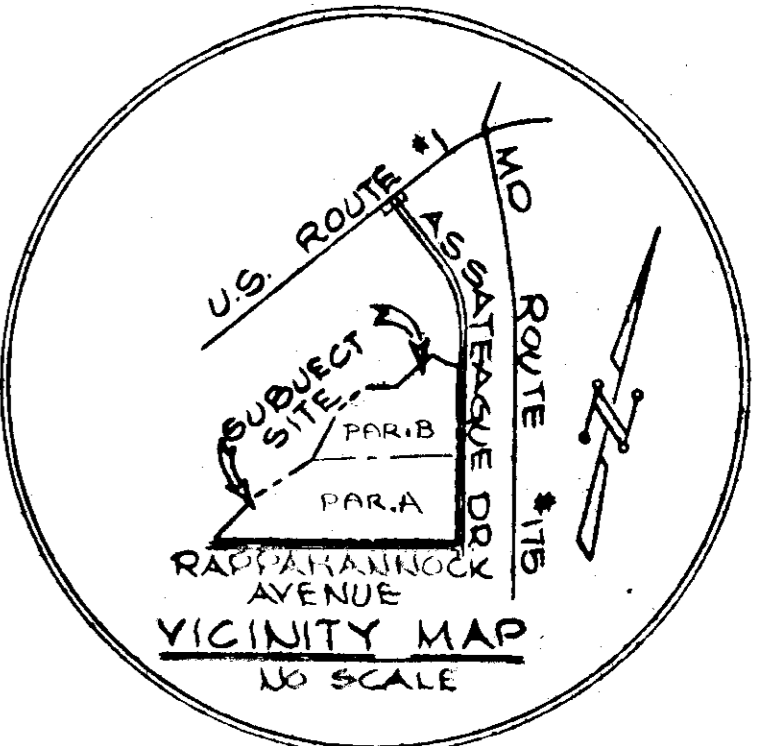


APPROVED FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEM  
 HOWARD COUNTY HEALTH DEPARTMENT  
 COUNTY HEALTH OFFICER  
 DATE 2-27-80

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING  
 PLANNING DIRECTOR  
 DATE 2-28-80

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE  
 & STORM DRAINAGE SYSTEMS & ROADS  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIRECTOR  
 DATE 2-26-80

CHIEF OF BUREAU OF ENGINEERING



SECTION ONE  
 GREATER BALTIMORE  
 CONSOLIDATED WHOLESALE  
 FOOD MARKET AUTHORITY  
 506/782

DATE 1-21-80

**SITE DATA**

TITLE REFERENCE / RECORD PLAT NUMBER	PB 22 F2
TOTAL AREA OF TRACT	75.25 A.C.
EXISTING ZONING / CASE NUMBER	M-2, IBA 79-30
TOTAL FLOOR AREA (PROPOSED)-EXISTING-	(139,979 SQ. FT.) (132,692 SQ. FT.)
TAX MAP NUMBER & PARCEL NUMBER	43/611
AREA OF SUBMITTAL (ACTUAL DISTURBED AREA)	35.10 AC.
TOTAL NUMBER OF PARKING SPACES REQ'D	ENTIRE SITE 310 EMPLOYEES @ 1 SPACE / 2 EMP. 155 SPACES REQUIRED
TOTAL NUMBER OF PARKING SPACES PROVIDED	ENTIRE SITE 324 SPACES PROVIDED
EMP. SPACES	296
VISITOR SPACES	28
TOTAL PARKING PROVIDED	324 SPACES

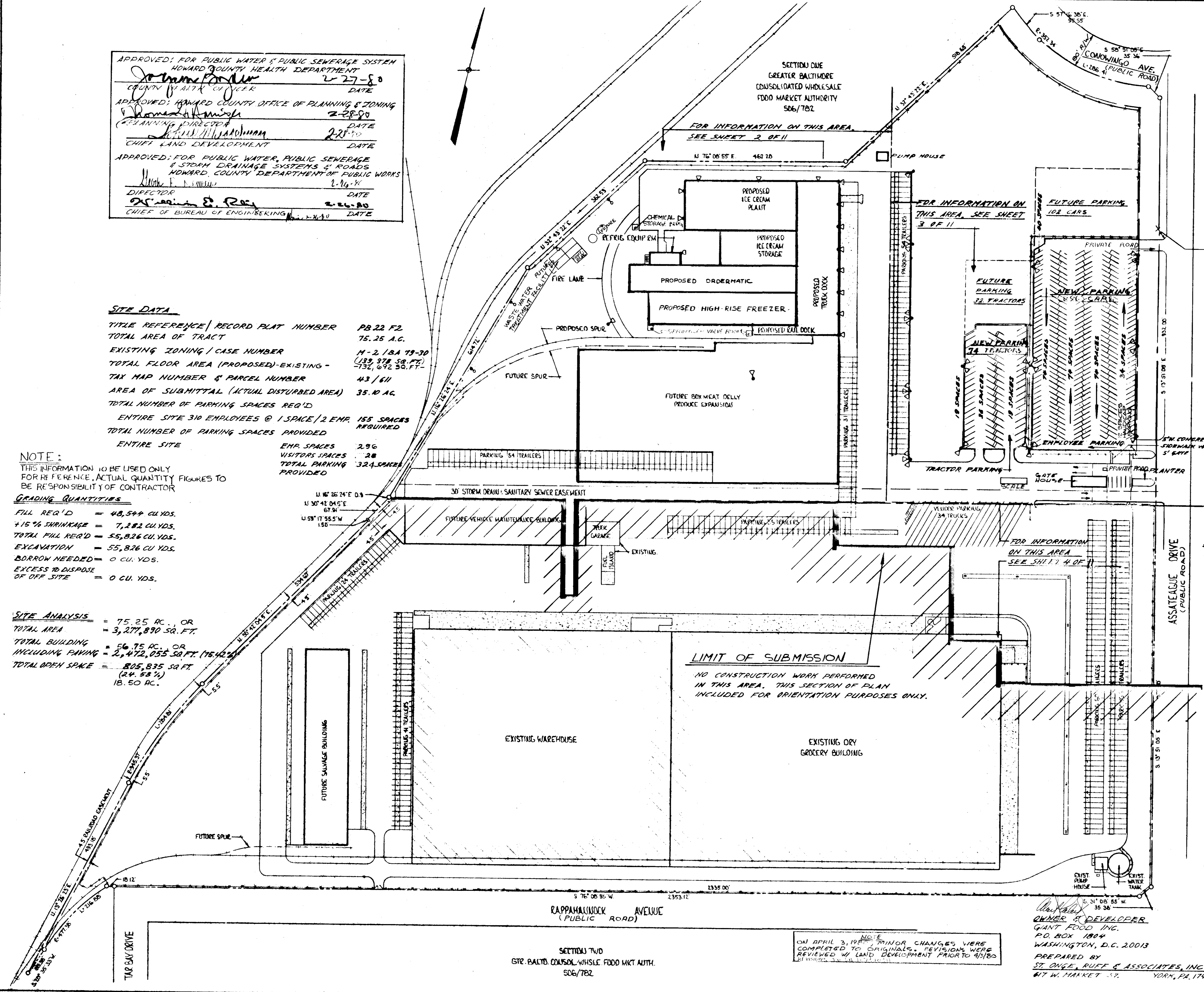
**NOTE:**  
 THIS INFORMATION TO BE USED ONLY FOR REFERENCE. ACTUAL QUANTITY FIGURES TO BE RESPONSIBILITY OF CONTRACTOR

**GRADING QUANTITIES**

FILL REQ'D	= 48,544 CU. YDS.
+15% SHRINKAGE	= 7,282 CU. YDS.
TOTAL FILL REQ'D	= 55,826 CU. YDS.
EXCAVATION	= 55,826 CU. YDS.
BORROW NEEDED	= 0 CU. YDS.
EXCESS TO DISPOSE OF OFF SITE	= 0 CU. YDS.

**SITE ANALYSIS**

TOTAL AREA	= 75.25 AC., OR 3,277,890 SQ. FT.
TOTAL BUILDING INCLUDING PAVING	= 56.75 AC., OR 2,472,055 SQ. FT. (76.42%)
TOTAL OPEN SPACE	= 805,835 SQ. FT. (24.58%) 18.50 AC.



**GENERAL NOTES**

1. ALL DISTURBED AREAS SHALL BE STABILIZED WITH PERMANENT SEED AND MULCH. IN ACCORDANCE WITH THE PLAN APPROVED BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
2. ALL RAILROAD CONSTRUCTION TO BE DONE IN ACCORDANCE WITH B.C.O. - C.O. STDS.
3. MAINTENANCE OF STORM WATER MANAGEMENT STRUCTURES SHALL BE THE RESPONSIBILITY OF DEVELOPER.
4. THIS SHEET TO BE USED AS REFERENCE DRAWING ONLY. FOR DETAILS, DIMENSIONS, AND OTHER INFORMATION, SEE RESPECTIVE SHEETS.

**NOTE:**  
 PROPERTY INFORMATION TAKEN FROM TOPOGRAPHICAL SURVEY, DATED AUG. 8, 1979, BY: GEORGE WILLIAM STEPHENS, JR., TOWSON, MARYLAND.

**NOTE ON HANDICAPPED**  
 THE DRIVE-IN METHOD IS TO BE UTILIZED. A VAN, OR SIMILAR VEHICLE, WILL PICK UP HANDICAPPED PERSONS AT DESIGNATED AREA. THEY WILL BE DRIVEN INTO BLDG. VIA RAMP. SAME METHOD AS USED IN EXISTING DRY GROCERY DISTRIBUTION CENTER.

EXISTING ZONING OF ALL PROPERTY AND ADJOINING PROPERTY (MANUFACTURING HEAVY M2)  
 ELECTIONS DIST 466  
 TAX MAP: ZONING MAP 46 43  
 LOCAL COMMUNITY: STR. BALTD. CONSOL. WHOLESALE FOOD MKT AUTH

- 1000V HPS FLOODLIGHT NEMA TYPE 6X5, 6X7, OR 7X6 DISTRIBUTION WITH GLARE SHIELD. MOUNT ON 45' NOMINAL POLE. NUMBER OF FLOODLIGHTS AS INDICATED
- 250V HPS STREET LIGHT MOUNTED ON 30' NOMINAL POLE. NEMA TYPE II DISTRIBUTION.
- 850W HPS FLOODLIGHT MOUNTED ON TOP OF BUILDING
- 900W HPS FLOODLIGHT NEMA TYPE 6X5 OR 7X6 DISTRIBUTION WITH GLARE SHIELD. MOUNTED ON TOP OF BUILDING.



**OWNER / DEVELOPER**  
 GIANT FOOD INC.  
 P.O. BOX 1804  
 WASHINGTON, D.C. 20013

**OVERALL SITE ORIENTATION PLAN**  
**GIANT FOOD INC. ADDITION**  
 GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET  
 BLOCK 'A', SECTION 1, PARCEL 'A' & 'B'  
 BUILDING ADDITION TO APPROVED SDP-77-70

HOWARD CO. MD. ELECT. DIST. #6  
 SCALE: 1" = 100'  
 TAX MAP & PARCEL NUMBER: 43/611  
 DATE: OCT. 5, 1979

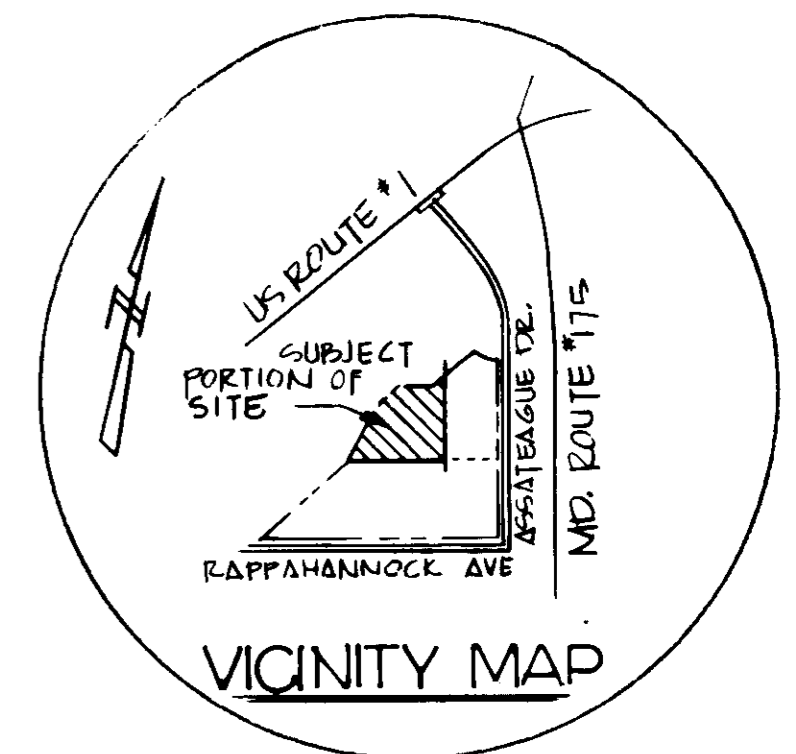
**OWNER & DEVELOPER**  
 GIANT FOOD INC.  
 P.O. BOX 1804  
 WASHINGTON, D.C. 20013

**PREPARED BY**  
 ST. ONGE, RUFF & ASSOCIATES, INC.  
 617 W. MARKET ST., YORK, PA. 17405

ON APRIL 3, 1980, MINOR CHANGES WERE COMPLETED TO ORIGINALS. REVISIONS WERE REVIEWED BY LAND DEVELOPMENT PRIOR TO 4/1/80.

SECTION TWO  
 STR. BALTD. CONSOL. WHOLESALE FOOD MKT AUTH.  
 506/782

SECTION ONE  
GREATER BALTIMORE  
CONSOLIDATED WHOLESALE  
FOOD MARKET AUTHORITY  
506/182

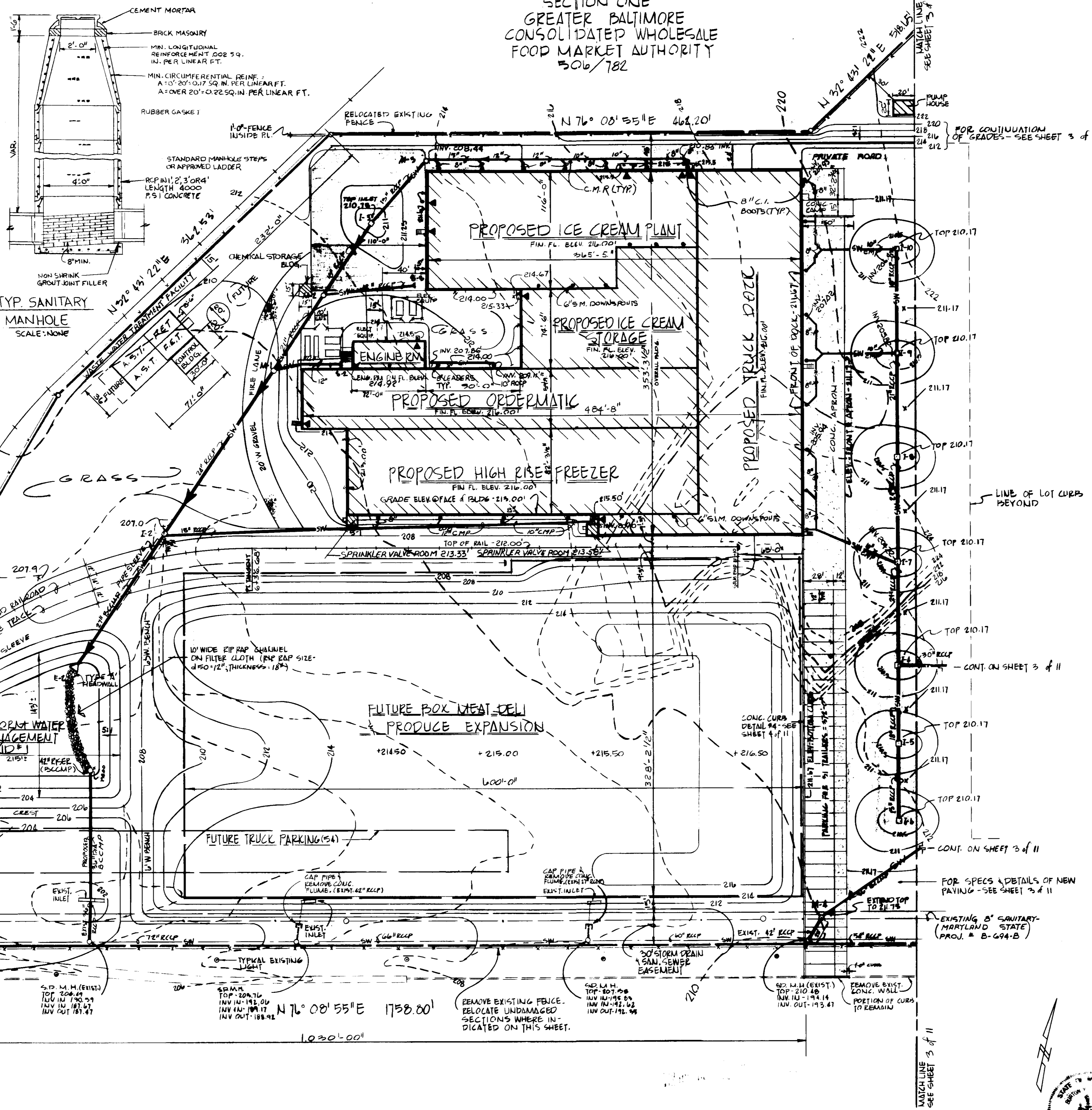


INLET SCHEDULE						
No.	Type	Top of Grate Elevation	Inv. In.	Inv. Out.	Remarks	
I-1	"H"	206.00	201.02	201.02	No. Co. Std. D-119	
I-2	Dbl. "H"	207.00	202.95	202.95	No. Co. Std. D-102	
I-3	Dbl. "H"	210.75	207.88	207.88	No. Co. Std. D-102	
I-4	Single "H"	210.17	204.47	204.47	No. Co. Std. D-98	
I-5	Single "H"	210.17	205.42	205.42	No. Co. Std. D-98	
I-6	Dbl. "H"	210.17	206.77	206.77	No. Co. Std. D-102	
I-7	Single "H"	210.17	206.77	206.77	No. Co. Std. D-98	
I-8	Single "H"	210.17	204.77	204.77	No. Co. Std. D-98	
I-9	Single "H"	210.17	205.37	205.37	No. Co. Std. D-98	
I-10	Dbl. "H"	210.17	206.42	206.42	No. Co. Std. D-102	
I-11	Dbl. "H" Comb.	216.00	207.87	205.62	No. Co. Std. D-99	
I-12	Dbl. "H" Comb.	219.15	214.12	213.87	No. Co. Std. D-99	
I-13	Dbl. "H" Comb.	220.87	215.90	215.65	No. Co. Std. D-99	
I-14	Dbl. "H" Comb.	222.90	218.70	218.45	No. Co. Std. D-99	
I-15	Dbl. "H" Comb.	225.45	-	221.25	No. Co. Std. D-99	

STORM DRAIN MANHOLE SCHEDULE						
No.	Type	Top Elev.	Inv. In.	Inv. Out.	Remarks	
M-1	Std. M.H.	209.80	204.77	204.77	No. Co. Std. D-103	
M-2	Std. M.H.	211.75	206.61	206.61	No. Co. Std. D-103	
M-3	Std. M.H.	212.00	206.14	206.14	No. Co. Std. D-103	
M-4	Type "C" Manhole	211.75	196.78	196.42	See Details Sh. 9 of 11	

STORM DRAIN STRUCTURE SCHEDULE						
No.	Type	Size	Inv. Out.	Remarks		
E-1	Metal End Sect.	12"	200.00	See Detail Sh. 4 of 11		
E-2	Type "A"	27"	202.25	See Detail Sh. 4 of 11		
E-3	Type "A"	30"	202.25	See Detail Sh. 4 of 11		
E-4	Type "A"	27"	203.82	See Detail Sh. 4 of 11		
E-5	Metal End Sect.	24"	204.05	See Detail Sh. 4 of 11		
E-6	Metal End Sect.	24"	220.00	See Detail Sh. 4 of 11		

SANITARY MANHOLE SCHEDULE						
No.	Type	Top Elev.	Inv. In.	Inv. Out.	Remarks	
M-5	SAN. M.H.	211.17	205.15	204.95	SEE DETAIL THIS SHEET	
M-6	SAN. M.H.	211.50	205.61	205.36	SEE DETAIL THIS SHEET	
M-7	SAN. M.H.	209.80	202.86	202.67	SEE DETAIL THIS SHEET	
M-8	SAN. M.H.	209.65	202.86	199.55	SEE DETAIL THIS SHEET	
M-9	SAN. M.H.	207.25	196.80	196.55	SEE DETAIL THIS SHEET	
M-10	SAN. M.H.	201.88	191.76	191.52	EXISTING MANHOLE	



PROPOSED TRACK DATA  
 $D = 120.00'$   
 $\Delta = 55^{\circ}22'11''$   
 $T = 250.97'$   
 $L = 461.91'$   
 $E = 478.34'$

EXISTING ZONING OF THIS PROPERTY & ALL ADJOINING PROPERTY. (MANUFACTURING HEAVY M-2)

APPROVED: FOR PUBLIC WATER & SEWERAGE SYSTEM - HOWARD COUNTY HEALTH DEPARTMENT  
 COUNTY HEALTH OFFICER: *[Signature]* DATE: 2-27-80  
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING  
 PLANNING DIRECTOR: *[Signature]* DATE: 2-28-80  
 CHIEF OF LAND DEVELOPMENT: *[Signature]* DATE: 2-28-80  
 APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, & STORM DRAINAGE SYSTEMS & ROADS. HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIRECTOR: *[Signature]* DATE: 2-26-80  
 CHIEF OF BUREAU OF ENGINEERING: *[Signature]* DATE: 2-24-80

- NOTES:
- FOR ORIENTATION WITH TOTAL SITE, SEE SHEET 1 OF 11.
  - EXISTING TOP SOIL PILES TO BE REMOVED FROM CONSTRUCTION AREA PRIOR TO EXCAVATION.
  - ALL EXCESS FILL TO BE DISTRIBUTED EVENLY IN THE AREA OF THE FUTURE BOX BEAT. FILL HEIGHTS IN OTHER AREAS TO COMPLETE CONSTRUCTION SHOULD BE REMOVED FROM THIS AREA. GRADING IN THIS AREA ONLY USED AS A GUIDE. FINISH GRADES TO BE DEVELOPED IN FIELD.
- GENERAL NOTES
- Maximum Building Height = 80'-0".
  - All areas not being paved or receiving building coverage to be stabilized in accordance with the plans approved by Howard County Soil Conservation District.
  - Maintenance of the Storm Water Management Facility shall be the responsibility of the developer.
  - Any damage to public right-of-ways and/or roads or adjacent properties shall be repaired immediately at the Contractor's expense.
  - Contractor to verify utilities to his own satisfaction before starting any construction.
  - Maintain at least a 2' level bench behind all curb and gutter in fill areas.
  - All work shall be in accordance with Howard County Standard Specifications and Details for Construction, or as shown on these plans.
  - Contractor shall notify the C & P Telephone Company and the Gas & Electric Company, five (5) days prior to starting work shown on these plans, by calling collect, Miss Utility, 1-559-0100.
  - Location and size of walkways shall be in accordance with the architectural plans for this site.
  - For details of ramp and signs for the handicapped, see the Maryland Building Code For the Handicapped and Aged.
  - The Contractor shall maintain a minimum of 3.0' cover over all proposed water lines.
  - All proposed contours in the area of the proposed rail spur indicate sub-grade of rail. All other contours indicate finished grade.
  - All rail construction shall be in accordance with B & O Railroad standards and specifications.

- LEGEND
- PROPERTY LINE
  - SANITARY SEWERAGE LINE (8")
  - STORM WATER LINE
  - STORM DRAIN & SANITARY SEWER EASEMENT (30")
  - EXISTING CONTOURS
  - NEW CONTOURS
  - EXISTING CONC. CURB
  - NEW CONC. CURB
  - NEW OR EXISTING CHAIN LINK FENCE AS NOTED.

OWNER & DEVELOPER  
 GIANT FOOD INC.  
 P.O. BOX 1804  
 WASHINGTON, D.C. 20013

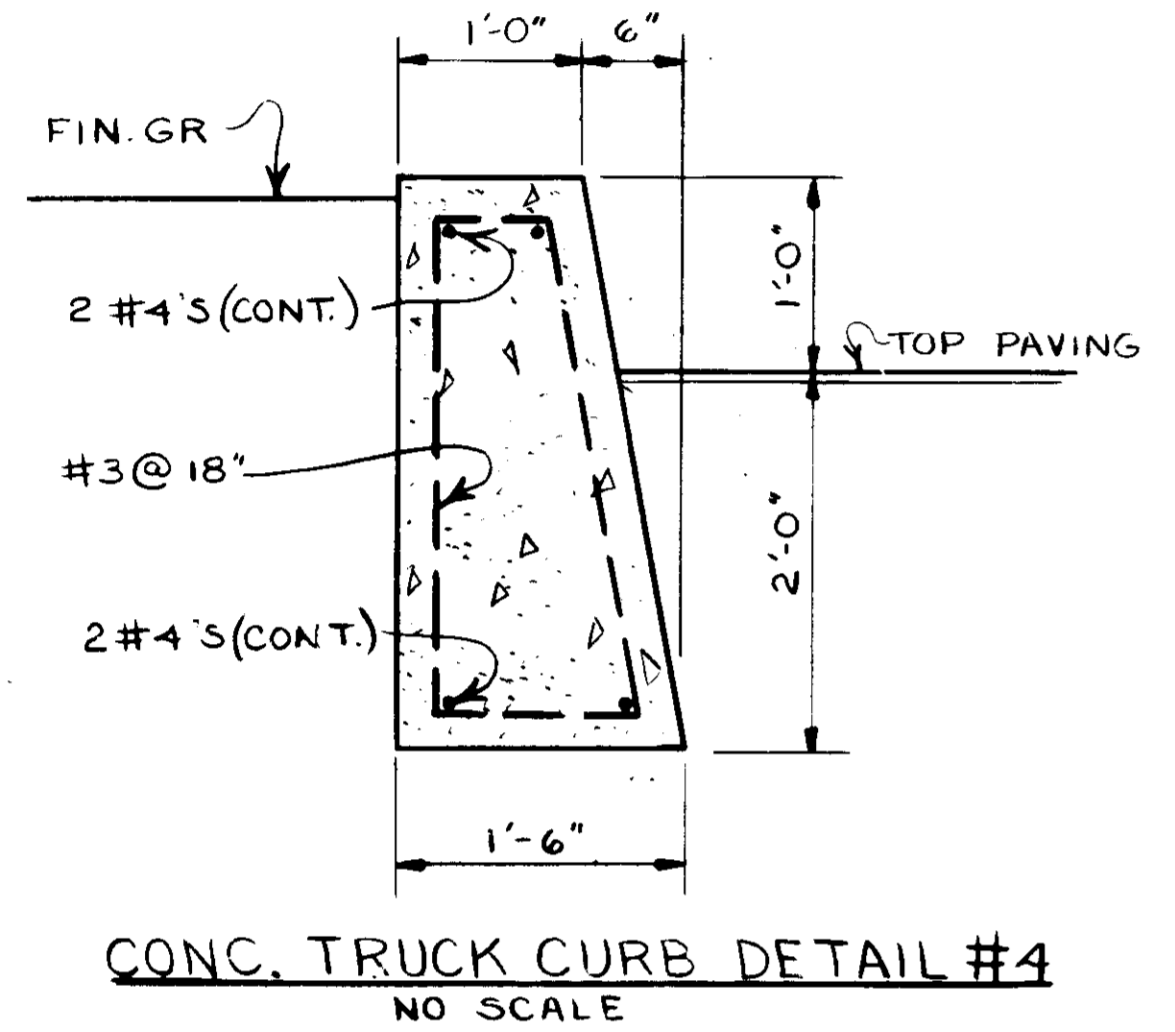
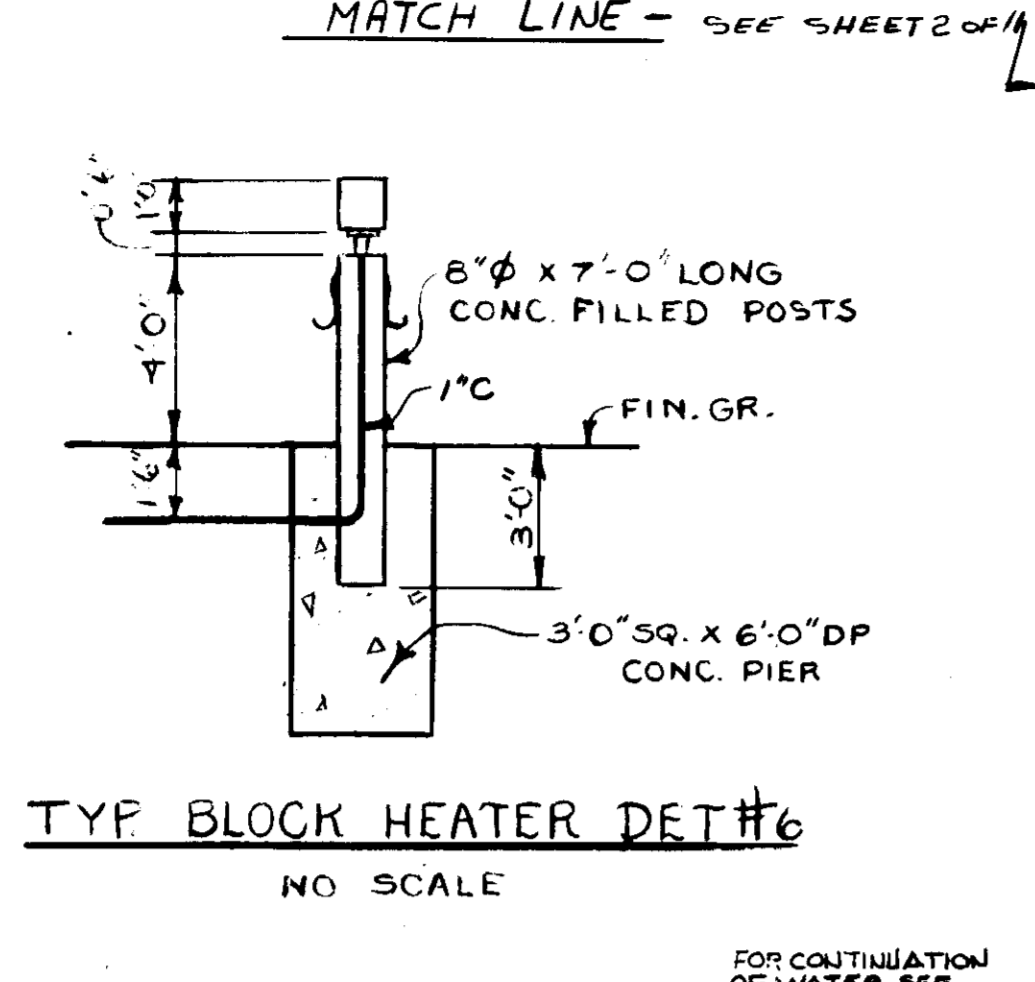
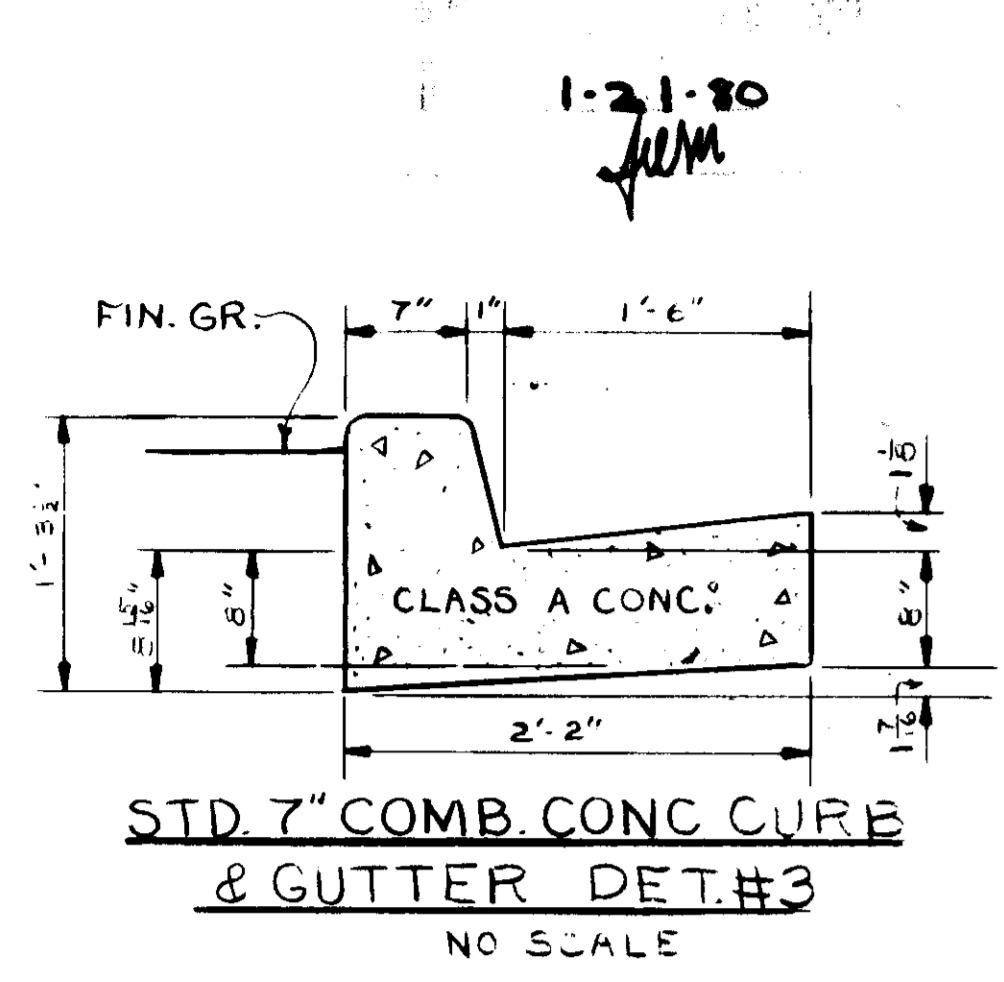
PREPARED BY  
 OF ONCE RUFF AND ASSOCIATES, INC.  
 617 W. MARKET ST. YORK, PA. 17405

PARTIAL SITE DEVELOPMENT PLAN

GIANT FOOD INC. ADDITION  
 GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET  
 BLOCK 'A', SECTION 1, PARCEL 'A' BUILDING ADDITION TO PREVIOUSLY APPROVED SDP-77-70.  
 HOWARD CO. MD. ELEC. DIST. #6  
 SCALE: 1"=50'-0" OCTOBER 5, 1979  
 TAX MAP & PARCEL NO. 43/1611 SHEET 2 OF 11  
 SDP-80-56



1-21-80  
 JAMA



APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEM  
 HOWARD COUNTY HEALTH DEPARTMENT  
 COUNTY HEALTH OFFICER  
 DATE: 2-27-80

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING  
 PLANNING DIRECTOR  
 DATE: 2-28-80

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE & STORM DRAINAGE SYSTEMS & ROADS  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIRECTOR  
 DATE: 2-28-80

**LEGEND**

EXISTING CURB & GUTTER ————

PROPOSED CONC. CURB & GUTTER, UNLESS OTHERWISE NOTED ————

EXISTING CONTOURS ————

PROPOSED CONTOURS ————

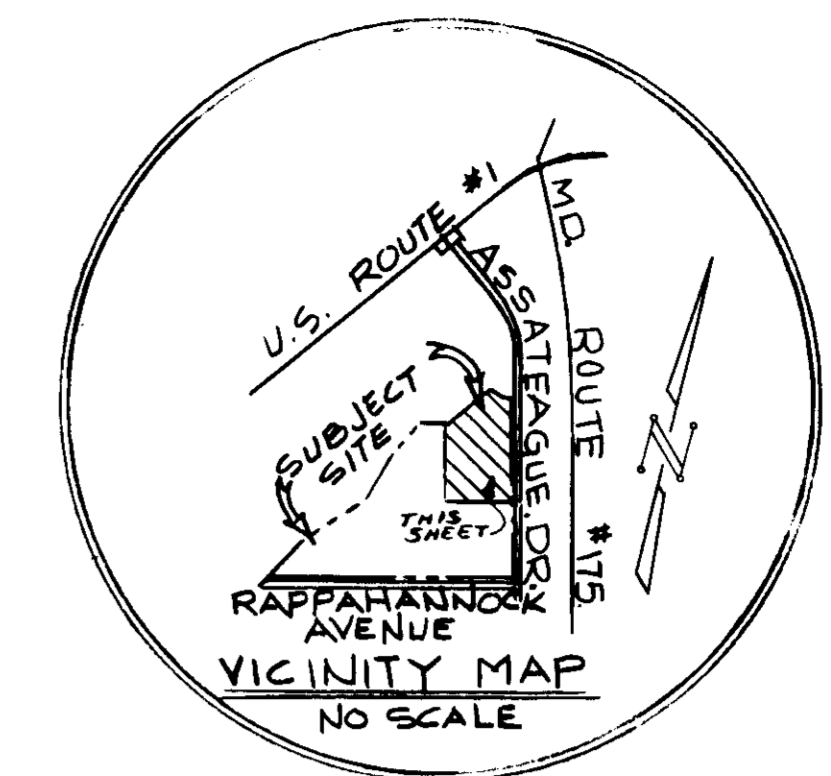
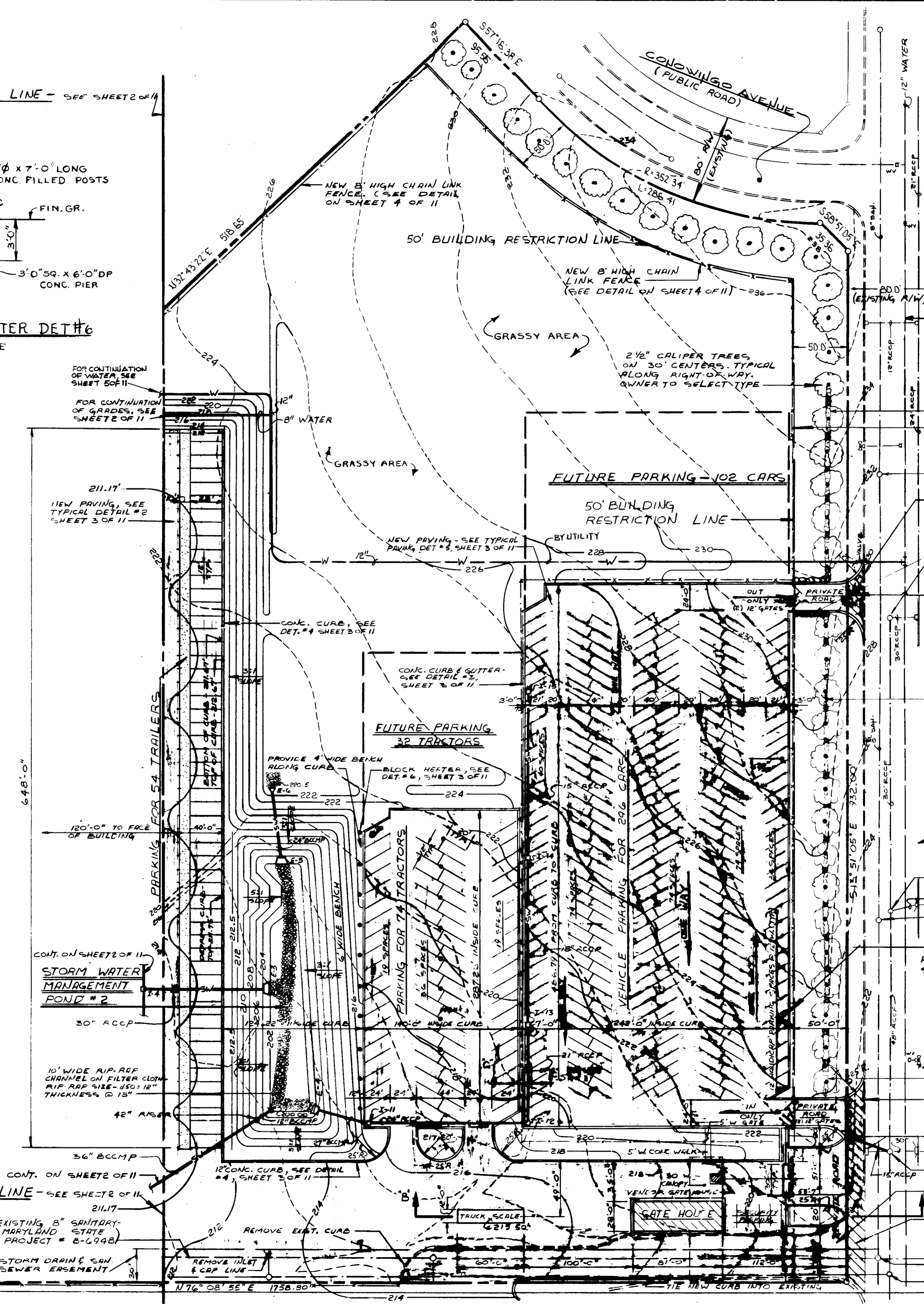
NEW STORM WATER LINE — SW ————

NEW 12" WATER LINE — W ————

**NOTE:**  
 FOR ORIENTATION WITH TOTAL SITE - SEE SHEET #10/11

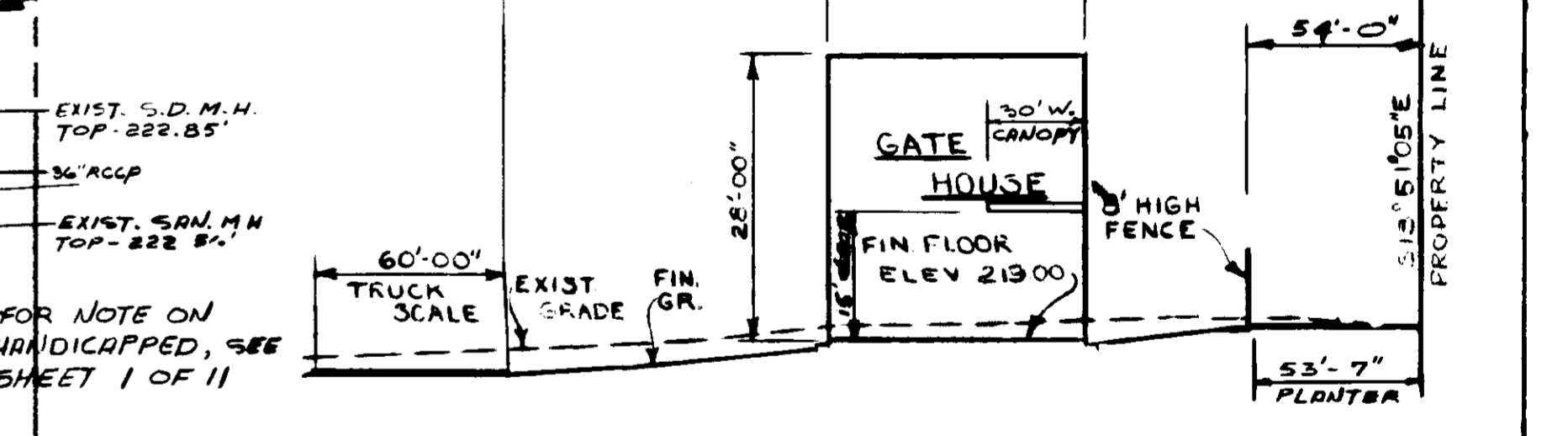
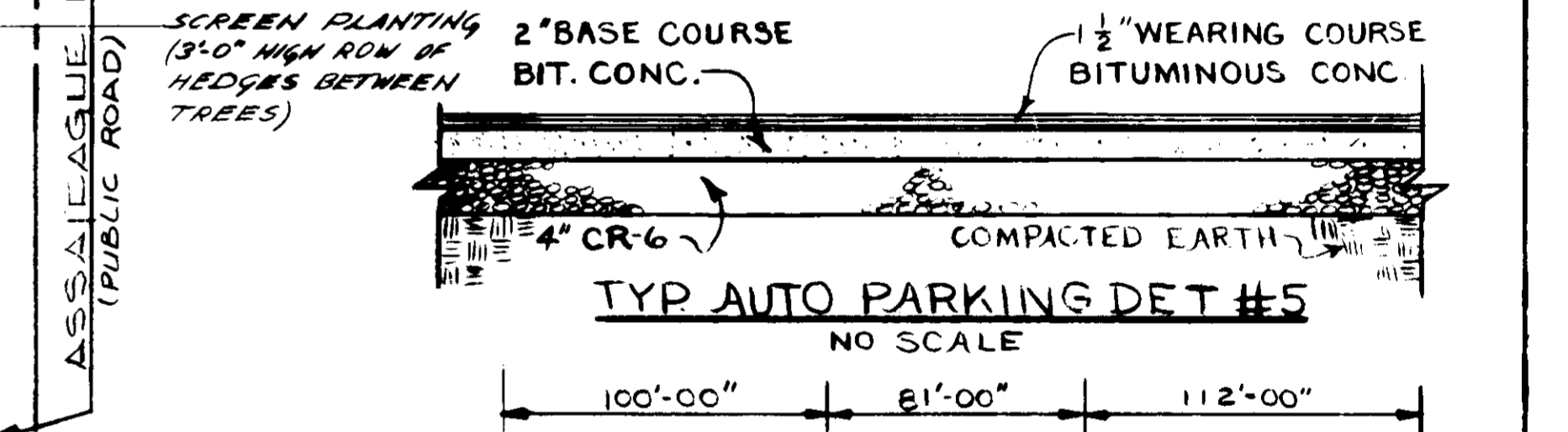
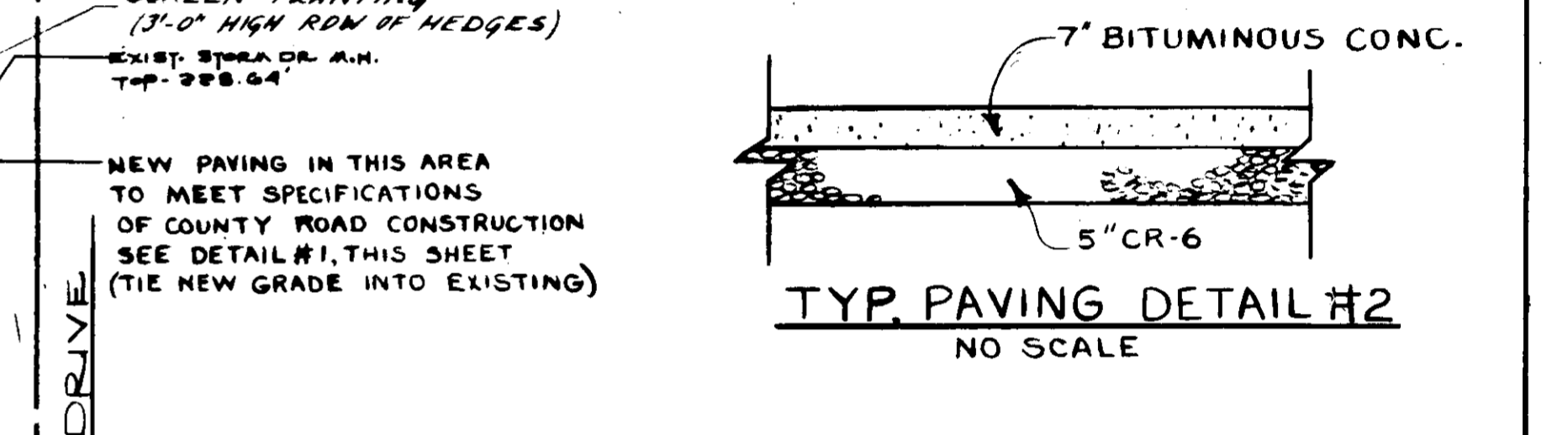
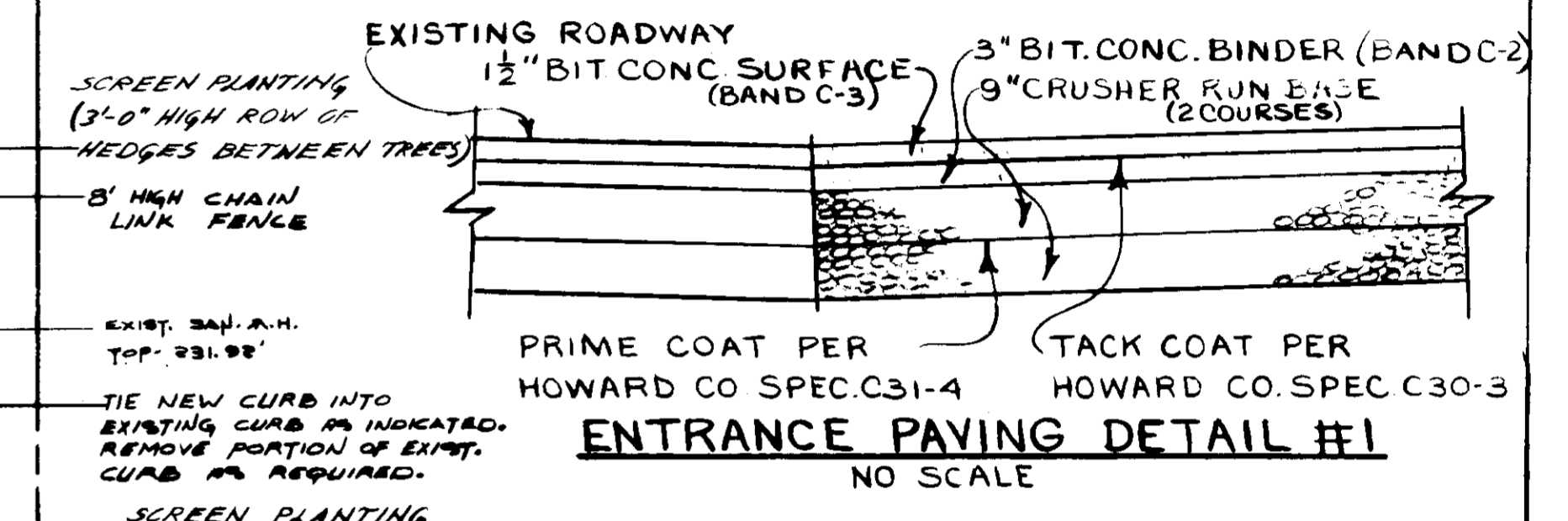
REMOVE EXIST. FENCE, RELOCATE UNDAMAGED SECTIONS AS INDICATED ON SHEET 2 OF 11

**MATCH LINE - SOUTH END OF EASEMENT - SEE SHEET 4 OF 11**



EXISTING ZONING OF TOTAL PROPERTY - MANUFACTURING HEAVY M-2

SECTION ONE  
 GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET AUTHORITY  
 506/782

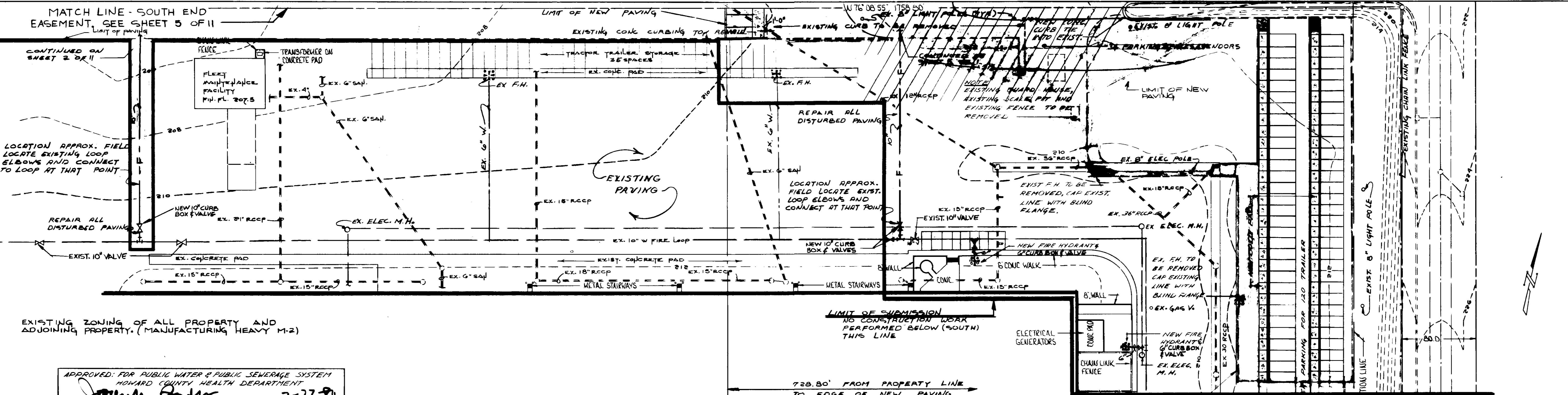


**GENERAL NOTE**  
 ALL PARKING, ROADS, & OTHER PAVING TO ASSALAGUE DRIVE CURB LINE IS PRIVATE PAVING AND IS TO BE MAINTAINED BY THE OWNER.

SCREEN PLANTING (3'-0" HIGH ROW OF HEDGES BETWEEN TREES)  
 TIE NEW CURB INTO EXISTING CURB AS INDICATED. REMOVE PORTION OF EXIST. CURB AS REQUIRED.  
 RELOCATE EXISTING INLET AS INDICATED. REPAIR DISTURBED AREA.

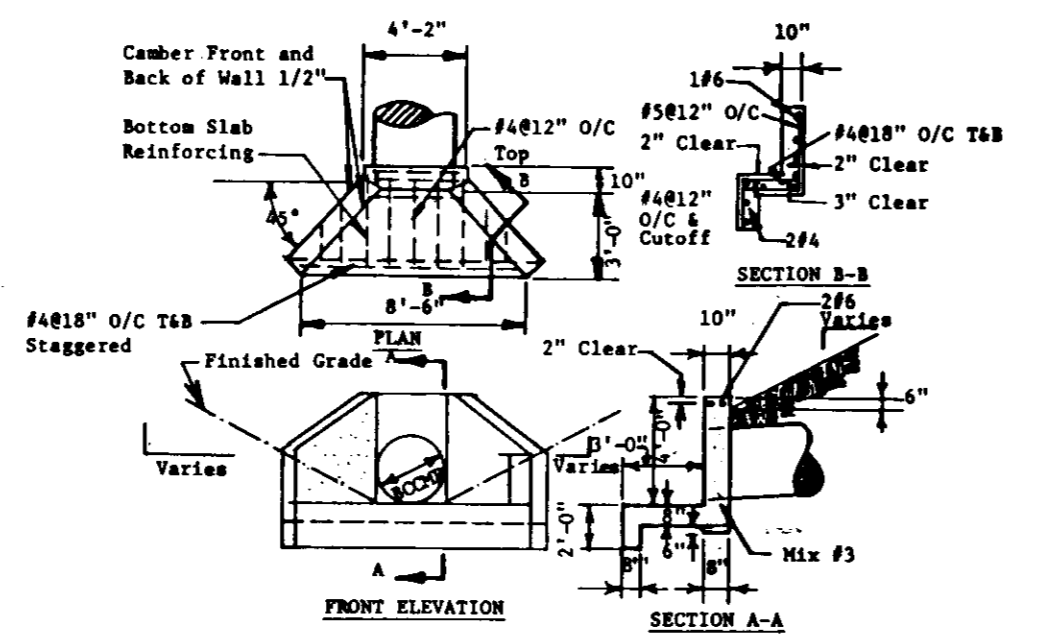
PREPARED BY  
 ST. ONGE, RUFF & ASSOCIATES, INC.  
 617 W. MARKET ST. YORK, PA. 17405  
 OWNER & DEVELOPER: GIANT FOOD INC.  
 20 BOX 1804 WASHINGTON, D.C. 20013

**PARTIAL SITE DEVELOPMENT PLAN**  
 GIANT FOOD INC. ADDITION  
 GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET  
 BLOCK 'A', SECTION 3, PARCEL A-15B  
 BUILDING ADDITION TO APPROVED SDP 77-10  
 HOWARD CO. MD. ELECT. DIST. #6  
 SCALE: 1" = 50'  
 TAX MAP & PARCEL NUMBERS #43/611 SHEET 3 OF 11  
 DATE: OCT. 5, 1979

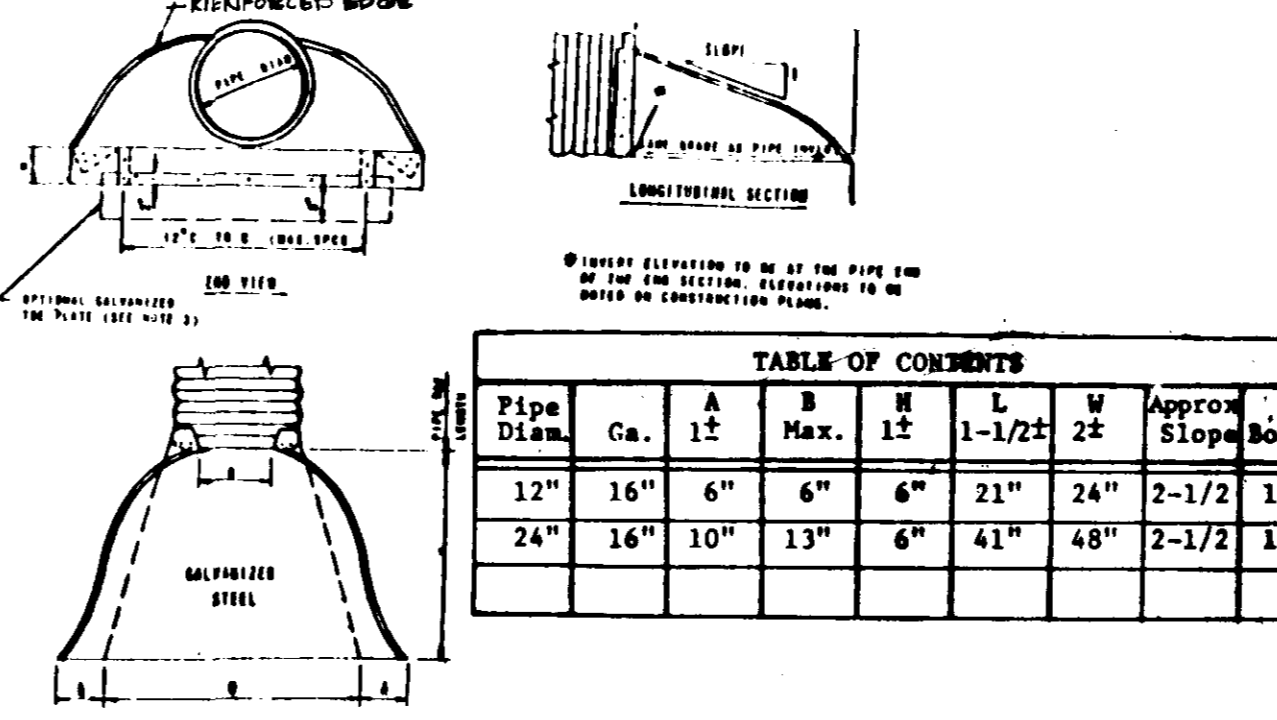


EXISTING ZONING OF ALL PROPERTY AND ADJOINING PROPERTY: (MANUFACTURING HEAVY M-2)

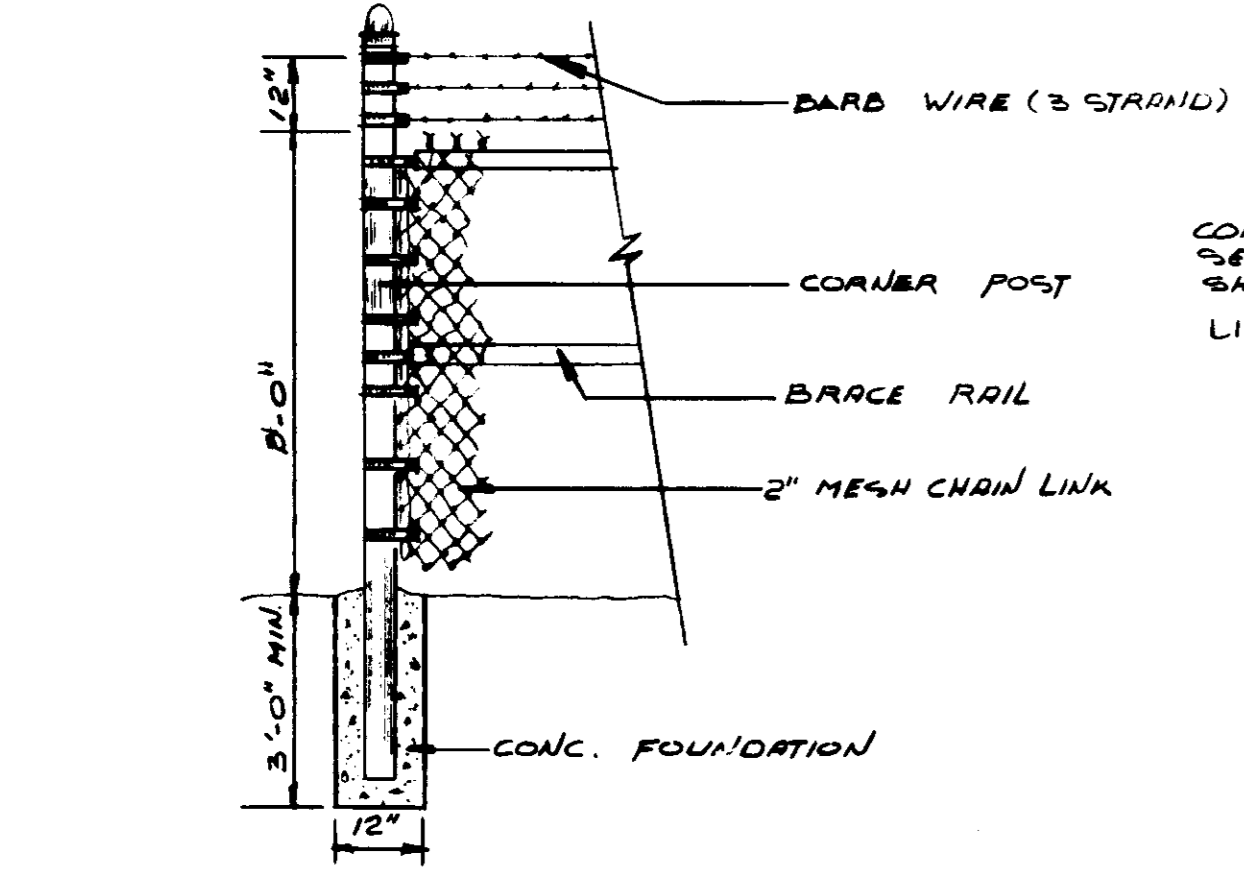
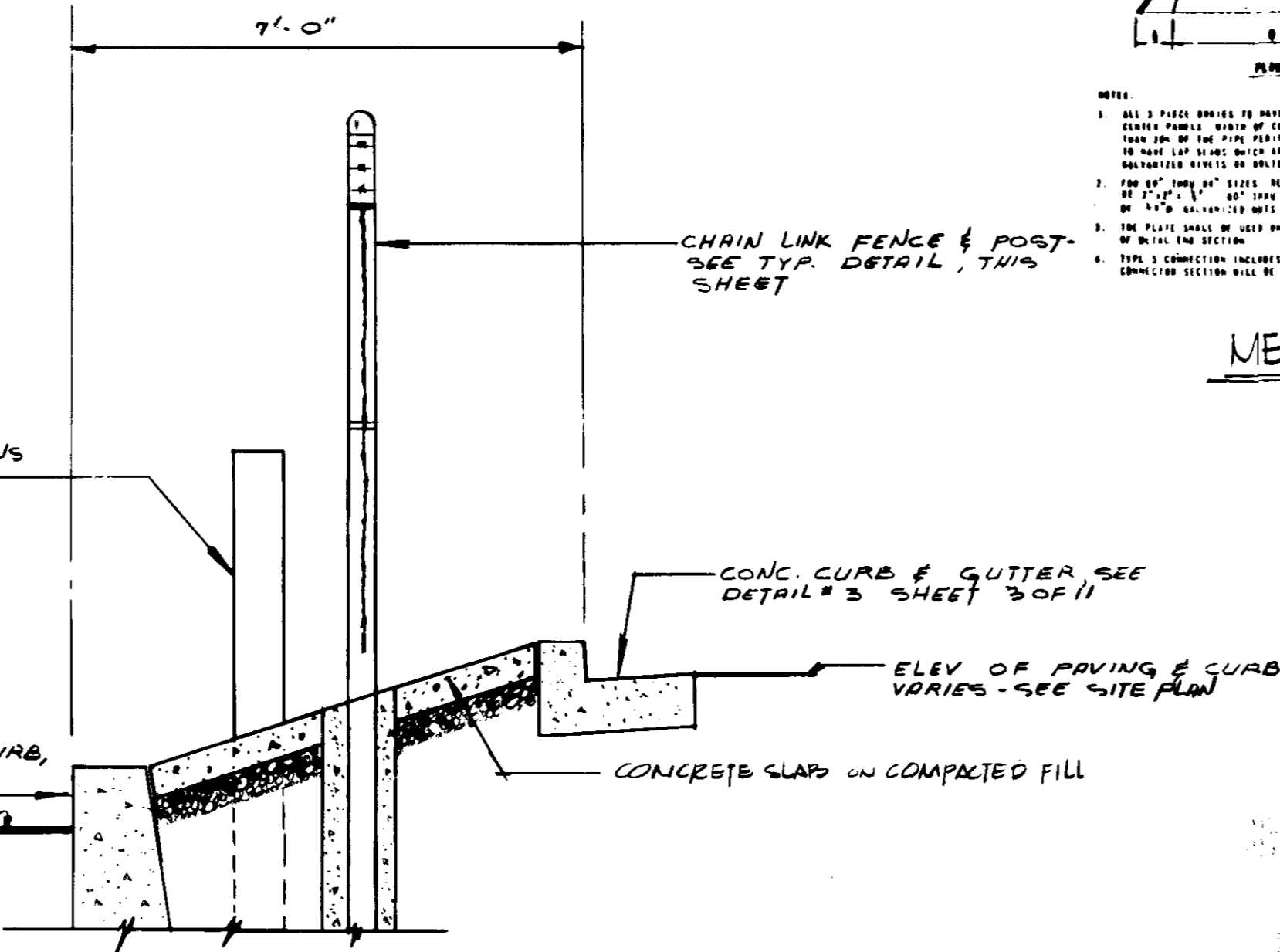
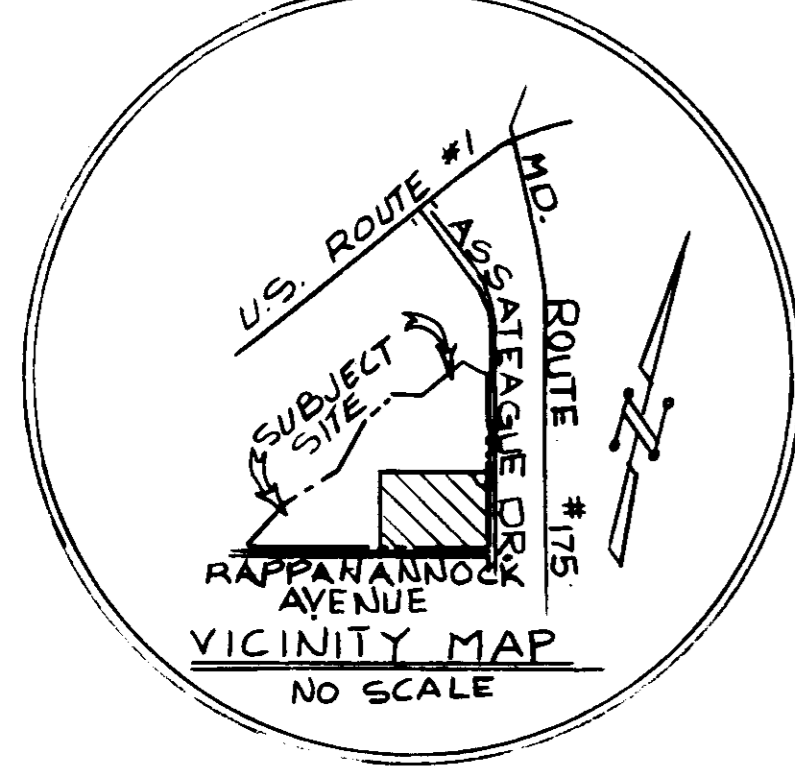
APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEM  
 HOWARD COUNTY HEALTH DEPARTMENT  
 COUNTY HEALTH OFFICER: *[Signature]* 2-27-80  
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING  
 PLANNING DIRECTOR: *[Signature]* 2-28-80  
 CHIEF OF BUREAU OF ENGINEERING: *[Signature]* 2-28-80  
 APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE & STORM DRAINAGE SYSTEMS & ROADS  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIRECTOR: *[Signature]* 2-26-80  
 CHIEF OF BUREAU OF ENGINEERING: *[Signature]* 2-26-80



EXISTING DRY GROCERY BUILDING



Pipe Dia.	Ga.	A	B	H	L	W	Approx. Slope	Body
12"	16"	6"	6"	6"	21"	24"	2-1/2"	1 PC
24"	16"	10"	13"	6"	41"	48"	2-1/2"	1 PC



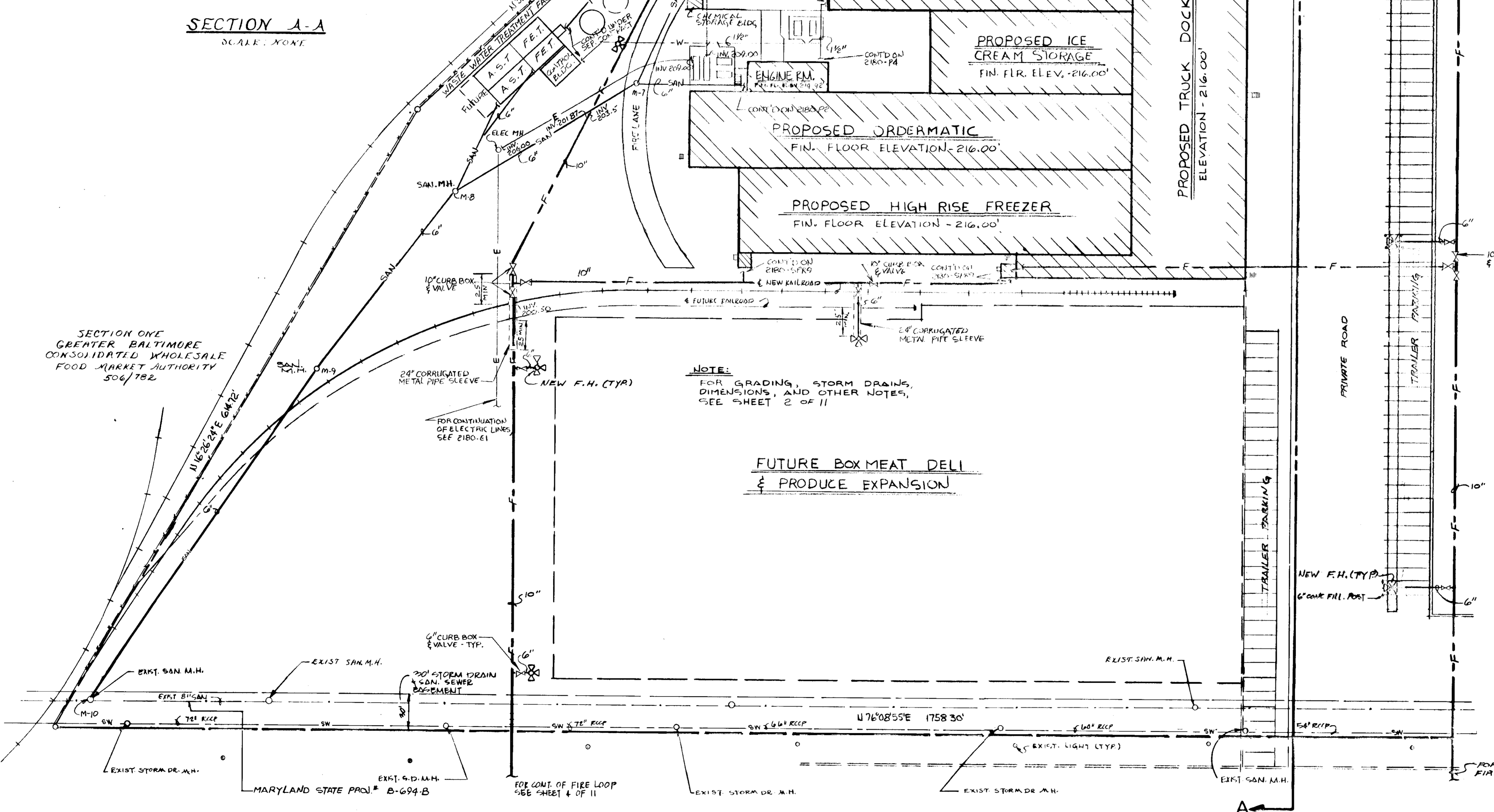
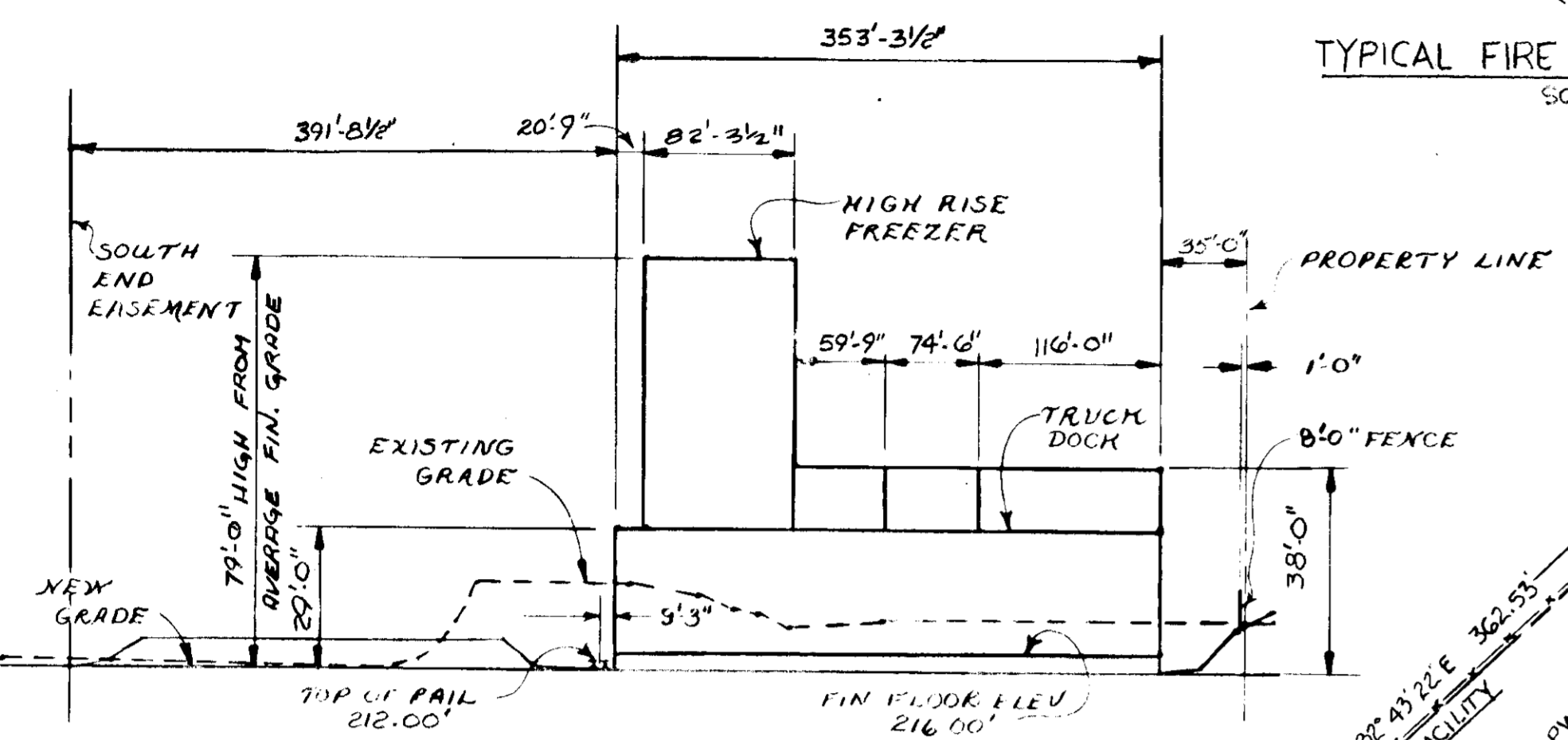
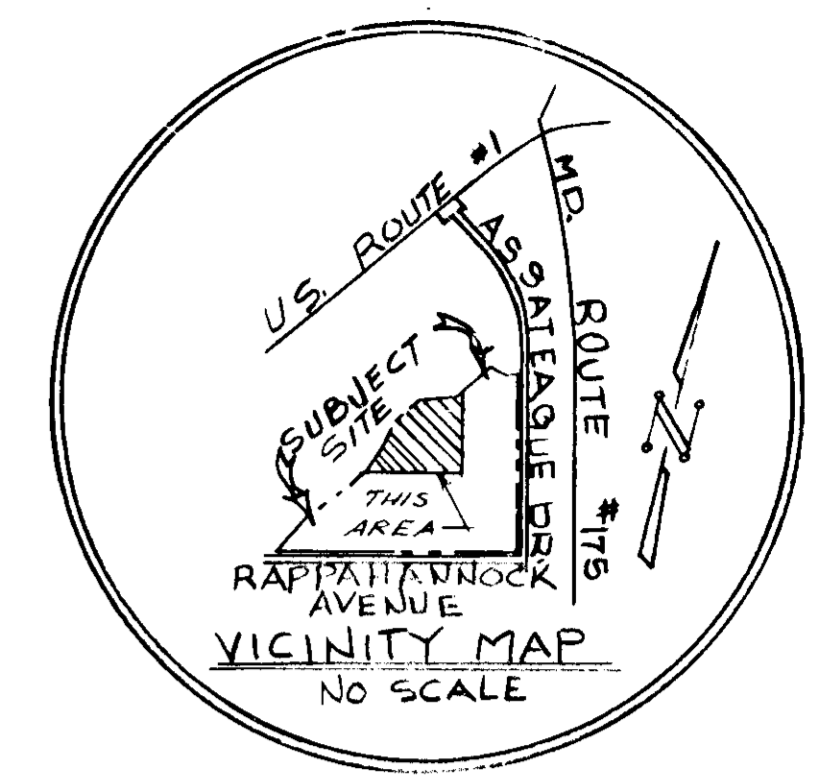
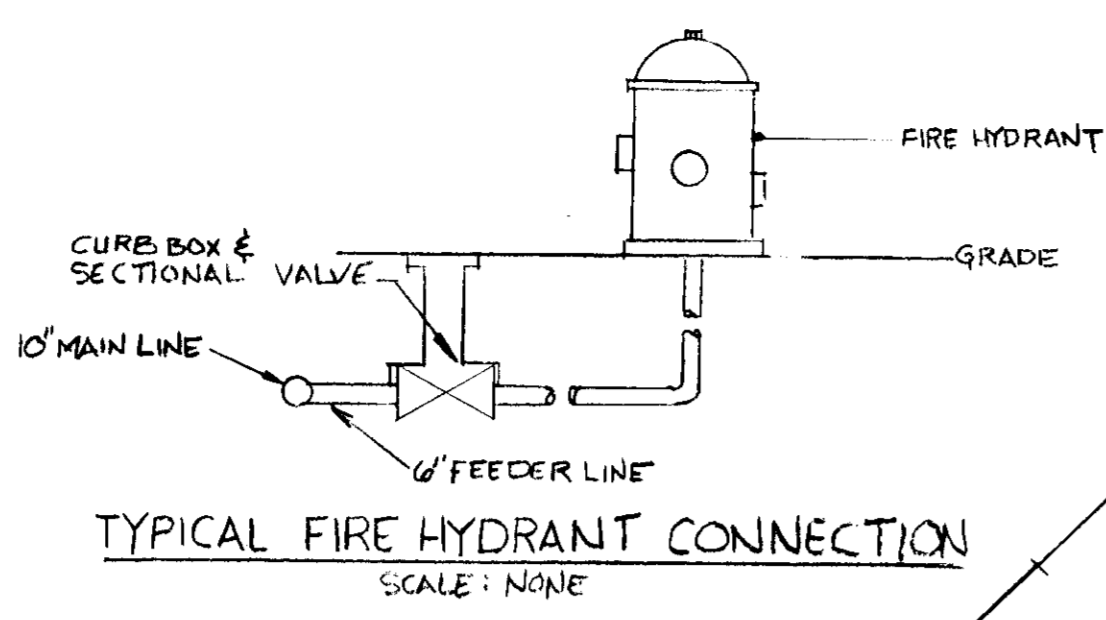
**LEGEND**  
 EX. CURB & GUTTER  
 PROP. CONC. CURB & GUTTER, EXCEPT AS OTHERWISE NOTED  
 EXISTING CONTOURS  
 PROPOSED CONTOURS  
 NEW 10" FIRE LOOP

**NOTE:** FOR ORIENTATION WITH TOTAL SITE, SEE SHEET 1 OF 11

OWNER: **QUANT FOOD INC.**  
 P.O. BOX 1804  
 WASHINGTON, D.C. 20013

PREPARED BY:  
**ST. ONGE, RUFF & ASSOCIATES, INC.**  
 617 W. MARKET ST. YORK, PA. 17405

**PARTIAL SITE DEVELOPMENT PLAN**  
**QUANT FOOD INC. ADDITION**  
 GREATER BALTIMORE CONSOLIDATED  
 WHOLESALE FOOD MARKET  
 BLOCK 'A', SECTION 1, PARCEL 'A' & 'B'  
 BUILDING ADDITION TO APPROVED SDP-TT-10  
 HOWARD CO. MD. ELECT. DIST #6  
 SCALE: 1"=50' OCT. 5, 1979  
 TAX MAP & PARCEL NUMBER #43/611



FOR CONTINUATION OF 12" WATER LINE, SEE SHEET 3 OF 11

EXISTING ZONING OF ALL PROPERTY AND ADJOINING PROPERTY. (MANUFACTURING HEAVY M-2)

FOR ORIENTATION OF TOTAL SITE SEE SHEET 1 OF 11

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEM  
HOWARD COUNTY HEALTH DEPARTMENT  
COUNTY HEALTH OFFICER  
DATE: 2-27-80

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING  
PLANNING DIRECTOR  
DATE: 2-28-80

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE & STORM DRAINAGE SYSTEMS & ROADS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
DIRECTOR  
DATE: 2-28-80

CHIEF OF BUREAU OF ENGINEERING  
DATE: 2-28-80

**LEGEND**

NEW 12" FIRE LOOP	---
NEW WATER LINE	---
EXISTING LIGHT POLE	o
EXISTING, RELOCATED, OR NEW CHAIN LINK FENCE	---
NEW FIRE HYDRANT	o
NEW 6" SANITARY WASTE LINE	---
NEW 6" PLANT WASTE LINE	---

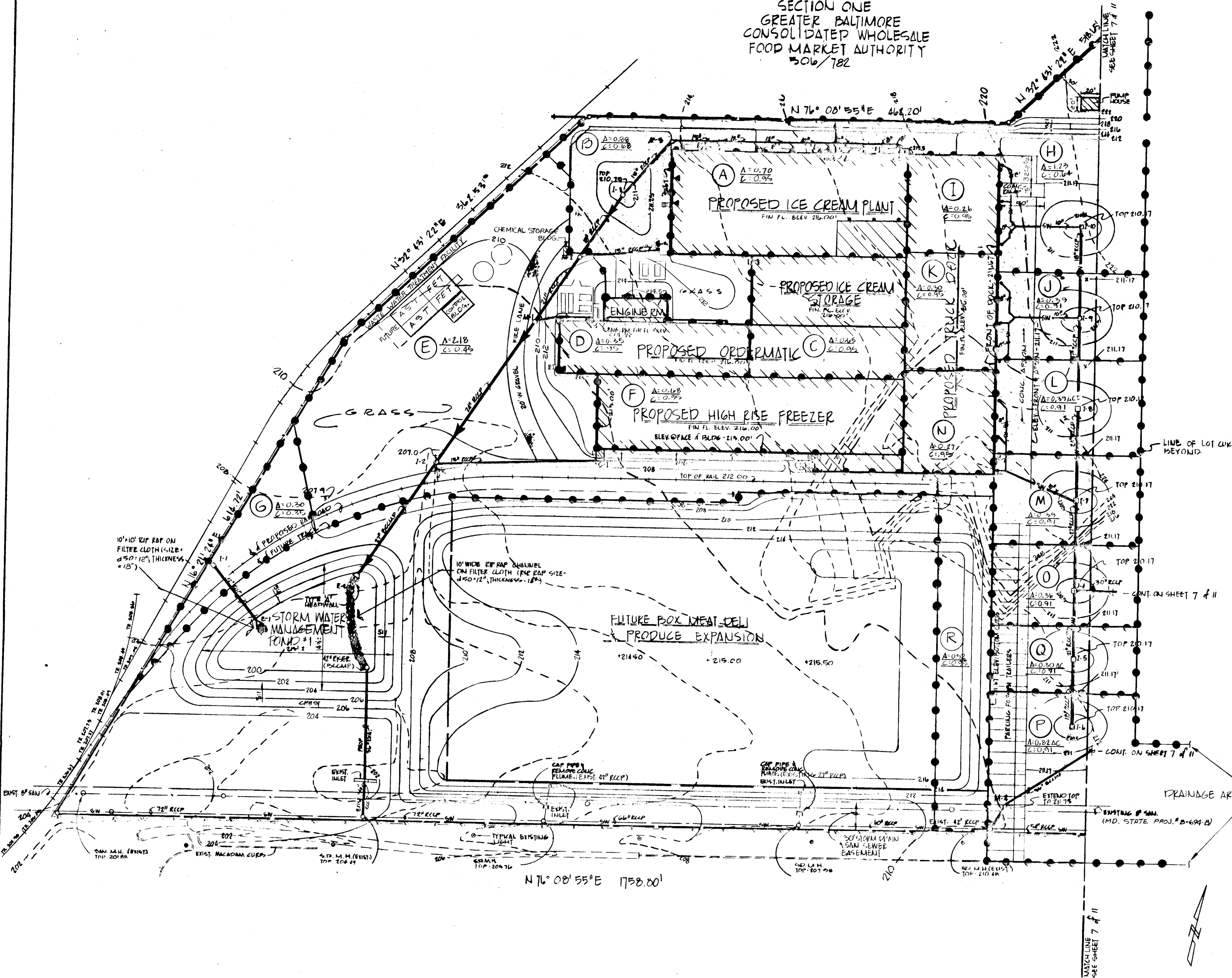
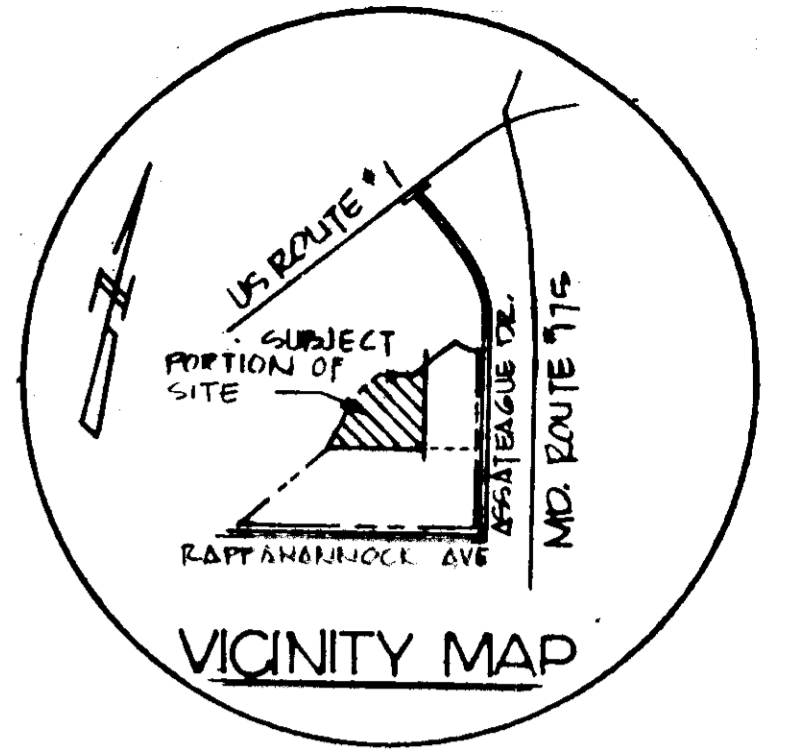
**NOTE:**  
FOR GRADING, STORM DRAINS, DIMENSIONS, AND OTHER NOTES, SEE SHEET 2 OF 11

1-21-80  
OWNER & DEVELOPER  
GIANT FOOD, INC.  
P.O. BOX 1804  
WASHINGTON, D.C. 20013

PREPARED BY  
STONGE, RUFF & ASSOCIATES, INC.  
617 W MARKET ST. YORK, PA. 17405

**UTILITY PLAN**  
GIANT FOOD, INC. ADDITION  
GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET  
BLOCK 'A', SECTION 1, PARCEL 'A'  
BUILDING ADDITION TO APPROVED SDP-77-10  
HOWARD CO. MD. ELECT DIST #6  
SCALE: 1"=50' OCTOBER 5, 1979  
TAX MAP & PARCEL NUMBER 43/411 SHEET 5 OF 11

SECTION ONE  
 GREATER BALTIMORE  
 CONSOLIDATED WHOLESALE  
 FOOD MARKET AUTHORITY  
 506/782



APPROVED: FOR PUBLIC WATER & SEWERAGE SYSTEM - HOWARD COUNTY HEALTH DEPARTMENT	DATE
<i>[Signature]</i>	2-27-80
COUNTY HEALTH OFFICER	
APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING	DATE
<i>[Signature]</i>	2-23-80
PLANNING DIRECTOR	
APPROVED: CHIEF OF LAND DEVELOPMENT	DATE
<i>[Signature]</i>	2-20-80
APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, & STORM DRAINAGE SYSTEMS & ROADS - HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS	DATE
<i>[Signature]</i>	2-24-80
DIRECTOR	
<i>[Signature]</i>	2-24-80
CHIEF OF BUREAU OF ENGINEERING	DATE

NOTE:  
 FOR ORIENTATION WITH TOTAL SITE - SEE SHEET 1 of 11

●●●●● TYPICAL DRAINAGE AREA

APPROVED  
 DIVISION OF PLANNING & ZONING

1-21-80  
*[Signature]*

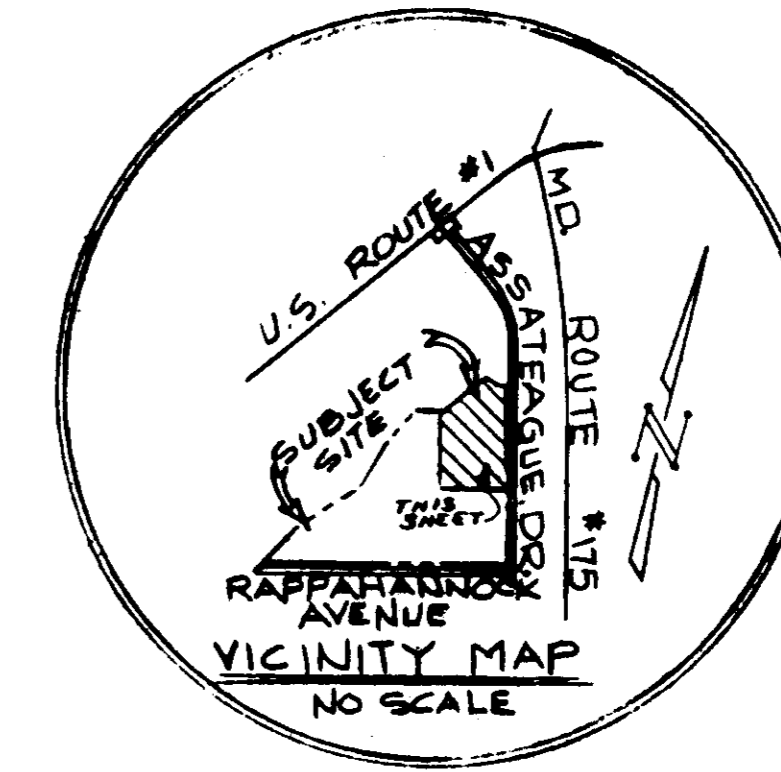


*[Signature]*  
 OWNER/DEVELOPER  
 GIANT FOOD INC.  
 P.O. BOX 1804  
 WASHINGTON, D.C. 20015

PREPARED BY  
 ST. ONICE RUFF AND ASSOCIATES, INC.  
 617 W. MARKET ST. YORK, PA. 17405

**DRAINAGE AREA MAP**  
 GIANT FOOD INC. ADDITION  
 GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET  
 BLOCK 'A', SECTION 1, PARCEL 'A' BUILDING ADDITION  
 TO PREVIOUSLY APPROVED SDP-77-70.  
 HOWARD CO. MD. ELEC. DIST. #6  
 SCALE: 1"=50'-0" OCTOBER 5, 1979  
 TAX MAP & PARCEL NR 43/111

MATCH LINE - SEE SHEET 6 OF 11



EXISTING ZONING OF TOTAL PROPERTY AND HOUSING PROPERTY - MANUFACTURING MEO-1, 72

SECTION ONE  
GREATER BALTIMORE  
CONSOLIDATED WHOLESALE  
FOOD MARKET AUTHORITY  
506782

THESE LINES REFERENCE ONLY. SEE SHEET 6 OF 11 FOR CONTINUATION & DATA

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEM  
HOWARD COUNTY HEALTH DEPARTMENT  
COUNTY HEALTH OFFICER  
DATE: 2-27-80

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING  
PLANNING DIRECTOR  
DATE: 2-28-80

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE & STORM DRAINAGE SYSTEMS & ROADS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
DIRECTOR  
DATE: 2-28-80

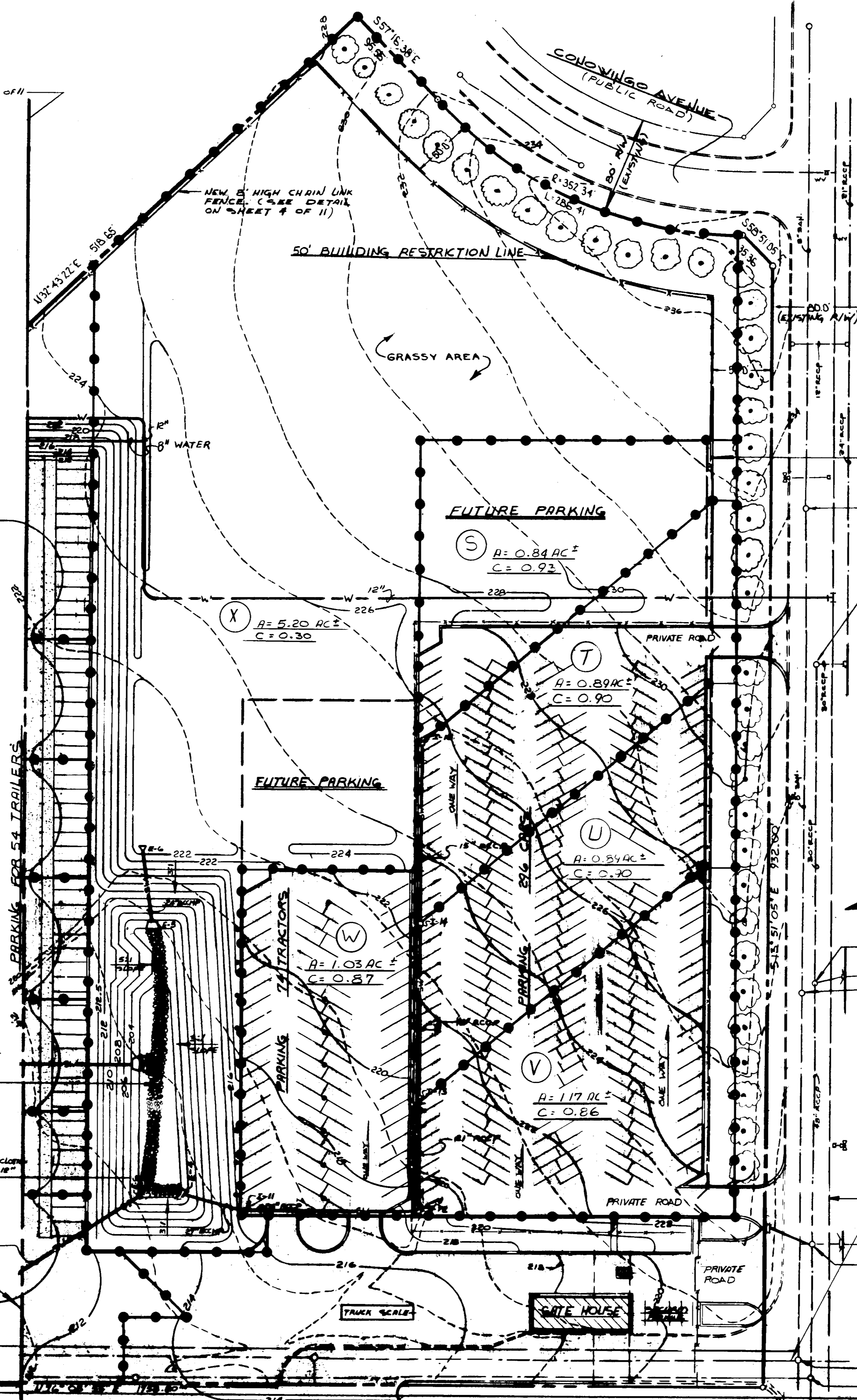
APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE & STORM DRAINAGE SYSTEMS & ROADS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
CHIEF OF BUREAU OF ENGINEERING  
DATE: 2-28-80

STORM WATER  
MANAGEMENT  
POND #2

10' WIDE R/P-RFP  
CHANNEL OR FILTER CATCH  
R/P-RFP SIZE - 150" x 18"  
THICKNESS @ 18"

MATCH LINE - SEE SHEET 6 OF 11

STORM DRAIN & SAN.  
SEWER EXHUMENT



6' HIGH CHAIN LINK FENCE 50'-0" INSIDE PROPERTY LINE EXIST. SAN. M.H.

EXIST. STORM DR. M.H.

ASSATEAGUE DRIVE (PUBLIC ROAD)

EXIST. S.D. M.H.

EXIST. SAN. M.H.

MARYLAND STATE PROJECT # B-277-E

EXIST. S.D. M.H.

EXIST. SAN. M.H.

EXIST. S.D. M.H.

1-21-80

NOTE: *Antonia W. Gandy*

●●●●● TYPICAL DRAINAGE AREA  
FOR ORIENTATION WITH TOTAL SITE - SEE SHEET 1 OF 11

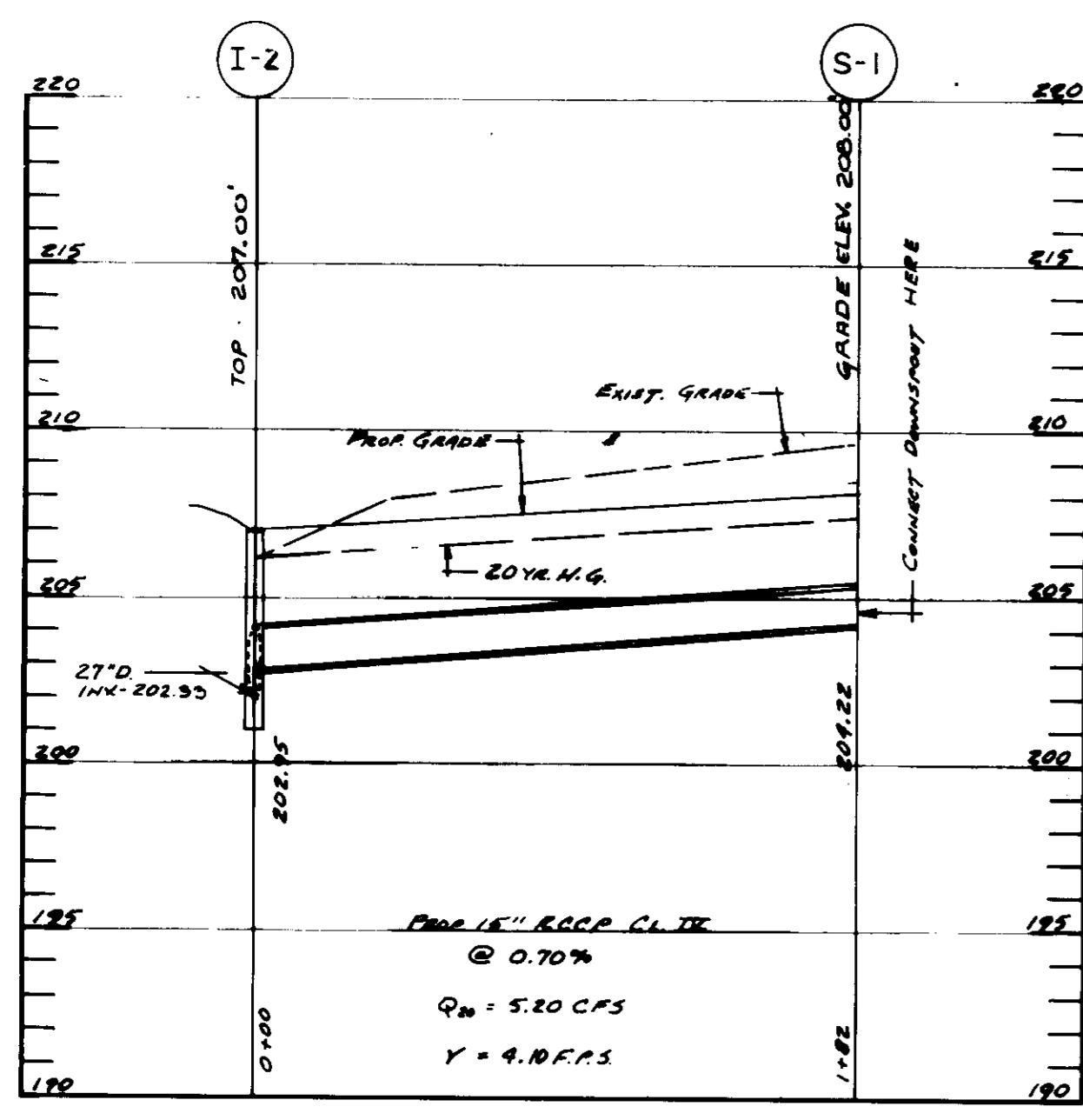
PREPARED BY  
**ST. ONGE, RUFF & ASSOCIATES, INC.**  
617 W. MARKET ST. YORK, PA. 17405  
OWNER / DEVELOPER **GIANT FOOD INC.**  
RD. BOX 1804  
WASHINGTON, D.C. 20013  
*(Handwritten initials)*  
**DRAINAGE AREA MAP**  
**GIANT FOOD INC. ADDITION**  
GREATER BALTIMORE CONSOLIDATED  
WHOLESALE FOOD MARKET  
BLOCK 'A', SECTION 1, PARCEL 'A' 4, 5  
BUILDING ADDITION TO APPROVED SDP-77-70  
HOWARD CO MD ELEC. DIST. #6  
SCALE: 1"=50' OCT. 5, 1979  
TAX MAP & PARCEL NUMBERS #43/611  
SHEET 7 OF 11  
SDP-80-56

**POND #1 DATA**

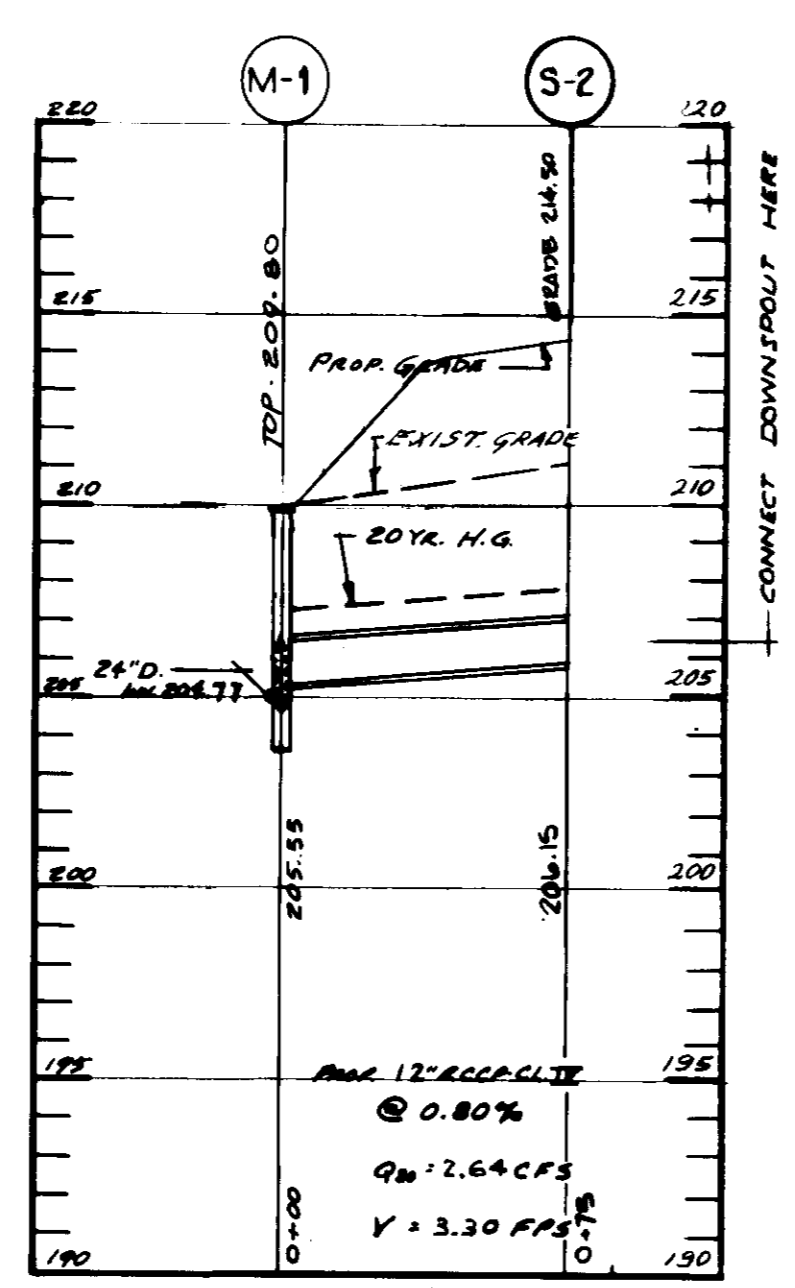
**STRUCTURE CLASSIFICATION**  
 STRUCTURE CLASS - "A"  
 STORAGE + HEIGHT PRODUCT - 2.02 x 4.25 = 12.63 A<sub>s</sub> FT<sup>2</sup>  
 WATERSHED AREA - 12.57 A<sub>c</sub>  
 NORMAL SURFACE AREA - 0.77 A<sub>c</sub>  
 STRUCTURE LOCATION - URBAN

**HYDROLOGIC CRITERIA**  
 PRINCIPAL SPILLWAY CAPACITY - 100 YRS  
 FREE BOARD - 2.0' ABOVE 100YR W.S. ELEV.

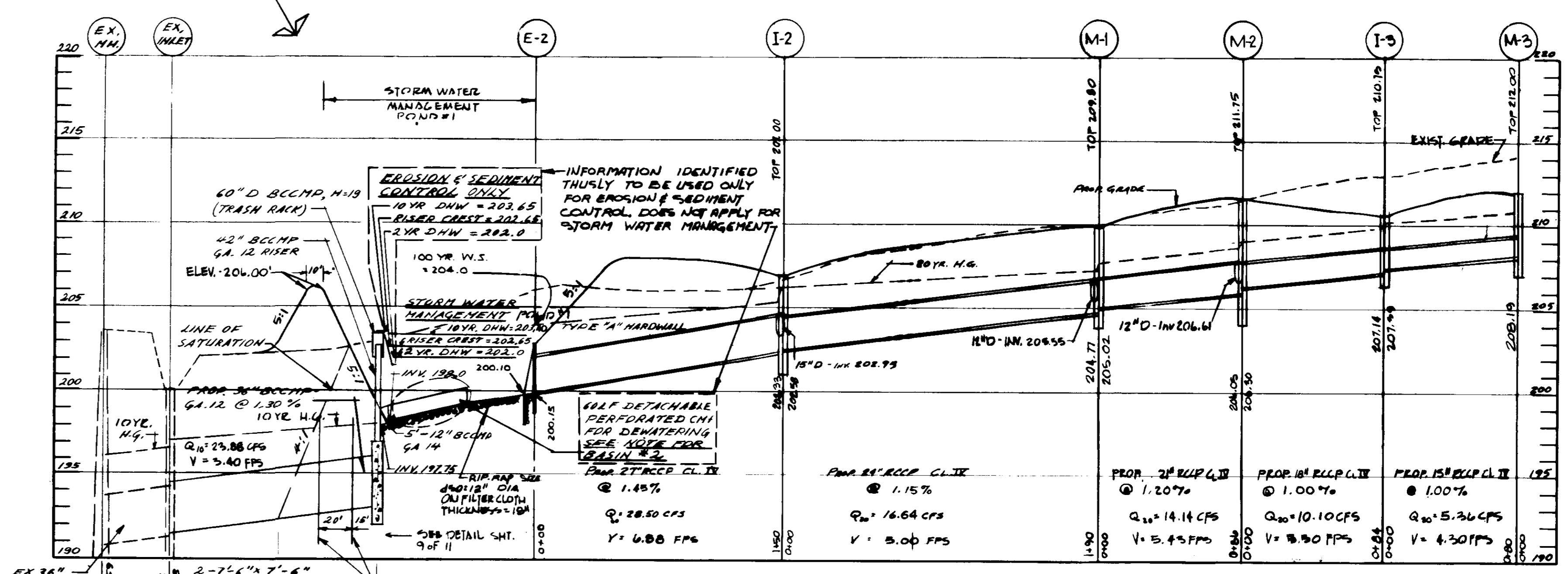
FOR CONSTRUCTION SPECIFICATIONS FOR  
 STORM WATER MANAGEMENT POND  
 SEE SHEET 9 OF 11



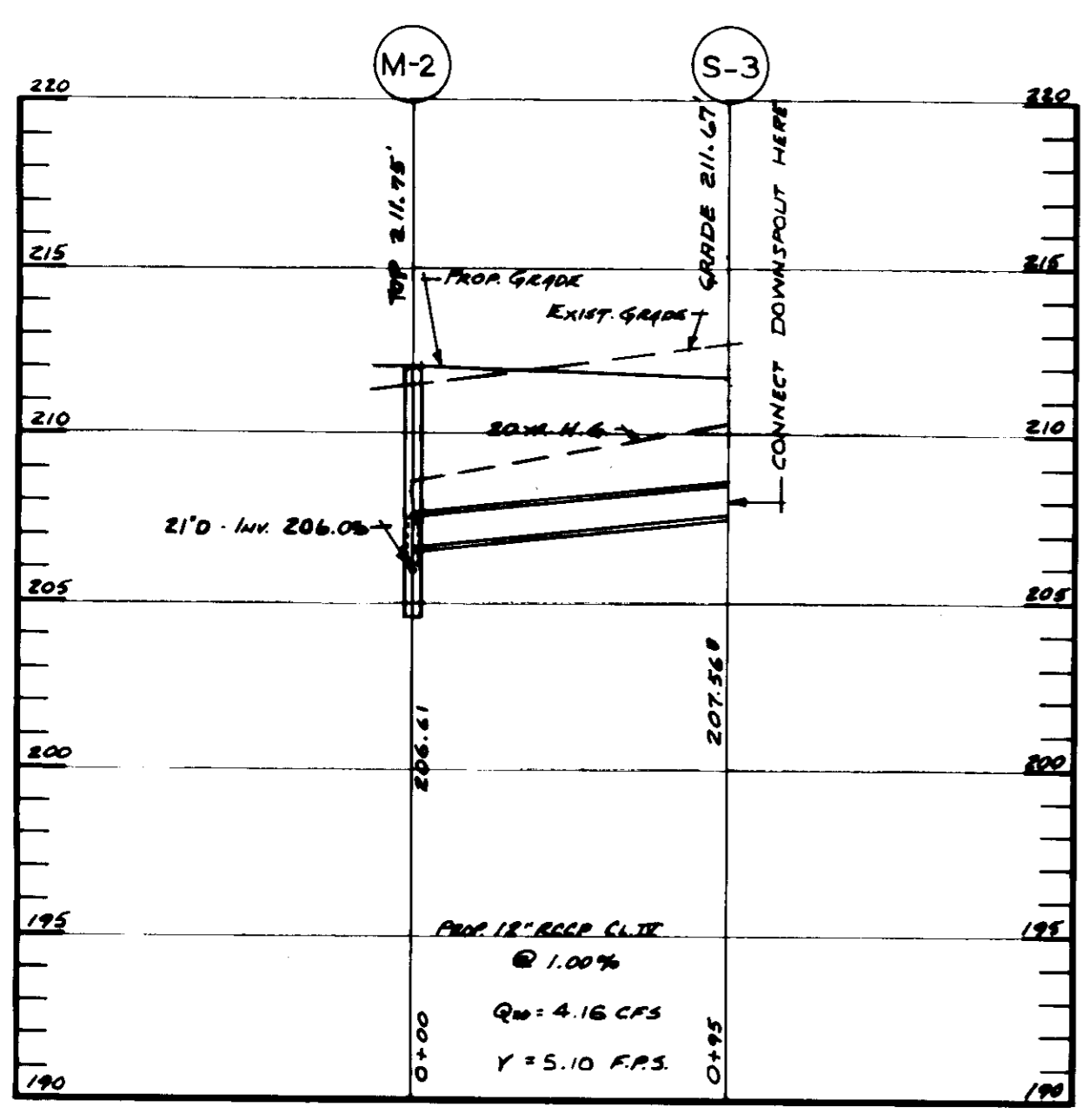
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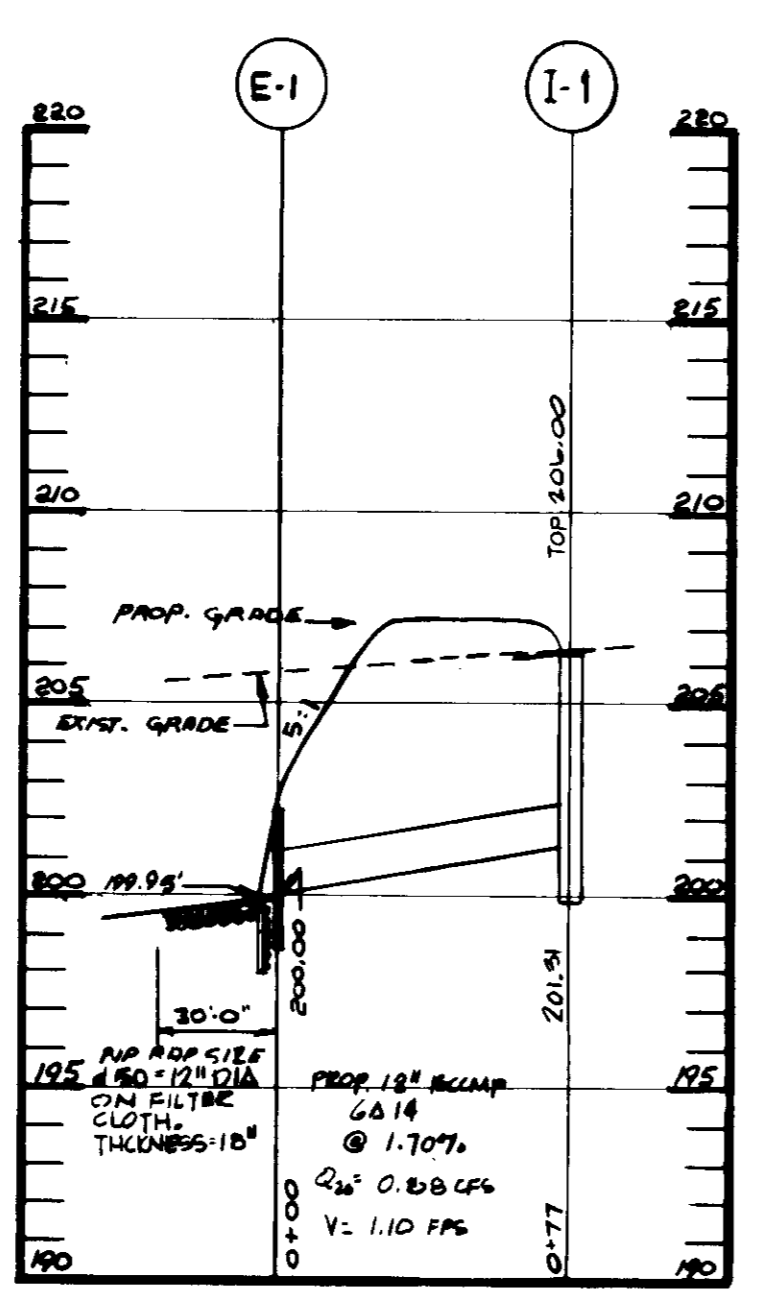
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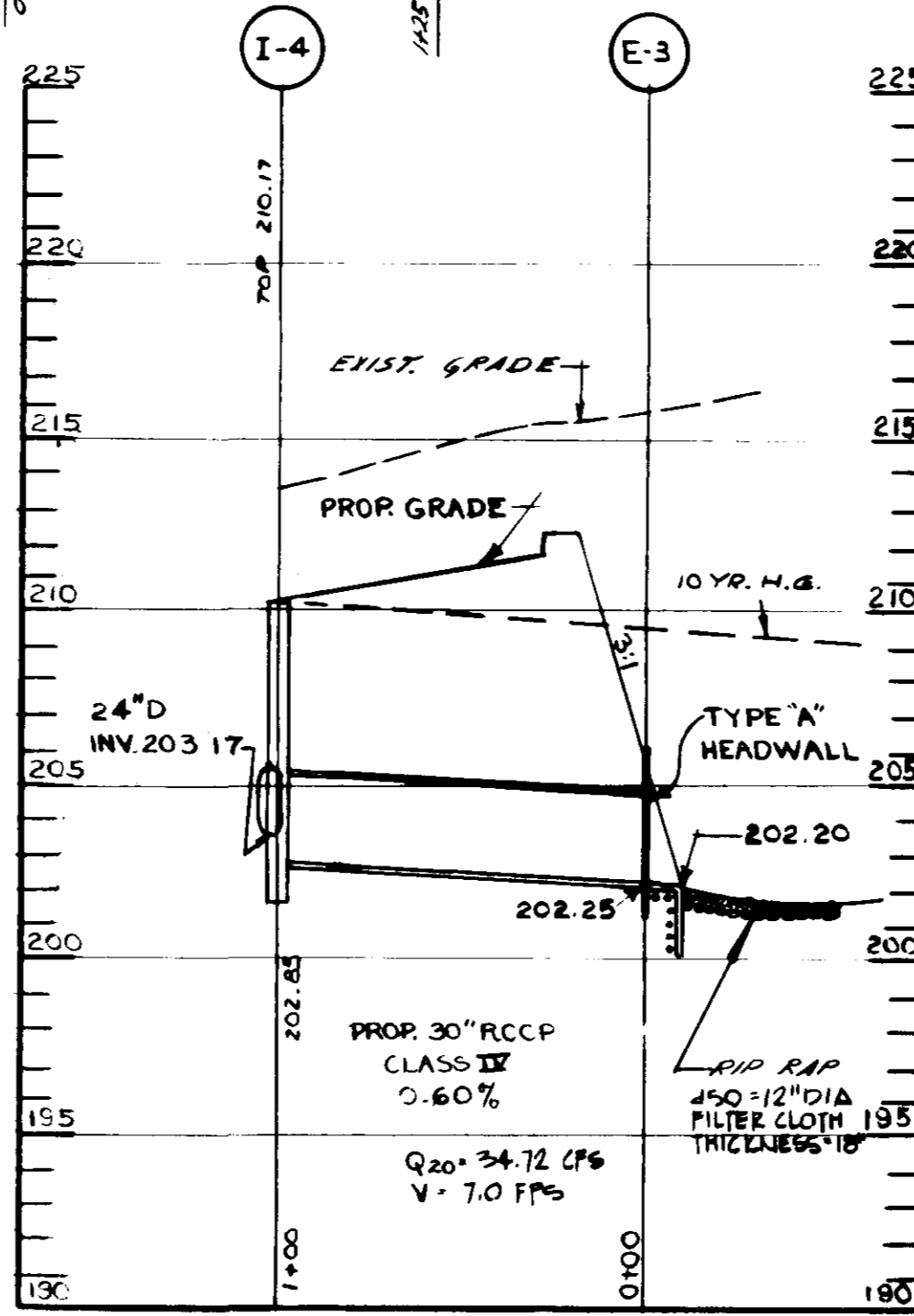
PROFILE AND POND PROFILE #1



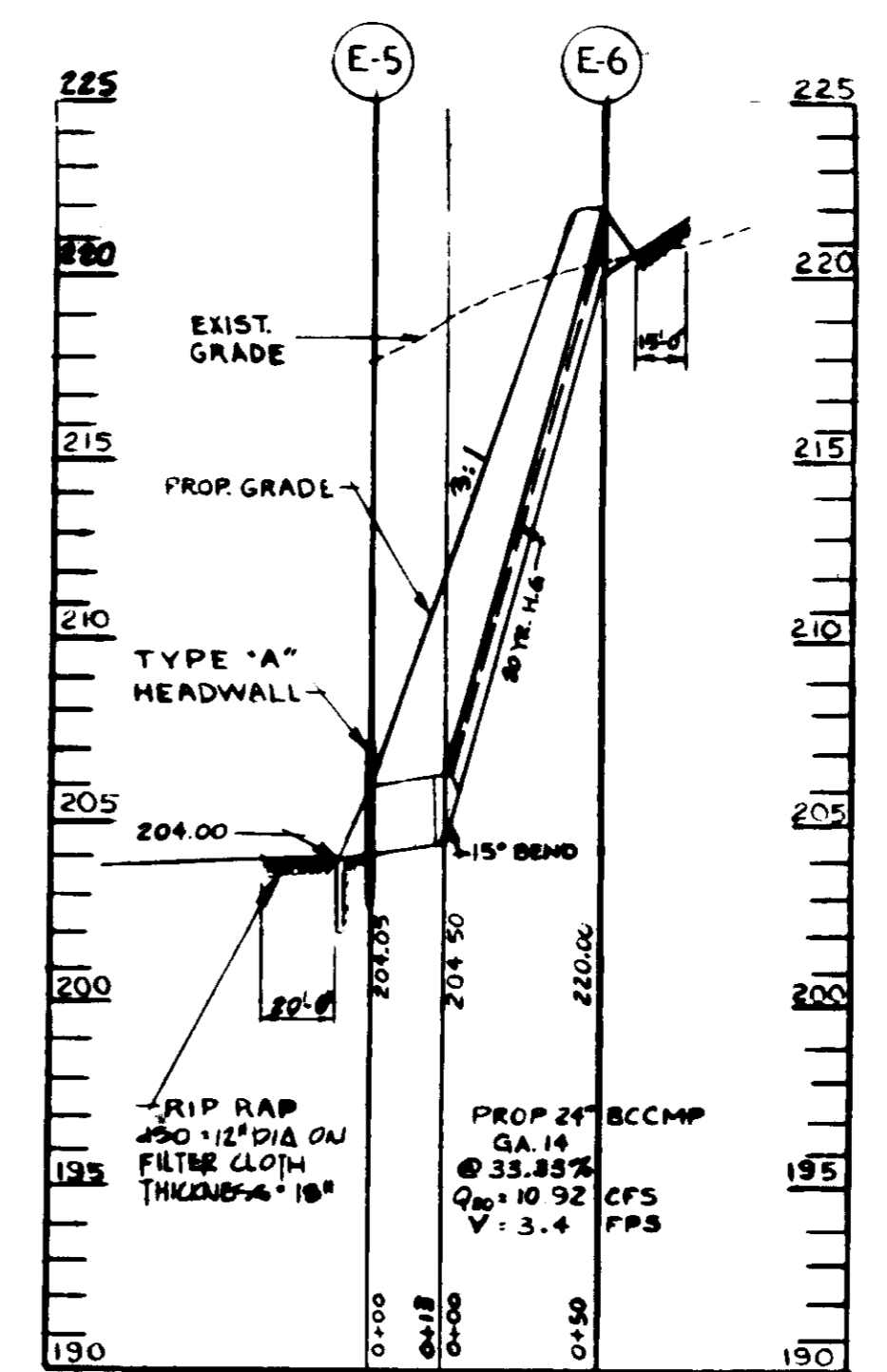
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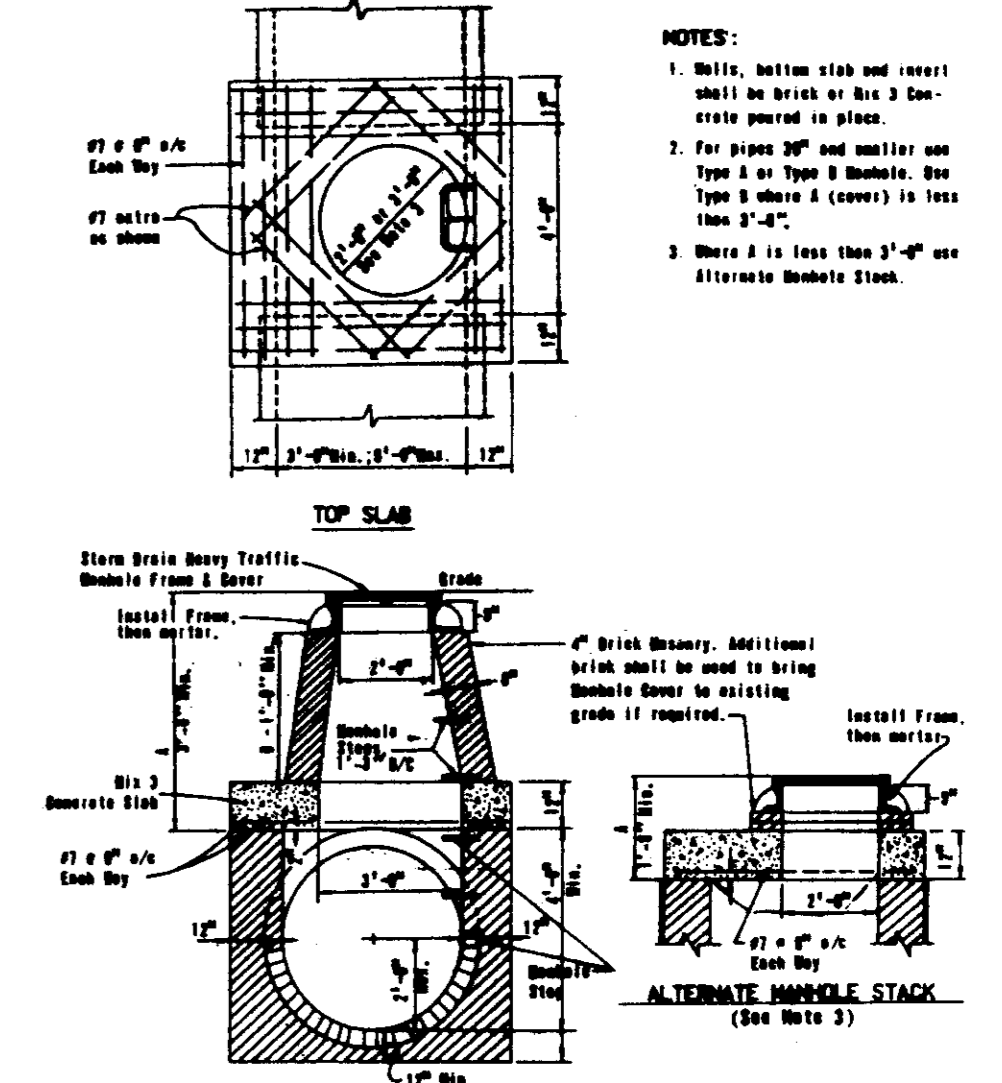
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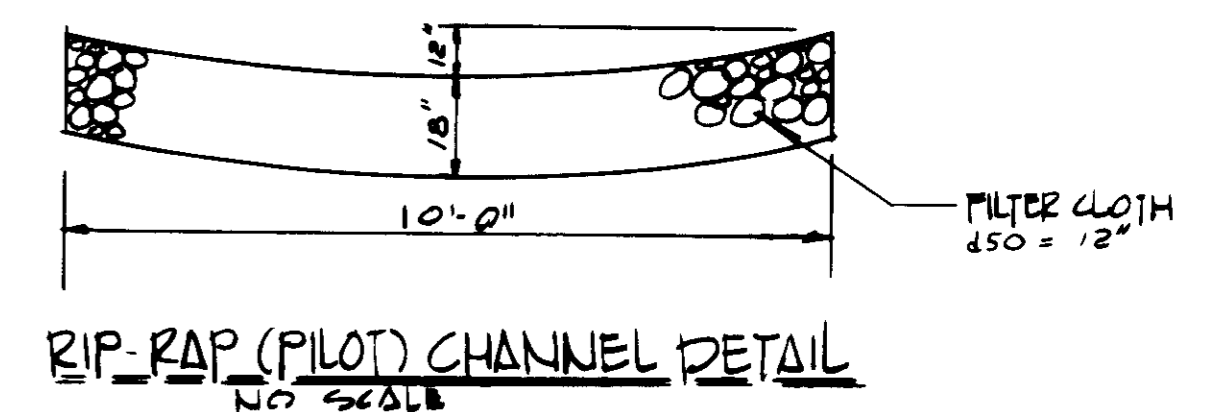
PROFILE



PROFILE



TYPE Y MANHOLE M-4  
NO SCALE



RIP-RAP (PILOT) CHANNEL DETAIL  
NO SCALE

- NOTES:
1. Manhole bottom slab and riser shall be placed on Box 3 concrete prepared in place.
  2. For storm 100 year and smaller use Type 2 on Type 2 manhole. Use Type 3 where 2 (cover) is less than 3'-0".
  3. Where 2 is less than 3'-0" use alternate manhole slab.

APPROVED  
 DIVISION OF LAND DEVELOPMENT  
 HOWARD COUNTY, MARYLAND  
 DATE 1-21-80

APPROVED FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEM  
 HOWARD COUNTY HEALTH DEPARTMENT  
 COUNTY HEALTH OFFICER  
 DATE 2-27-80

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEM  
 HOWARD COUNTY HEALTH DEPARTMENT  
 COUNTY HEALTH OFFICER  
 DATE 2-27-80

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING  
 PLANNING DIRECTOR  
 DATE 2-28-80

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE & STORM DRAINAGE SYSTEMS & ROADS  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIRECTOR  
 DATE 2-26-80

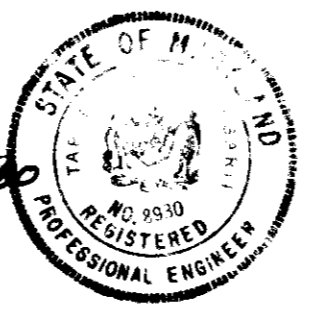
CHIEF OF BUREAU OF ENGINEERING  
 DATE 2-28-80



OWNER & DEVELOPER  
 GIANT FOOD INC.  
 P.O. BOX 1804  
 WASHINGTON, DC, 20013

PREPARED BY  
 STANGE RUFF & ASSOCIATES, INC.  
 117 W. MARKET ST. YORK, PA. 17408

STORM DRAIN PROFILES  
 GIANT FOOD INC. ADDITION  
 GREATER BALTIMORE CONSOLIDATED  
 WHOLESALE FOOD MARKET  
 BLOCK 'A', SECTION 1, PARCEL A'6B  
 BUILDING ADDITION TO APPROVED SDP-77-70  
 HOWARD CO. MD. ELECT. DIST. #6  
 SCALE: HORIZ. 1"=50'-0" TAX MAP & PARCEL  
 VERT. 1"=5'-0" NUMBER 43/611  
 SHEET 8 OF 11

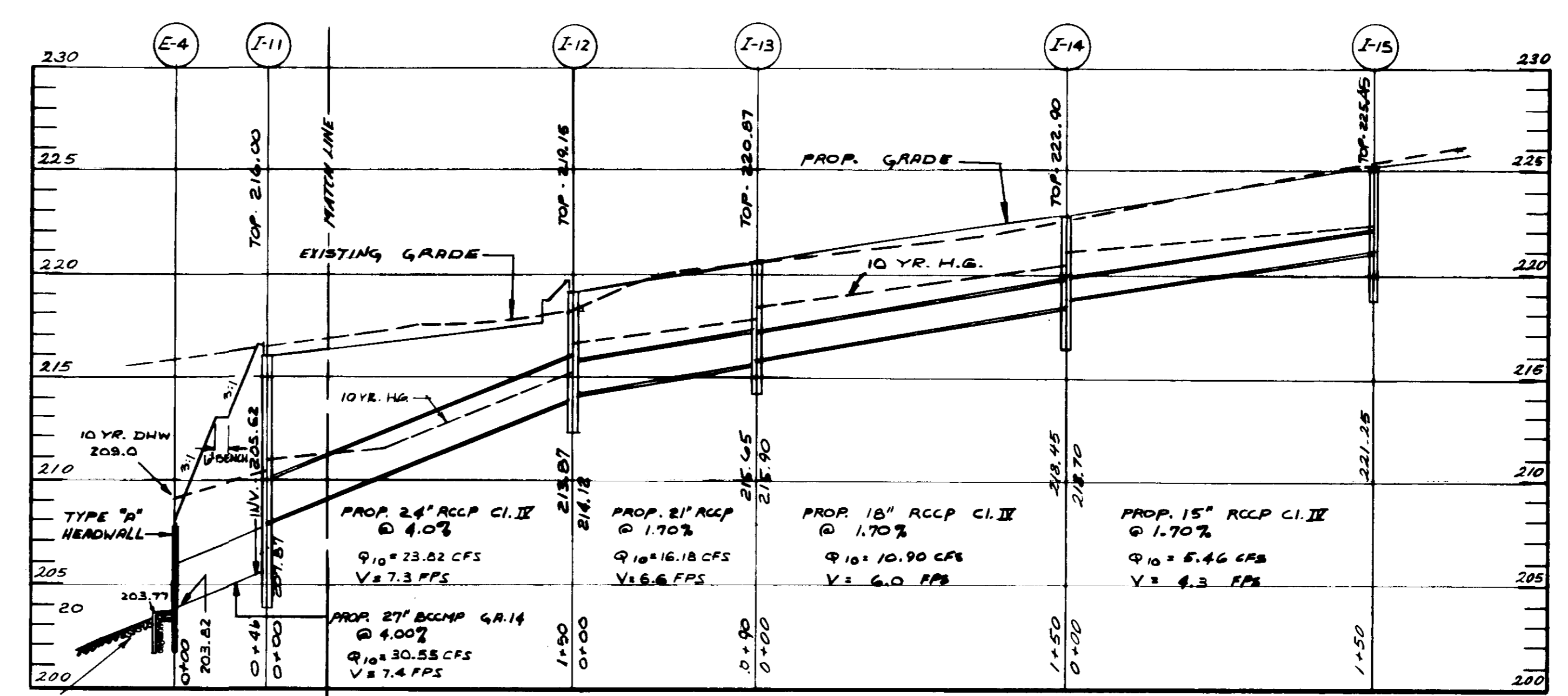
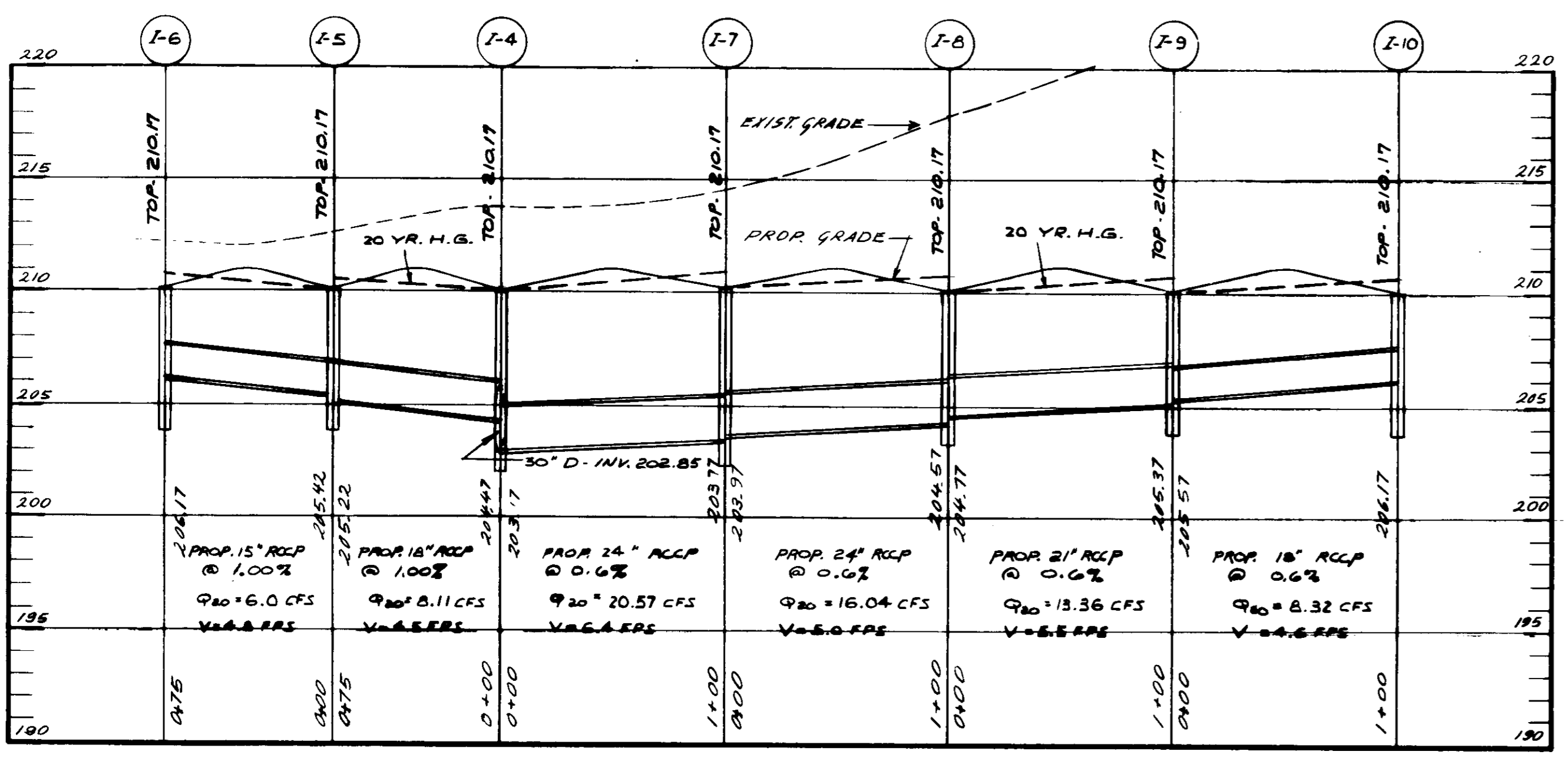


J. Robert Charnick  
 REG. 8930 1-1-80  
 REGISTERED PROFESSIONAL ENGINEER



**POND #2 DATA**  
**STRUCTURE CLASSIFICATION**  
 STRUCTURE CLASS "A"  
 STORAGE HEIGHT PRODUCT - 2.47 x 10.0 = 24.7 A. FT<sup>2</sup>  
 WATERSHED AREA - 16.0 A.  
 NORMAL SURFACE AREA - 2.47 A.  
 STRUCTURE LOCATION - URBAN

**HYDROLOGIC CRITERIA**  
 PRINCIPAL SPILLWAY CAPACITY = 100 YRS.  
 FREE BOARD - 2.0' ABOVE 100 YR. WS. ELEV.

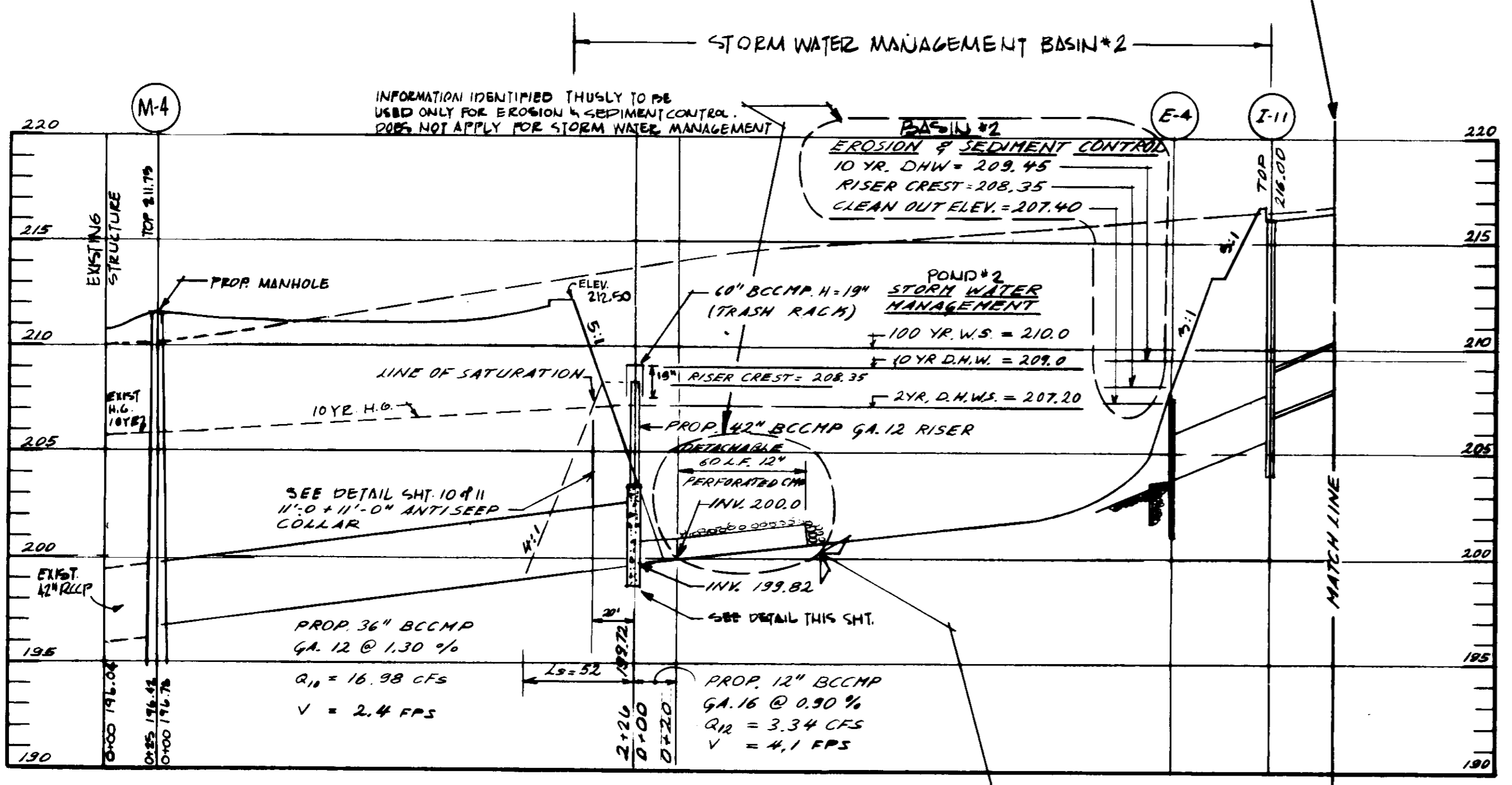


PROFILE

PROFILE

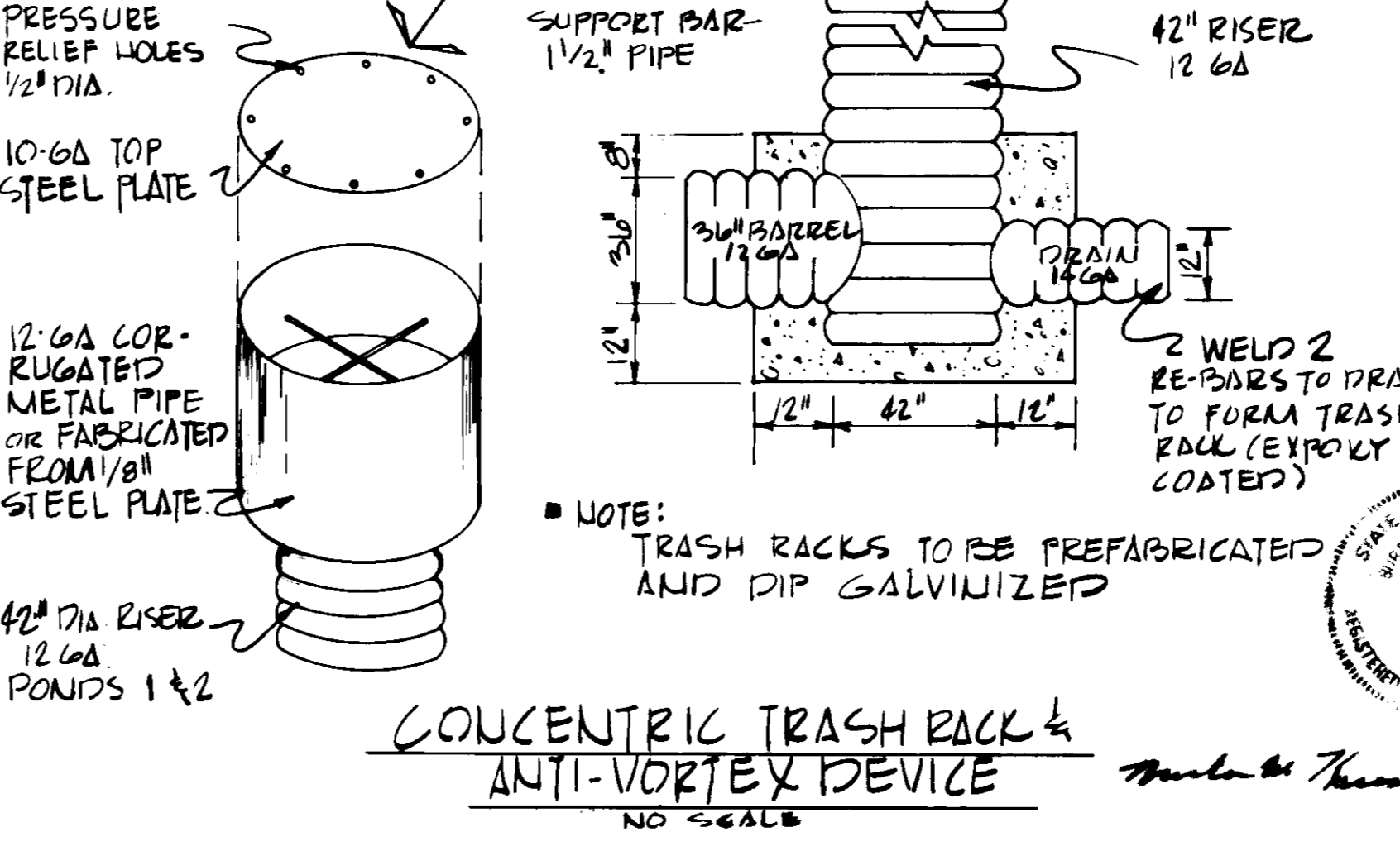
CONSTRUCTION SPECIFICATIONS (STORM WATER MANAGEMENT POND)

- SITE PREPARATION: The embankment area (fill) and borrow area shall be cleared and grubbed to remove all trees, vegetation, roots and other objectionable material. The topsoil from the embankment area and borrow area shall be removed and stockpiled, the topsoil shall be spread on the completed embankment.
- EARTH FILL:
  - Material: The fill material shall be obtained from the pond excavation, it shall be free from roots, stumps, wood, rubbish, oversized stones, frozen or other objectionable materials. The embankment shall be constructed to the elevations as shown on the plan to allow for anticipated settlement.
  - Placement: Areas on which fill is to be placed, shall be scarified prior to placement of fill. Fill material shall be placed in 6" max. thickness (before compaction) layers which are to be continuous over the entire length of the fill. The most porous borrow material shall be placed in the downstream portion of the embankment.
  - Compaction: The movement of the hauling and spreading equipment over the fill shall be controlled so that the entire surface of each lift shall be traversed by not less than one tread track of the equipment or compaction shall be achieved by a minimum of four (4) complete passes of a sheepsfoot roller. Fill material shall contain sufficient moisture so that it can be formed into a ball without crumbling.
- STRUCTURAL BACKFILL: Backfill material shall be of the type and quality conforming to that specified for the adjoining fill material. The fill shall be placed in horizontal layers not to exceed 4" in thickness and compacted by hand tamping or manually directed power tampers or plate vibrators. At no time during backfilling operations shall driven equipment be allowed to operate any closer than 4 feet measured horizontally to any part of the structure. Under no circumstances, shall the contractor drive equipment over any part of a concrete structure or pipe unless there is a compacted fill of 24" or greater over the structure or pipe.
- PIPE CONDUITS: Release Pipes - 36" S.C.C.M.P. Ga. 12 - Barrel and 42" B.C.C.M.P. Ga. 12 - Riser.
- CONCRETE: Concrete shall meet the minimum requirements set forth in the Maryland State Roads Commission Specifications for Materials, Highways, Bridges, and Incidental Structures, Article 20.07 (Portland Cement Mixture Class A-1 or P-1).
- The Contractor shall be responsible for ditches in the lake borrow area to provide drainage for fill material.
- Stabilization specification for areas flatter than 2:1 slope - see General Note #8 (Sheet 10 of 11) for erosion and sediment control.
- All Slopes 2:1 or steeper are to be stabilized with permanent slope seeding (See Note #9) and/or sod as soon as possible after grading operation.
- PERMANENT SLOPE SEEDING: Spreading 4" of Topsoil seed shall be a mixture of 30% inoculated crownvetch and 70% Kentucky 31 Tall Fescue applied at a rate of 60 lbs. per acre. Fertilizer of an analysis 10-10-10 shall be used and applied at a rate of 50 lbs. per 1,000 sq. ft. Uniformly mulch area with unweathered small grain straw (preferably wheat) at a rate of 1-1/2 T./Ac. Anchor with asphalt mulch tie down using liquid asphalt rapid curing (RC-70, RC-250 or RC-800) at a rate of 0.1 Gal./Sq. Yd.
- The Storm Water Management Facilities are Private and shall be maintained by the Owner. The Owner shall be responsible for all Constructions according to County standards.



PROFILE OF POND #2

NOTE:  
 THE CYLINDER MUST BE FIRMLY FASTENED TO TOP OF RISER BY WELDING SUPPORT PARS TO RISER OR ATTACHED BY STRAPS BOLTED TO TOP OF RISER. THE DEVICE SHOULD BE ASPHALT COATED OR PRIMED & PAINTED



NOTE:  
 TRASH RACKS TO BE PREFABRICATED AND DIP GALVANIZED

FOR EROSION & SEDIMENT CONTROL ONLY  
 (THIS PORTION OF 12\"/>

NOTE: CLEANOUT ELEVATION SHALL BE MARKED ON RISER WITH PAINT.

Japobrata Charab  
 REG # 8930 1-1-80

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEM  
 HOWARD COUNTY HEALTH DEPARTMENT  
 COUNTY HEALTH OFFICER  
 DATE 2-27-80

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING  
 PLANNING DIRECTOR  
 DATE 2-28-80

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE & STORM DRAINAGE SYSTEMS & ROADS  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIRECTOR  
 DATE 2-26-80

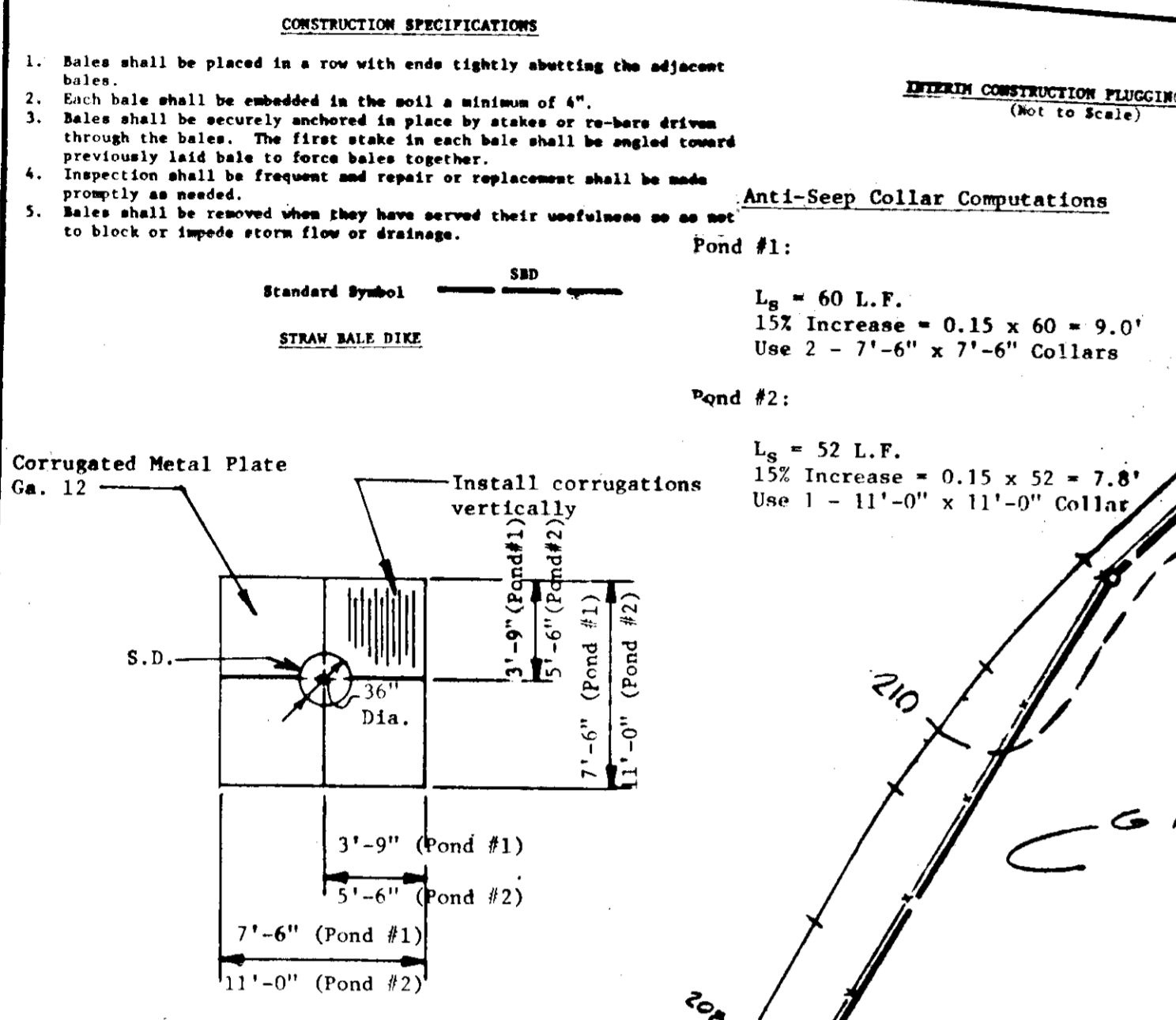
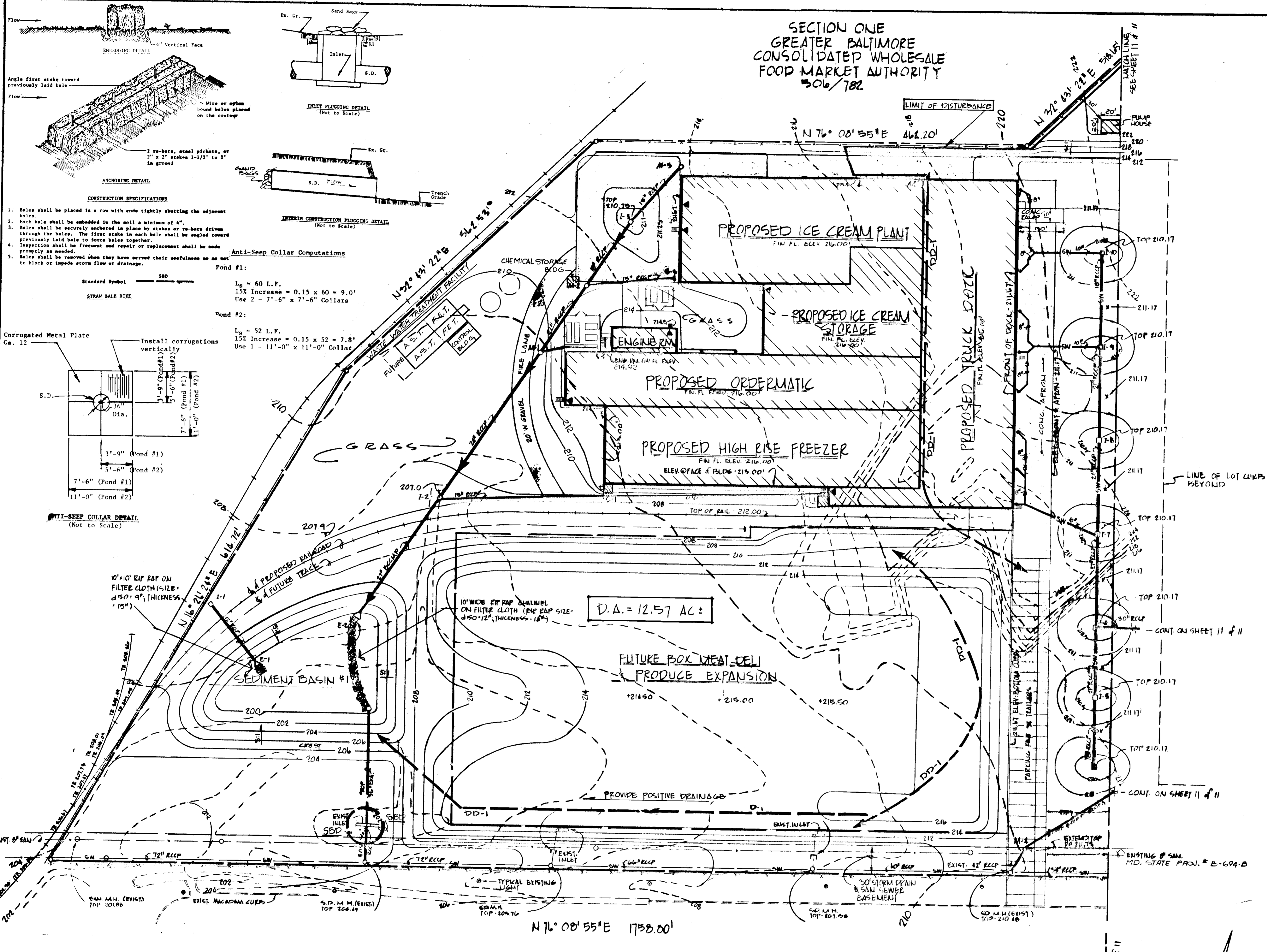
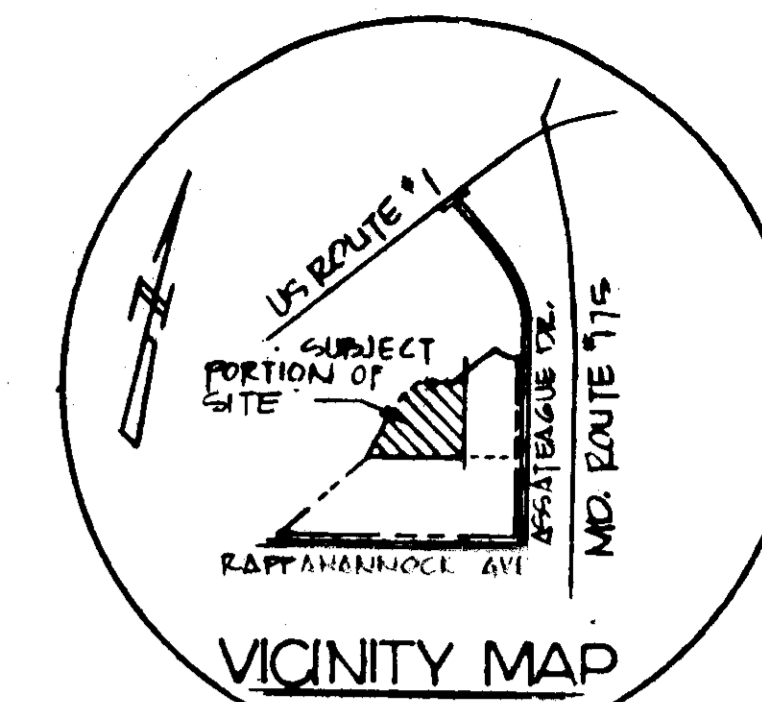
APPROVED: CHIEF OF BUREAU OF ENGINEERING  
 DATE 2-24-80

OWNER & DEVELOPER  
 GIANT FOOD INC.  
 P.O. BOX 1804  
 WASHINGTON, D.C. 20013

PREPARED BY  
 ST. ONGE, RUFF & ASSOCIATES, INC.  
 617 W. MARKET ST. YORK, PA. 17405

STORM DRAIN PROFILES  
 GIANT FOOD INC. ADDITION  
 GREATER BALTIMORE CONSOLIDATED  
 WHOLESALE FOOD MARKET  
 BLOCK 'A', SECTION 1, PARCEL 'A' & 'B'  
 BUILDING ADDITION TO APPROVED SDP-77-70  
 HOWARD CO. MD. ELECT. DIST. #6  
 SCALE: HORIZ. 1" = 50'-0" VERT. 1" = 5'-0"  
 OCTOBER 5, 1979  
 TAX MAP & PARCEL NUMBER 431611  
 SHEET 9 OF 11

SECTION ONE  
GREATER BALTIMORE  
CONSOLIDATED WHOLESALE  
FOOD MARKET AUTHORITY  
506/182



APPROVED: FOR PUBLIC WATER & SEWERAGE SYSTEM -  
HOWARD COUNTY HEALTH DEPARTMENT  
*John B. Rain* 2-27-80  
COUNTY HEALTH OFFICER DATE  
APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING  
*William J. Lewis* 2-28-80  
PLANNING DIRECTOR DATE  
APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, & STORM  
DRAINAGE SYSTEMS & ROADS,  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*Henry J. Nunnally* 2-26-80  
DIRECTOR DATE  
*William B. Rain* 2-28-80  
CHIEF OF BUREAU OF ENGINEERING DATE

- GENERAL NOTES FOR EROSION AND SEDIMENT CONTROL
1. Suitable material shall be used for fill and rolled to a minimum degree of compaction of 95% of the dry unit weight as determined by ASTM-698; all subgrade shall be compacted to the same degree.
  2. Contractor to place 4" topsoil then seed and mulch all disturbed areas, as soon as final grading has been completed.
  3. All work to be done in accordance with the "Standards and Specifications for the Soil and Sediment Control" in developing areas, July 1975.
  4. The Contractor is to take care at all times during construction to prevent sediment damage to adjacent properties and/or silting of roadways.
  5. During the layout of sediment control practices required by this plan, minor field adjustments can and will be made to assure the arrest and control of any sediment before it leaves the Construction Site. Changes to sediment control practices, as established by this plan, require prior approval of the Sediment Control Inspector and the Howard County Soil Conservation District.
  6. At the end of each working day, all sediment control practices will be inspected and left in an operational condition.
  7. Temporary drainage shall be provided to avoid ponding of water.
  8. Permanent Seeding Specifications: Seed shall be Kentucky 31 Tall Fescue applied at a rate of 5 lbs./1000 SF; lime shall be applied at a rate of 80 lbs./1000 SF; commercial fertilizer (10-10-10) at a rate of 3/4 T.A.; and uniformly mulch areas with unweathered small grain straw (preferably wheat) at a rate of 1 1/2 T. A.; and anchor with asphalt tie down using 1/2" galvanized steel pipe. (See Typical Detail Plugging.)
  9. Upper end of storm drain pipe will be plugged at the end of each working day, during construction. (See Typical Detail Plugging.)
  10. SEDIMENT CONTROL PRACTICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT POND PLANS & SPECIFICATIONS.

DD-1 DIVERSION DIKE  
SBD STRAW BALE DIKE

APPROVED  
DIVISION OF LAND DEVELOPMENT  
HOWARD COUNTY, MARYLAND  
1-21-80  
*William J. Lewis*

OWNER & DEVELOPER  
GIANT FOOD INC.  
P.O. BOX 1804  
WASHINGTON, D.C. 20015

PREPARED BY  
OF ONCE RUFF AND ASSOCIATES, INC.  
617 W. MARKET ST. YORK, PA. 17405

EROSION & SEDIMENT CONTROL PLAN  
GIANT FOOD INC. ADDITION  
GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET  
BLOCK 'A', SECTION 1, PARCEL 'A' BUILDING ADDITION  
TO PREVIOUSLY APPROVED SDP-77-70.  
HOWARD CO. MAP. ELEC. DIST. 16  
SCALE: 1"=50'-0" 11  
OCTOBER 5, 1979  
TAX MAP 3 PARCEL NO 45/611 SHEET 10 of 11  
SDP-80-56

HOWARD SOIL CONSERVATION DISTRICT  
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT  
*John B. Rain* 2-20-80  
APPROVED HOWARD SOIL CONSERVATION DISTRICT  
REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS  
*William J. Lewis* 2-20-80  
BY THE UNITED STATES SOIL CONSERVATION DISTRICT SERVICE

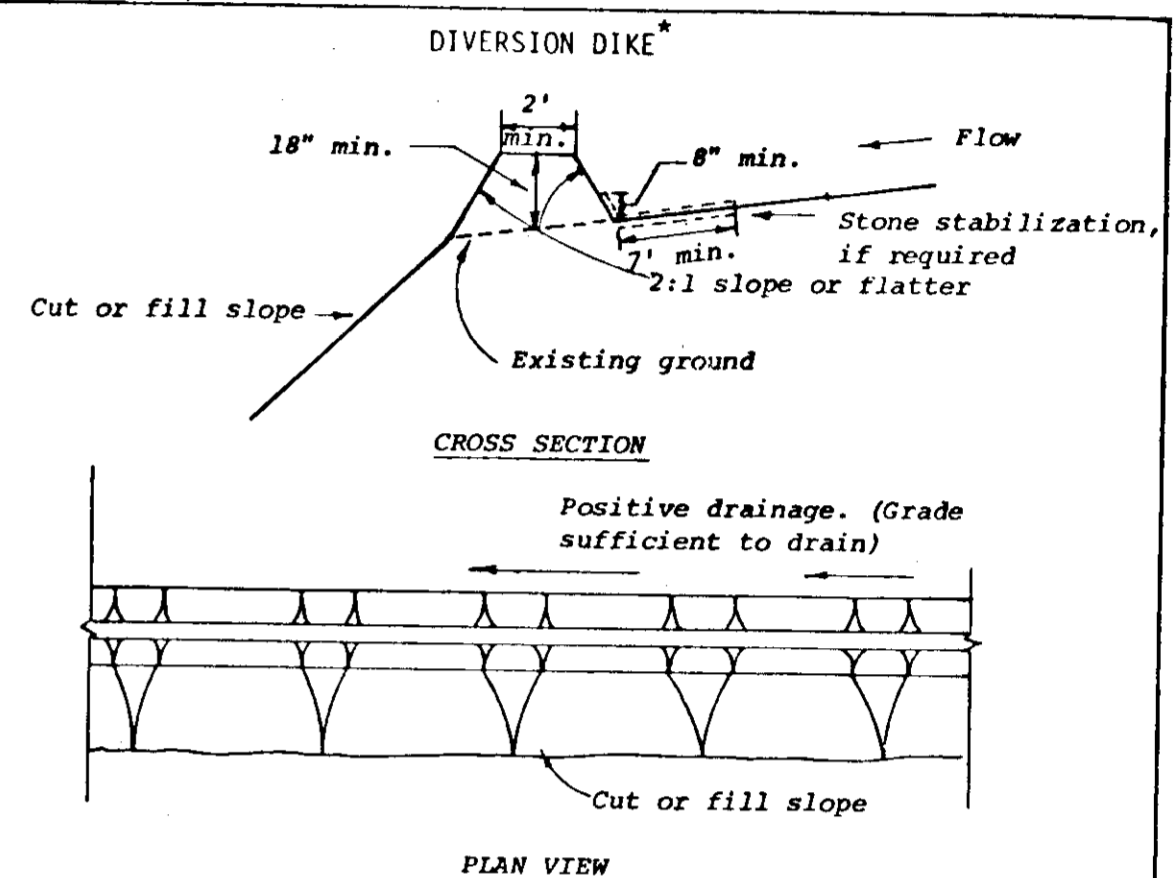
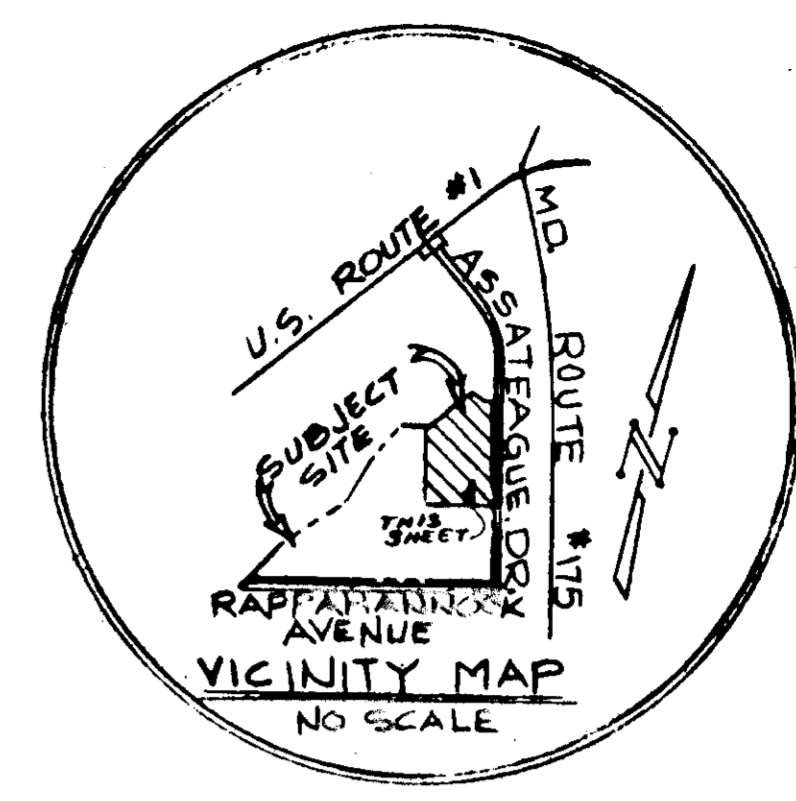
ENGINEER'S CERTIFICATE  
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN, BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.  
*John B. Rain* 2-20-80  
REGISTERED PROFESSIONAL ENGINEER  
NO. 8930

DEVELOPER'S CERTIFICATE  
I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND I ALSO AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR BY THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY.  
*William B. Rain* 2-5-80  
REGISTERED PROFESSIONAL ENGINEER  
NO. 8930

APPROVED  
DIVISION OF DEVELOPMENT

1-21-80  
JUM

SECTION ONE  
GREATER BALTIMORE  
CONSOLIDATED WHOLESALE  
FOOD MARKET AUTHORITY  
506782

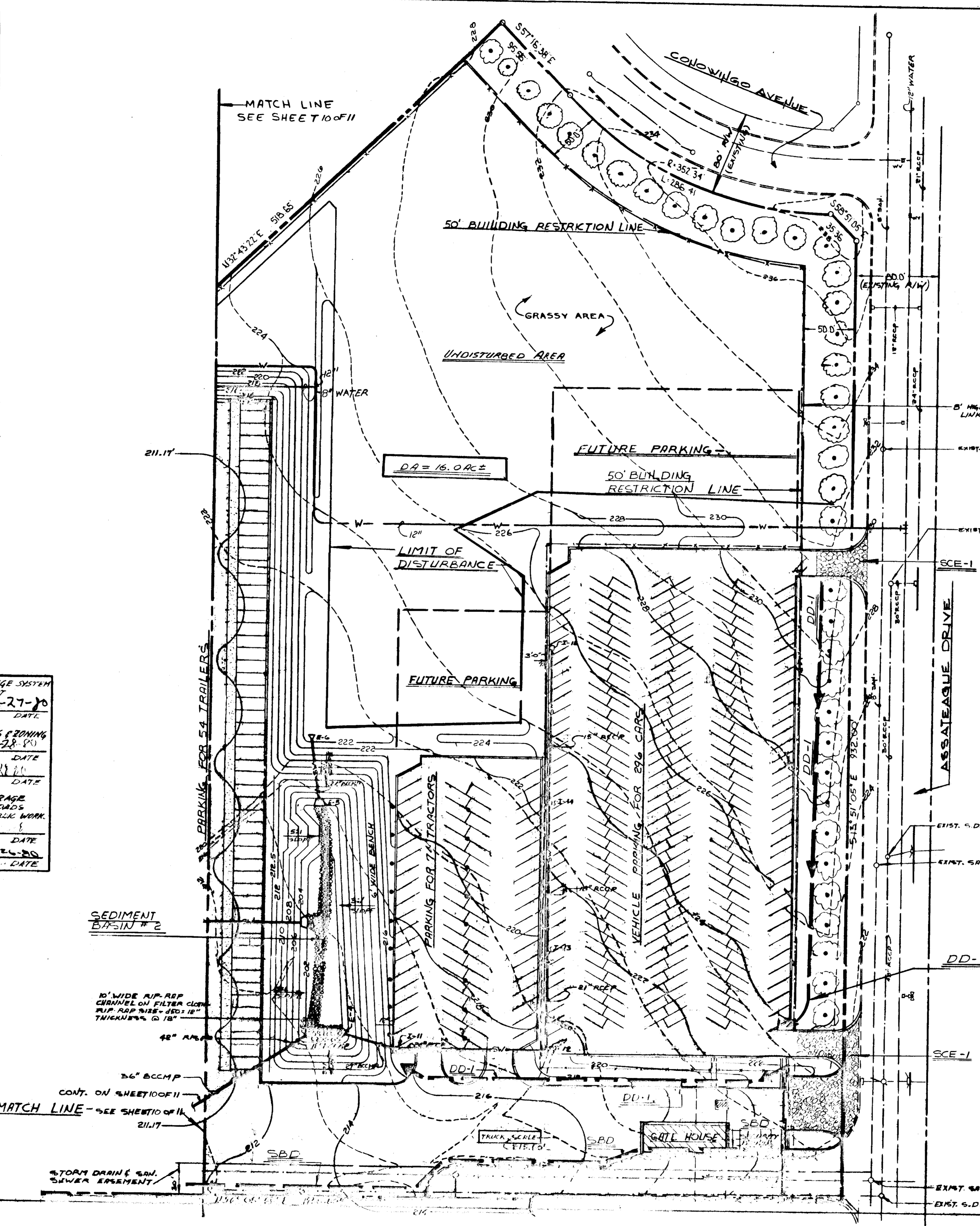
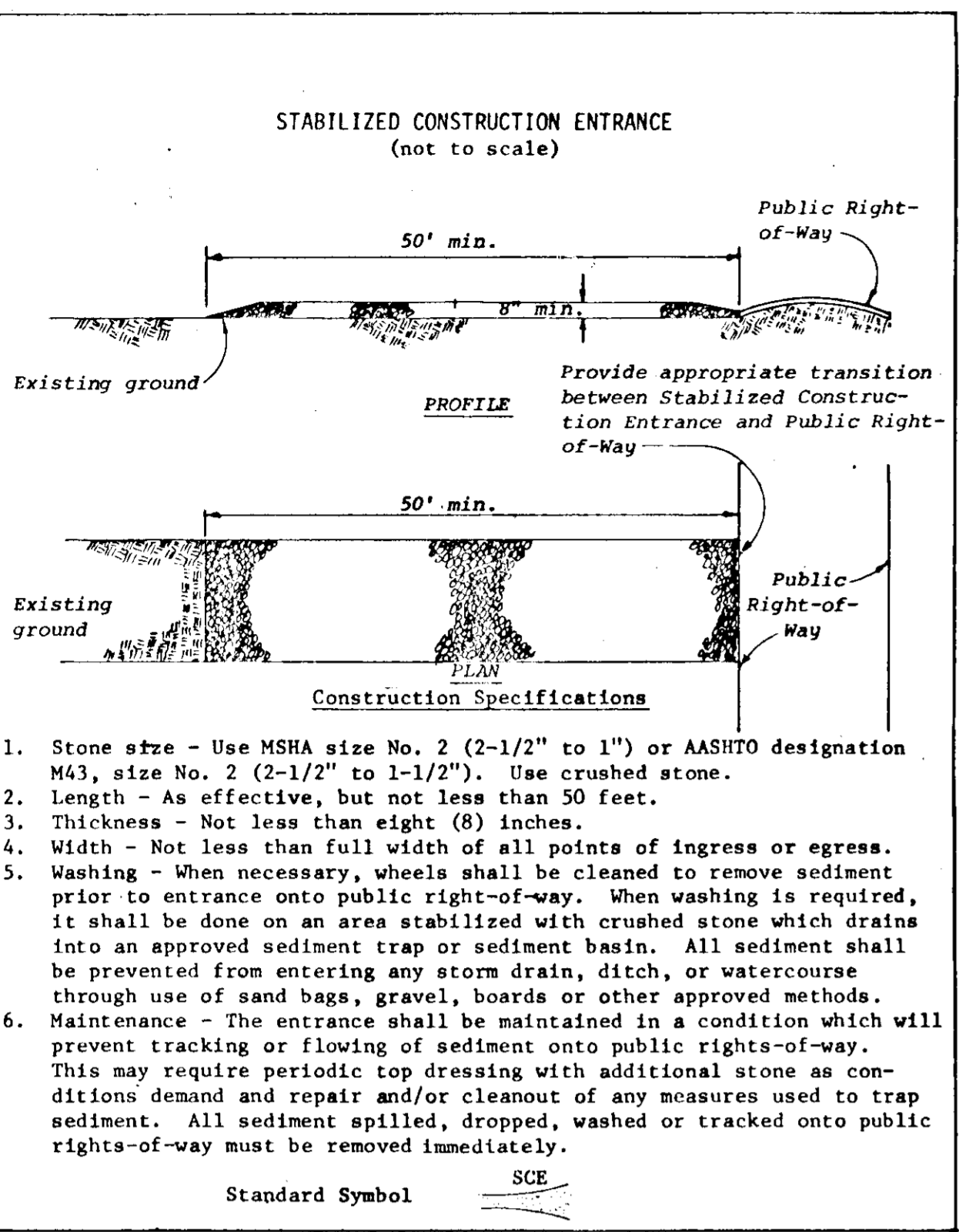


- Construction Specifications.
- All dikes shall be machine compacted.
  - All diversion dikes shall have positive drainage to an outlet.
  - A. Diverted runoff from a protected or stabilized area shall outlet directly to an undisturbed stabilized area or into a level spreader or grade stabilization structure.  
B. Diverted runoff from a disturbed or exposed upland area shall be conveyed to a sediment trapping device such as a sediment trap or a sediment basin or to an area protected by any of these practices.
  - Stabilization, as specified by the plans, shall be: (1) in accordance with Standard and Specifications for Grassed Waterway, and the area to be stabilized shall be the channel (flow area); or (2) the flow area shall be lined with stone that meets MSHA size No. 2 or AASHTO M43 size No. 2 or 24 which is placed in a 3 inch thick layer and pressed into the soil. The area covered by the stone shall be as shown on the drawing above.
  - Periodic inspection and required maintenance shall be provided.

- CONSTRUCTION SEQUENCE
- Notify Howard County Department of Inspections and Permits Inspector prior to starting any work.
  - Install stabilized construction entrance.
  - Install diversion dikes and straw bale dikes.
  - Install all drainage systems; plug inlets as required.
  - Construct sediment basins.
  - Start major grading maintaining positive drainage to sediment control facilities.
  - Place sub-base materials on parking, drive, and building areas as soon as possible.
  - Stabilize all areas outside of building and paving areas with 4" topsoil, permanent seeding, and mulch.
  - Clean out sediment basin and stabilize before converting it to storm water management; stabilize according to General Note No. 8.
  - Remove temporary plugs from inlets.
  - Remove temporary sediment control measures and stabilize those areas after obtaining permission from the Sediment Control Inspector.

PREPARED BY  
**ST. ONGE, RUFF & ASSOCIATES, INC.**  
617 W. MARKET ST. YORK, PA 17405  
OWNER / DEVELOPER **GIANT FOOD INC.**  
PO. BOX 1804  
WASHINGTON, D.C. 20013

**EROSION AND SEDIMENT CONTROL PLAN**  
**GIANT FOOD INC. ADDITION**  
GREATER BALTIMORE CONSOLIDATED  
WHOLESALE FOOD MARKET  
BLOCK 'A', SECTION 2, PARCEL 17A  
BUILDING ADDITION TO APPROVED SDD-77-70  
HOWARD CO MD ELEC. DIST. #6  
SCALE: 1"=50' OCT. 5, 1979  
TAX MAP & PARCEL NUMBERS #43/611  
SHEET 11 OF 11



APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEM  
HOWARD COUNTY HEALTH DEPARTMENT  
DATE: 2-27-80

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING  
PLANNING DIRECTOR  
DATE: 2-28-80

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE  
& STORM DRAINAGE SYSTEMS & ROADS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
DIRECTOR  
DATE: 2-26-80

**DEVELOPER'S CERTIFICATE**  
I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND I ALSO AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR BY THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY.

Albert J. Lebeck Jr.  
2-5-80

**HOWARD SOIL CONSERVATION DISTRICT**  
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

2-20-80

**ENGINEER'S CERTIFICATE**  
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN, BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

2-7-80