

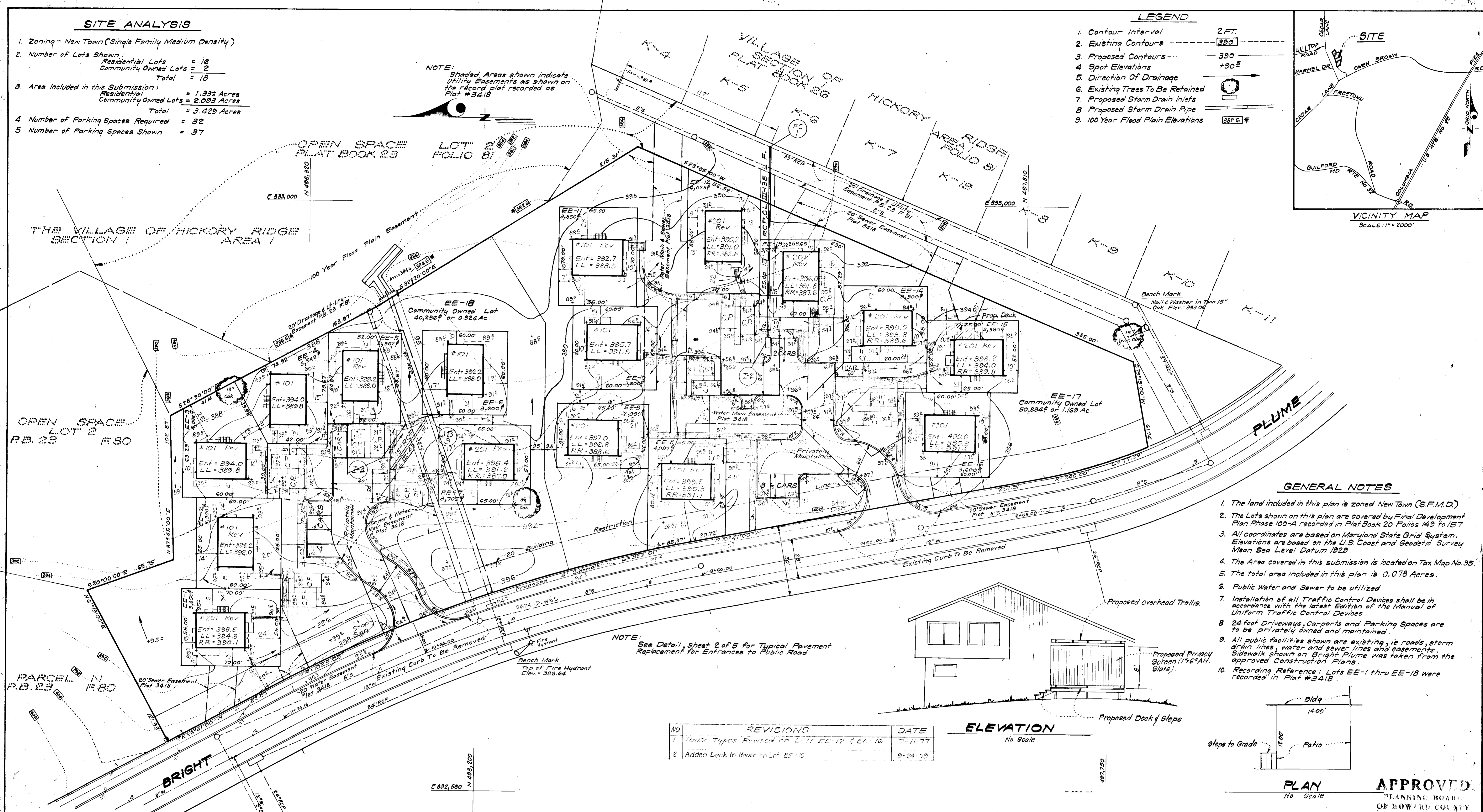
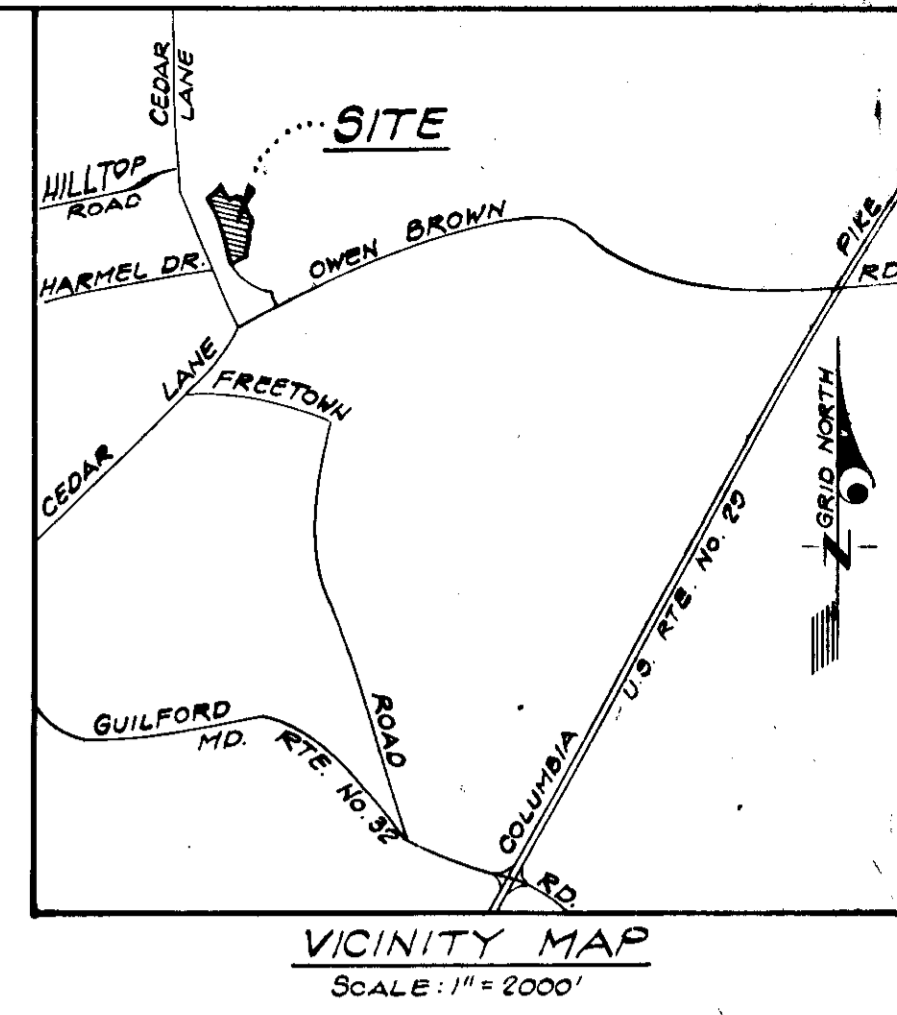
SITE ANALYSIS

1. Zoning - New Town (Single Family Medium Density)
2. Number of Lots Shown:
Residential Lots = 16
Community Owned Lots = 2
Total = 18
3. Area Included in this Submission:
Residential = 1.336 Acres
Community Owned Lots = 2.033 Acres
Total = 3.429 Acres
4. Number of Parking Spaces Required = 32
5. Number of Parking Spaces Shown = 37

NOTE: Shaded Areas shown indicate Utility Easements as shown on the record plat recorded as Plat #3418

LEGEND

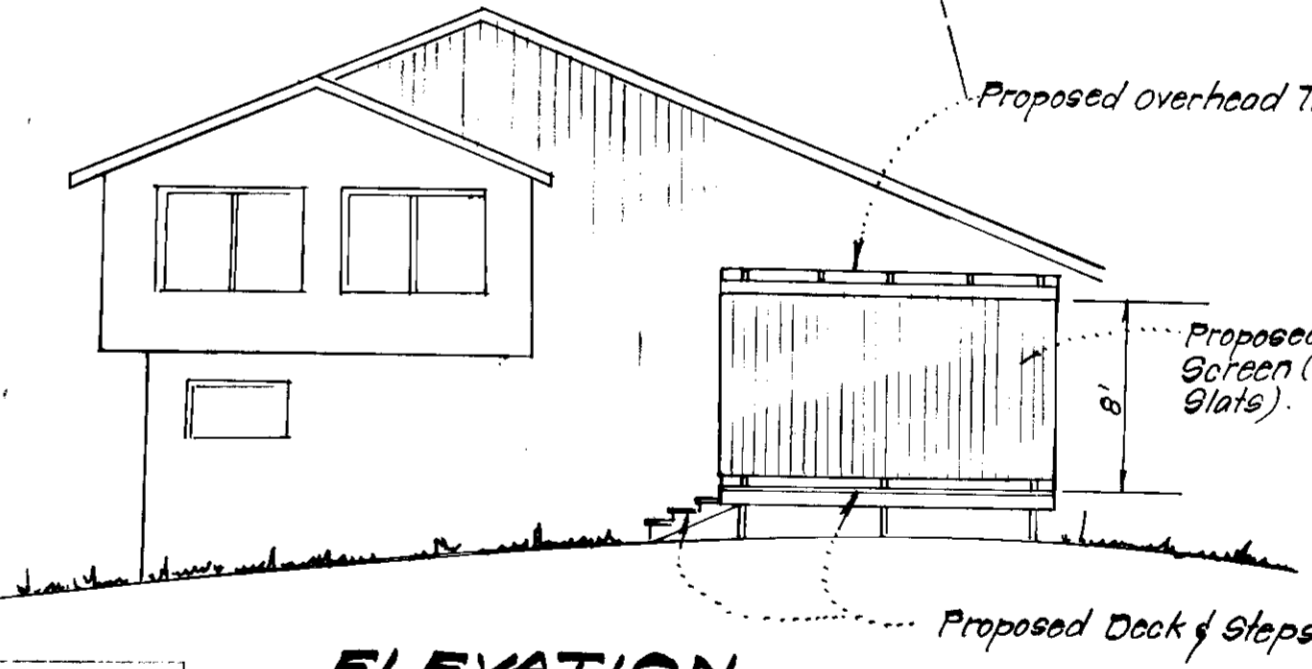
1. Contour Interval 2 FT.
2. Existing Contours 390
3. Proposed Contours 390
4. Spot Elevations +90.5
5. Direction of Drainage
6. Existing Trees To Be Retained
7. Proposed Storm Drain Inlets
8. Proposed Storm Drain Pipe
9. 100 Year Flood Plain Elevations 382.6



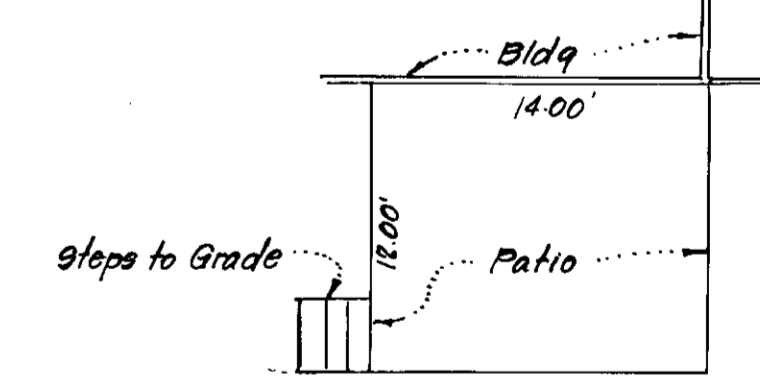
GENERAL NOTES

1. The land included in this plan is zoned New Town (S.F.M.D.)
2. The Lots shown on this plan are covered by Final Development Plan Phase 100-A recorded in Plat Book 20 Folios 149 to 157
3. All coordinates are based on Maryland State Grid System. Elevations are based on the U.S. Coast and Geodetic Survey Mean Sea Level Datum 1929.
4. The Area covered in this submission is located on Tax Map No. 95
5. The total area included in this plan is 0.078 Acres.
6. Public Water and Sewer to be utilized
7. Installation of all Traffic Control Devices shall be in accordance with the latest Edition of the Manual of Uniform Traffic Control Devices.
8. 24 foot Driveways, Carports and Parking Spaces are to be privately owned and maintained.
9. All public facilities shown are existing, i.e. roads, storm drain lines, water and sewer lines and easements. Sidewalk shown on Bright Plume was taken from the approved Construction Plans.
10. Recording Reference: Lots EE-1 thru EE-18 were recorded in Plat #3418.

NOTE: See Detail, Sheet 2 of 5 for Typical Pavement Replacement for Entrances to Public Road



NO.	REVISIONS	DATE
1	House Types Revised on Lots EE-10 & EE-16	7-11-77
2	Added Deck to House on Lot EE-15	9-24-79



APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: 10-24-79

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER _____ DATE _____

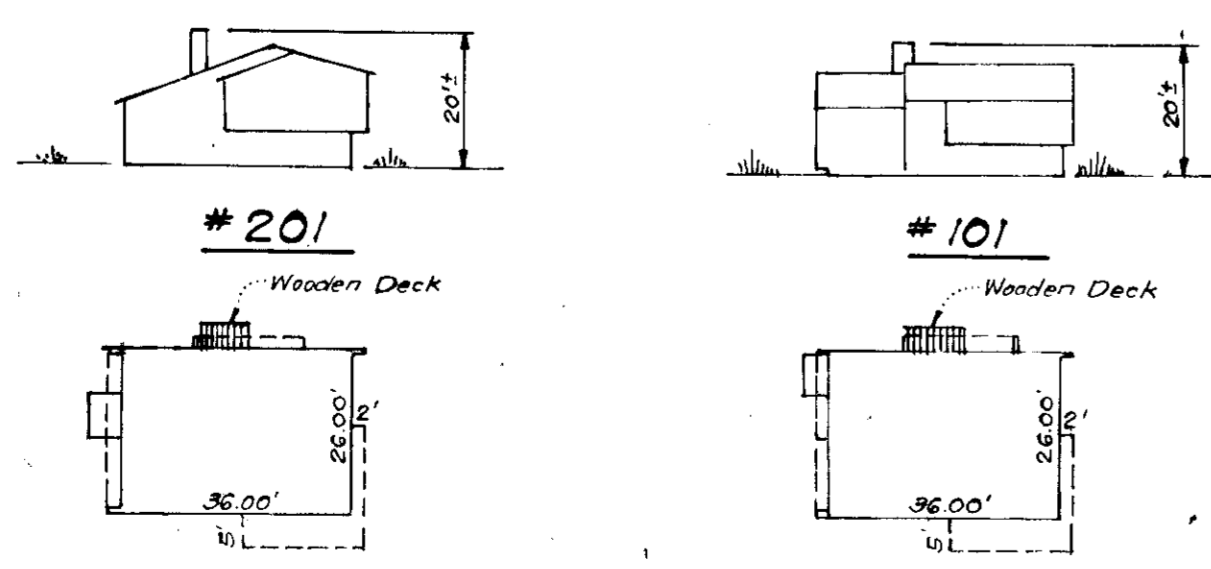
APPROVED FOR HOWARD COUNTY OFFICE OF PLANNING & ZONING

PLANNING DIRECTOR _____ DATE _____

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

DATE: 11-1-79

Allen J. Brown 10/31/79



SURVEYOR'S CERTIFICATE

I hereby certify that the information contained hereon is the same as shown on previously approved S.D.P. 7708-C, with the following exception:

1. Added Deck to house on Lot EE-15

I further certify that the Sediment & Erosion control measures as previously approved, will not be affected, the grading is substantially the same as originally approved, the building setbacks comply with R.D.P. Phase 100-A and the lot has the same geometric configuration as shown on the respective recorded subdivision plat.

9/24/79 Date

Donald B. Sackett
DONALD B. SACKETT
Registered Land Surveyor
Md. No. 6059

CLARK • FINEFROCK & SACKETT
ENGINEERS • PLANNERS • SURVEYORS

11310 LOCKWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 593-3400

DESIGNED DBS	REVISED SITE DEVELOPMENT PLAN LOT EE-15 A RESUBDIVISION OF PARCELS L&M	SCALE 1" = 30'
DRAWN KWC	COLUMBIA	DRAWING 10/1
CHECKED DBS	THE VILLAGE OF HICKORY RIDGE SECTION I AREA I	JOB NO.
DATE July, 1978	5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	FILE NO. 1203-X

OWNER: Mr. & Mrs. Allan Cohen
6361 Bright Plume
Columbia, Maryland, 21045

S.D.P. 80-48-C