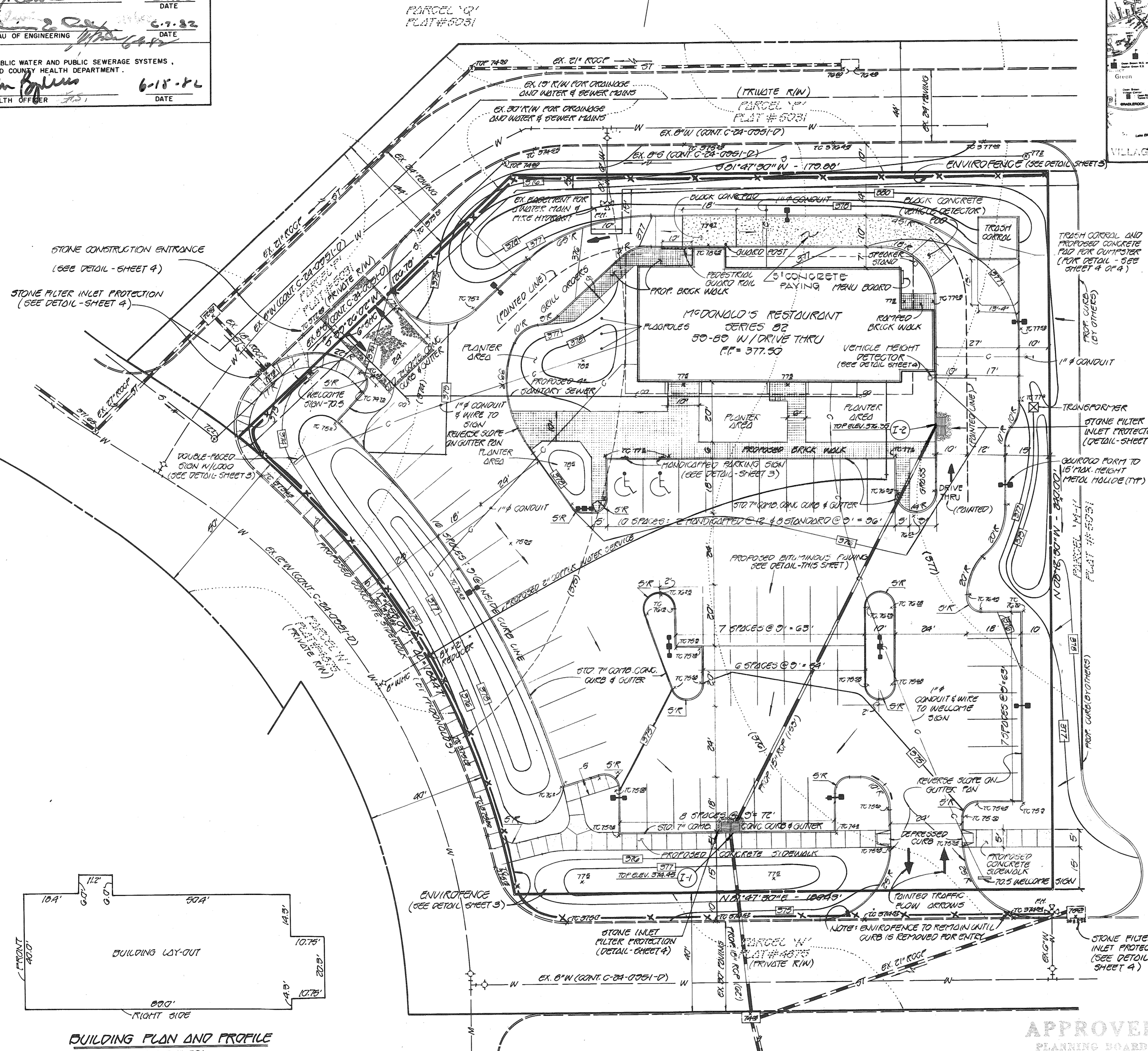
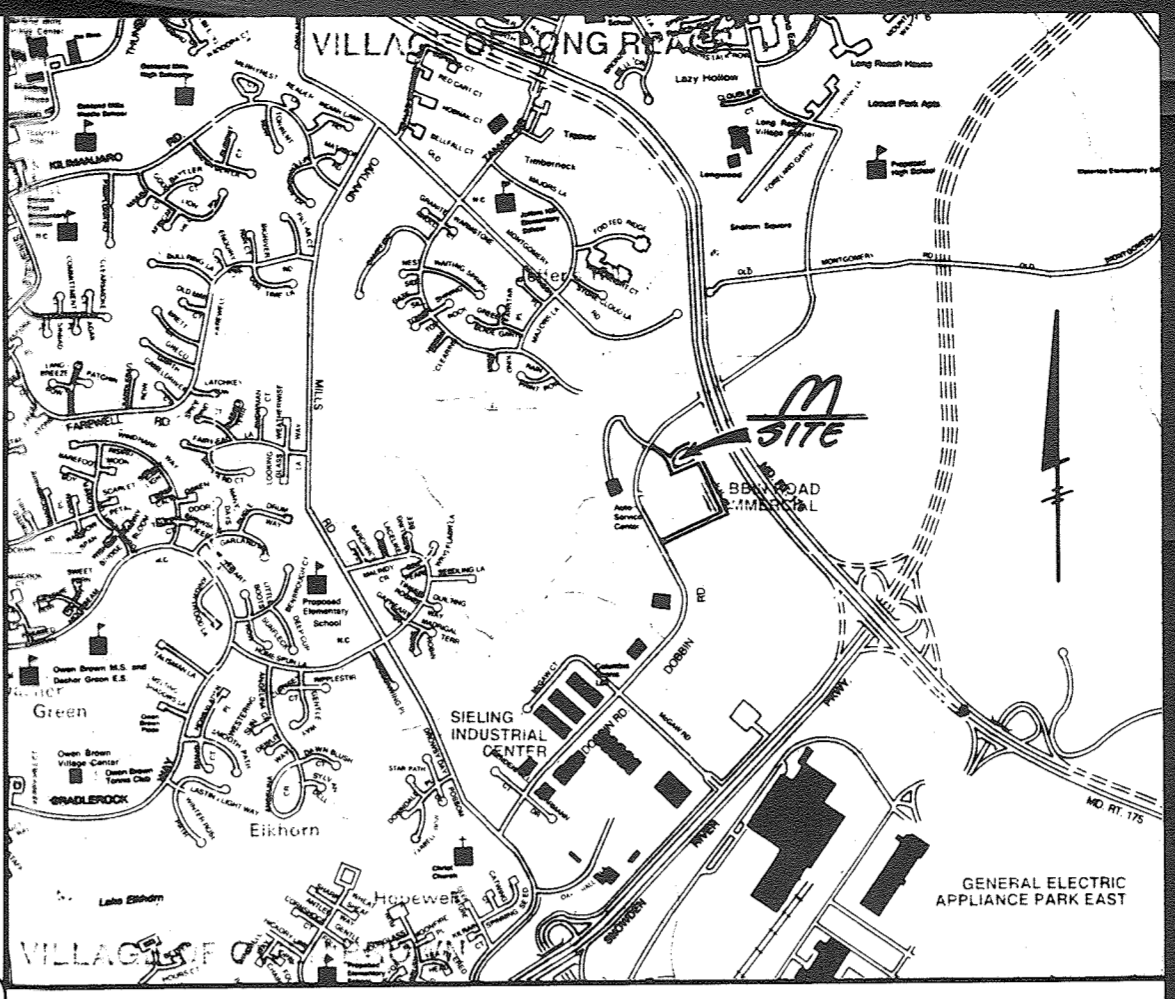


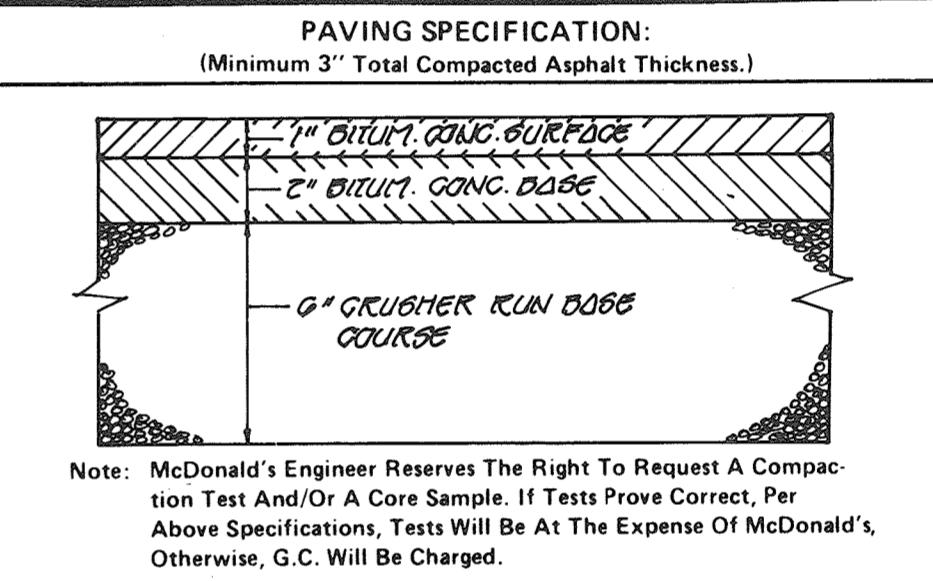
APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
 PLANNING DIRECTOR: *[Signature]* DATE: 6-16-82  
 CHIEF, DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION: *[Signature]* DATE: 6-16-82  
 APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND ROADS: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIRECTOR: *[Signature]* DATE: 6-16-82  
 CHIEF, BUREAU OF ENGINEERING: *[Signature]* DATE: 6-16-82  
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS: HOWARD COUNTY HEALTH DEPARTMENT  
 COUNTY HEALTH OFFICER: *[Signature]* DATE: 6-18-82



- GENERAL NOTES**
- PROPERTY SHOWN IS LOCATED ON TAX MAP 36, AS PARCEL 'L' ON RECORDED PLAT #4875.
  - PROPERTY SHOWN IS ZONED: NT-COMMERCIAL.
  - FINAL DEVELOPMENT CRITERIA IS FOUND IN FDP 132-A-1 P.B. 3054A, F. 280-284
  - INTENDED USE OF PARCEL 'L': McDONALD'S RESTAURANT
  - SITE ANALYSIS:
    - TOTAL AREA OF PARCEL: 1.204 ACRES ±
    - DISTURBED AREA: 1.204 AC. ±
    - IMPERVIOUS AREA: 0.903 AC. ±
    - AREA TO BE RESEDED: 0.301 AC. ±
  - TOTAL FLOOR AREA OF BUILDING: 3845.43 SQ. FT. ± (FOR PLAN AND PROFILE SEE SHEET 1 OF 3)
  - PARKING DATA:
    - NUMBER OF SPACES REQUIRED: 40 ± (SEE BELOW)
    - PROVIDED: (REG.) 52 + (HDCP.) 2
    - TOTAL SPACES PROVIDED: 54
    - FOR TYPICAL PARKING SPACE (REG. + HDCP). SEE DETAIL SHEET 3 OF 3.
  - FOR HDCP, RAMP DETAILS SEE HOWARD COUNTY DESIGN MANUAL, VOL. IV, DRAWING #R-4.03.
  - THE LOCATION OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN LOCATED FROM FIELD SURVEYS AND CONSTRUCTION DRAWINGS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS TO HIS OWN SATISFACTION PRIOR TO BEGINNING OF CONSTRUCTION.
  - ALL WORK OUTSIDE THE BUILDING WALLS SHALL BE DONE IN ACCORDANCE WITH THE HOWARD COUNTY STANDARDS & SPECIFICATIONS.
  - PUBLIC WATER AND SEWER PROVIDED UNDER CONTRACT NUMBER C-24-0951-D.
  - FOR CONSTRUCTION SEQUENCE AND SEDIMENT CONTROL NOTES, SEE SHEET 3 OF 4 OF THIS PLAN.
- \* MAX. NO. OF SEATS: 110  
 \* MAX. NO. OF EMPLOYEES: 14
- NOTE: CONTRACTOR OR DEVELOPER SHALL CONTACT THE CONSTRUCTION INSPECTION DIVISION, COUNTY OF HOWARD IN ADVANCE OF COMMENCEMENT OF WORK AT 902-2417 OR 2410.

**GENERAL NOTES:**

- McDonald's Road Sign and Base are by the Sign Contractor. Conduit and Wiring are by the General Contractor.
- Bases, Anchor Bolts, Conduit, and Wiring for All Other Signs are by the General Contractor.
- Empty Conduit to Locations Shown at the Lot Perimeter for Lot Lighting is by the General Contractor. Lighting Fixtures, Bases, Poles, Conduit, and Wiring are by the Owner/Operator.
- Bases for Flagpoles are by the General Contractor. Anchor Bolts are by the Flagpole Supplier.
- Proposed Utilities are Shown in Schematic Only. Exact Locations shall be Field Determined to Allow for the Most Economical Installation.
- The Contractor shall Coordinate with All Utility Companies to Determine Exact Point of Service Connection at Existing Utility. Refer to the Building Electrical and Plumbing Drawings for Utility Service Entrance Locations, Sizes, and Circuiting.
- All Elevations Shown are in Reference to the Benchmark and must be Verified by the General Contractor At Groundbreak.
- Finish Walk and Curb Elevations shall be 6" Above Finish Pavement.
- All Landscape Areas shall be Rough Graded to 6" Below Top of All Walks and Curbs. Finish Grading, Landscaping, and Sprinkler Systems are by the Owner/Operator.



**LOT LIGHTING RECOMMENDATION:**

Note: Electrical Contractor To Circuit Lot Lighting As Noted.

**PARKING INFORMATION:**

Total Spaces:	54	23 STANDARD Spaces	9' x 18' @ 90°
		10 STANDARD Spaces	9' x 20' @ 90°
		10 STANDARD Spaces	9' @ 90° x 18' @ 180°
		2 HANDICAPPED Spaces	12' x 18' @ 90°

**UTILITY INFORMATION:**

Sanitary Sewer			
Water			
Storm Sewer			
Electric			
Gas			

**SURVEY INFORMATION:**

Prepared By: FISHER, COLLINS AND CARTER, INC.  
 CONSULTING ENGINEERS AND LAND SURVEYORS  
 8000 COURT AVENUE  
 BELLEHART CITY, MARYLAND 21040  
 JANUARY 26, 1982

**LEGEND:**

Sanitary Sewer	S	Gas	G
Water	W	Lot Light	LP-30
Storm Sewer	ST	Existing Elevation	(76.5)
Electric	E	Proposed Elevation	(77.0)

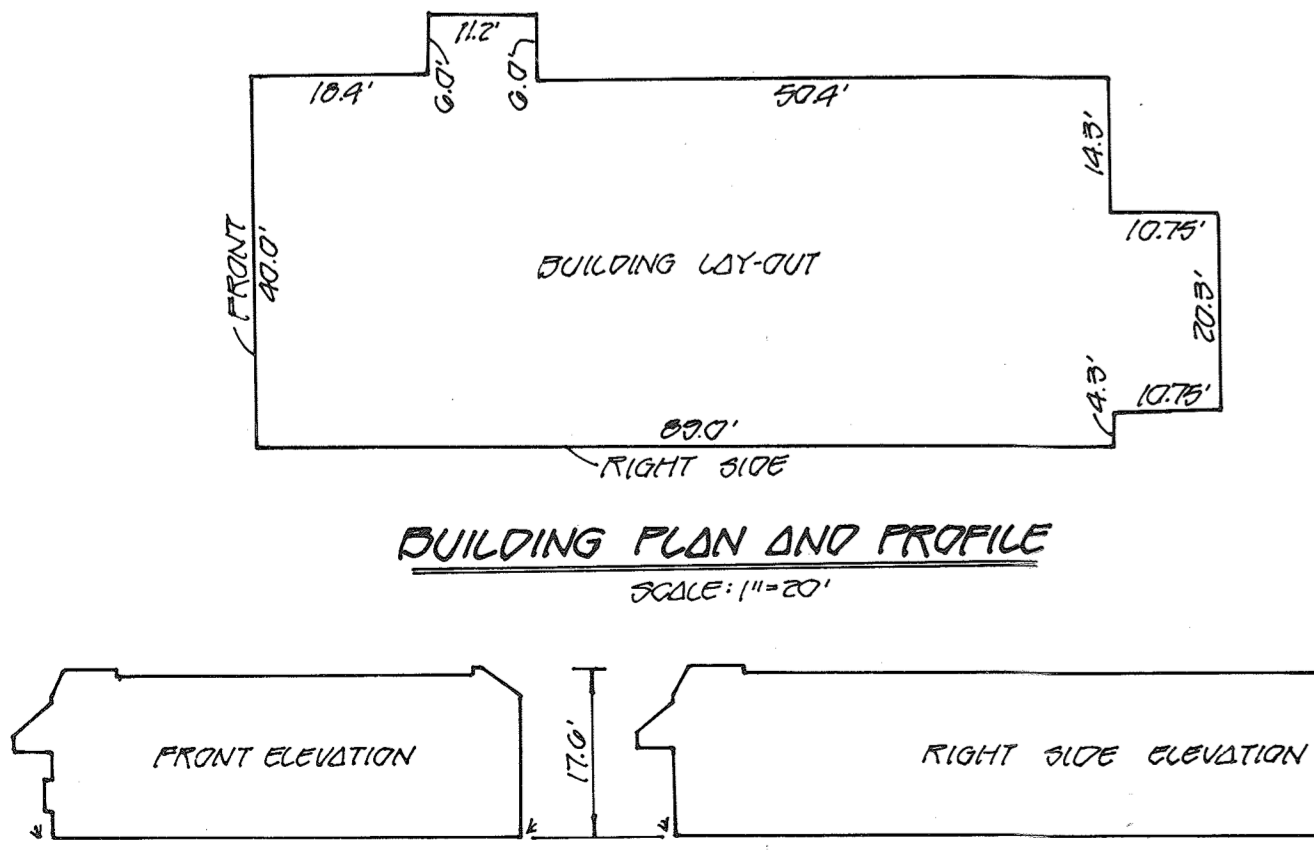
**PLAN SCALE: 1" = 20'**

**STREET ADDRESS:**  
 6305 DOBBINS ROAD

**CITY:** COLUMBIA **STATE:** MARYLAND

**COUNTY:** SIXTH ELECTION DISTRICT OF HOWARD

**SITE DEVELOPMENT, GRADING & SEDIMENT CONTROL**  
 PARCEL 'L'  
 DOBBINS ROAD COMMERCIAL CENTER - SEC. 1/DRAW. 1  
 TAX MAP 36



**OWNER:**  
 McDONALD'S CORPORATION  
 McDONALD'S CENTER  
 8015 WILLIAMS DRIVE  
 FARMFOX, VIRGINIA 22031

**APPROVED**  
 PLANNING BOARD  
 OF HOWARD COUNTY  
 DATE: 5-19-82

STATE OF MARYLAND  
 SAN & COLLINS  
 PROFESSIONAL ENGINEER

**EROSION AND SEDIMENT CONTROL CERTIFICATION AND APPROVAL**

**ENGINEER'S CERTIFICATE**

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: *[Signature]* DATE: 5/19/82

**DEVELOPER'S CERTIFICATE**

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."

Signature: *[Signature]* DATE: 5/19/82

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

Signature: *[Signature]* DATE: 6-3-82

U.S. SOIL CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: *[Signature]* DATE: 6-3-82

DISTRICT COORDINATOR  
 HOWARD SOIL CONSERVATION DISTRICT

**McDonald's**

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1980 McDonald's Corporation

**PLAN APPROVALS:**

Signature: (2 required)	Date:
Regional Mgr.	
Const. Mgr.	
Operations	

**CO-SIGN SIGNATURES:**

Contractor	
Owner	

**PLAN STATUS:**

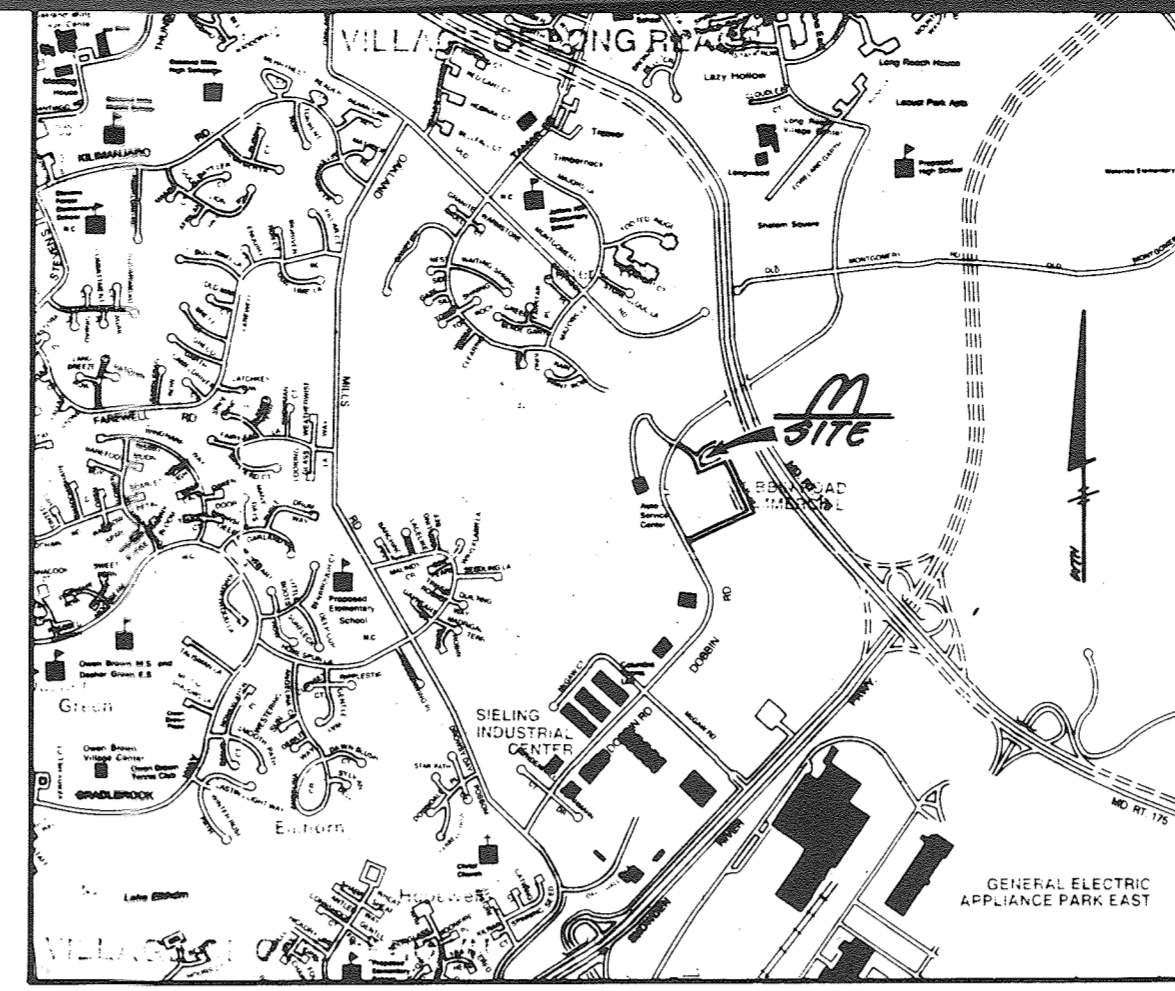
By:	5	6	7	8	9
Date:	4/14/82	4/14/82	4/14/82	4/14/82	4/14/82

**REGIONAL DWG. NO.:**  
 6305 DOBBINS ROAD

**CORPORATE DWG. NO.:**  
 SIXTH ELECTION DISTRICT OF HOWARD

**SHEET 1 OF 4**

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
 PLANNING DIRECTOR *John J. Home Jr.* DATE 6-16-82  
 CHIEF, DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
 APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND ROADS. HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIRECTOR *James P. Lewis* DATE 6-16-82  
 CHIEF, BUREAU OF ENGINEERING *W. S. ...* DATE 6-15-82  
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS. HOWARD COUNTY HEALTH DEPARTMENT  
 COUNTY HEALTH OFFICE *...* DATE 6-15-82

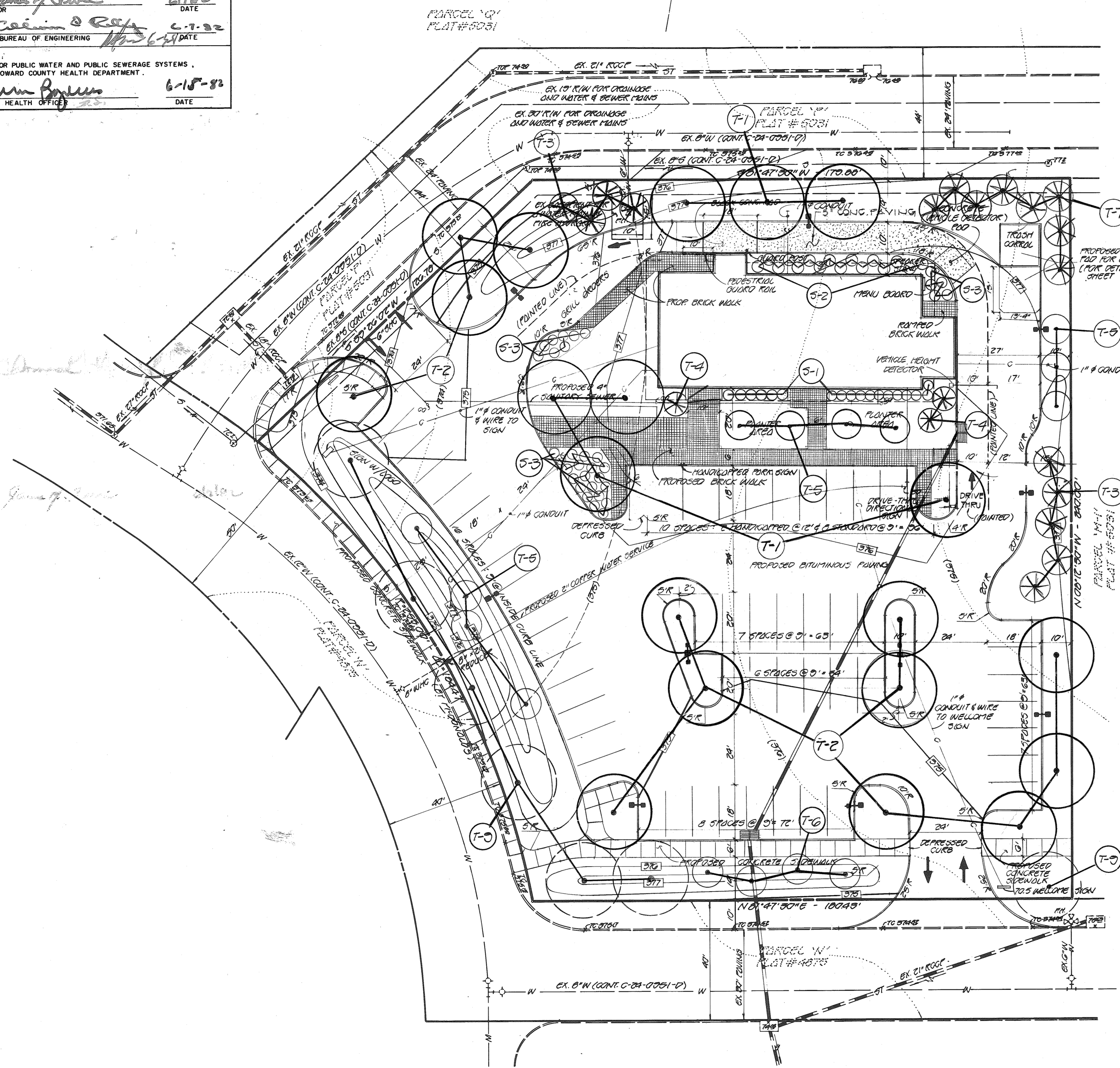


- GENERAL NOTES:
- McDonald's Road Sign and Base are by the Sign Contractor. Conduit and Wiring are by the General Contractor.
  - Bases, Anchor Bolts, Conduit, and Wiring for All Other Signs are by the General Contractor.
  - ¾" Empty Conduit to Locations Shown at the Lot Perimeter for Lot Lighting is by the General Contractor. Lighting Fixtures, Bases, Poles, Conduit, and Wiring are by the Owner/Operator.
  - Bases for Flagpoles are by the General Contractor. Anchor Bolts are by the Flagpole Supplier.
  - Proposed Utilities are Shown in Schematic Only. Exact Locations shall be Field Determined to Allow for the Most Economical Installation.
  - The Contractor shall Coordinate with All Utility Companies to Determine Exact Point of Service Connection at Existing Utility. Refer to the Building Electrical and Plumbing Drawings for Utility Service Entrance Locations, Sizes, and Circuiting.
  - All Elevations Shown are in Reference to the Benchmark and must be Verified by the General Contractor At Groundbreak.
  - Finish Walk and Curb Elevations shall be 6" Above Finish Pavement.
  - All Landscape Areas shall be Rough Graded to 6" Below Top of All Walks and Curbs. Finish Grading, Landscaping, and Sprinkler Systems are by the Owner/Operator.

PLAN APPROVALS:

Date:	
Signature: (2 required)	
Regional Mgr.	
Const. Mgr.	
Operators	
Contractor	
Owner	

CO-SIGN SIGNATURES:



LANDSCAPE MATERIALS

Code	Description	Qty
T-1	GRIMSON KING MAPLE - 2 1/2" - 3" O.D. / 12'-14' MIN.	7
T-2	GREENSPIRE LINDEN - 2 1/2" - 3" O.D. MIN.	13
T-3	WHITE PINE - 6'-8' HT. MIN.	3
T-4	JAPANESE BLACK PINE - 6'-8' HT. MIN.	3
T-5	KWAZEAN CHERRY - 2 1/2" - 3" O.D. / 13'-10' MIN.	11
T-6	WASHINGTON MOUNTAIN	4
T-7	AUSTRIAN PINE - 6'-8' HT. MIN.	8
T-8	TREES PROVIDED BY HOWARD RESEARCH DEVELOPMENT CORPORATION	7
S-1	TAXUS DENSIFORMIS	10
S-2	CHERRY LAUREL	10
S-3	TAMIS JUNIFER	33

NOTE: ALL PLANT MATERIAL SHALL BE GUARANTEED FOR THE DURATION OF ONE (1) FULL GROWING SEASON, AFTER FINAL INSPECTION AND ACCEPTANCE OF THE WORK IN THE PLANTING PROJECT. PLANTS SHALL BE ALIVE AND IN SATISFACTORY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD.

NOTE: FOR SITE DETAIL LOCATION AND GRADING SEE SHEET 5P-1.

PAVING SPECIFICATION:  
 (Minimum 3" Total Compacted Asphalt Thickness.)

LOT LIGHTING RECOMMENDATION:

NOTE: Electrical Contractor To Circuit Lot Lighting As Noted.

PARKING INFORMATION:

Total Spaces:	23 STANDARD Spaces 9' x 18' @ 90°
54	13 STANDARD Spaces 9' x 20' @ 90°
	16 STANDARD Spaces 9' @ CURB x 15' @ 90°
	2 HANDICAPPED Spaces 12' x 18' @ 90°

UTILITY INFORMATION:

Size:	Type:	Location:
Sanitary Sewer		
Water		
Storm Sewer		
Electric		
Gas		

SURVEY INFORMATION:

Prepared By: **FLAHER, COLLINS AND GARTER, INC.**  
 CONSULTING ENGINEERS AND LAND SURVEYORS  
 6000 COURT AVENUE  
 BLUETT CITY, MONTGOMERY 21098  
 JANUARY 26, 1982

Dated:

LEGEND:

Sanitary Sewer	S	Gas	G
Water	W	Lot Light	LP-30
Storm Sewer	ST	Existing Elevation	(76.5)
Electric	E	Proposed Elevation	(77.0)

PLAN SCALE: 1" = 20'

STREET ADDRESS:  
**6385 DOBBIN ROAD**

CITY: **COLUMBIA** STATE: **MARYLAND**

COUNTY:  
**SIXTH ELECTION DISTRICT OF HOWARD**

LANDSCAPE PLAN  
**PARCEL 'L'**  
 DOBBIN ROAD COMMERCIAL CENTER - SEC. 1 / AREA 1  
 TAX MAP 29

OWNER  
 McDONALD'S CORPORATION  
 McDONALD'S CENTER  
 5015 WILLIAMS DRIVE  
 FAIRFAX, VIRGINIA 22031

REVISIONS  
 FEB 17, 1985 - ADDED 5' CONC. PAVING TO DRIVE THRU LANE  
 REVISION TYPE AND SIZE OF INLETS 1-1 AND 1-2.

APPROVED  
 PLANNING BOARD  
 OF HOWARD COUNTY  
 DATE: 5-19-82  
*[Signature]*



# McDonald's

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1980 McDonald's Corporation  
 MCD9461

PLAN STATUS:

Date:	4/14/82
By:	WTH
Revisions:	
1	
2	
3	
4	

REGIONAL DWG. NO.:

CORPORATE DWG. NO.:

Plan Checked  
 As-Built Drawn

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE OF ENGINEER: *[Signature]* DATE: 5/21/82

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."

SIGNATURE OF DEVELOPER: *[Signature]* DATE: 5/21/82

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

U.S. SOIL CONSERVATION SERVICE DATE: 6-3-82

APPROVED: *[Signature]* DATE: 6-3-82

DISTRICT COORDINATOR DATE: 6-3-82

APPROVED: *[Signature]* DATE: 6-15-82

COUNTY HEALTH OFFICER DATE: 6-15-82

APPROVED: *[Signature]* DATE: 6-16-82

PLANNING DIVISION DATE: 6-16-82

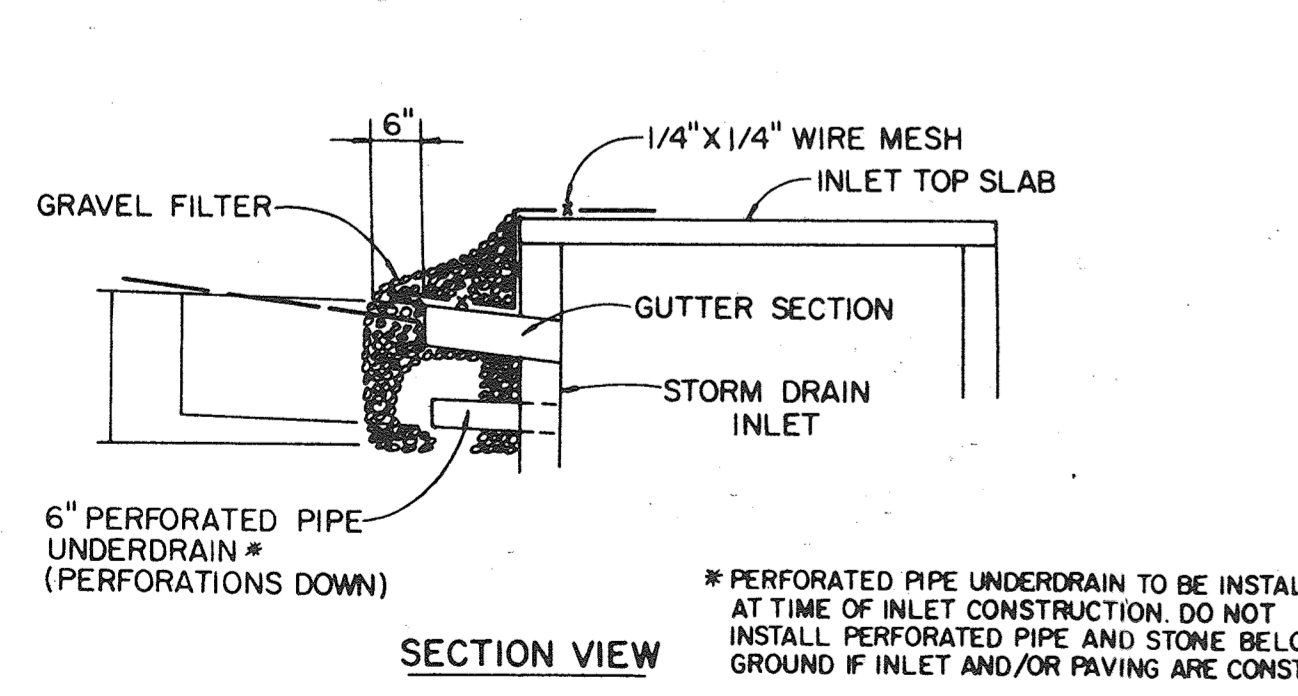
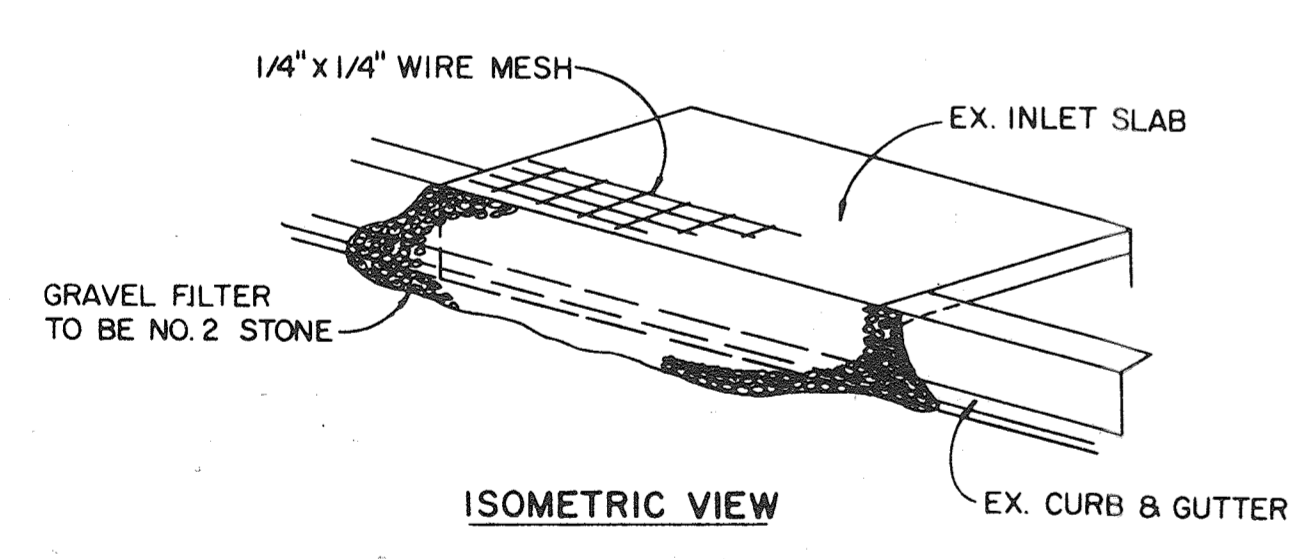
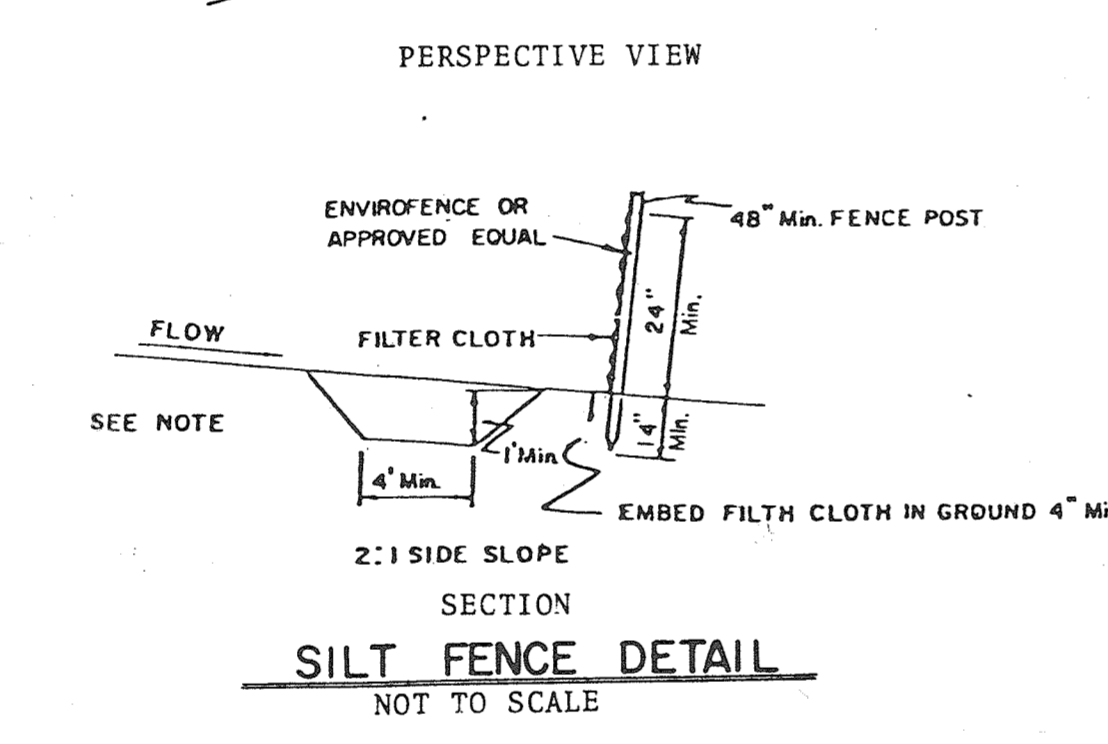
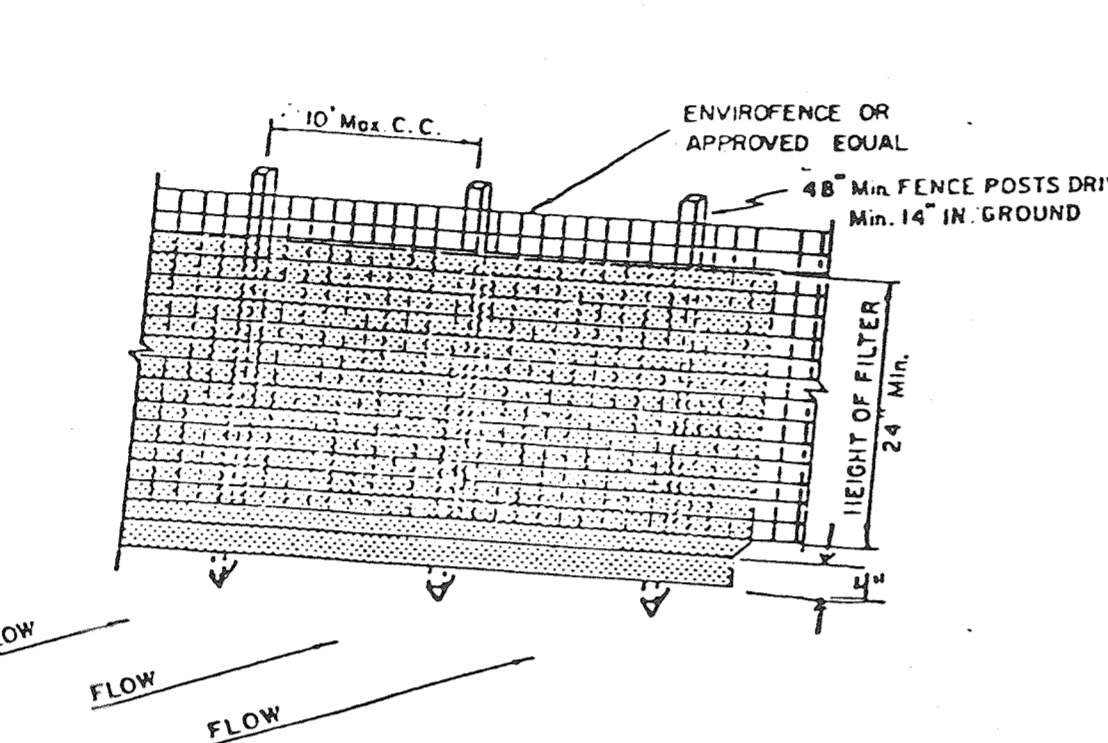
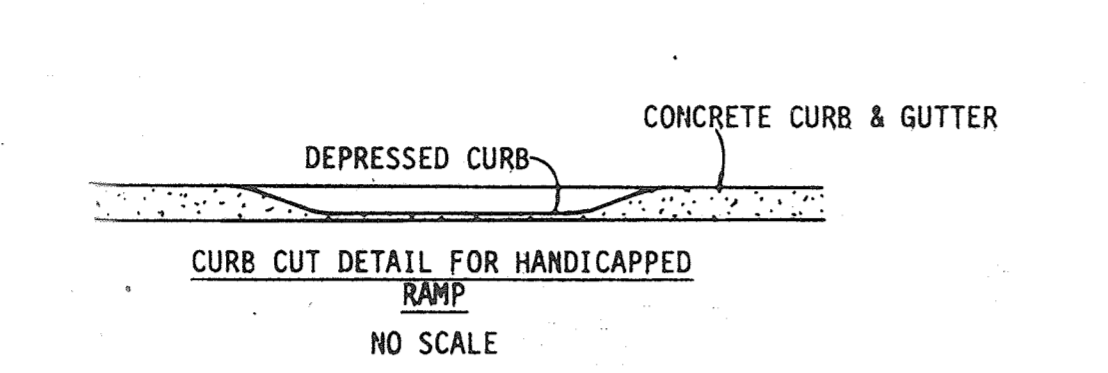
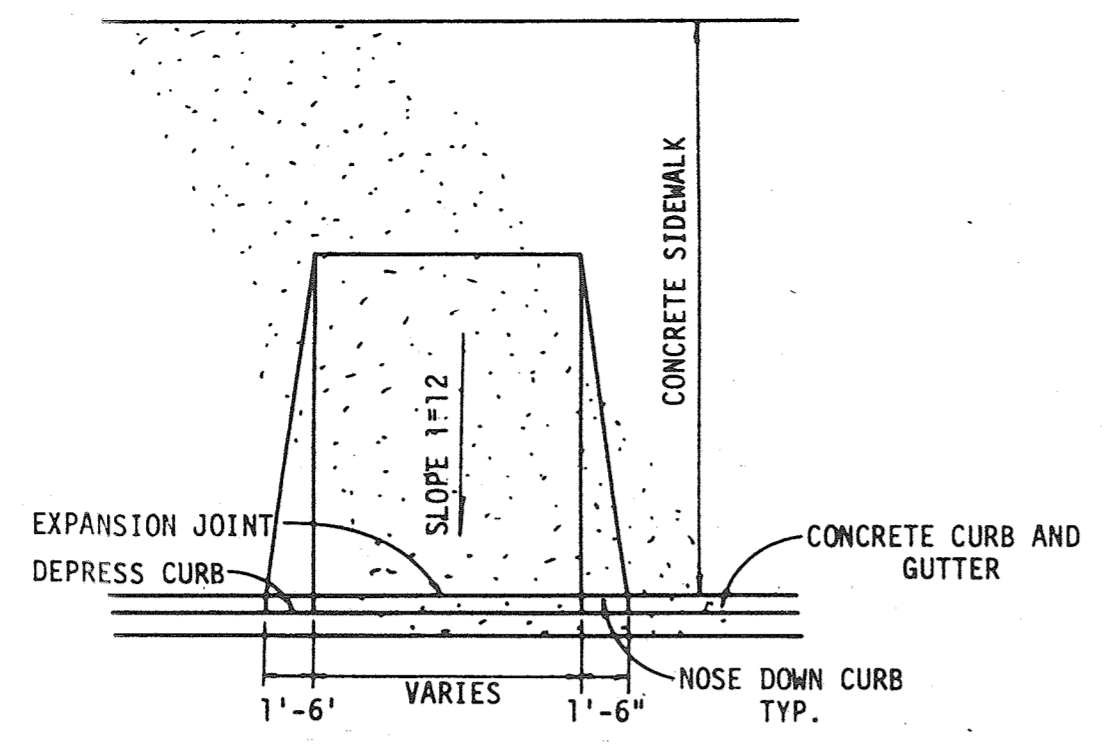
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION

APPROVED: *[Signature]* DATE: 6-16-82

FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

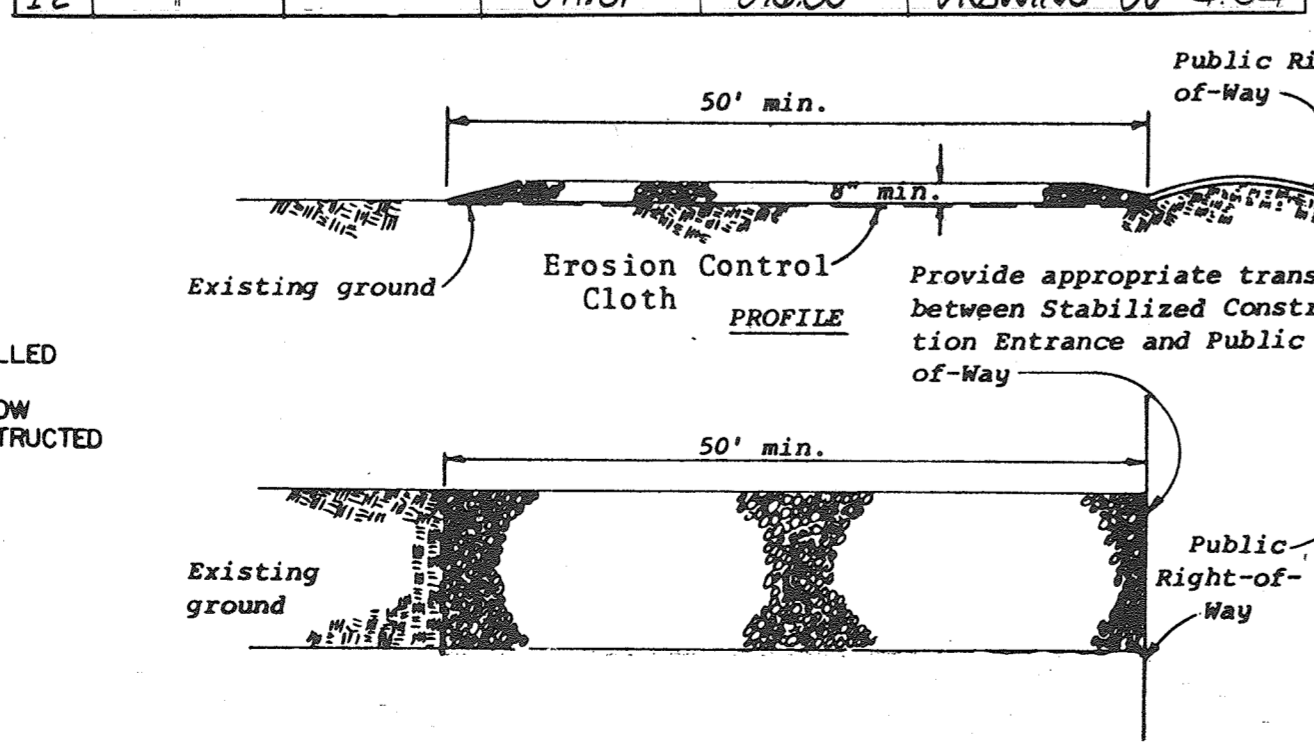
APPROVED: *[Signature]* DATE: 6-16-82

CHIEF, BUREAU OF ENGINEERING

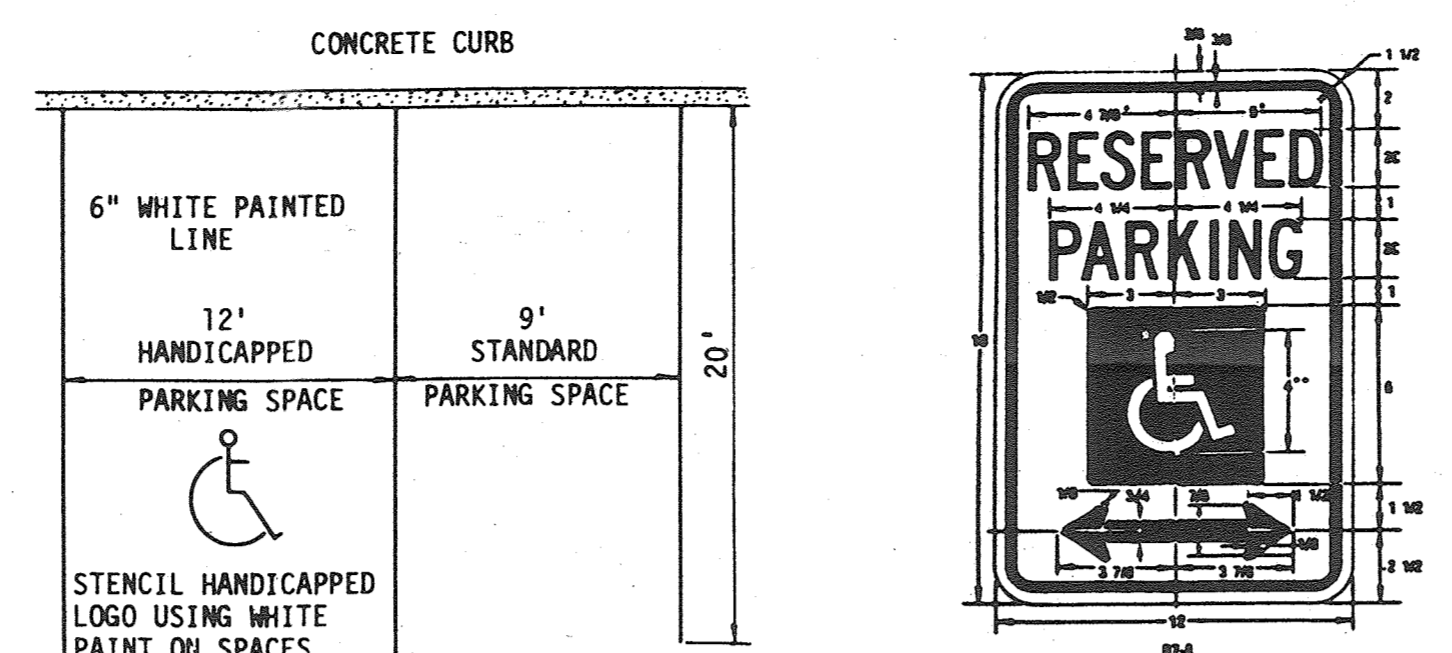


STONE FILTER INLET PROTECTION DETAIL  
NO SCALE

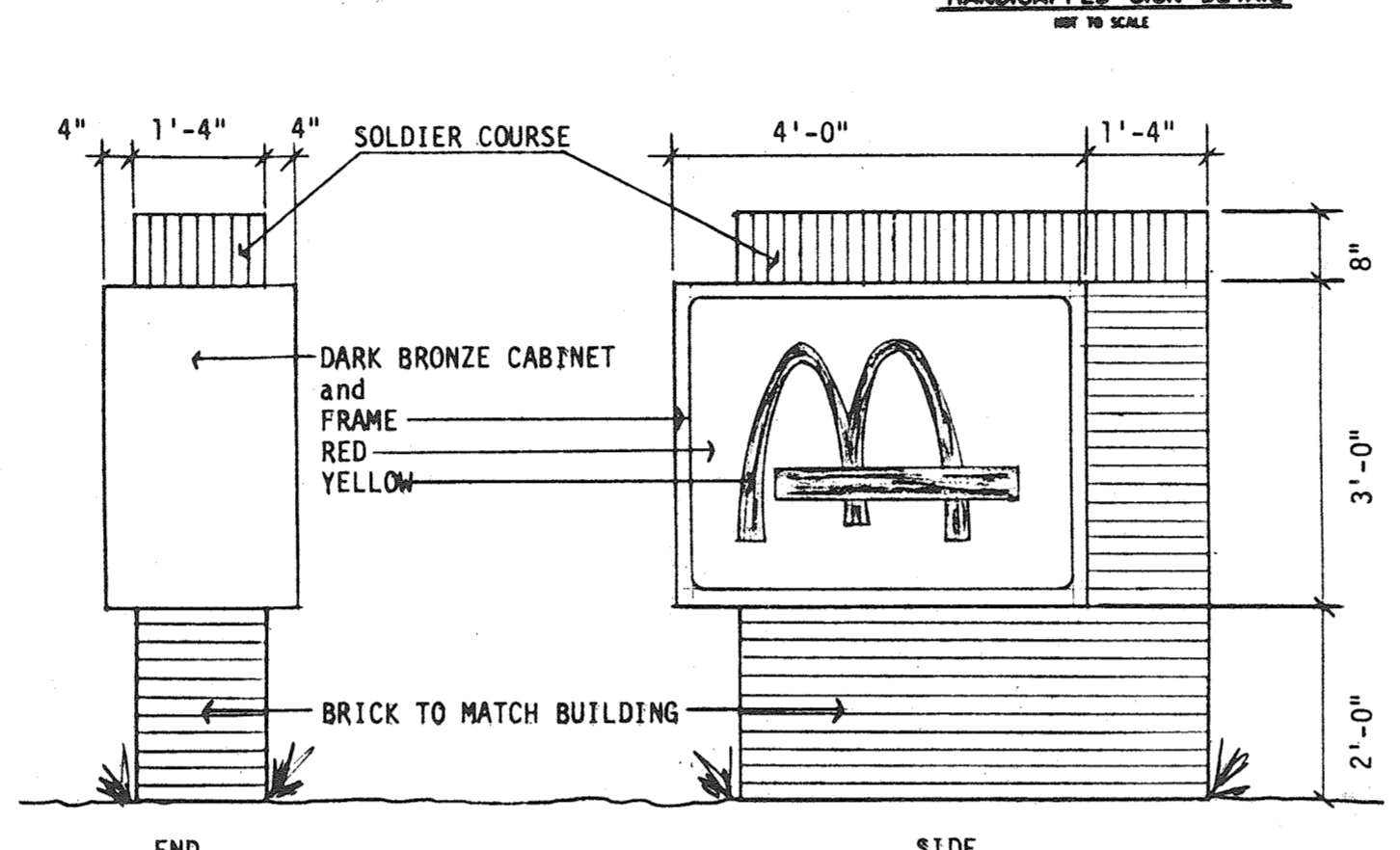
STRUCTURE SCHEDULE					
NO	TYPE	INVERT IN	INVERT OUT	TOP ELEV.	REMARKS
I-1	PERFORATED PIPE UNDERDRAIN	370.25	370.05	374.45	DRAWING 80-4.34
I-2	STONE FILTER	-	371.81	376.35	DRAWING 80-4.34



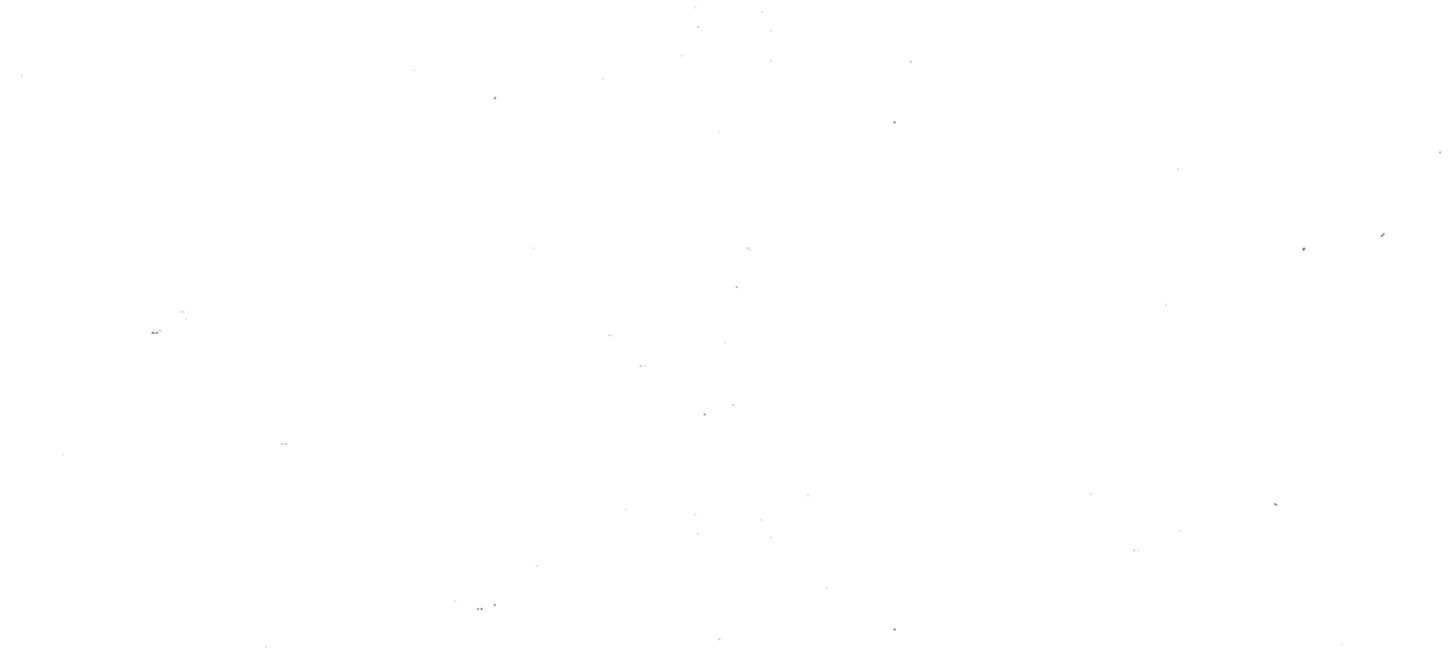
STABILIZED CONSTRUCTION ENTRANCE  
NOT TO SCALE



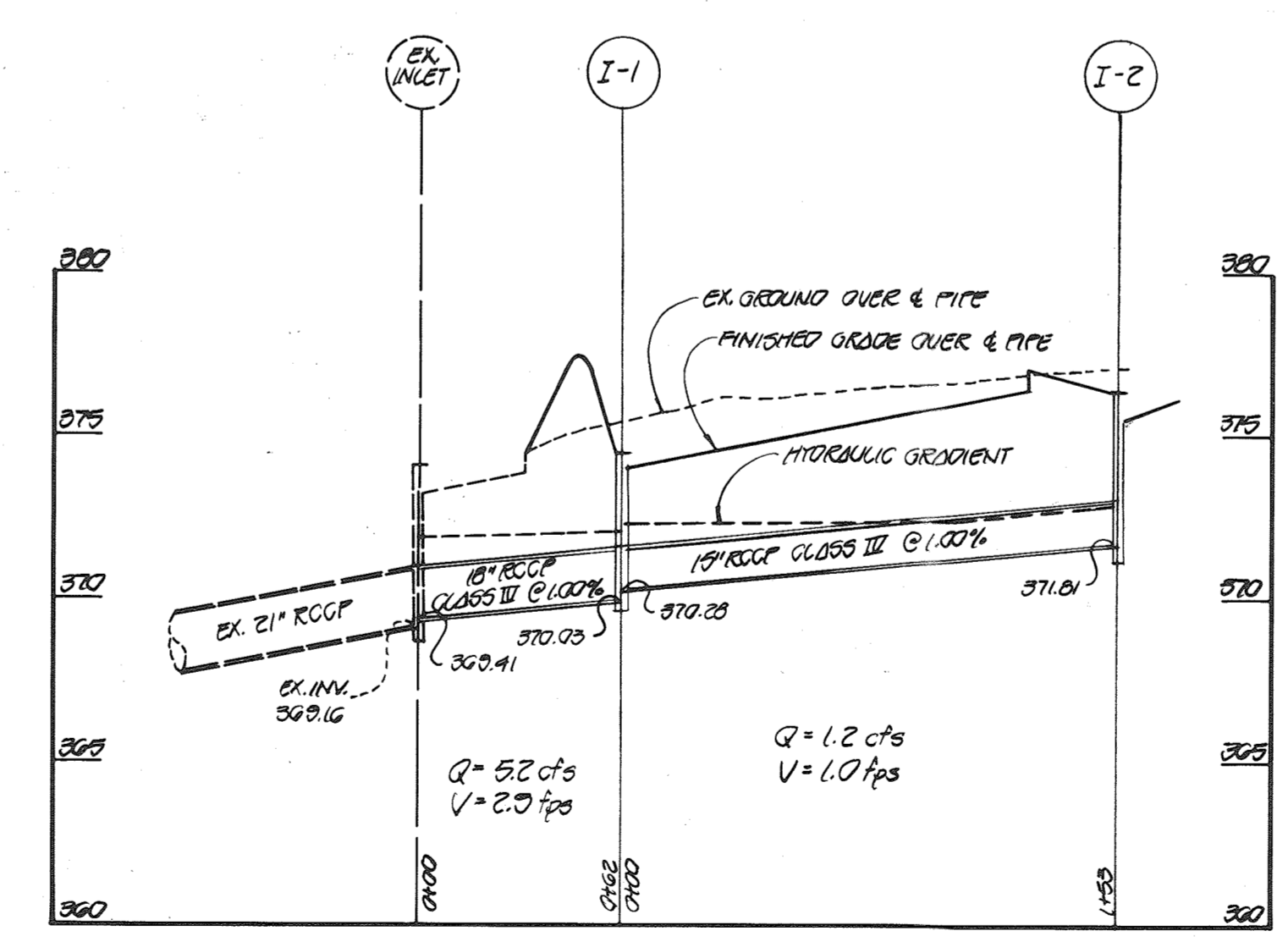
TYPICAL PARKING DETAIL  
NO SCALE



HANDICAPPED SIGN DETAIL  
NOT TO SCALE



McDONALDS/DOBBIN CENTER  
DOUBLE FACED SIGN-EACH SIDE 12 SQ.FT. TOTAL SIGN AREA 24 SQ.FT.



STORM DRAIN PROFILE  
SCALE: 1" = 30' HOR. 1" = 3' VERT.

SEDIMENT CONTROL NOTES

- Specifications for the Sediment Control Details shown hereon are included in the U.S.D.A. Soil Conservation Service "Standards and Specifications for Soil Erosion and Sediment Control in Developing Areas."
- The developer shall notify the Howard County Office of Inspection and Permits at least 24 hours prior to beginning any construction shown hereon (992-2433).
- Sediment control structures to be constructed prior to any on-site grading or disturbance to any existing surface material, and are to be stabilized as soon as constructed.
- All sediment control structures to remain in place until permission for their removal has been obtained from the Howard County Office of Inspection and Permits. (992-2433).
- All graded areas not to be sodded shall be stabilized by seeding and mulching in accordance with the following:
  - Site Preparation
    - Harrow or disc in areas proposed to be seeded the following materials:
      - Pulverized limestone at 2 tons/acre.
      - Commercial fertilizer 10-10-10 at 3/4 tons/acre.
      - Super phosphate at 600 lbs./acre.
    - Seeding
      - Sow the following seed mixture at the rate of 200 lbs./acre with a mechanical spreader.
        - Temporary: Italian or Perennial Rye Grass
        - Permanent: 40% Marion Blue Grass, 40% South Dakota Blue Grass and 20% Penn Lawn Creeping Fescue.
      - The seeded area shall then be raked with a York Rake (a minimum of 2 passes) covered and compacted with Cultipacker or other approved method.
    - Mulching
      - Seeded areas shall be uniformly mulched immediately after seeding with unweathered small grain straw at the rate of 1 1/2 - 2 tons/acre.
      - The seeded area shall then be raked with a York Rake (a minimum of 2 passes) covered and compacted with Cultipacker or other approved method.
- A grading plan must be developed by the builder and approved before beginning construction of dwellings.

CONSTRUCTION SEQUENCE

- OBTAIN GRADING AND BUILDING PERMITS.
- INSTALL ENVIROFENCE AS SHOWN ON PLANS (SHEET 1 OF 4).
- CONSTRUCT STONE CONSTRUCTION ENTRANCE AT ENTRY OF PARCEL "M"
- GRADE SITE TO SUBGRADE.
- CONSTRUCT INLETS AND STORM DRAINAGE SYSTEMS AND UTILITIES.
- INSTALL STONE FILTER INLET PROTECTION DEVICES.
- CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE OF SEDIMENT AND EROSION CONTROL DEVICES DURING CONSTRUCTION TIME (BEGINNING TO END).
- LAY CRUSHER RUN AND BASE.
- BEGIN CONSTRUCTION OF BUILDING.
- CONSTRUCT CONCRETE CURB AND GUTTER.
- LAY BITUMINOUS PAVING COURSES.
- LANDSCAPE, SEED AND MULCH.
- REMOVE SEDIMENT CONTROL DEVICES UPON STABILIZATION OF SEEDED AREAS.
- COMPLETE BUILDING CONSTRUCTION.

GENERAL NOTES:

- McDonald's Road Sign and Base are by the Sign Contractor. Conduit and Wiring are by the General Contractor.
- Bases, Anchor Bolts, Conduit, and Wiring for All Other Signs are by the General Contractor.
- 3/4" Empty Conduit to Locations Shown at the Lot Perimeter for Lot Lighting is by the General Contractor. Lighting Fixtures, Bases, Poles, Conduit, and Wiring are by the Owner/Operator.
- Bases for Flagpoles are by the General Contractor. Anchor Bolts are by the Flagpole Supplier.
- Proposed Utilities are Shown in Schematic Only. Exact Locations shall be Field Determined to Allow for the Most Economical Installation.
- The Contractor shall Coordinate with All Utility Companies to Determine Exact Point of Service Connection at Existing Utility. Refer to the Building Electrical and Plumbing Drawings for Utility Service Entrance Locations, Sizes, and Circuiting.
- All Elevations Shown are in Reference to the Benchmark and must be Verified by the General Contractor At Groundbreak.
- Finish Walk and Curb Elevations shall be 6" Above Finish Pavement.
- All Landscape Areas shall be Rough Graded to 6" Below Top of All Walks and Curbs. Finish Grading, Landscaping, and Sprinkler Systems are by the Owner/Operator.

PAVING SPECIFICATION:  
(Minimum 3" Total Compacted Asphalt Thickness.)

Note: McDonald's Engineer Reserves The Right To Request A Compaction Test And/Or A Core Sample. If Tests Prove Correct, Per Above Specifications, Tests Will Be At The Expense Of McDonald's. Otherwise, G.C. Will Be Charged.

LOT LIGHTING RECOMMENDATION:

Note: Electrical Contractor To Circuit Lot Lighting As Noted.

PARKING INFORMATION:

Total Spaces:	Spaces	x	@	°
	Spaces	x	@	°
	Spaces	x	@	°
	Spaces	x	@	°

UTILITY INFORMATION:

Sanitary Sewer	Water	Storm Sewer	Electric	Gas

SURVEY INFORMATION:

Prepared By: FISHER, COLLINS AND CARTER, INC. CONSULTING ENGINEERS AND SURVEYORS  
8308 COURT AVENUE  
BELLGATE CITY, MARYLAND 21045

LEGEND:

Sanitary Sewer	S	Gas	G
Water	W	Lot Light	LP-30
Storm Sewer	ST	Existing Elevation	(76.5)
Electric	E	Proposed Elevation	(77.0)

PLAN SCALE: 1" = 20'

STREET ADDRESS:

6305 DOBBIN ROAD

CITY: STATE:

COLUMBIA MARYLAND

COUNTY:

SIXTH ELECTION DISTRICT OF HOWARD

PROFILES, DETAILS, SPECIFICATIONS & NOTES

FARGEL "L"

DOBBIN ROAD COMMERCIAL CENTER - SECTION 1 / AREA 1

70' X 100' 30'

**McDonald's**

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1980 McDonald's Corporation

PLAN APPROVALS:

Date:	Signature: (2 required)	Regional Mgr.	Const. Mgr.	Operations	Contractor	Owner

CO-SIGN SIGNATURES:

Contractor	Owner

PLAN STATUS:

Date:	By:	6	7	8	9
4/14/82	WTH				

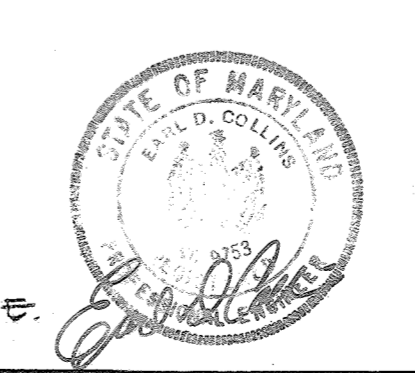
REGIONAL DWG. NO.:

CORPORATE DWG. NO.:

Plan Checked: \_\_\_\_\_ As-Built Drawn: \_\_\_\_\_

SHEET 3 OF 4

APPROVED  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE: 5-19-82



McDONALD'S CORPORATION  
McDONALD'S CENTER  
3015 WILLIAMS DRIVE  
FAIRFAX, VIRGINIA 22031

REVISIONS  
REV. 11, 1983: REVISED TYPE OF INLETS  
I-1 AND I-2 SEE STRUCTURE SCHEDULE.

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
*Donald L. Smith* 6-16-82  
 PLANNING DIRECTOR DATE

APPROVED: CHIEF DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION  
*John W. Anderson* 6-16-82  
 DATE

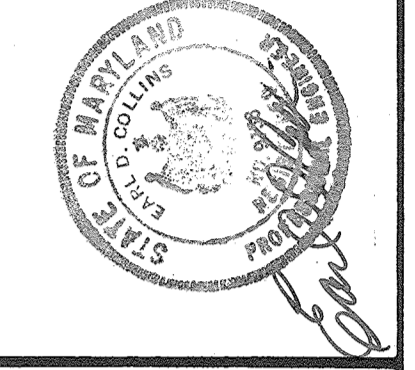
APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND ROADS  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*James P. Lewis* 6-16-82  
 DIRECTOR DATE

APPROVED: CHIEF, BUREAU OF ENGINEERING  
*William J. Ray* 6-1-82  
 DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,  
 HOWARD COUNTY HEALTH DEPARTMENT.  
*Joseph J. Brown* 6-15-82  
 COUNTY HEALTH OFFICER DATE

Revisions		No.	Date	By
		1	4/1/82	WTH
		2		
		3		
		4		

FORCEL V.  
 ROBSON ROAD COMMERCIAL CENTER  
 SECTION 1, (AREA 1)  
 HOWARD CO., MD. CIV. ELECT. DIST.  
 Date Drawn: 6/16/82  
 Drawn By: WTH  
 Checked By: RCD  
 Job No.



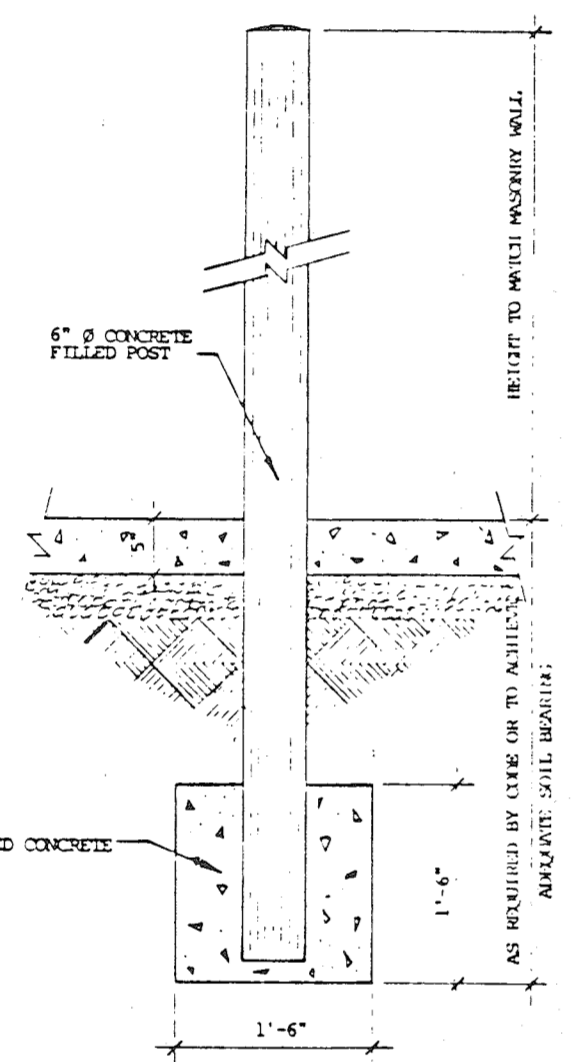
# McDonald's

The entire building design and the mechanical roof design shown in these drawings are service marks of McDonald's Corporation, registered in the U.S. Patent and Trademark Office.  
 MCDONALD'S CORPORATION, MCDONALD'S CENTER, 3015 WILLIAMS DR., FORT LEE, NJ 07024

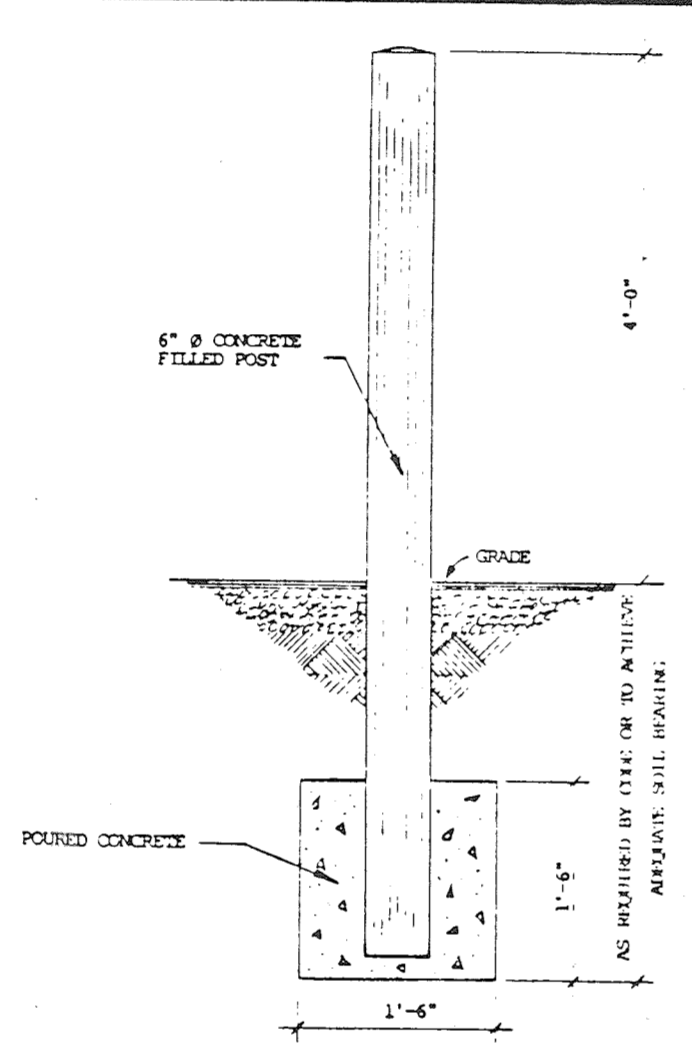
Drawn For:  
 McDonald's Corporation  
 McDonald's Plaza  
 Oak Brook, Illinois 60521

ENGINEERED BY:  
 FISHER, COLLING AND CARTER, INC.  
 CONSULTING ENGINEERS AND ARCHITECTS  
 SUITE 100  
 WASHINGTON CITY, MARYLAND 20786  
 TELE: (301) 491-2855

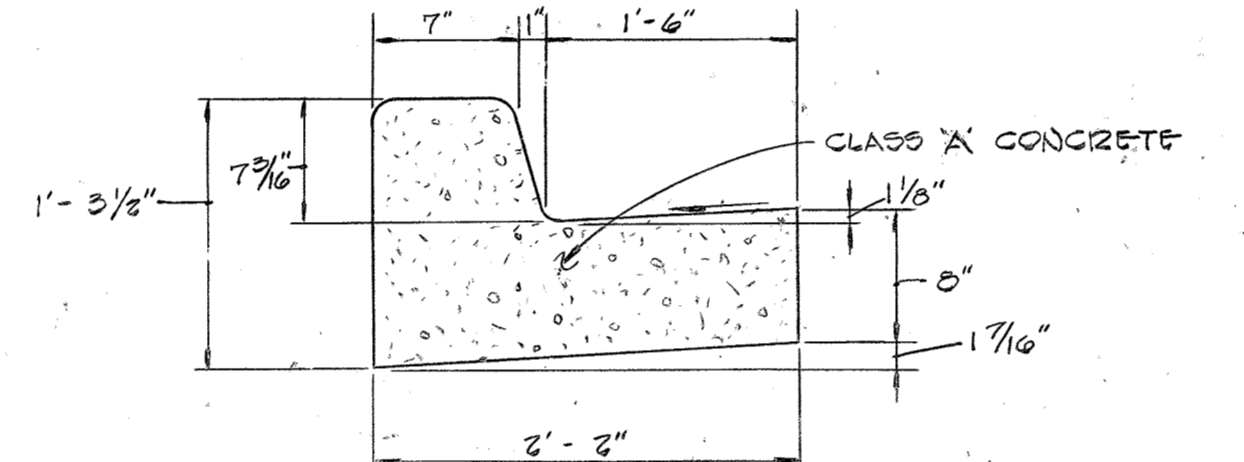
**SITE DETAILS**  
 SHEET 4 OF 4



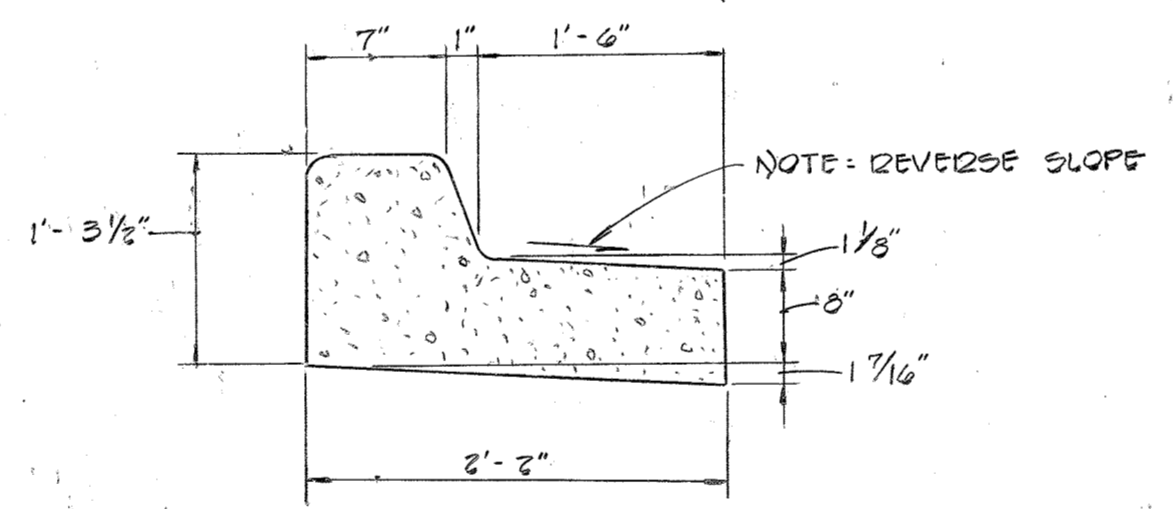
**TRASH ENCLOSURE GATE POST**  
 SCALE: 1" = 1'-0"



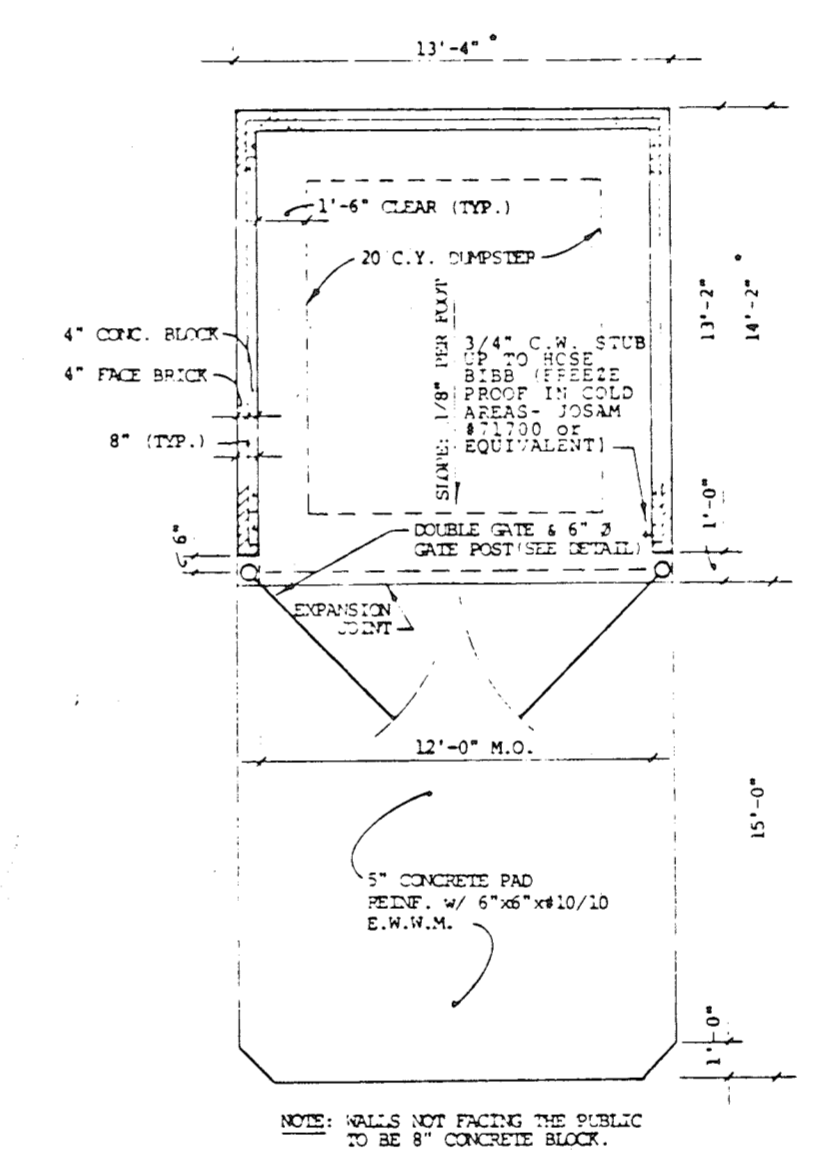
**GUARD POST**  
 SCALE: 1" = 1'-0"



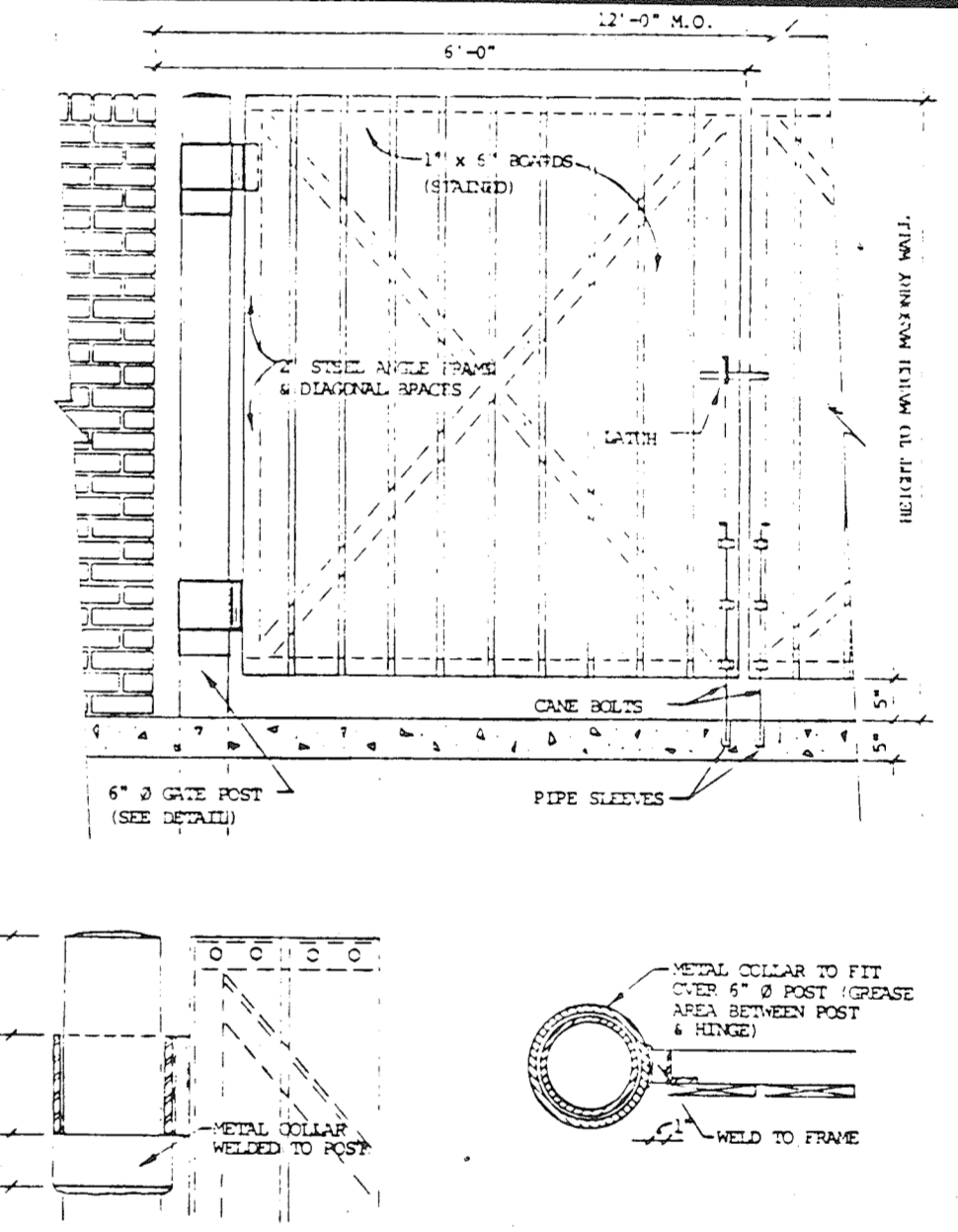
**STANDARD 7\"/>
 NO SCALE**



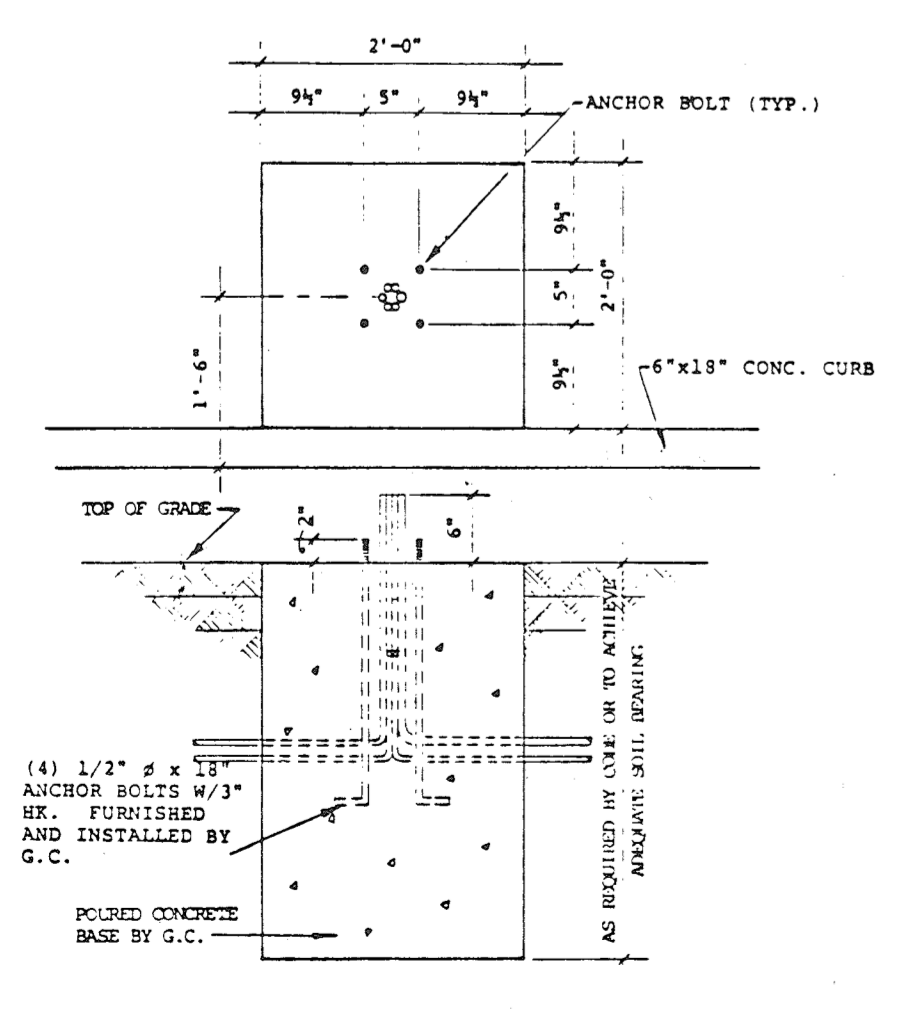
**STANDARD 7\"/>
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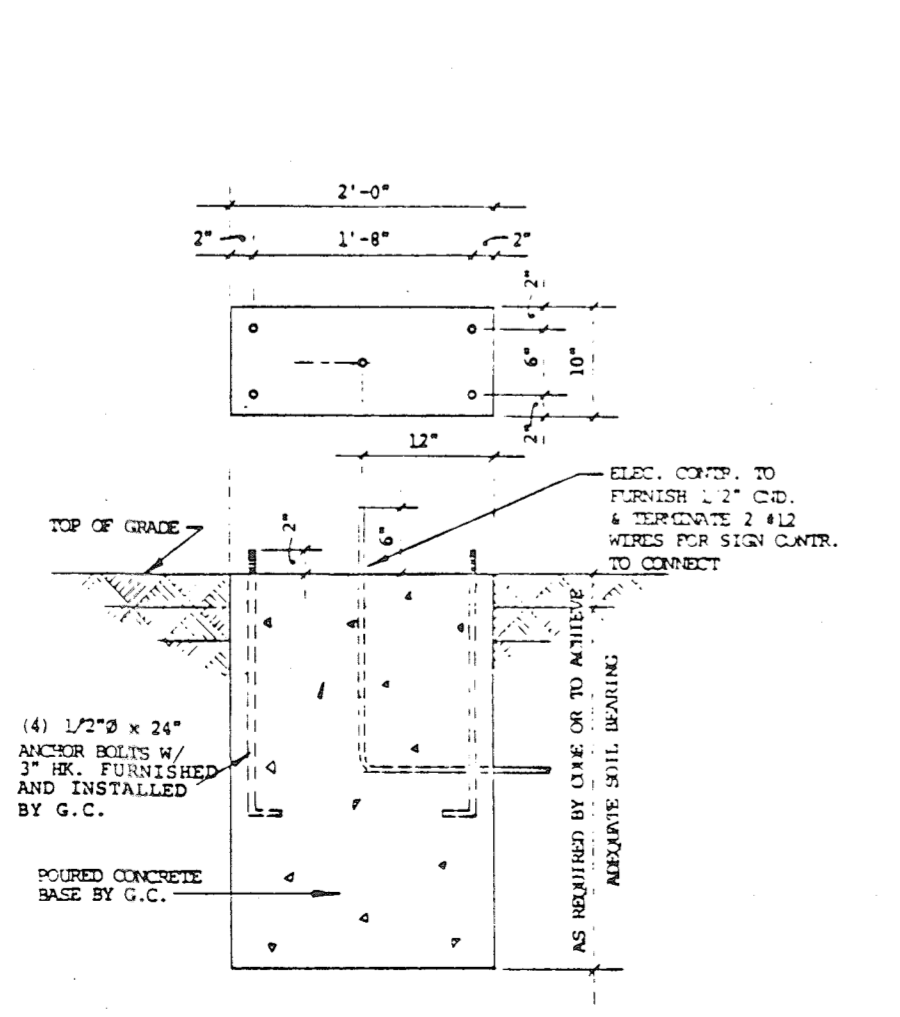
**TRASH ENCLOSURE D**



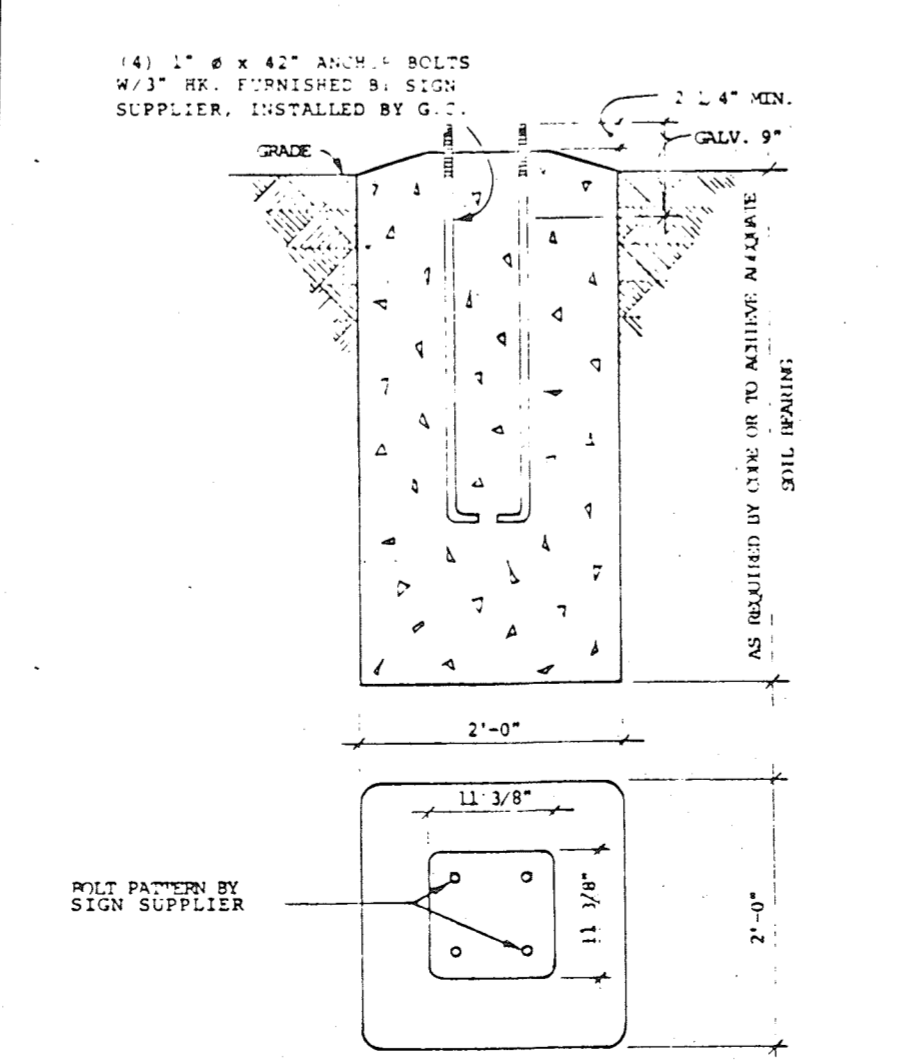
**TRASH ENCLOSURE GATE**



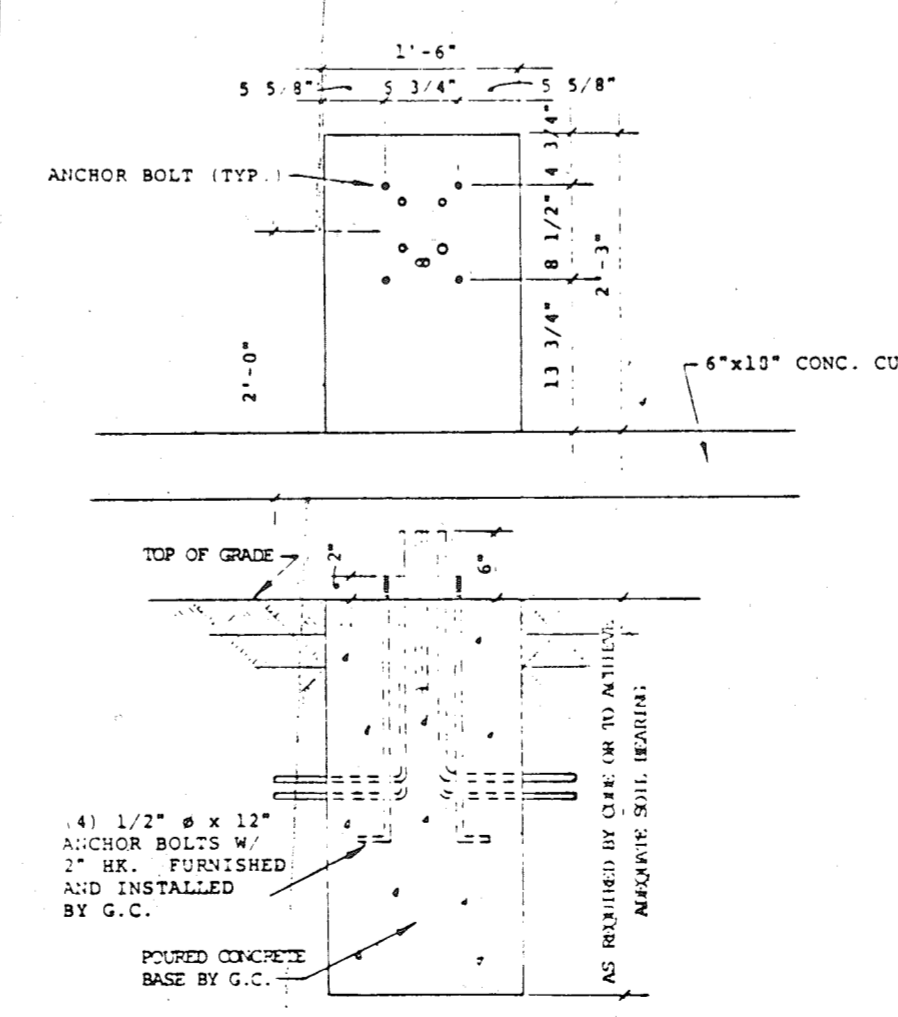
**3' x 4' SPEAKER BOARD BASE**



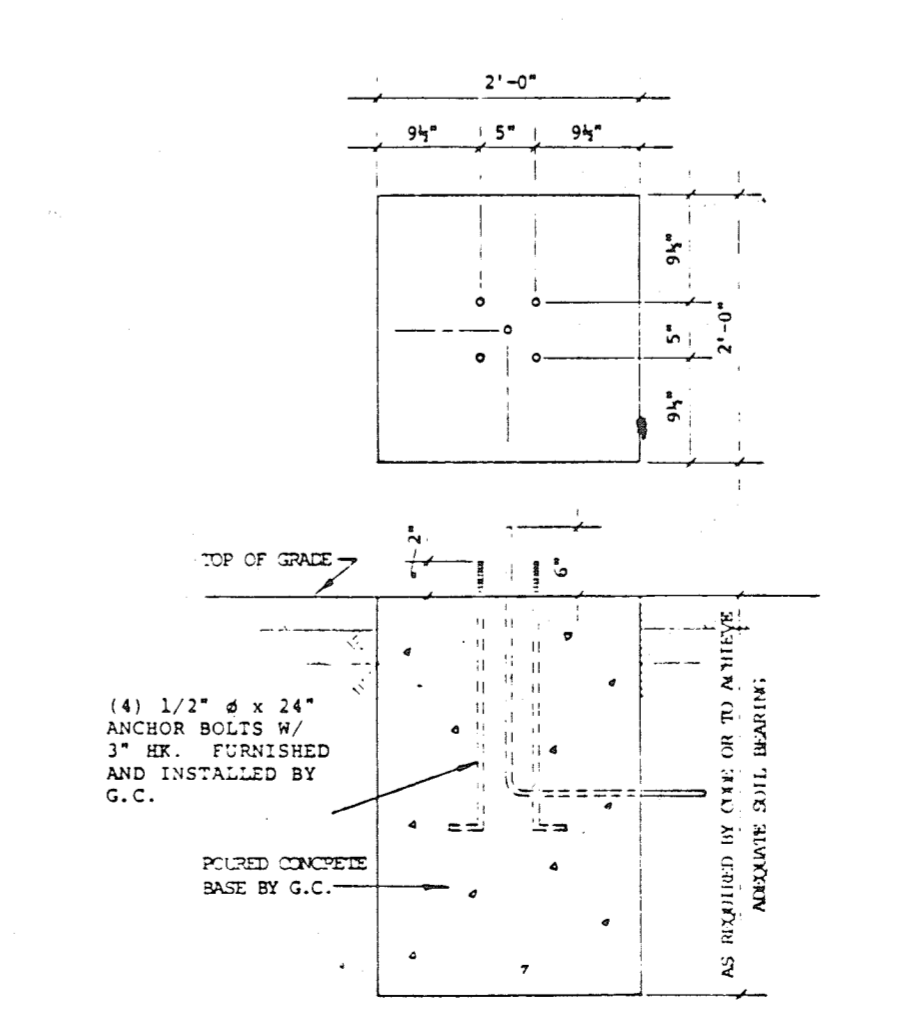
**ENTRANCE & EXIT SIGN BASE**



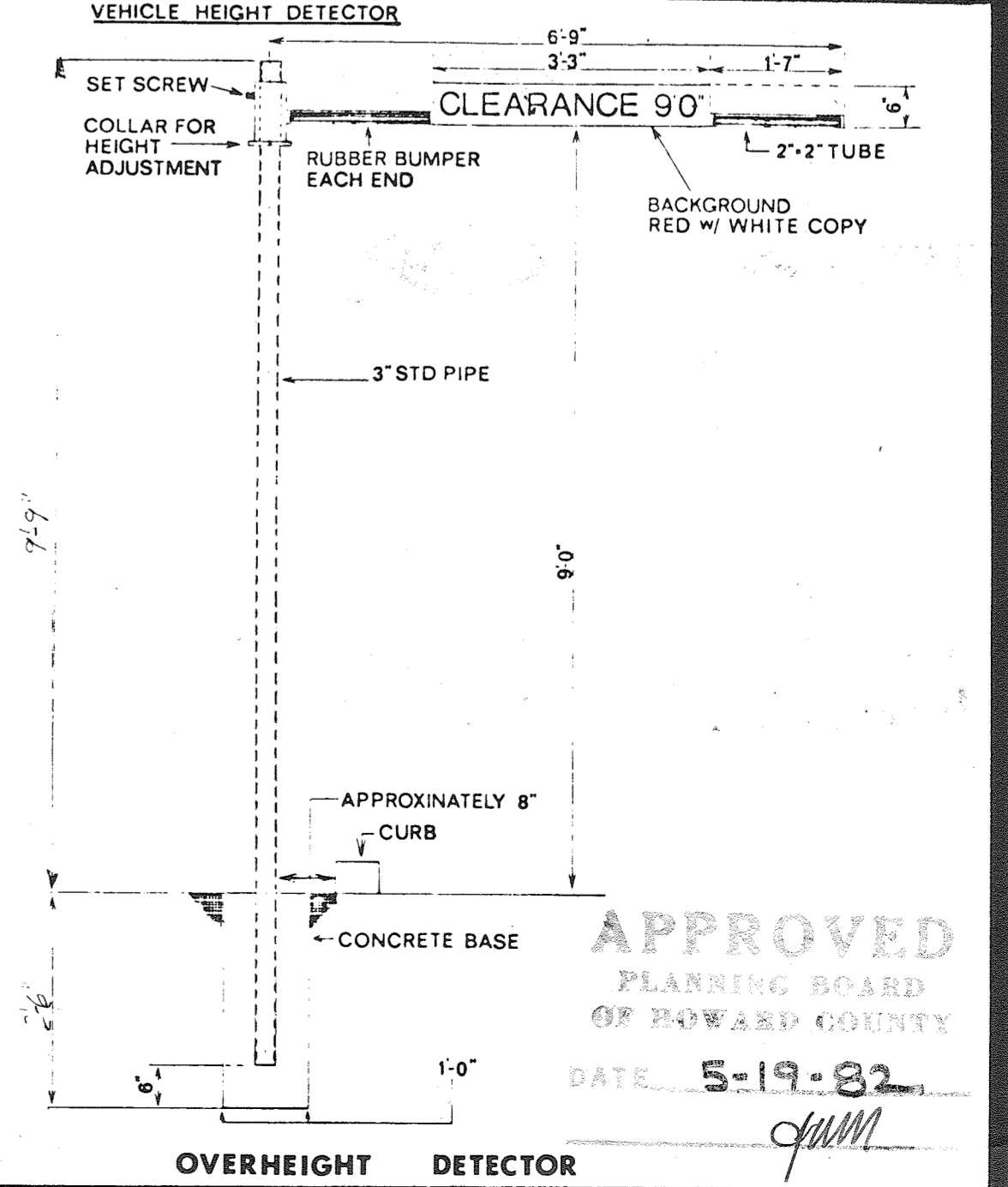
**FLAG POLE BASE**



**SPEAKER POST BASE**



**3' x 6', 4' x 6', & 4' x 8' MENU DISPLAY BOARD BASE**



**OVERHEIGHT DETECTOR**

APPROVED  
 PLANNING BOARD  
 OF HOWARD COUNTY  
 DATE: 5-19-82  
*JMM*