map # 42.
 - All driveways and parking areas to be privately owned and maintained.
 - All coordinates are based on Howard County geodetic control traverse which is based upon the Maryland State Plane Coordinate System.
 - Class "C" Trench bedding shall be used for all storm drainage unless shown otherwise.
 - All downspout drains shall be handled by one of the following methods: A. Downspout to splash blocks and discharged to ground having good permeation. B. Downspout in front of units piped to curb. C. Downspout connected to storm drain.
 - The developer agrees to work with the Department of Licenses and Inspections to resolve any problems caused by roof water discharge.
 - Handicapped Parking Signs shown must be placed in approximate location shown in plan in accordance with the "Maryland Building Code for the Handicapped" Section 105.01-07.05.
 - Information concerning underground utilities was obtained from available records, but the contractor must determine the exact location & elev. of the main by digging test pits, by hand, at all utility crossings, well in advance of construction.
 - The contractor shall contact the Construction Inspection Survey Division 24 hours in advance of commencing work at 492-2417 or 492-2417.
 - All setbacks & criteria as shown in F.D.P. Phase 178A, Part II, recorded in Plat No. 3054 A: 433.

- LEGEND:**
- Existing Contour (2' Ft. Interval) - 330
 - Proposed Contour - 330
 - Spot Elevation - +305
 - Direction of Drainage
 - Exist. Trees to be retained
 - Paving Section for Eden Brook Drive
 - Concrete Paving Section (Compactor Area)
 - Paving Section for Private Drive (Compactor Area)
 - Indicated Unit for the Handicapped.

UNIT ANALYSIS

BLDG No.	UNIT TYPES				TOTAL
	A-1	A-2	B-1	B-3	
1	12	8	8		28
2	12	8	8		28
3	12	8	8		28
4	20				20
5	12	8			20
6	12	8			20
7	12	8			20
8	10				10
9	10				10
10	10				10
11	12	8			20
TOTALS	60	68	32	68	228

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

G. Nelson Clark 5-20-83
Date

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,
HOWARD COUNTY HEALTH DEPARTMENT

Joyce M. Boyles 6-3-83
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING

Thomas J. Hammons 6-6-83
PLANNING DIRECTOR DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE,
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

John F. Nemes 6-2-83
DIRECTOR DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE,
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

6-1-83
CHIEF BUREAU OF ENGINEERING DATE

SITE ANALYSIS:

- Number of Units shown: 292 Permitted: 232 Shown
- Number of Parking Spaces Required: 248
- Number of Parking Spaces Provided: 353
- Building Coverage: 20,156
- Green Space Provided: 6.55 Ac. (53.5%)
- Total Area: 12,244.5 Acres
- Gross Floor Area of Units are:
 - A-1 600 sq ft 1 Bedroom
 - A-2 800 sq ft 2 Bedroom
 - B-1 960 sq ft 2 Bedroom
 - B-3 1060 sq ft
- Zoning: New Town (Apts) FDP 178 A-1, Part II.

Reviewed for Howard S.C.D.
Name
and meets Technical Requirements

J. Huggins 6-1-83
Signature
U.S. Soil Conservator, Services

THIS DEVELOPMENT PLAN IS APPROVED
FOR SOIL EROSION AND SEDIMENT
CONTROL BY THE HOWARD SOIL
CONSERVATION DISTRICT.

Approved 6-6-83
Date

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/we certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Dept of Natural Resources Approved Training Program for the Control of Sedimentation before beginning the project." I also authorize periodic or other inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

Signature of Developer/Builder
6-1-83
Date

CLARK • FINEFROCK & SACKETT
ENGINEERS • PLANNERS • SURVEYORS

11315 LOCKWOOD DRIVE • SILVER SPRING, MARYLAND 20904 • (301) 593-3400

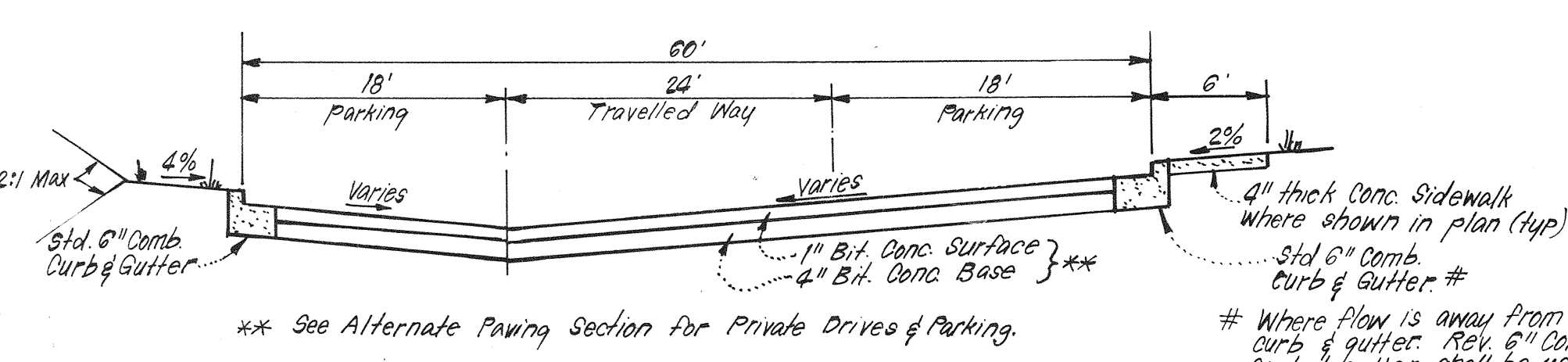
DESIGNED W.R.M.C.
DRAWN K.I.W.
CHECKED W.R.M.C.
DATE 3-31-83

SITE DEVELOPMENT PLAN
PARCEL "D"

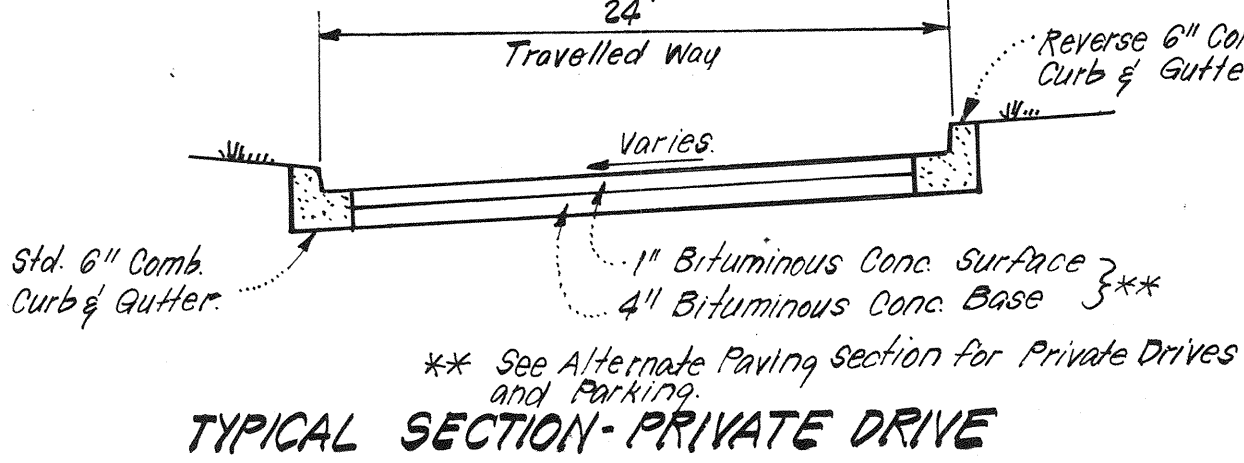
COLUMBIA
VILLAGE OF KINGS CONTRIVANCE
SECTION 2
6TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

FOR: EDEN BROOK PARTNERSHIP
Long Reach Village Centre, Suite 232
8775 Cloud Lays Ch. Cor. Md. 21045

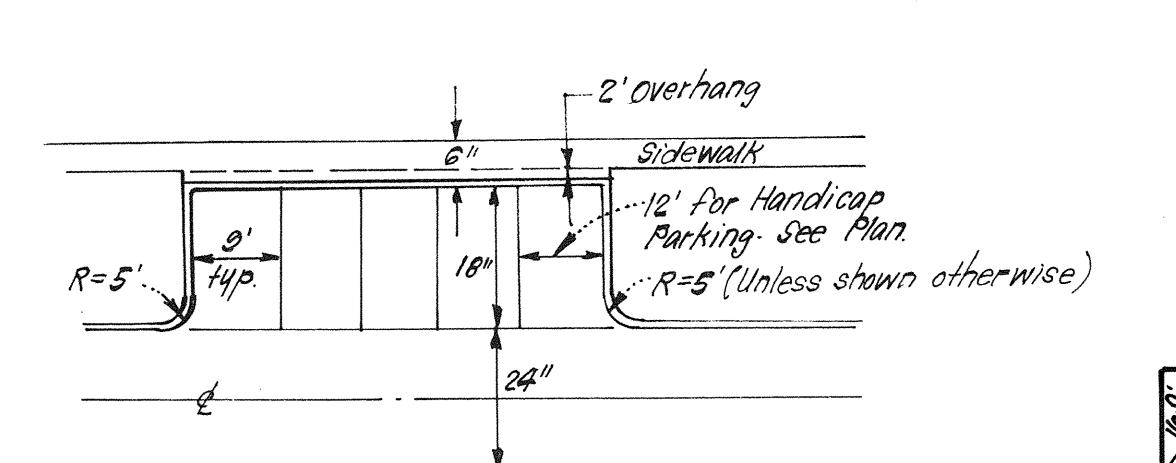
SCALE 1" = 30'
DRAWING 10' = 6'
JOB NO. 82-054
FILE NO. 82-054-X



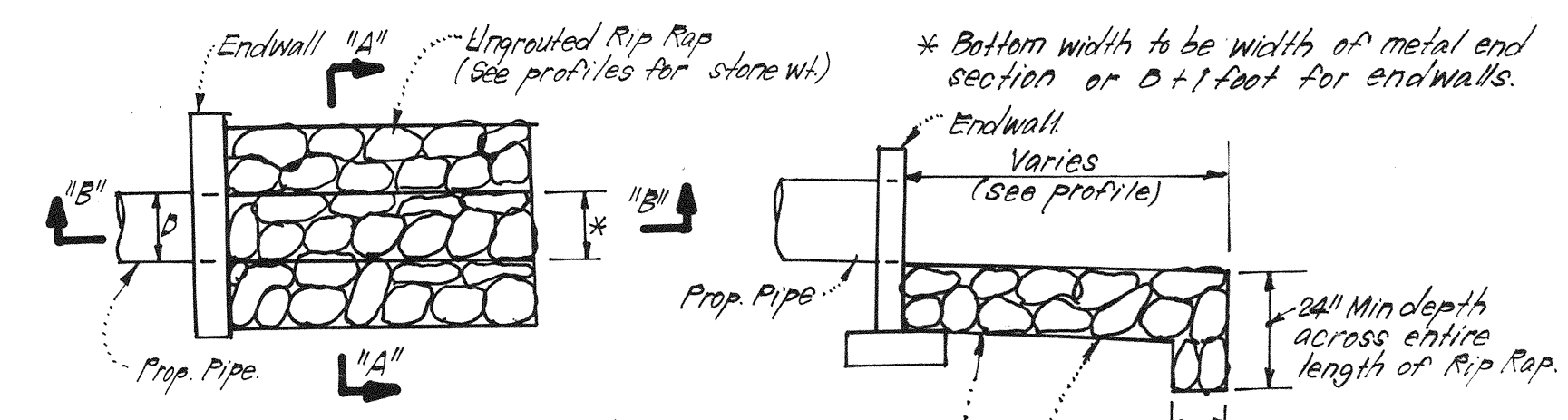
TYPICAL SECTION - PRIVATE DRIVE & PARKING
NO SCALE



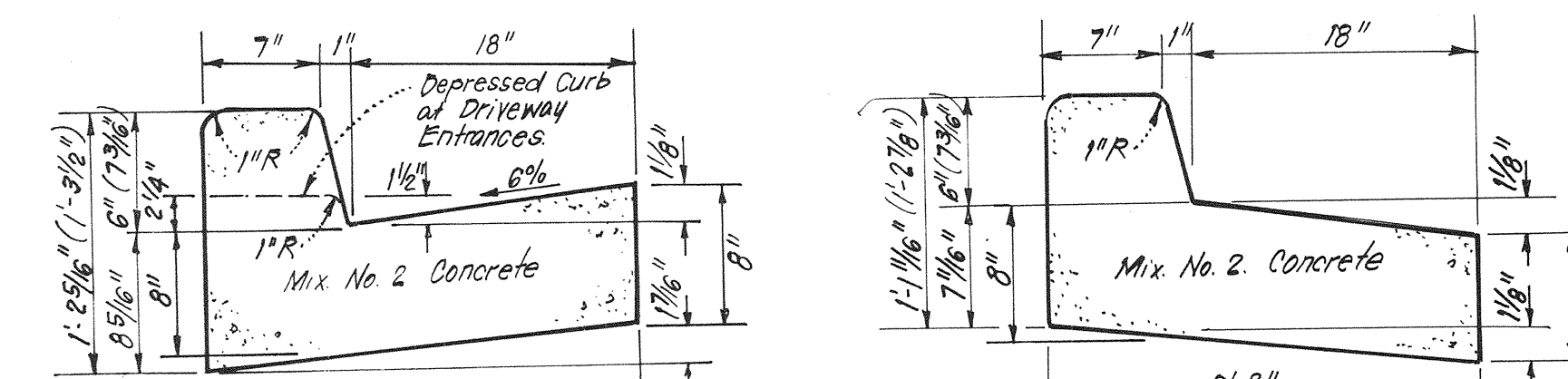
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NO SCALE



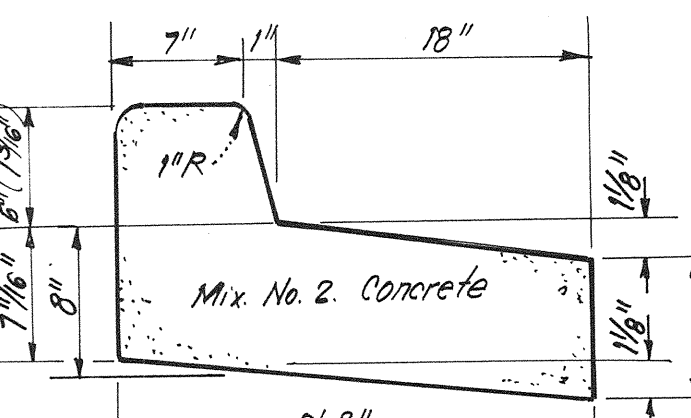
TYPICAL PAVING
NO SCALE



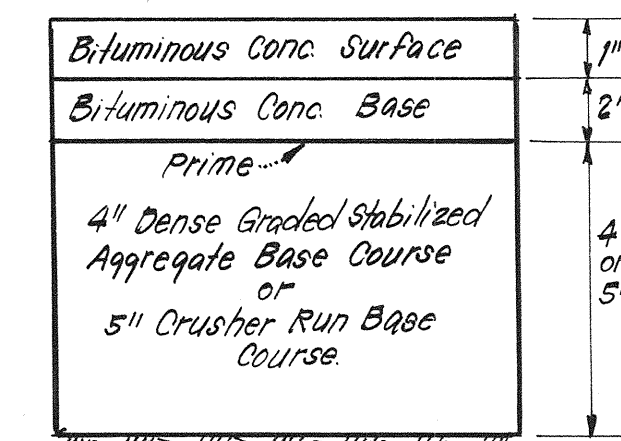
UNGRADED RIP RAP PAVING DETAILS
NO SCALE



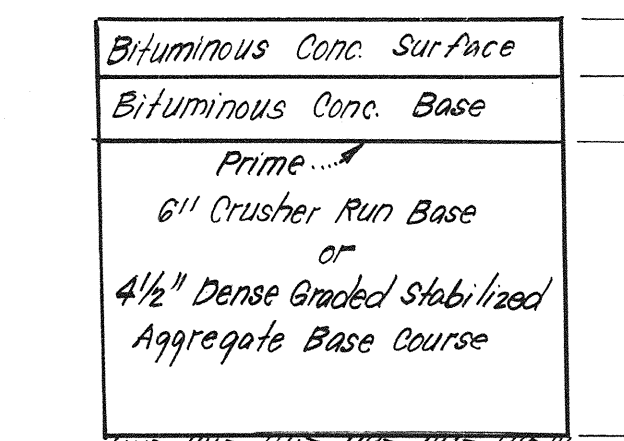
STANDARD 6" or 7" COMBINATION CURB AND GUTTER
NO SCALE



REVERSE 6" or 7" COMBINATION CURB AND GUTTER
NO SCALE

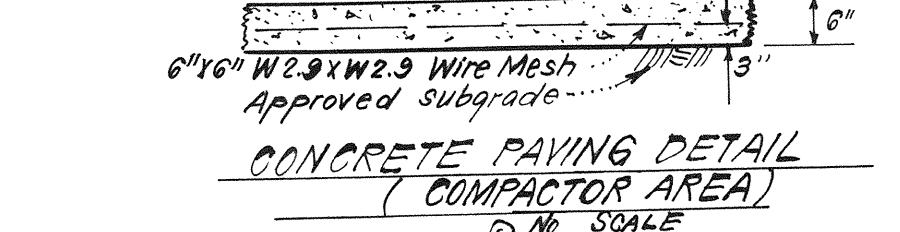


ALTERNATE PAVING SECTION PRIVATE DRIVE & PARKING
NO SCALE

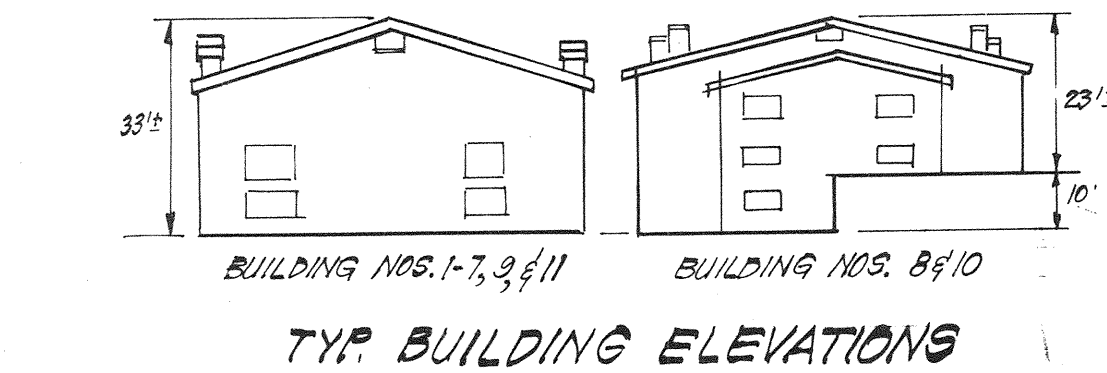


PAVING SECTION FOR PRIVATE DRIVE @ COMPACTOR AREAS
NO SCALE

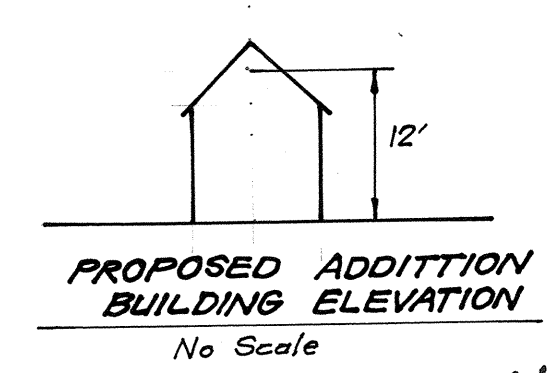
Notes:
1. Materials and construction to be in accordance with H.C. state & specs.
2. See plan view for limits of conc. paving, shown thus: [Symbol]



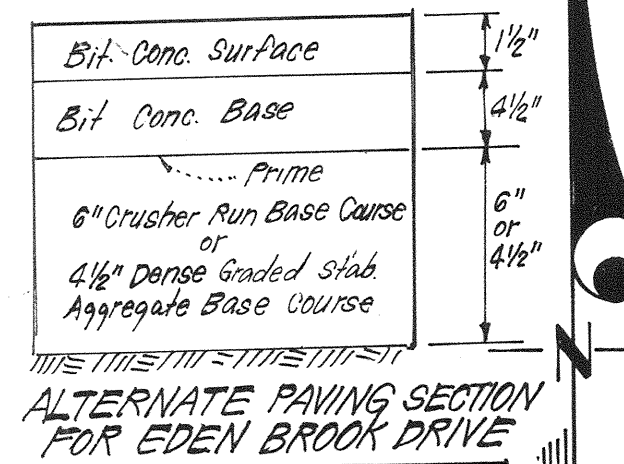
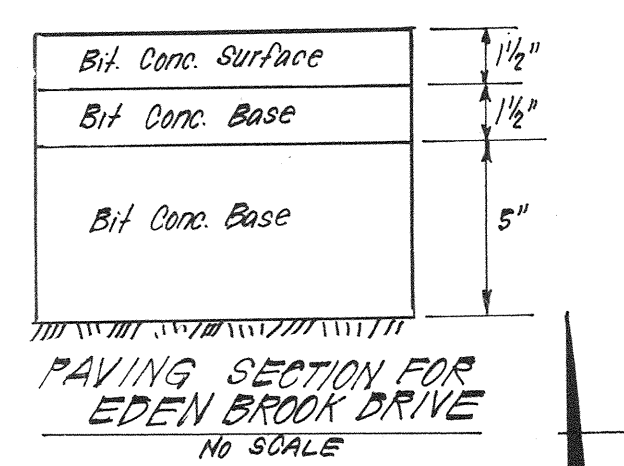
CONCRETE PAVING DETAIL (COMPACTOR AREA)
NO SCALE



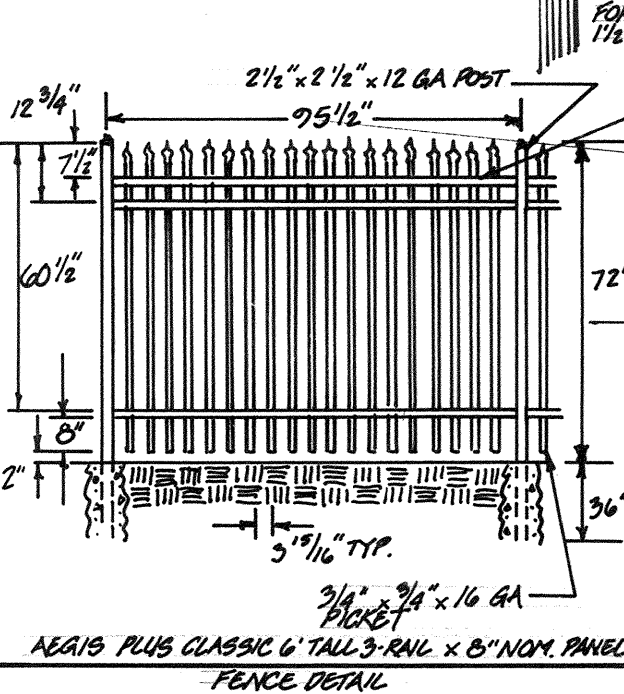
TYP. BUILDING ELEVATIONS
NO SCALE



PROPOSED ADDITION BUILDING ELEVATION
No Scale



ALTERNATE PAVING SECTION FOR EDEN BROOK DRIVE
NO SCALE

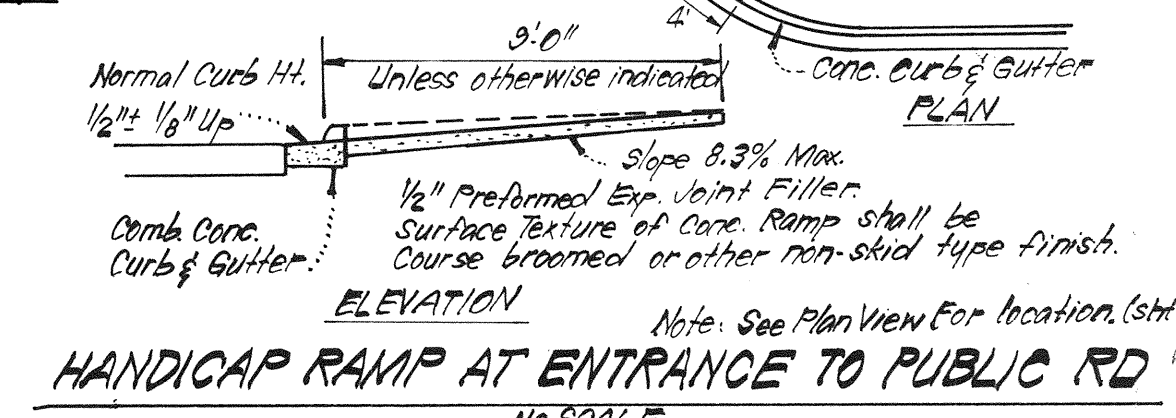
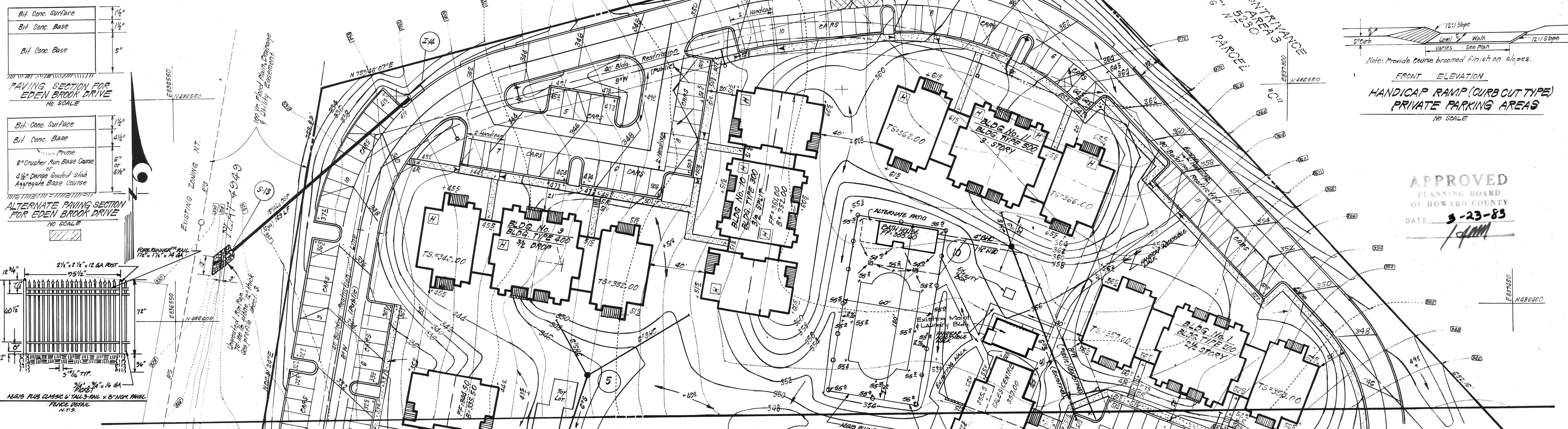


FENCE DETAIL
N.T.S.

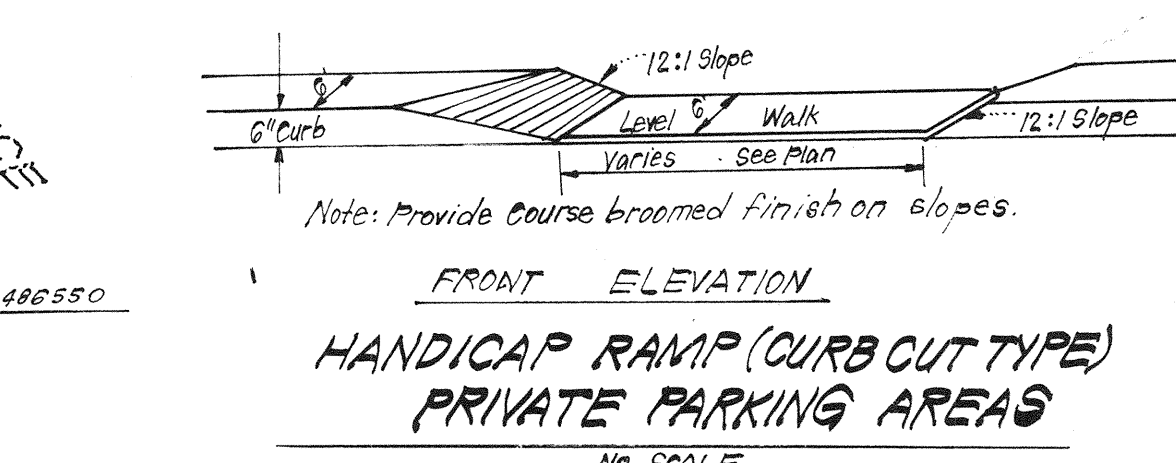
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

REVISIONS
 NO. 1: REV. TRADING COURT TO SWIMMING POOL, W/1 BATHHOUSE, LIBRARY, SALES CENTER AND LUNDS, ADD FENCE DETAIL. 3-24-05
 2: REMOVE UN-BUILT STRUCTURES, ADD PROPOSED BUILDING. 3-14-04

OPEN SPACE LOT 289
 VILLAGE OF KINGS CONTRIVANCE AREA 3
 SECTION 2 PLAT 4929 NT.
 EXISTING ZONING N-7-525A



HANDICAP RAMP AT ENTRANCE TO PUBLIC RD
NO SCALE



HANDICAP RAMP (CURB CUT TYPE) PRIVATE PARKING AREAS
NO SCALE

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 DATE: 3-23-83
 [Signature]

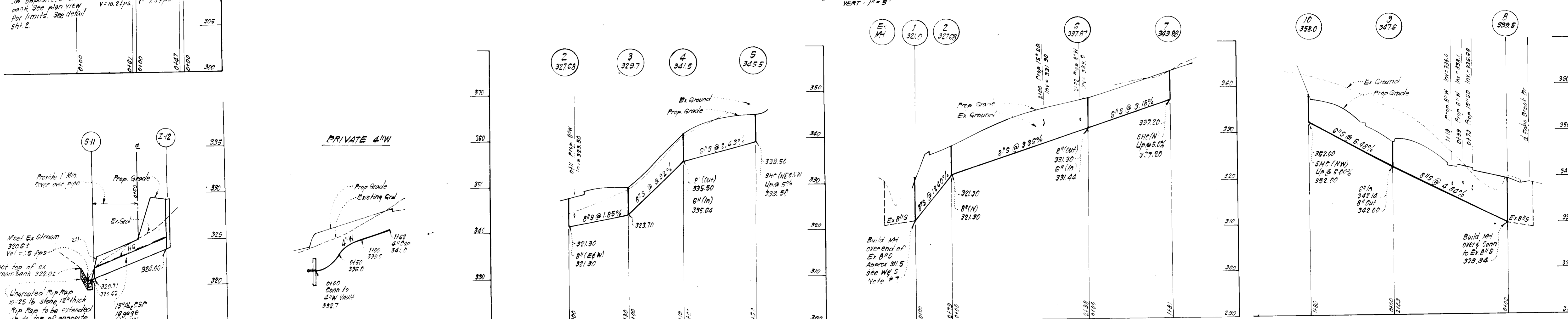
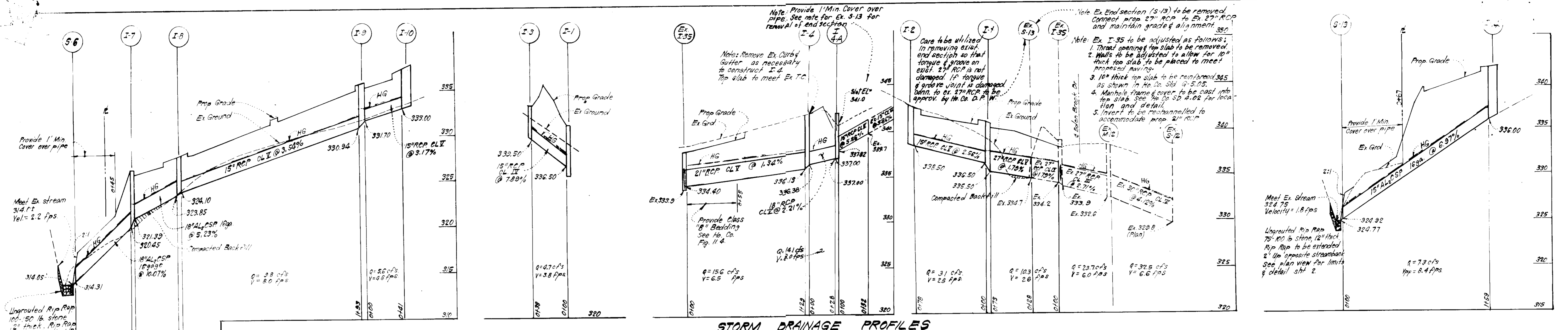
Reviewed for Howard S.C.D. Name and meets Technical Requirements
 Y. Hygon [Signature] sjs/rls Date
 U.S. Soil Conservation Service

DEVELOPER'S/BUILDER'S CERTIFICATE
 We certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Dept. of Natural Resources Approved Training Program for the Control of Sedimentation before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.

ENGINEER'S CERTIFICATE
 I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.



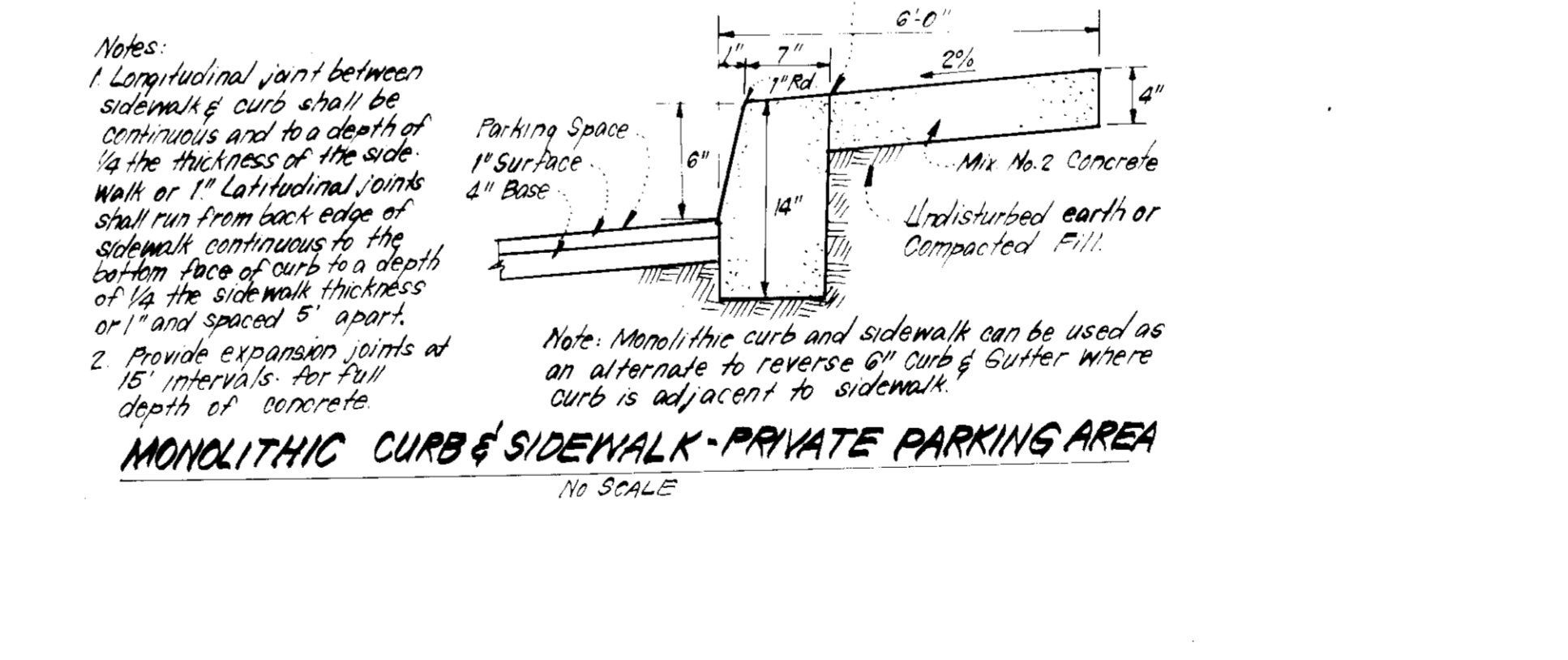
CLARK · FINEFROCK & SACKETT
 ENGINEERS · PLANNERS · SURVEYORS
 11311 LOCKWOOD DRIVE • SILVER SPRING, MARYLAND 20904 • (301) 593-3400
 DESIGNED: W.R.M.C.
 DRAWN: W.R.M.C.
 CHECKED: K.W.
 DATE: 3-31-83
 SCALE: 1"=30'
 DRAWING: 2 OF 6
 JOB NO.: 82-054
 FILE NO.: 82-054-X
 FOR: EREN BROOK PARTNERSHIP, Long Reach Village Centre, Suite 232, 8775 Cloud Leap Ct., Cal. Md 21045



STRUCTURE SCHEDULE

No.	TYPE	INV. IN	INV. OUT	TOP ELEVATION	REMARKS	LOCATION
				UPPER	LOWER	
# I-1	A-5 Inlet w/Deflector	338.50	335.50	341.02	Ho. Co. Std. SD 4.01	W=3'-6" See Plan
# I-2	A-5 Inlet w/Deflector	338.50	342.97	342.67	Ho. Co. Std. SD 4.01	W=3'-6" See Plan
# I-3	A-10 Inlet	339.50	343.13	342.99	Ho. Co. Std. SD 4.02	W=2'-6" See Plan
# I-4	A-5 Inlet w/Deflector	336.13	342.10	341.87	Ho. Co. Std. SD 4.02	W=3'-6" See Plan
# I-5	A-10 Inlet	321.39	320.45	326.50	Ho. Co. Std. SD 4.02	W=2'-6" See Plan
# I-6	A-5 Inlet w/Deflector	324.10	323.85	328.12	Ho. Co. Std. SD 4.01	W=2'-6" See Plan
# I-7	A-10 Inlet w/Deflector	331.70	330.84	335.56	Ho. Co. Std. SD 4.02	W=2'-6" See Plan
# I-8	A-10 Inlet w/Deflector	333.00	337.76	337.24	Ho. Co. Std. SD 4.02	W=2'-6" See Plan
# I-9	A-10 Inlet	320.71	320.62	320.62	Ho. Co. Std. SD 4.02	W=2'-6" See Plan
# I-10	A-10 Inlet	324.92	324.77	324.77	Ho. Co. Std. SD 4.02	W=2'-6" See Plan
# I-11	A-10 Inlet	337.82	337.00	341.63	Ho. Co. Std. SD 4.02	W=2'-6" See Plan
# I-12	A-10 Inlet	337.82	337.00	341.63	Ho. Co. Std. SD 4.11	W=2'-6" See Plan

See Ho. Co. Std. SD 4.03 for Inlet Deflectors
 * See Ho. Co. Std. SD 5.02 for Type 1 Connection.
 Δ All Inverts to be fully developed.



- WATER AND SEWER NOTES:**
- All sewer mains shall be CSE, VCPX or ACP Class 3400 except where indicated.
 - All construction methods and materials for onsite private Water & Sewer systems shall follow the current edition of the Howard County Plumbing Code, supplemented by the Howard County Standard Details and Specifications, where necessary.
 - All Water Mains shall be C.T.P. or D.I.P.
 - All Water Mains shall have a minimum of 35" of cover.
 - Block all fittings with concrete.
 - All Manholes shall uncover existing slab at time of stakeout so that actual invert may be determined.

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER: *[Signature]* DATE: 6-3-83

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
 PLANNING DIRECTOR: *[Signature]* DATE: 6-6-83

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR: *[Signature]* DATE: 6-2-83

CHIEF BUREAU OF ENGINEERING: *[Signature]* DATE: 6-1-83

REVISION

No.	REVISION	DATE
1	Rev Storm Drain @ Str. I-4A	9-20-83

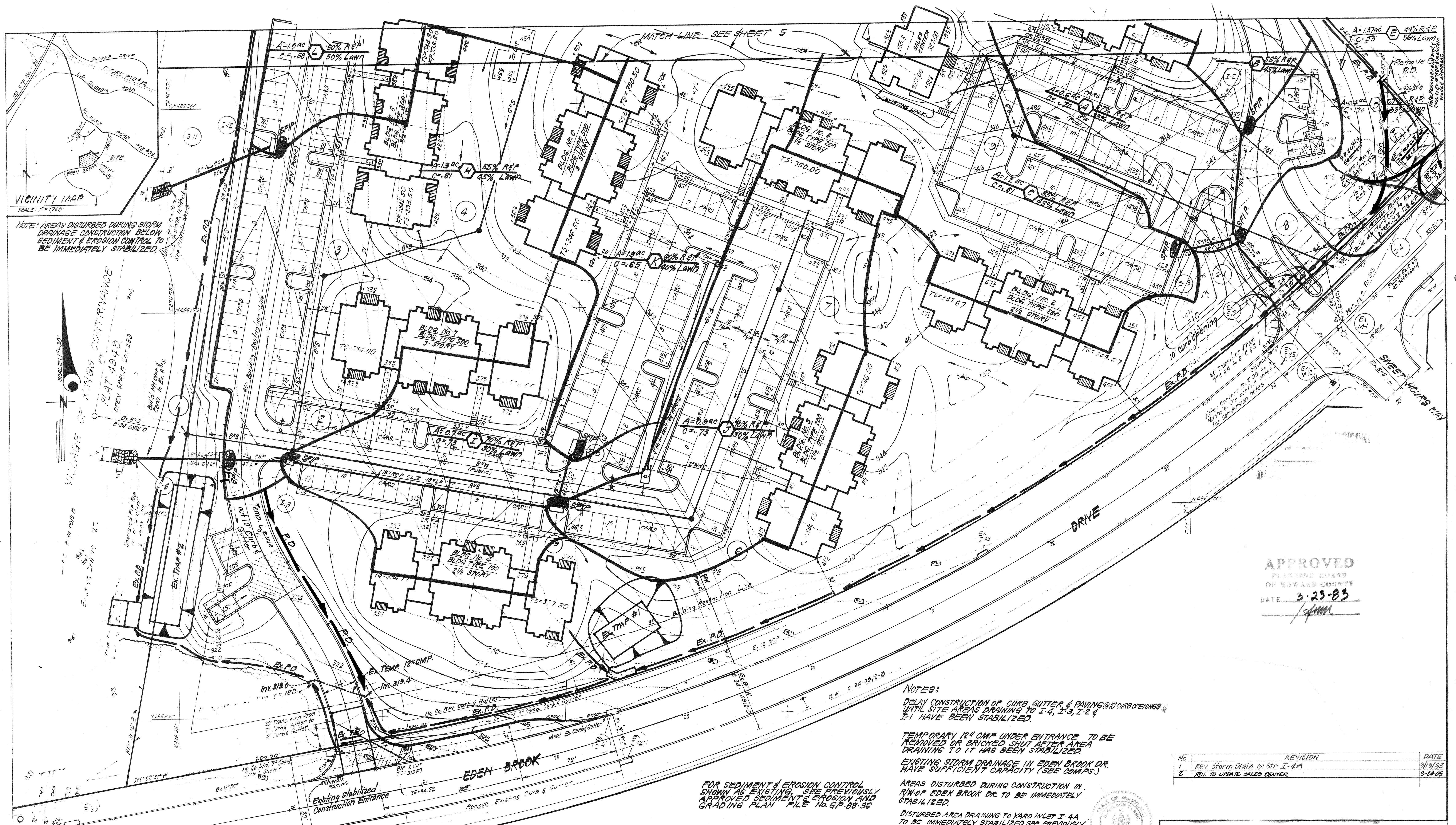
Reviewed by: *[Signature]* S.C.D.
 and meets Technical Requirements
 U.S. Soil Conservation Service
 DEVELOPMENT PLAN IS APPROVED
 DISTRICT

OWNER'S BUILDER'S CERTIFICATE
 ENGINEER'S CERTIFICATE
 ENGINEER: *[Signature]* DATE: 5-20-83

CLARK · FINEFROCK & SACKETT
 ENGINEERS · PLANNERS · SURVEYORS
 11315 LOCKWOOD DRIVE · SILVER SPRING, MARYLAND 20904 · (301) 593-3400

DESIGNED: *[Signature]* SCALE: AS SHOWN
 DRAWN: *[Signature]* DRAWING: COLUMBIA
 K.I.W.
 CHECKED: *[Signature]* JOB NO.: 82-154
 DATE: 3-31-83 FOR: EDEN BROOK PARTNERSHIP
 Long Reach Village Center
 8715 Cloud Leap Ct. Bel Air 21035
 FILE NO.: 82-054-X

SDP 83-91C



VICINITY MAP
SCALE 1"=170'

NOTE: AREAS DISTURBED DURING STORM DRAINAGE CONSTRUCTION BELOW SEDIMENT & EROSION CONTROL TO BE IMMEDIATELY STABILIZED.

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE 3-23-83
JMM

NOTES:
 DELAY CONSTRUCTION OF CURB, GUTTER & PAVING @ 10' CURB OPENINGS UNTIL SITE AREAS DRAINING TO I-4, I-3, I-2 & I-1 HAVE BEEN STABILIZED.
 TEMPORARY 12" CMP UNDER ENTRANCE TO BE REMOVED OR BRICKED SHUT AFTER AREA DRAINING TO IT HAS BEEN STABILIZED.
 EXISTING STORM DRAINAGE IN EDEN BROOK DR. HAVE SUFFICIENT CAPACITY (SEE COMPS.)
 AREAS DISTURBED DURING CONSTRUCTION IN R/W OF EDEN BROOK DR. TO BE IMMEDIATELY STABILIZED.
 DISTURBED AREA DRAINING TO YARD INLET I-4A TO BE IMMEDIATELY STABILIZED. SEE PREVIOUSLY APPROVED D.A.M. SHT. 4.0F7, SDP 82-49C FOR OFF-SITE AREAS DRAINING TO I-4A & I-4.

FOR SEDIMENT & EROSION CONTROL, SHOWING EXISTING SEE PREVIOUSLY APPROVED SEDIMENT EROSION AND GRADING PLAN FILE NO. G.P. 85-36

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
6-3-83
J. J. [Signature]
DATE

APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING
6-6-83
A. [Signature]
DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
6-6-83
D. F. [Signature]
DATE

6-1-83
[Signature]
DATE

- LEGEND:
- 1. Existing Contour (2 ft. Interval) ---
 - 2. Proposed Contour ---
 - 3. Spot Elevation
 - 4. Direction of Drainage
 - 5. Existing Trees to be saved
 - 6. Existing Perimeter Dike
 - 7. Existing Interceptor Swale
 - 8. Existing Stabilized Construction Entrance
 - 9. Stone Filter Inlet Protection

Reviewed for Howard S.C.D.
and Agents Technical Requirements
U.S. Soil Conservation Service
6-6-83
[Signature]
Approved

ENGINEER'S CERTIFICATE
 I hereby certify that all development and construction will be done in accordance with this plan for erosion and sediment control and that all responsible personnel involved in the construction will have a Certificate of Attendance at a Dept. of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.
 3/8/83
[Signature]
Date

No.	REVISION	DATE
1	Rev. Storm Drain @ Str I-4A	9/19/83
2	REV. TO UPDATE SALES CENTER	3-24-85

CLARK · FINEFROCK & SACKETT
ENGINEERS · PLANNERS · SURVEYORS
11315 LOCKWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 593-3400

DESIGNED: WLS
 DRAWN: W.R.M.E.
 CHECKED: J.L.S.
 DATE: 3-31-83

SCALE: 1"=30'
 DRAWING: 40FG
 JOB NO: 82-054
 FILE NO: 82-054-Y

SITE DEVELOPMENT PLAN & SEDIMENT & EROSION CONTROL PLAN & DRAINAGE AREA MAP
 PARCEL "D"
COLUMBIA
 VILLAGE OF KINGS CONTRIVANCE SECTION 2 AREA 3
 6TH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 FOR: EDEN BROOK PARTNERSHIP
 Long Reach Village Centre Suite 232
 8775 Cloud Leap Ct. Col. Md. 21045

Note: Areas disturbed during storm drainage construction below sediment & erosion control to be immediately stabilized.

OPEN SPACE LOT 289
VILLAGE OF KINGS CONTRIVANCE
SECTION 2 PLAT 4929
EXISTING ZONING NT

VILLAGE OF KINGS CONTRIVANCE
SECTION 2 PLATS 4929, 5256
EXISTING ZONING NT
PARCEL

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE 5-23-83
HMM

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,
HOWARD COUNTY HEALTH DEPARTMENT
COUNTY HEALTH OFFICER *James Boyd* DATE 6-3-83
APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
PLANNING DIRECTOR *James Boyd* DATE 6-6-83
CHIEF DIVISION OF LAND DEVELOPMENT/ZONING ADMIN. DATE 6-6-83
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE,
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DIRECTOR *John F. Neuman* DATE 6-2-83
CHIEF BUREAU OF ENGINEERING *John F. Neuman* DATE 6-1-83

1 REV. TENNIS COURT TO SWIMMING POOL W/ DATHHOUSE 3-24-05
2 REV. TO UPDATE SALES CENTER AND WALKS 6-6-83
DATE

Reviewed for *Howard* S.C.D.
Name
and meets Technical Requirements
Signature *William* Date 5/31/83
U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED
FOR SOIL EROSION AND SEDIMENT
CONTROL BY THE HOWARD SOIL
CONSERVATION DISTRICT.

DEVELOPER'S/BUILDER'S CERTIFICATE

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Resources Approved Training Program for the Control of Sediment and
Erosion before beginning the project. I also authorize periodic on-
site inspection by the Howard Soil Conservation District or their
authorized agents, as are deemed necessary."

Signature of Developer/Builder *William* DATE 5/31/83

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Erosion and
Sediment Control represents a practical and workable
plan based on my personal knowledge of the site
conditions and that it was prepared in accordance
with the requirements of the Howard Soil Conserva-
tion District.

Signature of Engineer *G. Nelson Clark* DATE 5-20-83



CLARK · FINEFROCK & SACKETT
ENGINEERS · PLANNERS · SURVEYORS
11315 LOCKWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 593-3400

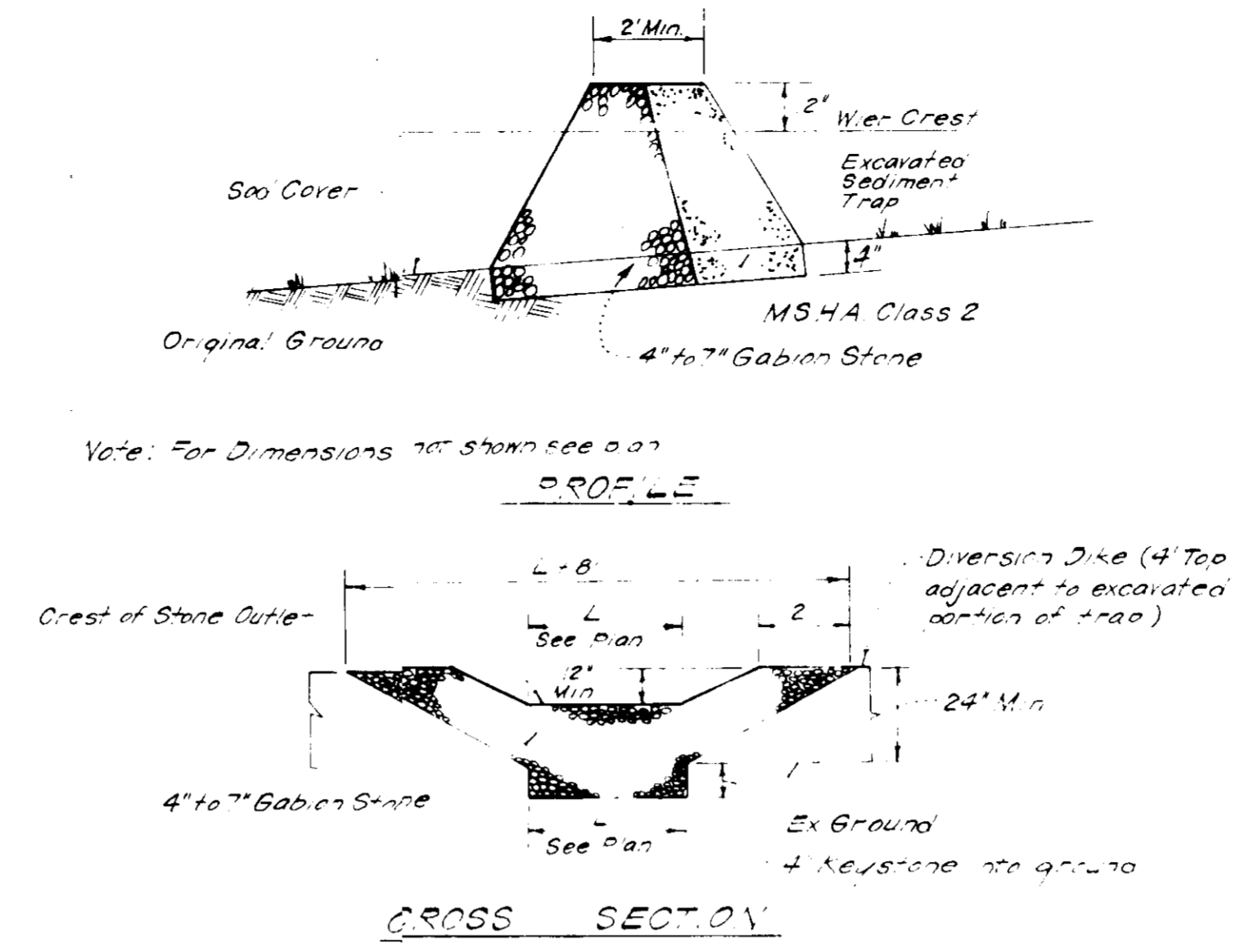
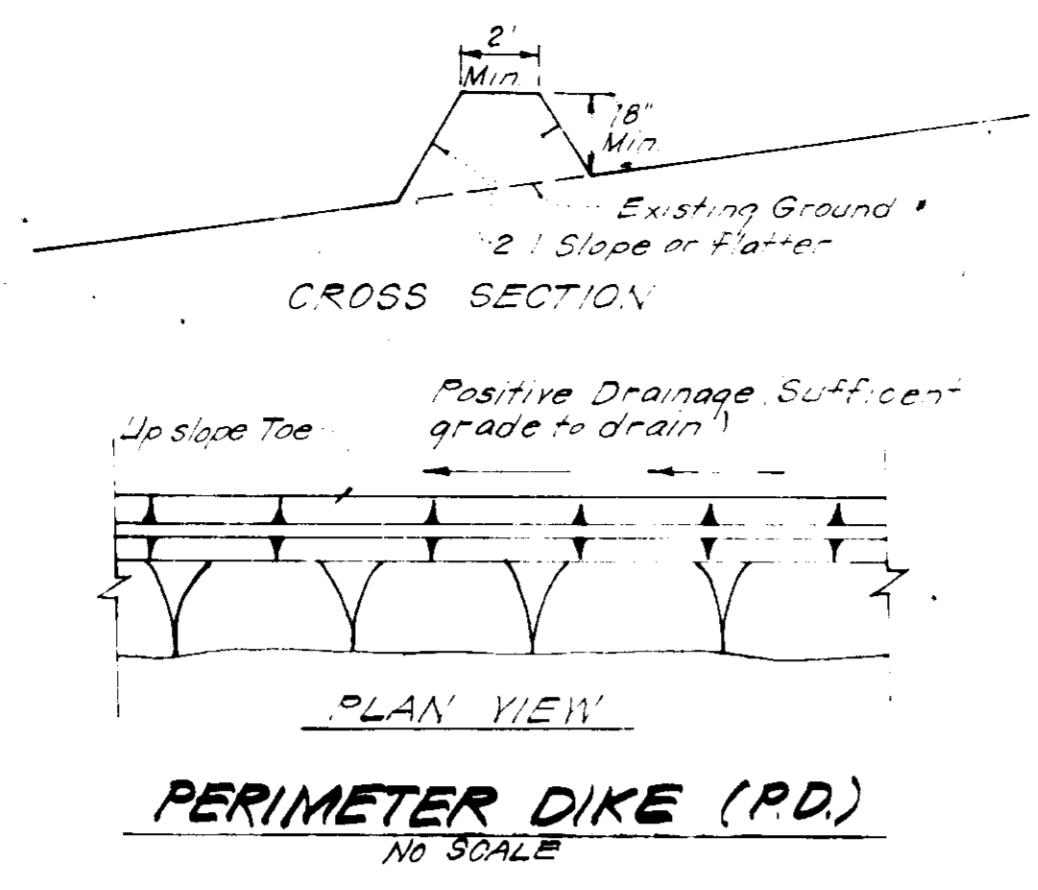
DESIGNED VLS W/RMC DRAWN K.W. CHECKED JLS W/RMC DATE 3-31-83
SCALE 1"=30'
DRAWING 506
JOB NO. 82-054
FILE NO. 82-054-X
SITE DEVELOPMENT PLAN,
SEDIMENT & EROSION CONTROL PLAN &
DRAINAGE AREA MAP
PARCEL 10
COLUMBIA
VILLAGE OF KINGS CONTRIVANCE
SECTION 2 AREA 3
6TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
FOR: EDEN BROOK PARTNERSHIP
Long Reach Village Centre Suite 232
8775 Cloud Leap Ct. Ct. Md 21045

GENERAL NOTES

- Grading Permits shall be obtained prior to installation of Sediment Control & Grading
- All Sediment and Erosion Control Measures will be installed and stabilized according to this plan prior to any other grading, clearing or disturbance of the existing surface of the site. See note #6 for stabilization except that the seed mixture will be applied to the applied at a rate of 4 lbs/1000 sq ft
- Notify the Bureau of Inspections and Permits at least 24 hrs before starting any work
- All Sediment Control Practices to conform to the "Standards and Specifications for Soil Erosion and Sediment Control in Developing Areas" and shall be adjusted to meet actual field conditions
- Stabilization of Disturbed ground to be done as soon after construction as possible
- All disturbed area to be stabilized in accordance with the following Specifications:
 - Seed - certified 85% germination applied at the rate of 3 lbs/1000 sq ft. Mixture - 40% Kentucky Blue, 20% Chewna Fescue, 20% Kentucky 3 and 20% annual rye
 - Fertilizer - 10-10-0 applied at a rate of 23 lbs/1000 sq ft. Ground Agricultural Lime or Dolomitic Lime applied at a rate of 90 lbs/1000 sq ft
 - Mulch - Weed free grain straw applied at a rate of 70-80 lbs/1000 sq ft. Mulch shall be secured to the ground by any approved method, e.g. erosion tracks, chemical, tines, etc.
 - All Seed used shall be Virginia State Certified
- All structural Sediment Control Measures are to remain in place until permission for their removal has been obtained from the Bureau of Inspections and Permits
- On-Site Inspection and Maintenance of all Sediment Control Measures include to clean out of Sediment Traps and Dikes, and proper establishment of all permanent vegetative measures will be the responsibility of the developer or his representative on the site on a continuing day to day basis
- It will be the developer's responsibility to provide additional Sediment & Erosion Control Devices to protect stabilized areas during construction
- The Contractor shall keep all public roads free of sediment bearings left from traffic leaving construction site
- Approval of this plan is conditional upon the approval of Sediment Control Plan for the off-site waste or borrow area prior to the import of any borrow or export of waste material from this site
- All pipes to be protected at the end of each day. See note #13
- Total Amount of Storm Basins or Silt Fence shown = None
- SOE ANALYSIS:

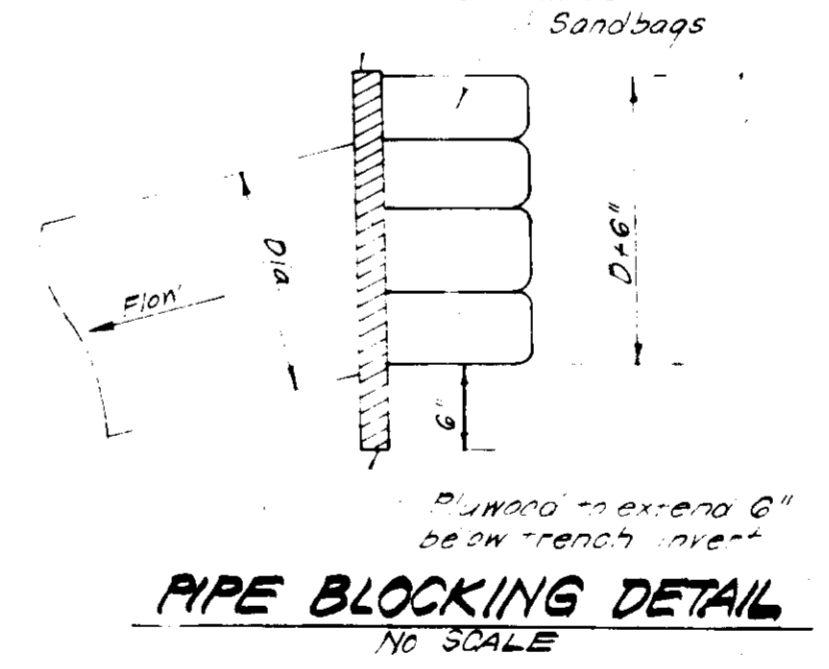
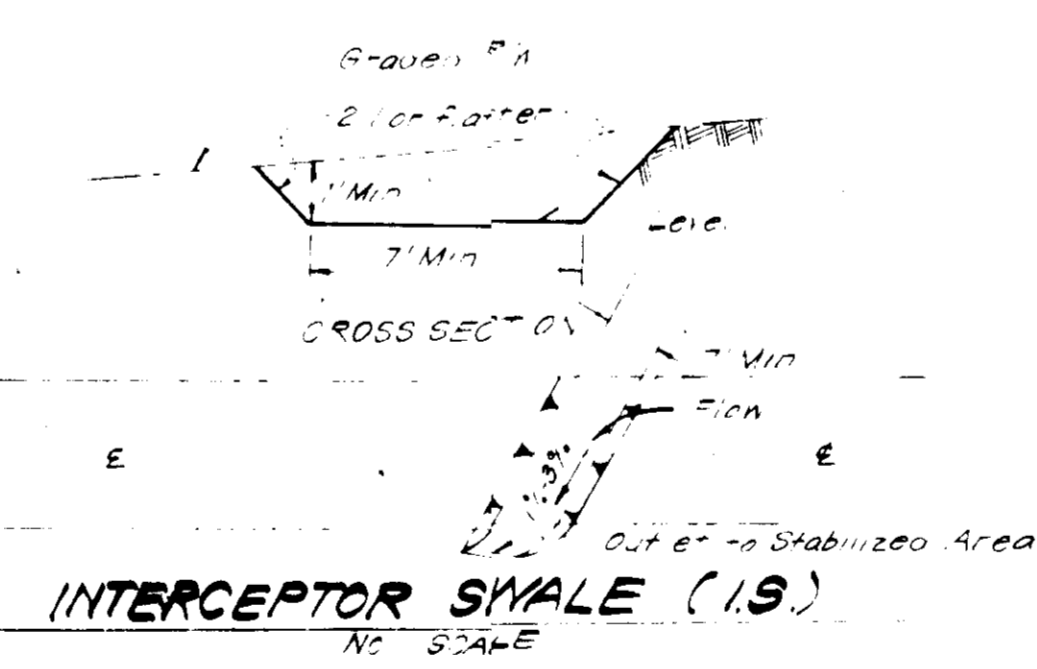
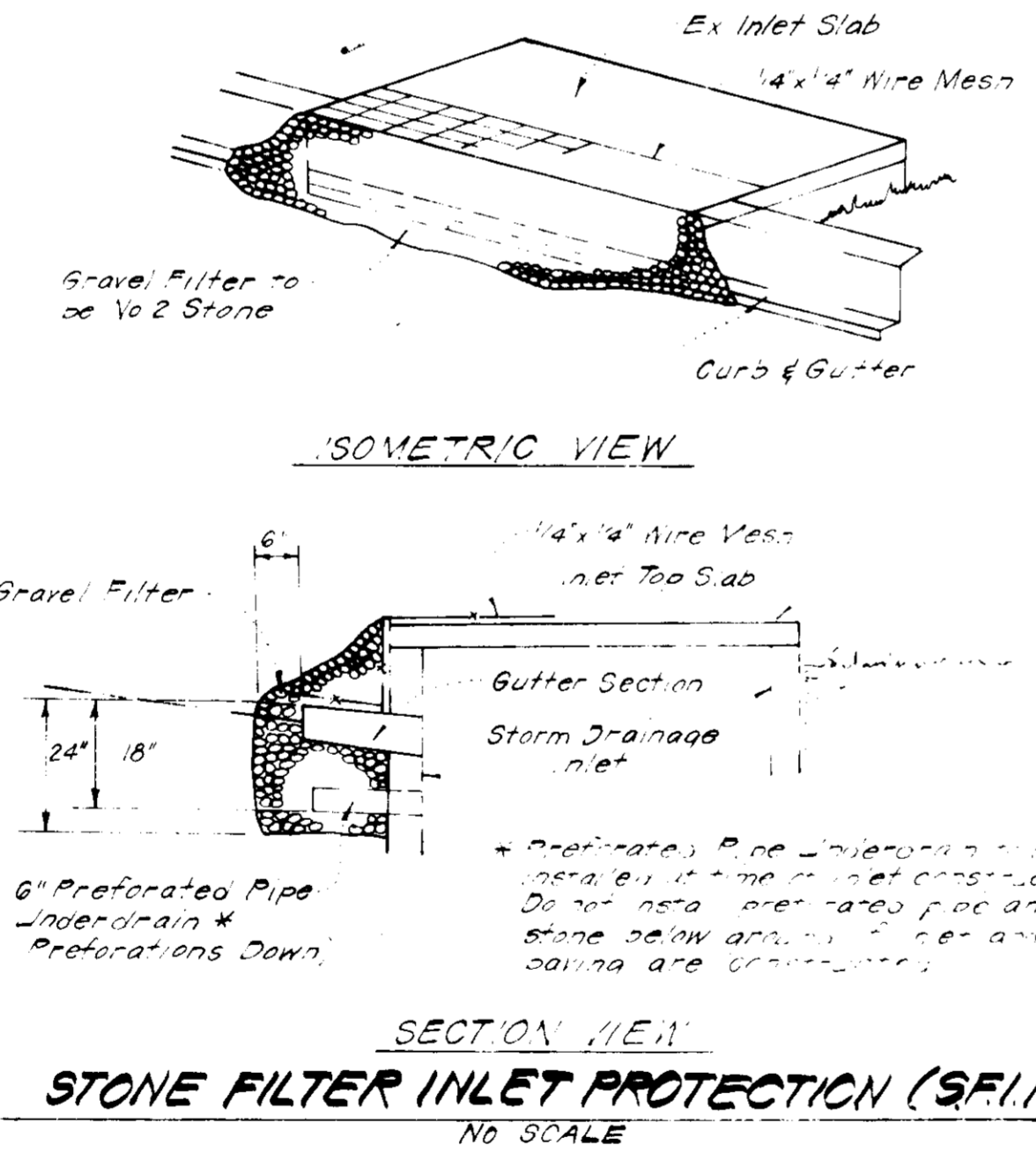
A Total Area	12.24	Acres
B Area to be Routed	2.21	Acres
C Area to be Paved	3.86	Acres
D Area to be Seeded	5.83	Acres
E Area Undisturbed	0.34	Acres
- CONSTRUCTION SEQUENCE:
 - Cleanout and Maintain Existing Sediment & Erosion Control Measures
 - Construct Storm Drainage & Install SIFPs
 - Construct Utilities
 - Final Grade & Construct paving, sidewalks, buildings, etc.*
 - Stabilize all other disturbed areas on site in accordance with general note #6
 - Remove sediment & erosion control measures after all areas draining to them have been stabilized

* Rough Grading Completed



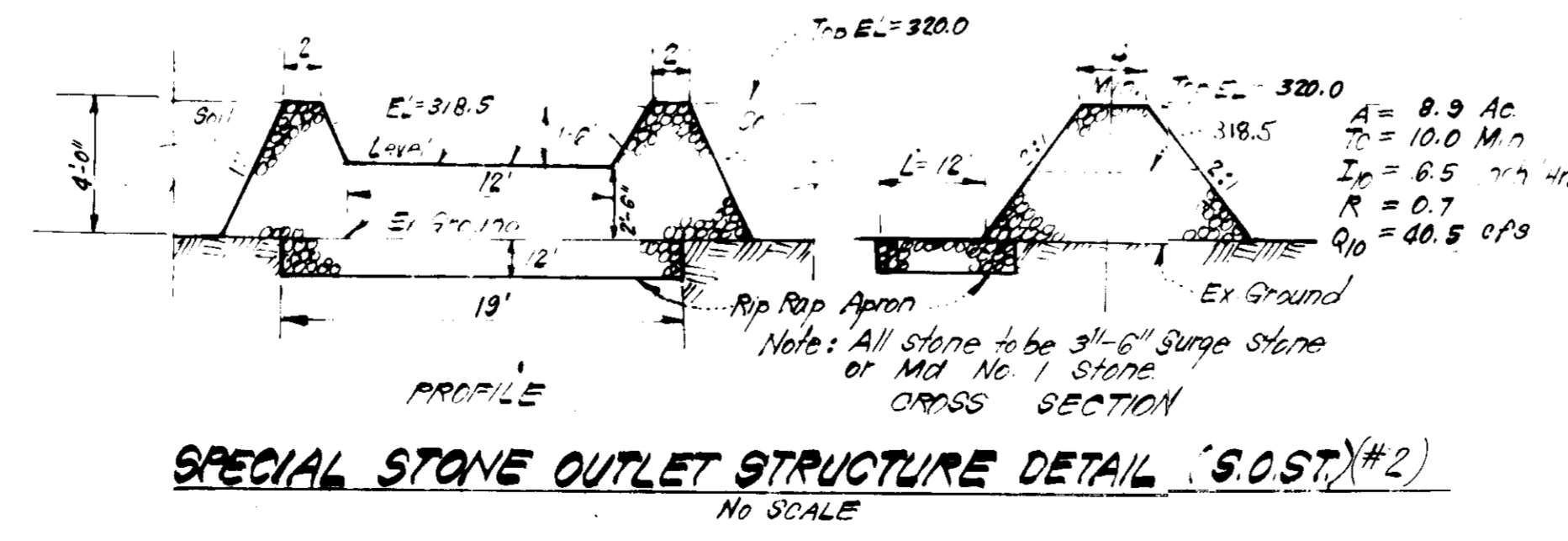
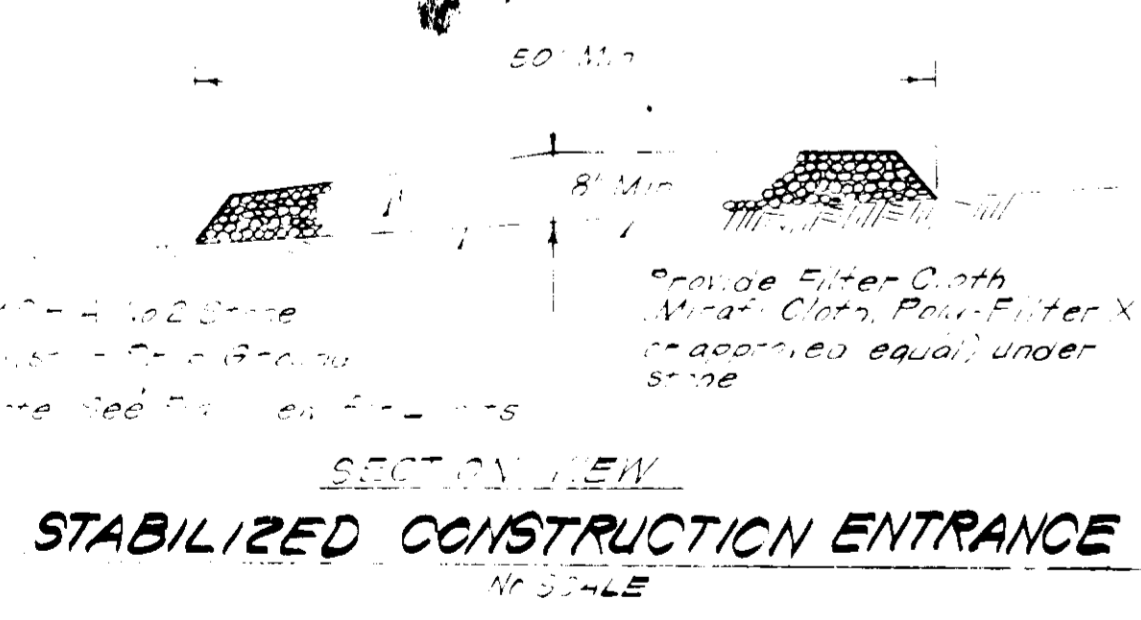
- Notes:**
- Sediment Trap to be cleaned out when sediment reaches a level of 1ft below crest of stone outlet
 - Bottom of Sediment Trap to be level and constructed to the dimensions shown on plan
 - Stone Outlet to be constructed through diversion dike adjacent to excavated

DETAILS OF STONE FILTER OUTLET FOR STONE OUTLET SEDIMENT TRAP #1
NO SCALE



APPROVED
DATE: 3-23-83
[Signature]

Reviewed for Howard
[Signature]
DATE: 3-23-83
[Signature]



ENGINEER'S CERTIFICATE

[Signature]
G. Nelson Clark
DATE: 3-31-83

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
DATE: 6-3-83

APPROVED FOR PLANNING AND ZONING
DATE: 6-6-83

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
DATE: 6-2-83

DATE: 6-1-83

CLARK • FINEFROCK & SACKETT ENGINEERS • PLANNERS • SURVEYORS 11315 LEXINGTON DRIVE GREENBELT, MARYLAND 20814		
DESIGNED	VLS	SCALE
DRAWN	VLS	AS SHOWN
CHECKED	K.I.W.	DRAWING
DATE	3-31-83	60FG
SITE DEVELOPMENT PLAN SEDIMENT & EROSION CONTROL PLAN PARCEL #1 COLUMBIA VILLAGE OF KINGS CONTRANCE SECTION 2 AREA 3 6TH ELECTION DISTRICT HOWARD COUNTY MARYLAND		
FOR: EDEN BROOK PARTNERSHIP Long Ranch Village Center 8775 Cloud Leap Ct. Col. Md 21045		
JOB NO: 82-054 DATE: 82-054-X		