

**SEPTIC SYSTEM DESIGN DATA**

① INV. @ WALL: 326.50  
 ② 2,000 GALLON SEPTIC TANK  
 EX. GRADE @ TANK: 323.00  
 FIN. GRADE @ TANK: 322.00  
 INV. IN: 326.30  
 INV. OUT: 325.97  
 ③ DISTRIBUTION BOX: 6" WAYS  
 FIN. GRADE @ BOX: 327.00  
 INV. IN: 325.50

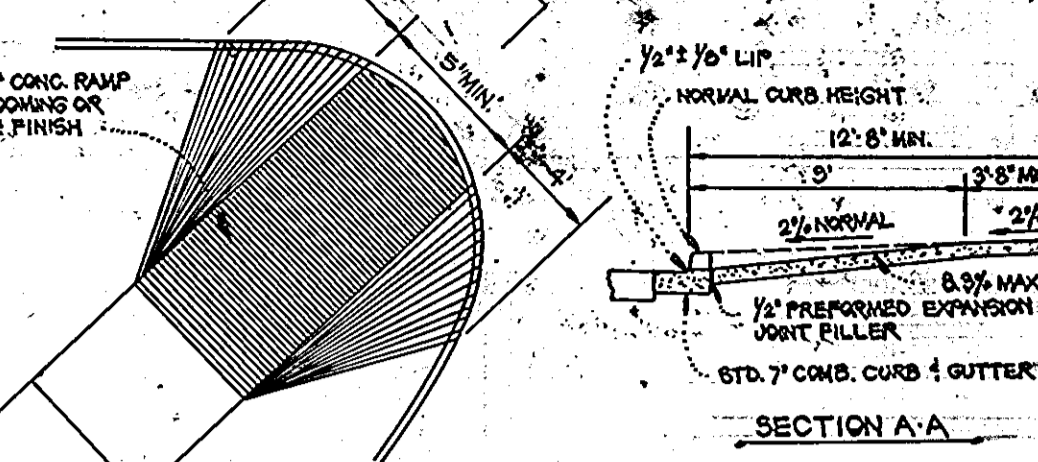
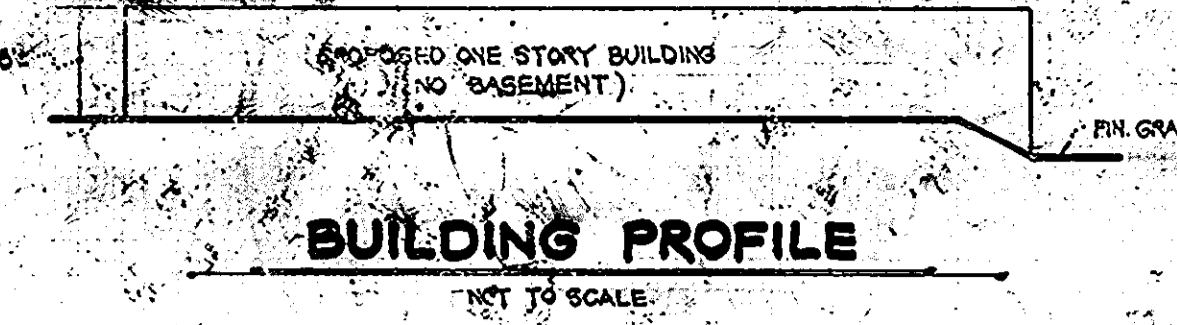
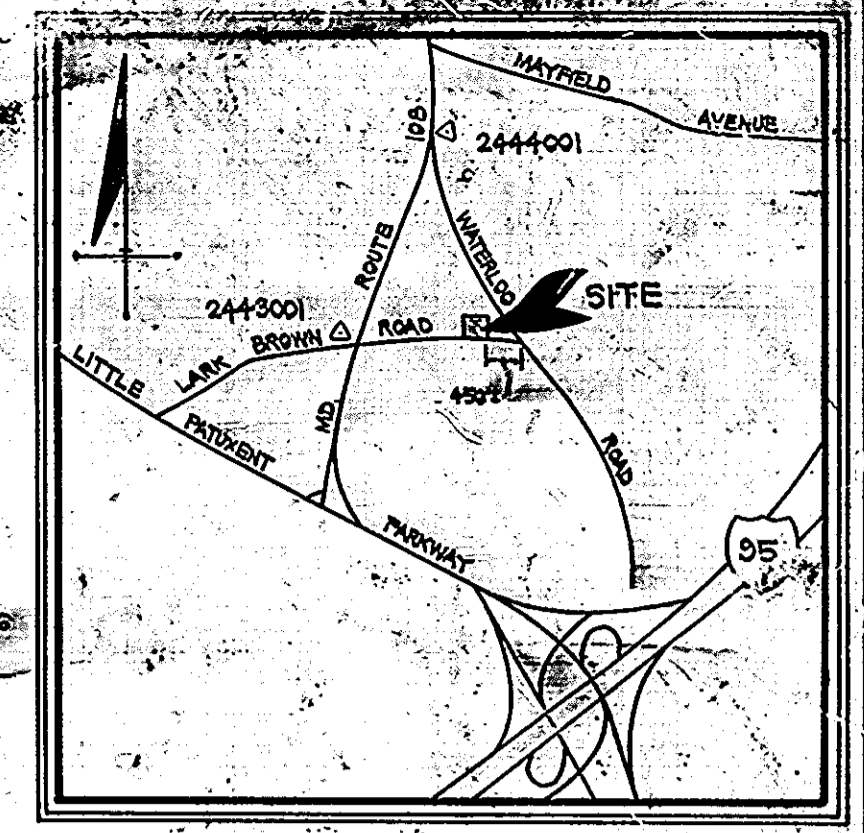
**TRENCH DATA**

NO.	LENGTH	TOP BENCH	BOT. BENCH	INLET EL.
①	62.14'	324.00	320.00	320.50
②	95.14'	324.00	319.00	320.50
③	110.14'	324.00	318.00	320.50
④	100.14'	324.00	317.00	320.50
⑤	100.14'	322.00	316.00	318.50
⑥	100.14'	322.00	317.00	318.50

NOTE: SEE TRENCH DETAILS THIS SHEET

**PLANT LIST**

NO.	NAME (SPECIES)	HEIGHT	CALIPER	COND.
15	PIN OAK (QUERCUS PALUSTRIS)	4' to 5'	2 1/2" MIN.	B 4 D
20	AZALEA (KURUMI AZALEA INDIGENA)	5' to 6'	1 1/2" MIN.	B 4 B



**SEDIMENT CONTROL NOTES**

- The contractor shall notify the Howard County Department of Inspections & Permits at least 24 hours prior to beginning any construction shown herein. (929-0426)
- All sediment control measures shall be installed in accordance with this plan and the Standards and Specifications for Soil Erosion and Sediment Control in Developing Areas (10/79) prior to any grading or earthwork to any surface material.
- All sediment control structures to remain in place until permission for their removal has been obtained from the Sediment Control Inspector.
- Periodic inspection and required maintenance must be provided by the contractor or his representative on a daily basis to ensure proper functioning of all sediment control structures.
- All graded areas, not to be paved, shall be stabilized in accordance with the following:
  - Place 2" compacted layer of topsoil to finished grade.
  - Spread dolomitic limestone at the rate of 45 lbs./1000 sq. ft.
  - Spread 10-10 commercial grade fertilizer at the rate of 25 lbs./1000 sq. ft. into soil to a 2" depth.
  - Seed prepared areas at the rate of 2 lbs./1000 sq. ft.
    - 40% Merion Kentucky Bluegrass, 40% Common Kentucky Bluegrass, 20% Penn. Lawn Creeping Red Fescue.
  - All seeding shall be raked with a Jack Rake (min. of 3 passes) covered and compacted with a Gulltipacker or other approved method.
  - Mulch all areas immediately after seeding with weathered small grain straw at the rate of 70 lbs./1000 sq. ft. and spray with emulsified asphalt at the rate of 0.04 gal./sq. ft.
- All seeded areas which show no signs of germination within 4 weeks after seeding shall be reseeded.

**LEGEND**

- EXISTING CONTOUR (2' INTERVAL)
- FINISHED CONTOUR (2' INTERVAL)
- 6" x 6" ELEVATION
- DRAINAGE FLOW
- RETAINING WALL
- PERCOLATION TEST
- STABILIZED CONSTRUCTION ENTRANCE (S.C.E.)
- DIVERSION DIKE (D.D.) (TEMPORARY ONLY)
- STRAW BALE DIKE (S.B.D.)

APPROVED  
 DIVISION OF LAND DEVELOPMENT &  
 ZONING ADMINISTRATION  
 HOWARD COUNTY, MARYLAND  
 DATE 5-27-82  
 IN

**CONSTRUCTION SCHEDULE**

DESCRIPTION OF WORK	FROM DAY NO.	TO DAY NO.	TOTAL NO. DAYS
Obtain Grading Permit	1	1	1
Install Sediment Control & Erosion Control Devices Construct Storm Water Management Pond	1	5	4
Clearing and Rough Grading	5	10	5
Excavation for Foundation Install Septic System and Storm Drain System	10	15	5
Footings and Foundation Walls	15	20	5
Construct Building Pour Concrete Gutter, Sidewalks, Pave Parking Lot, etc.	20	110	90
Fine Grading	110	115	5
Effective Stabilization	115	120	5

Notes: 1. Adjust construction schedule due to inclement weather.  
 2. All disturbed areas to be stabilized within 120 days.  
 3. Approximate starting date: March 1, 1982.  
 4. See Pond Construction Sequence for detailed construction specifications of Storm Water Management Pond.

**SITE ANALYSIS**

- Present Zoning: B-1
  - Total number of lots or parcels: 2
  - Total area of lots or parcels: 1.652 AC.±
  - Total area to be disturbed: 1.7 AC.±
  - Total area to be revegetated: 0.7 AC.±
  - Plat Reference: Plat No. 5-13-80
  - Tax Map 37, Parcel G11
  - Total floor space of building: 16,240 sq. ft.
    - Office floor space: 11,000 sq. ft.
    - Storage floor space: 5,240 sq. ft.
  - Parking Data:
    - Parking spaces required: 35 spaces (1 space/10 employees)
    - Parking spaces provided: 53 spaces
    - 50 Regular spaces (9' x 20')
    - 3 Handicapped spaces (12' x 20')
    - Maximum number of employees to be on site at any one time: 50
  - Retail Sales Areas shall not be established without Howard County Office of Planning and Zoning approval. If the storage areas are to be used for items sold on the site, then one parking space for each 200 square feet of retail storage area shall be required.
  - Open Space required (20%): 0.3304 AC.±  
 Open Space provided: 0.70 AC.±
  - Landscaping Requirements:
    - Total area of the parking lot: 19,532 sq. ft.
    - Total area of landscaped islands required (5%): 977 sq. ft.
    - Total area of landscaped islands provided: 1140 sq. ft.
  - Parking lot lighting will be wall hung on the exterior of the building. Illumination from the lighting will not shine onto any existing residential area.
- Revisions: 12/14/83: RELOCATE WATER CONNECTION 20' FURTHER WEST AND CHANGE TO 6" LINE  
 12/14/83: CHANGE 6" GUTTER TO 8" C.I.P. LINE

**POND CONSTRUCTION SEQUENCE**

- Clear and grub area under storm water management pond to remove trees, vegetation, roots or objectionable material. Strip topsoil and stockpile. Excavate pond area according to proposed grades and fully machine compact graded area. Construct storm water management riser and plug low flow orifices as shown in details. Excavate trench for 6" x 6" C.I.P. spillway. Pipe shall be firmly and uniformly bedded throughout its length. Where rock or unstable soil is encountered it shall be removed and replaced with suitable earth. Construct endwall E.I., lay riprap outfall and excavate sod channel and lay sod. (See seeding notes) Stabilize pond area using permanent seeding mixture (see sediment control note 5).
- Clean out 2" x 2" plug of sediment in pond. When sediment reaches elev. 314.80 repair all damage caused by soil erosion or construction equipment at the end of each working day. Sediment removed from the pond shall be placed in such a manner that it will not erode from the site. Flush storm drain system.
- Convert the sediment trap to a storm water management pond. Pond will only be converted if all disturbed areas have been stabilized using permanent seeding mixture. Clean out pond and re-establish proposed grades. Stabilize with permanent seeding mixture and remove plugs for low flow orifices.



NOTE: THE ENGINEER RECOMMENDS THAT A CONC. RETAINING WALL BE BUILT BETWEEN THE PARKING AND LOADING AREAS, HOWEVER, AT THE DEVELOPER'S REQUEST AND OPTION A WOOD RETAINING WALL MAY BE BUILT AT THE DEVELOPER'S OWN RISK AND LIABILITY.

APPROVED FOR PUBLIC WATER, PRIVATE-SEWER STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

APPROVED: FOR PUBLIC WATER AND PRIVATE SEWERAGE SYSTEMS. HOWARD COUNTY HEALTH DEPARTMENT.

HOWARD SOIL CONSERVATION DISTRICT REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

DEVELOPER: JOHN C. MELLEMA SR. INC. LAND SURVEYORS SUITE 5 & 6 6100 BALTIMORE NATIONAL PIKE BALTIMORE, MD. 21226 301-744-8850

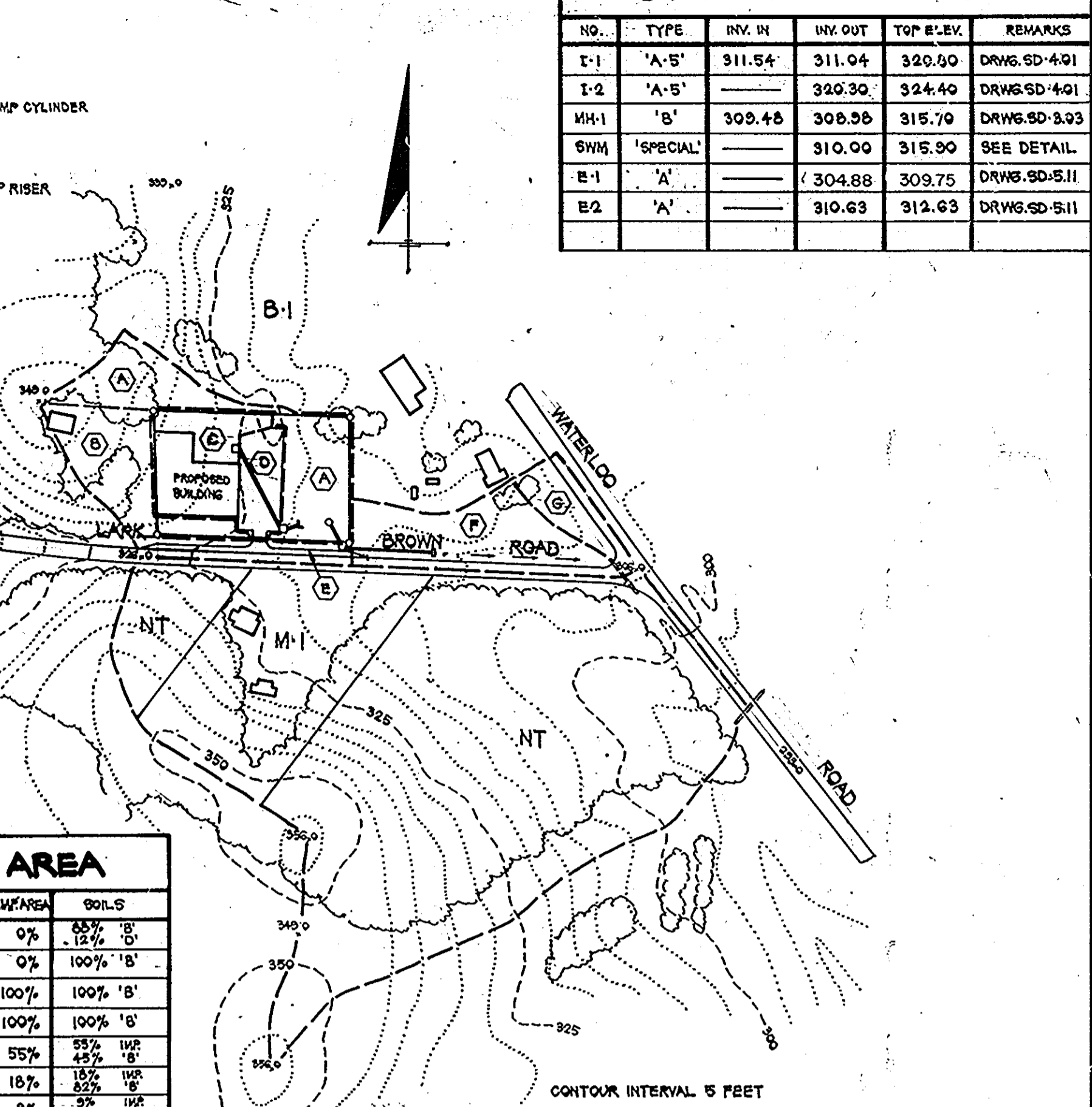
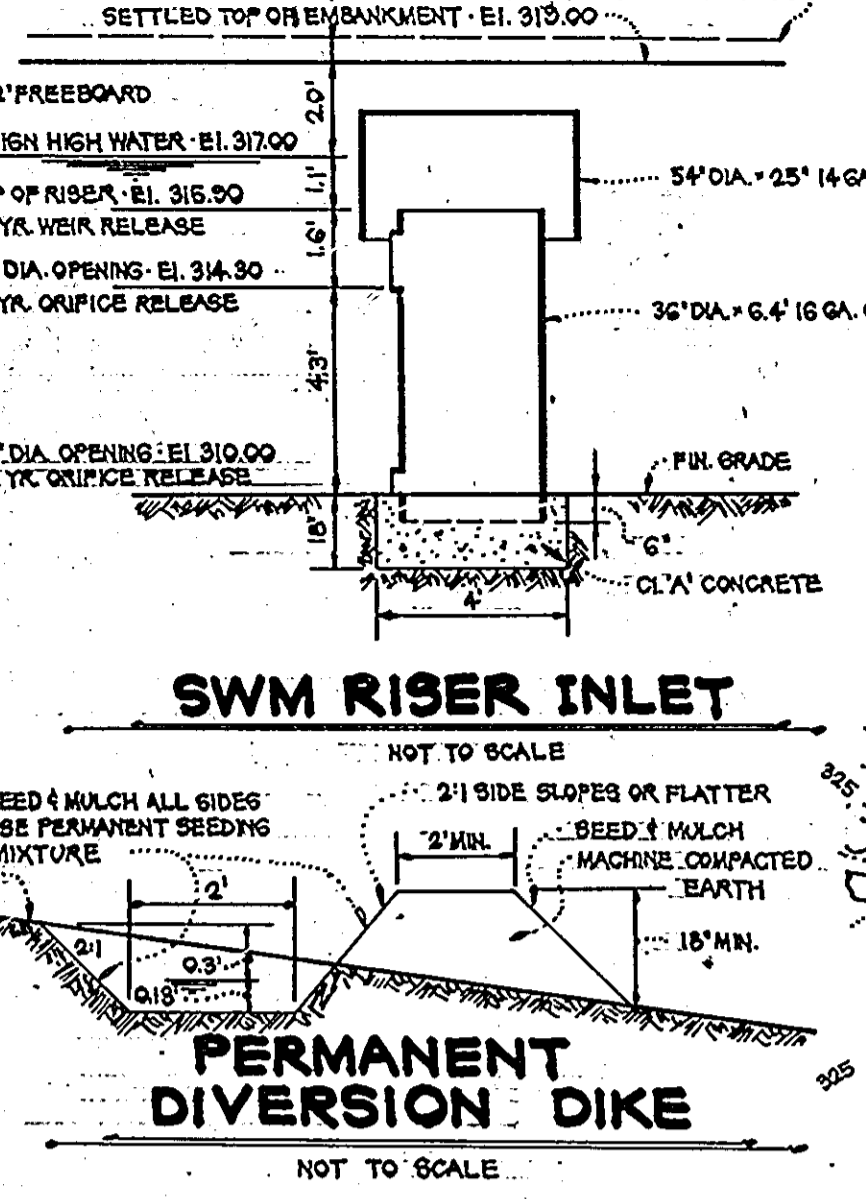
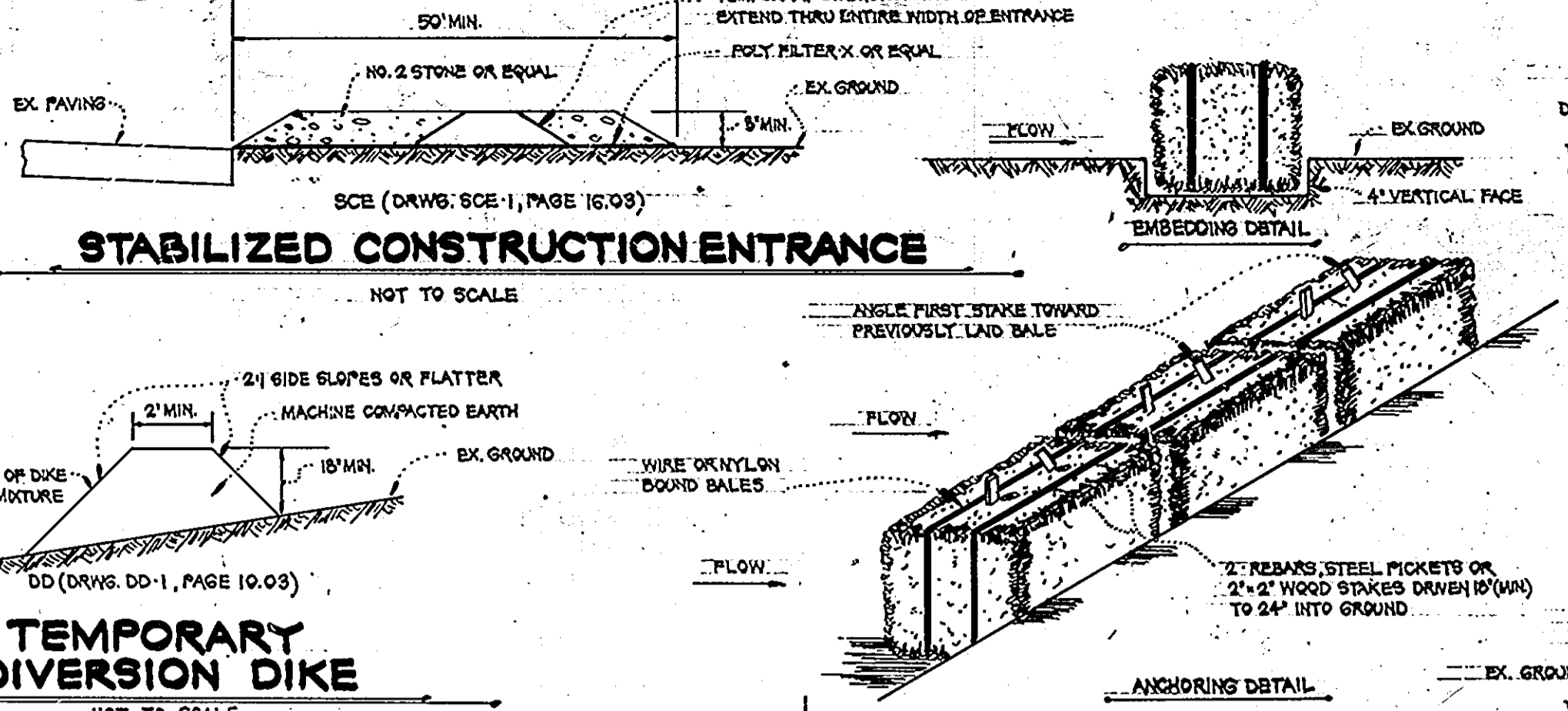
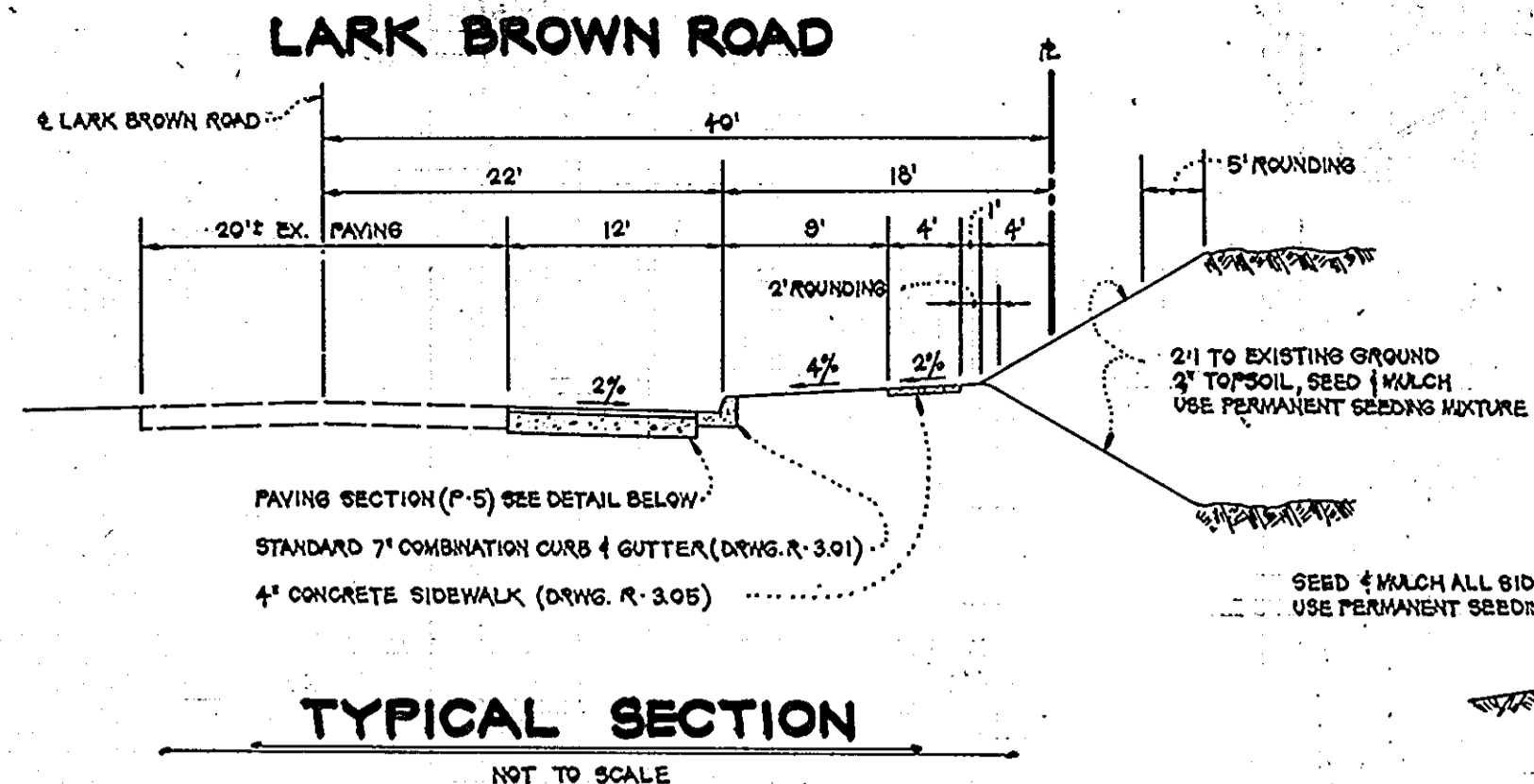
ENGINEER'S CERTIFICATE: I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

OWNER/DEVELOPER: HAMUN PROPERTIES INC. 46 MARYLAND ENVIRONMENTAL SYSTEMS, INC. 6555 DOBBIN ROAD COLUMBIA, MD. 21045

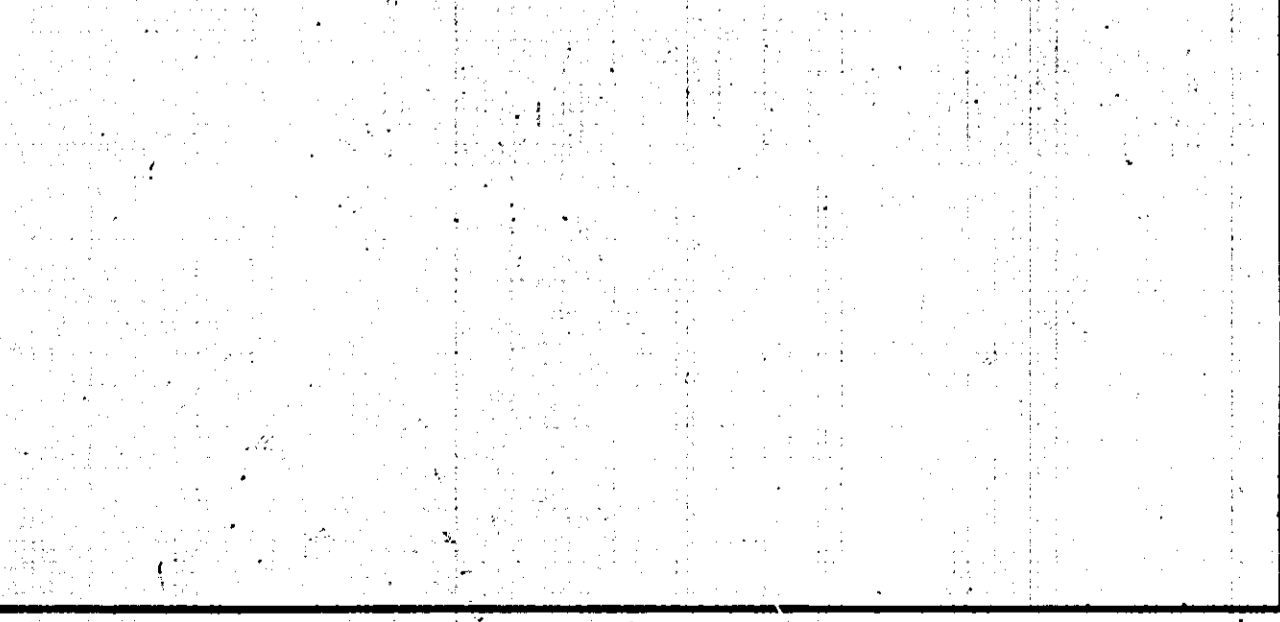
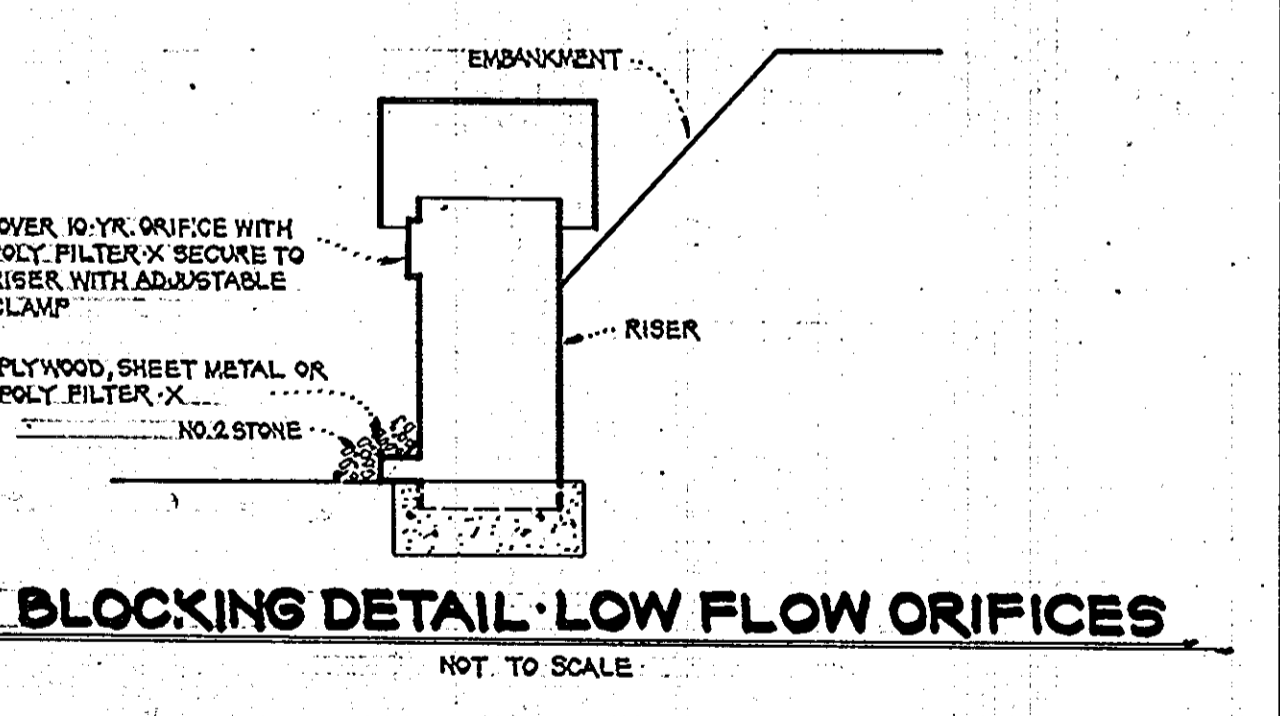
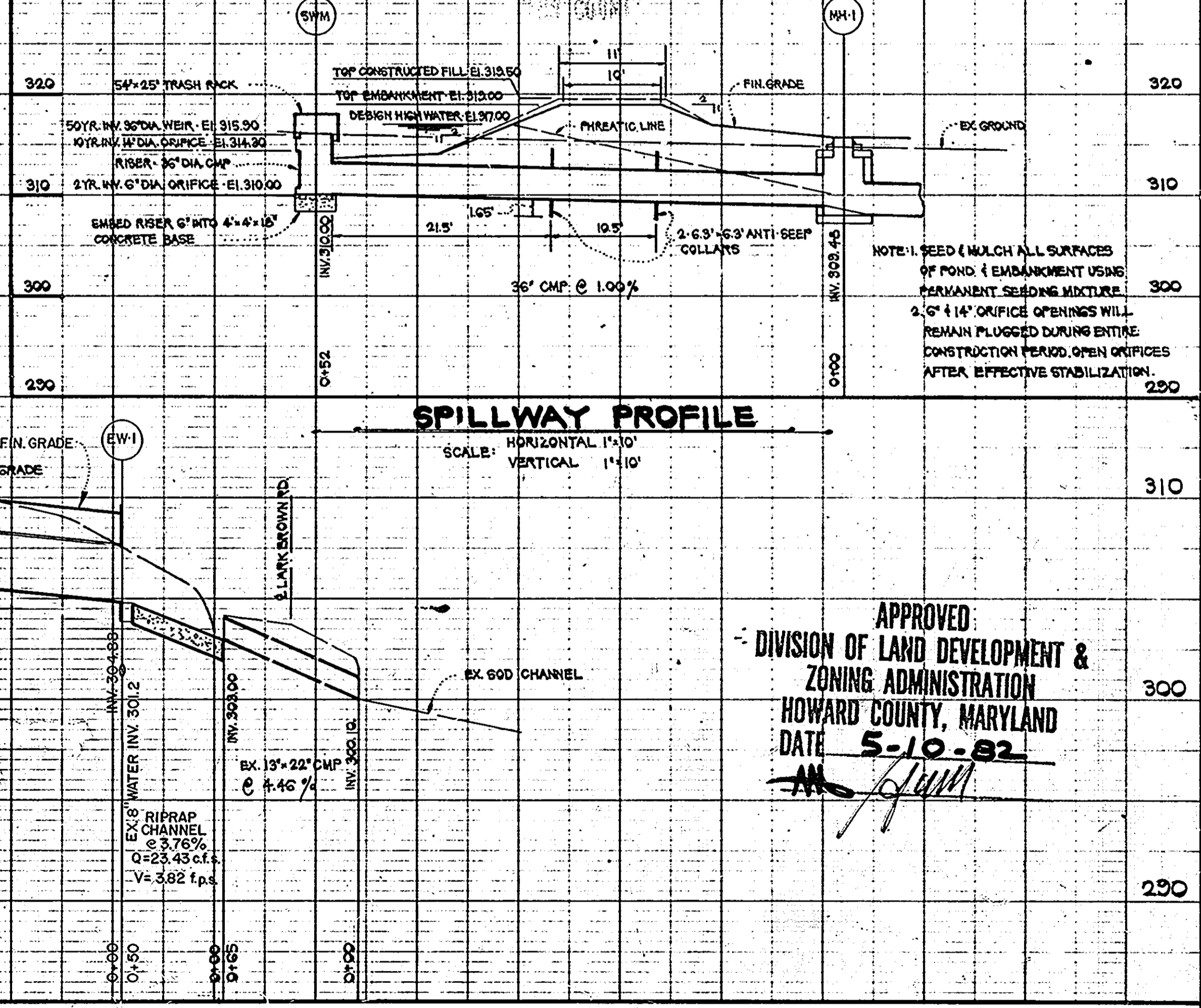
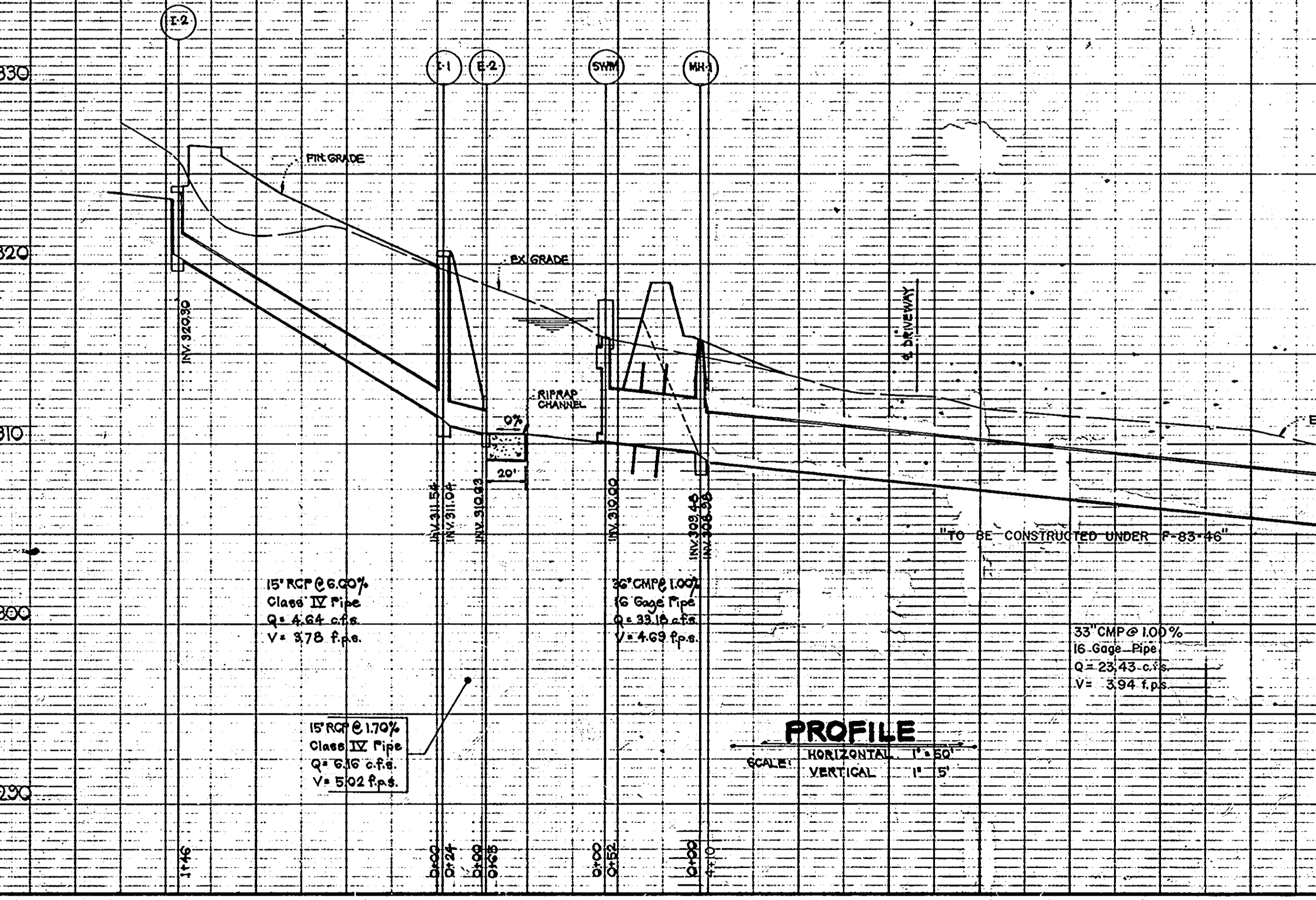
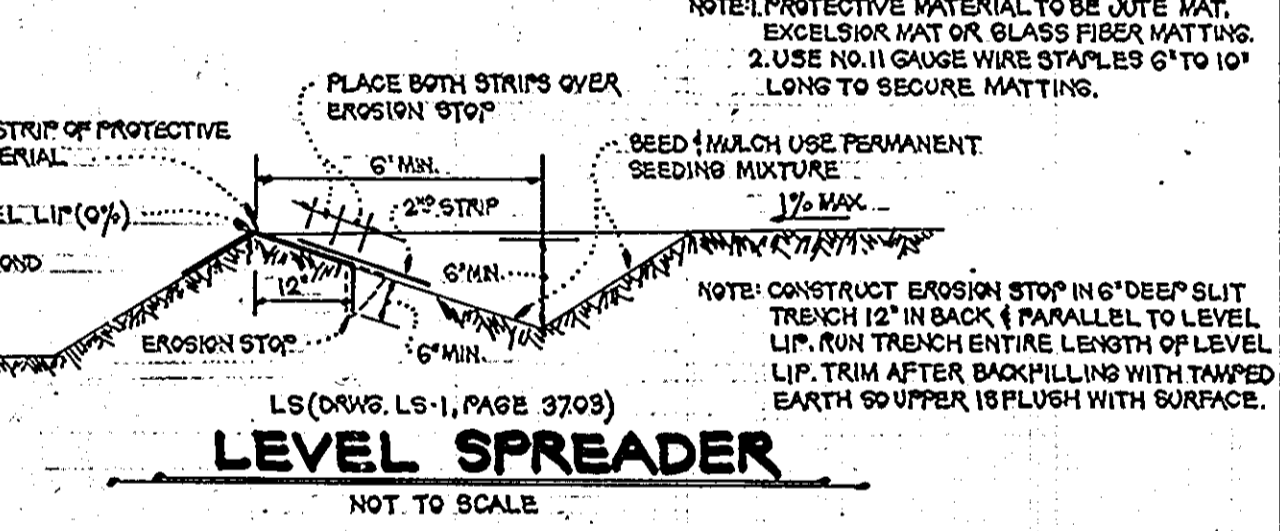
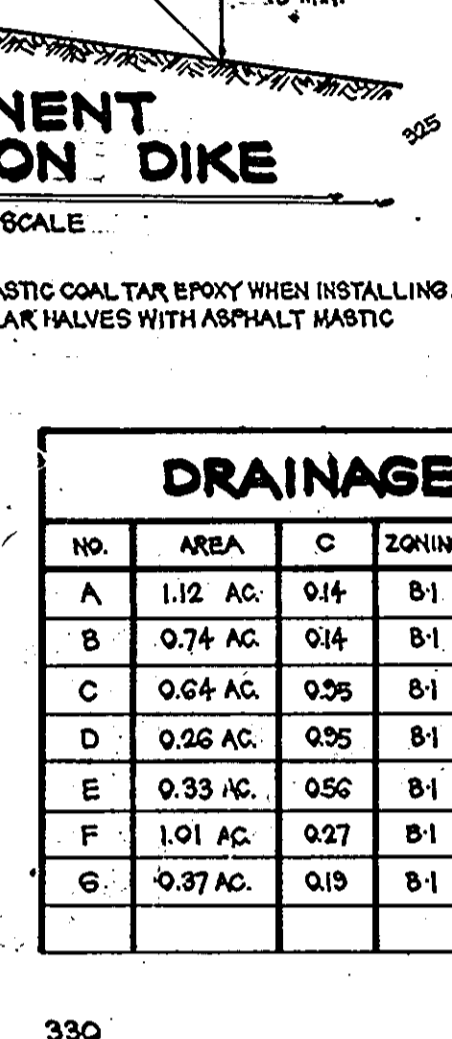
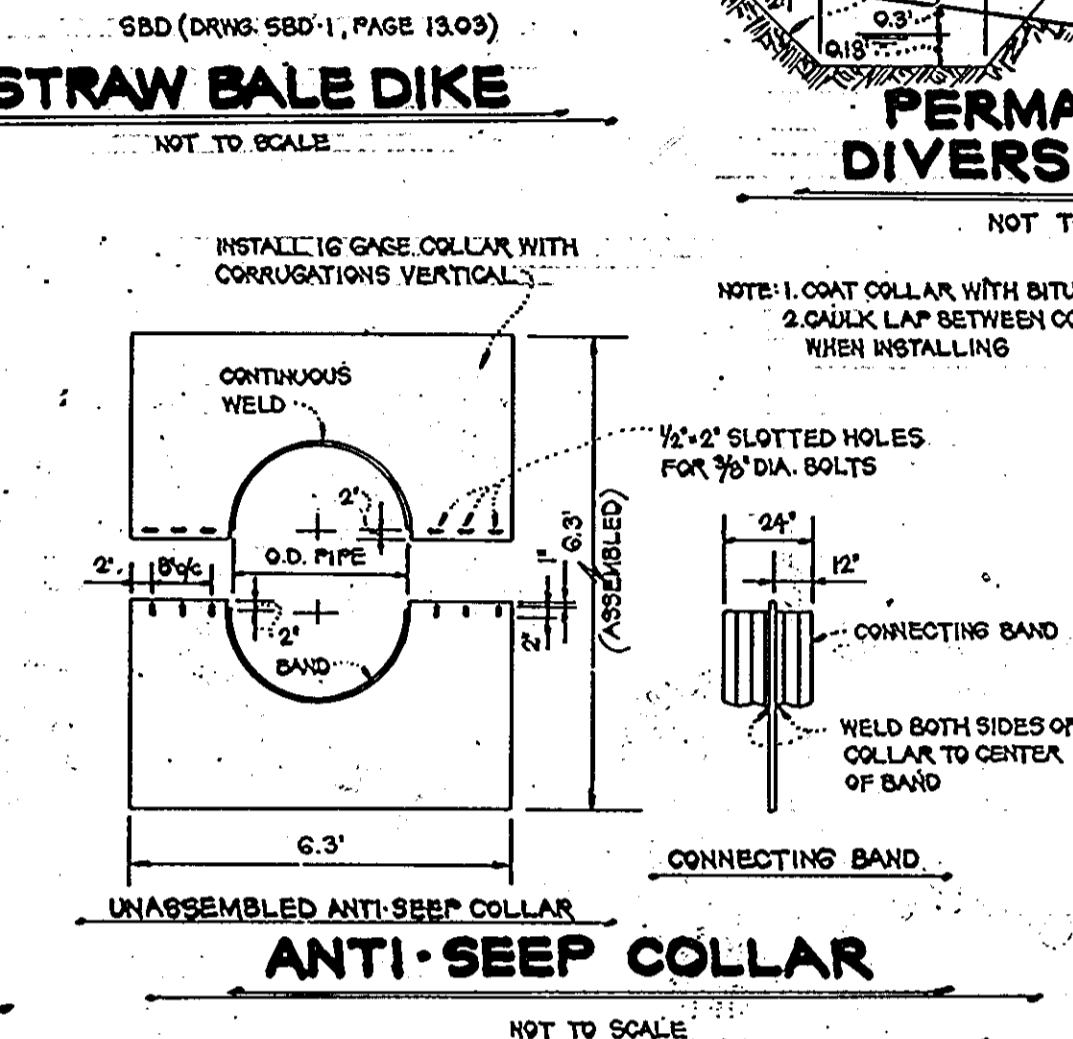
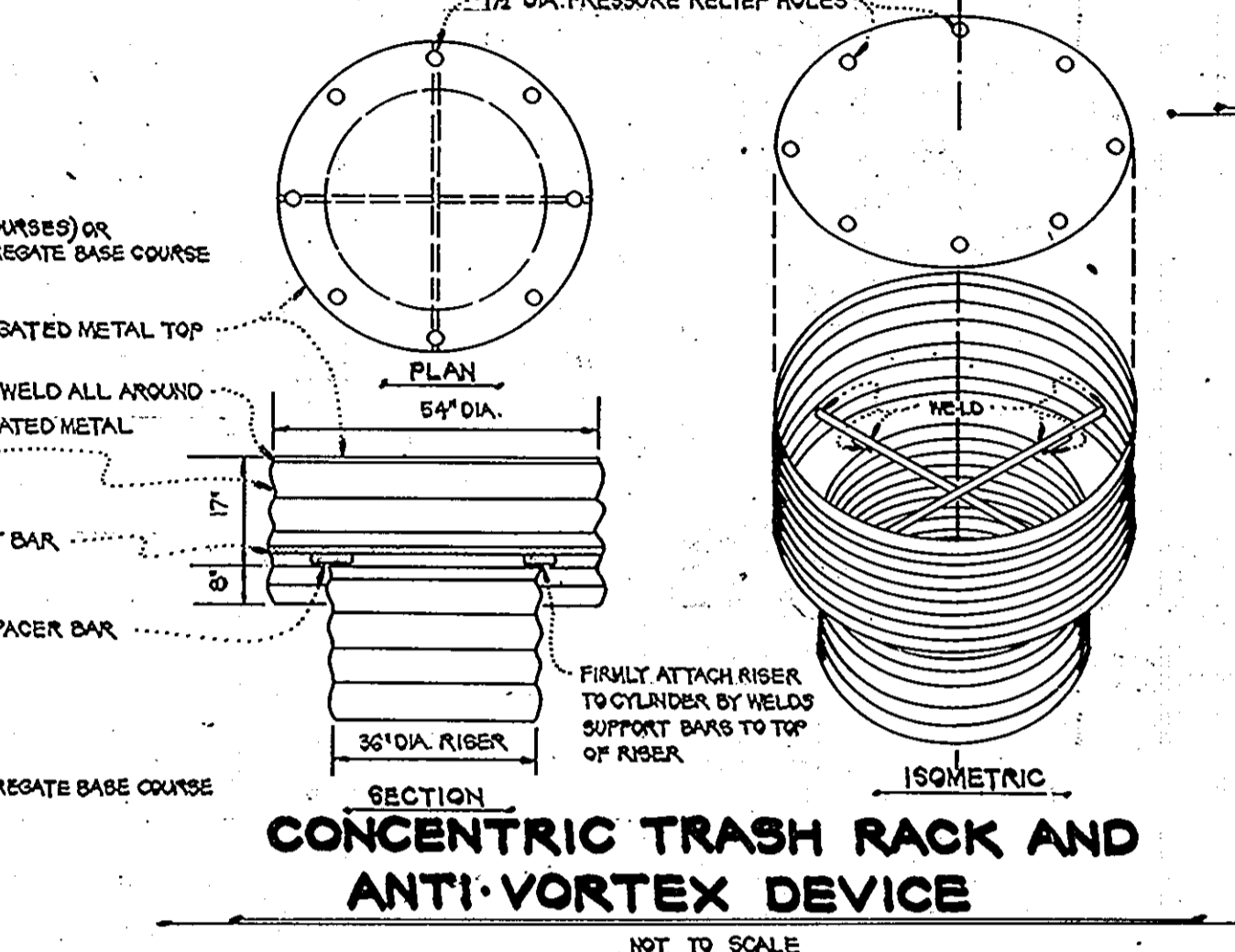
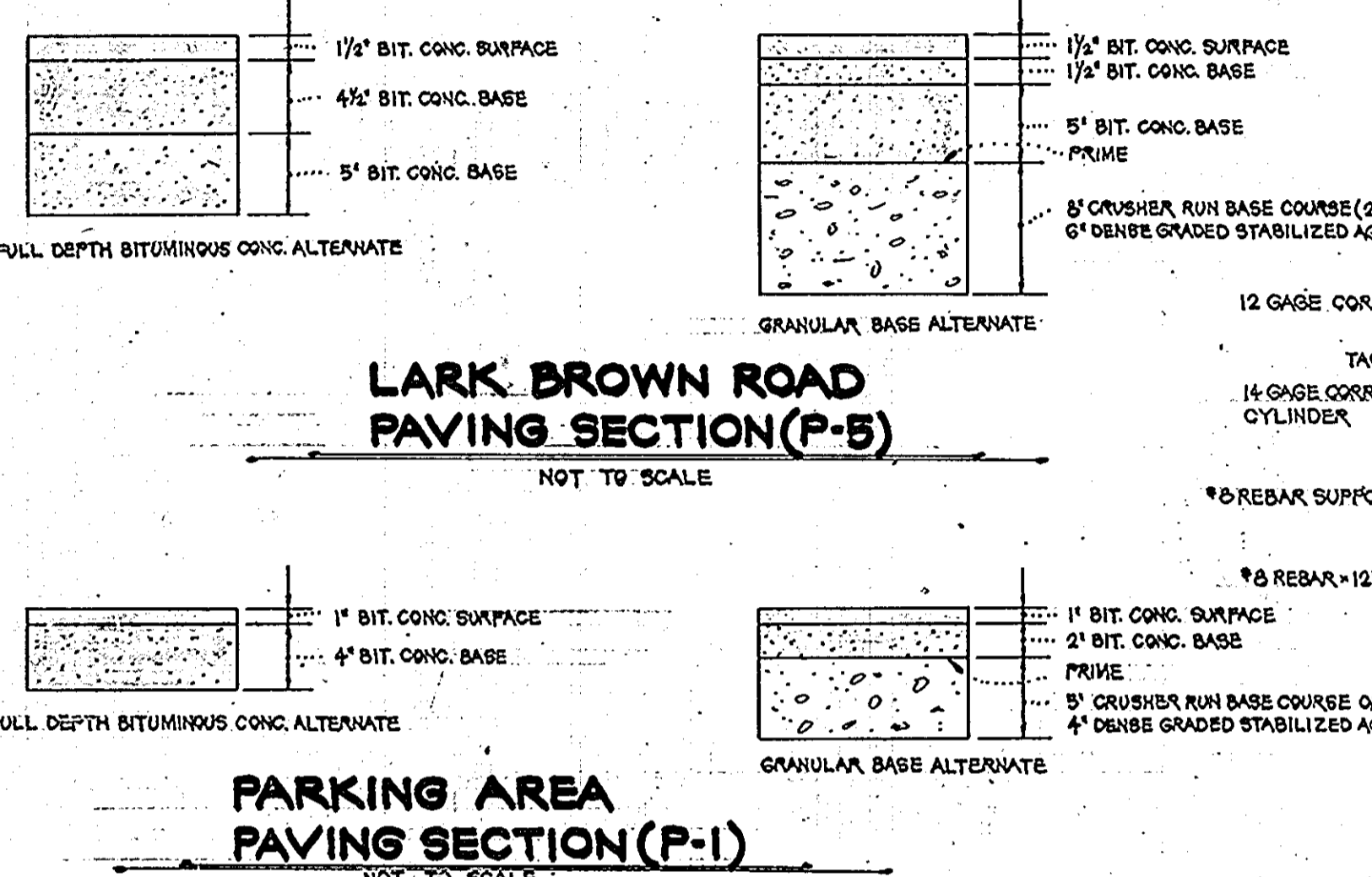
**SITE DEVELOPMENT PLAN**  
**HAMUN PROPERTIES, INC.**  
 PARCEL 'A' & LOT 3  
 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 DECEMBER 31, 1981 SHEET 1 OF 2 SCALE: 1" = 20'

DRAWN BY: B.D. BURTON | DESIGNED BY: B.D. BURTON | CHECKED BY: J.L. SCHNEIDER, JR. JOB NO.: 6168

STRUCTURE SCHEDULE						
NO.	TYPE	INV. IN	INV. OUT	TOP ELEV.	REMARKS	
E-1	'A-B'	311.54	311.04	320.00	DRWS. SD-491	
E-2	'A-B'			320.30	DRWS. SD-491	
MH-1	'B'	303.48	308.56	315.70	DRWS. SD-393	
SWM	'SPECIAL'			310.00	SEE DETAIL	
E-1	'A'			304.88	DRWS. SD-511	
E-2	'A'			310.63	DRWS. SD-511	



DRAINAGE AREA					
NO.	AREA	C	ZONING	IMPAREA	90% S
A	1.12 AC.	0.14	B-1	0%	55% 'B'
B	0.74 AC.	0.14	B-1	0%	100% 'B'
C	0.64 AC.	0.58	B-1	100%	100% 'B'
D	0.26 AC.	0.25	B-1	100%	100% 'B'
E	0.33 AC.	0.56	B-1	55%	55% 'B'
F	1.01 AC.	0.27	B-1	18%	18% 'B'
G	0.37 AC.	0.19	B-1	3%	3% 'B'



APPROVED:  
DIVISION OF LAND DEVELOPMENT &  
ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 5-10-82  
*[Signature]*

APPROVED FOR PUBLIC WATER AND PRIVATE SEWERAGE SYSTEMS AND STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*[Signature]* DATE 4-23-83  
DIRECTOR

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
*[Signature]* DATE 6-29-83  
PLANNING DIRECTOR

APPROVED FOR PUBLIC WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT  
*[Signature]* DATE 6-28-83  
COUNTY HEALTH OFFICER

HOWARD SOIL CONSERVATION DISTRICT REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.  
*[Signature]* DATE 6-15-83  
SIGNATURE DATE

DEVELOPER  
I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL. I ALSO UNDERTAKE PERIODIC OR SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS DEEMED NECESSARY. I ALSO CERTIFY THAT ALL PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENTATION.  
*[Signature]* DATE

ENGINEER'S CERTIFICATE  
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND FEASIBLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
*[Signature]* DATE

STATE OF MARYLAND  
PROFESSIONAL ENGINEER  
SITE PLAN PREPARED BY:  
JOHN C. MELLEMA, SR., INC.  
LAND SURVEYORS  
SUITE 5 & 6  
6100 BALTIMORE NATIONAL PIKE  
BALTIMORE, MD. 21226  
301-744-8850

OWNER/DEVELOPER:  
HAMUN PROPERTIES, INC.  
6655 DOBBIN ROAD  
COLUMBIA, MD. 21045

STORM DRAIN PROFILES & DETAILS  
**HAMUN PROPERTIES, INC.**  
PARCEL 'A' & LOT 3  
6<sup>TH</sup> ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
DECEMBER 31, 1981 SHEET 2 OF 2 SCALE AS SHOWN  
DRAWN BY: B.D. BURTON DESIGNED BY: B.D. BURTON CHECKED BY: J.L. SCHNEIDER, JR. JOB NO. 6168