

CONSTRUCTION SEQUENCE

1. INSTALL PERIMETER DIKE & EROSION CONTROL DEVICES & STRUCTURES
2. EXCAVATE FOR FOUNDATIONS AND DRIVE GRADE
3. ERECT STRUCTURES DRIVEWAY & SIDEWALKS
4. FINAL GRADE AND STABILIZE IN ACCORDANCE W/ GENERAL NOTE C.

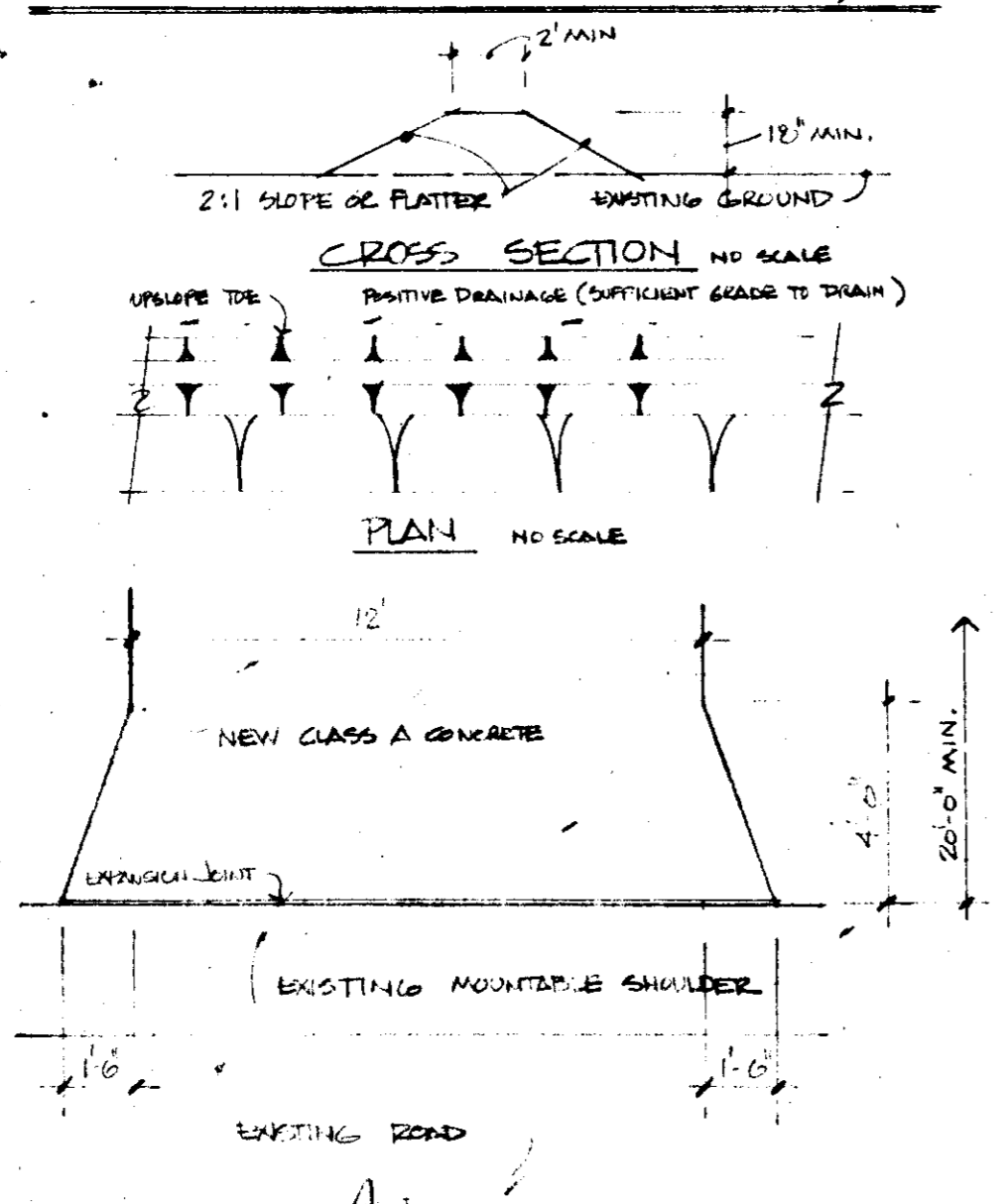
GENERAL NOTES

1. EROSION PREVENTION SHALL BE OBTAINED PRIOR TO INSTALLATION OF SEDIMENT CONTROL
2. ALL EROSION CONTROL MEASURES WILL BE INSTALLED AND STABILIZED ACCORDING TO THIS PLAN PRIOR TO ANY OTHER GRADING, CLEANING OR DISTURBANCE OF SITE.
3. NOTIFY THE BUREAU OF INSPECTIONS & PERMITS 24 HRS. BEFORE STARTING WORK.
4. ALL SEDIMENT CONTROL PRACTICES TO CONFORM TO THE STANDARDS & SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DISTURBED AREAS & ADJACENT WATERSHEDS.
5. STABILIZATION OF DISTURBED AREAS TO BE DONE AS SOON AFTER CONSTRUCTION AS POSSIBLE.
6. ALL GRASSING SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
 - A. SEED - CERTIFIED 95% GERMINATION APPLIED AT THE RATE OF 200 LBS/1000 SF
 - B. MIXTURE: 40% BENTONIC GRASS, 20% CHAMBERLAIN PEGLE, 20% KENTUCKY 31, 20% ANNUAL RYE.
 - C. FERTILIZER: 10-10-10 APPLIED AT RATE OF 25 LBS/1000 SF.
 - D. COVERED ADDITIONAL LIME OR DYNAMIC LIME APPLIED AT A RATE OF 40 LBS/1000 SF.
 - E. MULCH - WOOD PELLETS OR STRAW APPLIED AT A RATE OF 40 LBS/1000 SF. MULCH SHALL BE SECURED TO THE GROUND BY ANY APPROVED METHOD (E.G. ASPHALT TACKS, CHEMICAL BINDER, ETC.). ALL SOIL LEAD SHALL BE ANALYZED AND TESTED.
7. ALL SEDIMENT CONTROL MEASURES ARE TO REMAIN IN PLACE UNTIL PERMANENT VEGETATION HAS BEEN OBTAINED FROM BUREAU OF E & P
8. ON-SITE INSPECTION AND MAINTENANCE OF THE SEDIMENT CONTROL MEASURES, INCLUDING CLEAN OUT OF SEDIMENT TRAPS & DIBBS AND PROPER REESTABLISHMENT OF ALL PLANNED VEGETATION MEASURES WILL BE THE RESPONSIBILITY OF THE DEVELOPER OR HIS REPRESENTATIVE ON THE SITE, FROM DAY TO DAY BASIS.
9. IT WILL BE THE DEVELOPER'S RESPONSIBILITY TO PROVIDE ADDITIONAL SEDIMENT & EROSION CONTROL DEVICES TO PROTECT STABILIZED AREAS DURING CONSTRUCTION.
10. THE CONTRACTOR SHALL KEEP ALL PUBLIC ROADS FREE OF SEDIMENT DEPOSITS LEFT FROM TRAFFIC LEAVING CONSTRUCTION SITES.
11. STABILIZED CONSTRUCTION ENTRANCES SHALL BE PLACED AT THE CONSTRUCTION ENTRANCES.
12. TOTAL AMOUNT OF STRAW BALES SHOWN = 15 LF
13. THE LAND INCLUDED IS ZONED "NEW TOWN" S.F.L.D.
14. THE LOT SHOWN IS LOCATED ON TAX MAP # 25.
15. ALL ROADWAYS ARE PAVED & EXISTING.
16. ANY DAMAGES TO COUNTY OWNED RIGHTS OF WAY OR PAVING SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSES.

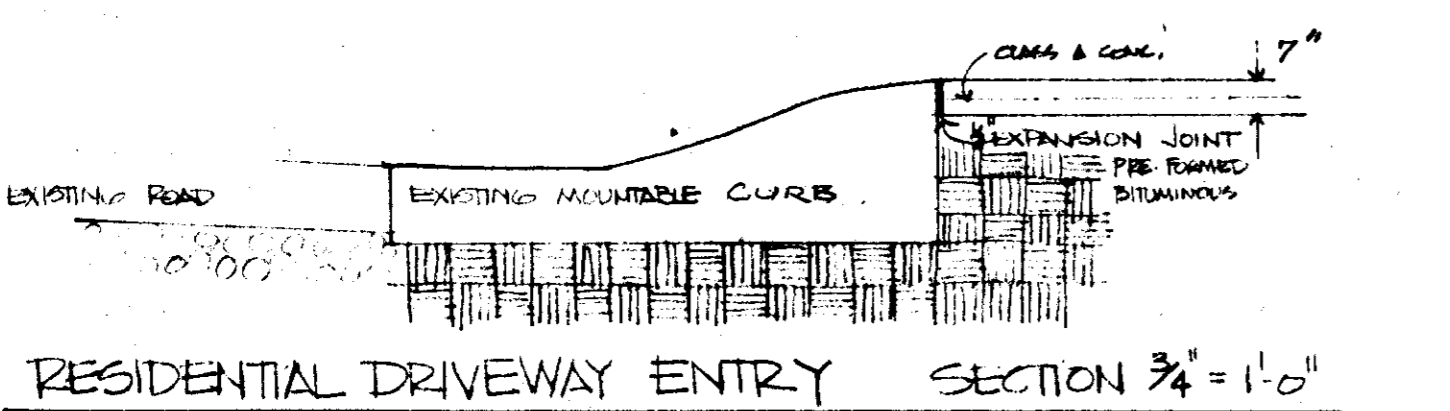
ENTRANCE NOTES:

1. STABILIZED CONSTRUCTION ENTRANCE SHALL BE MIN. 50' LONG, 15' WIDE AND 8" DEEP.
2. STONE SIZE SHALL BE MESH SIZE NO. 2 (2 1/2" x 1") OR AASHTO DESIGNATION M43, SIZE NO. 2 (2 1/2" x 1"). USE CRUSHED STONE.
3. ENTRANCE SHALL BE REPAIRED OR TOP DRESSED PERIODICALLY AS REQUIRED.

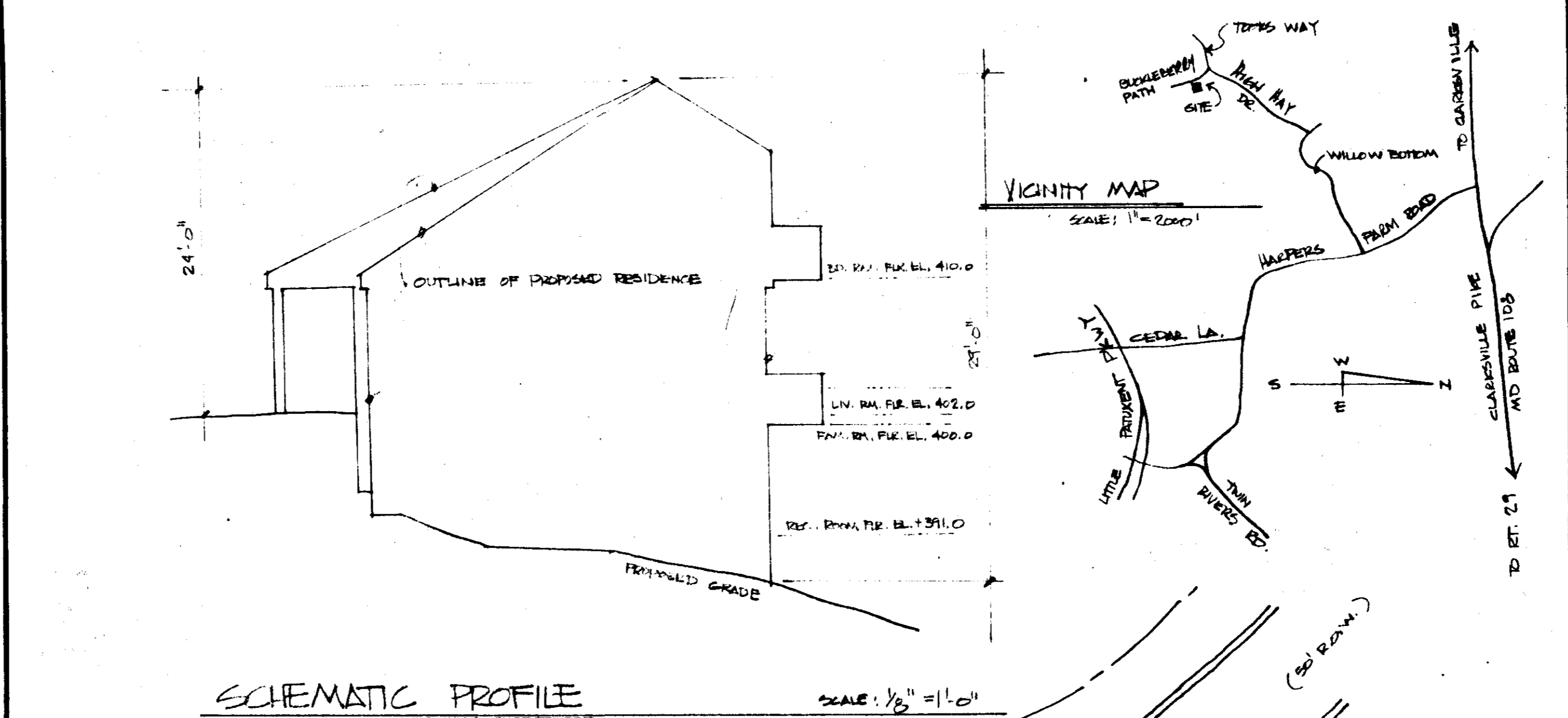
PERIMETER DIKE DETAIL (PD)



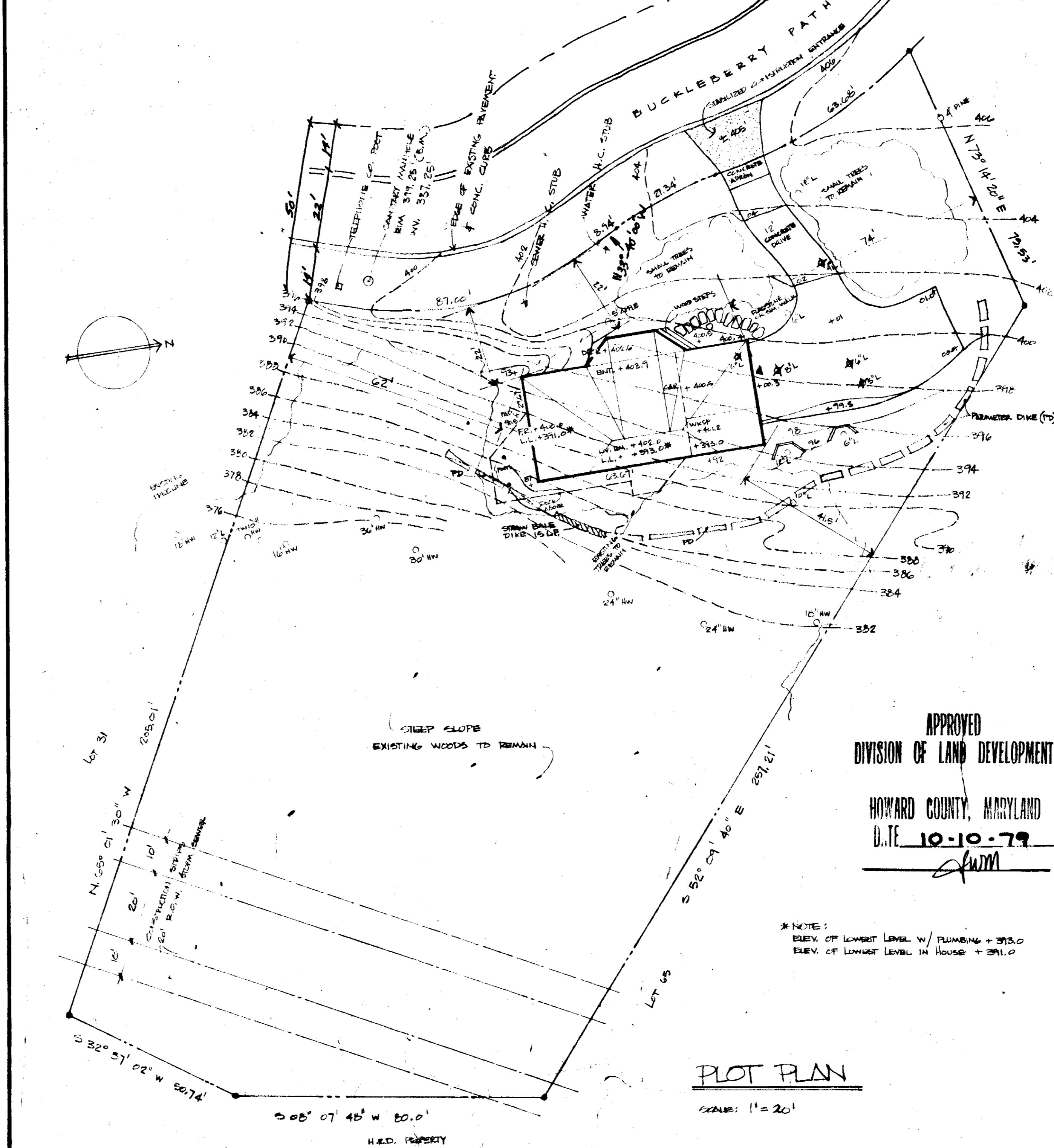
PLAN SCALE: 1/4" = 1'-0"



RESIDENTIAL DRIVEWAY ENTRY SECTION 3/4" = 1'-0"



SCHMATIC PROFILE SCALE: 1/8" = 1'-0"



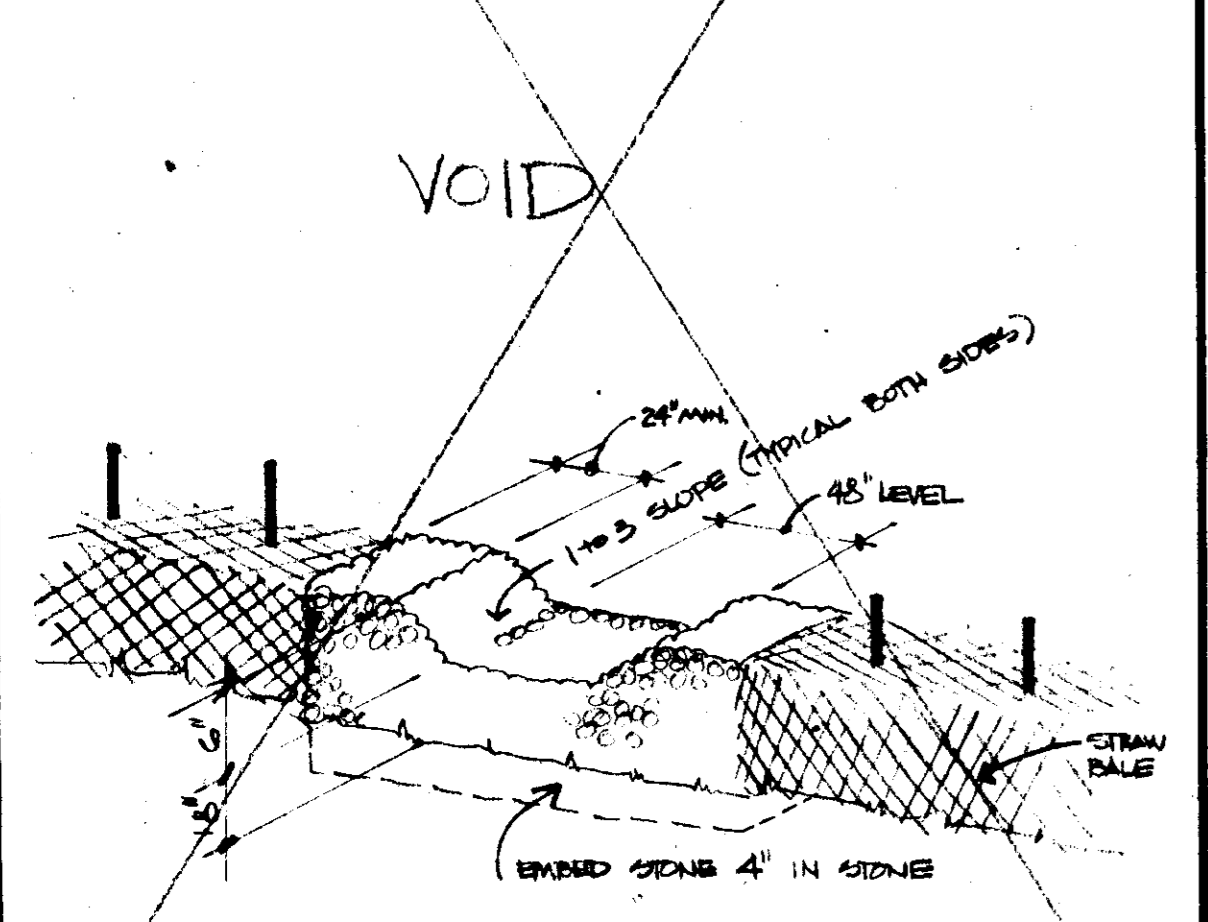
APPROVED
DIVISION OF LAND DEVELOPMENT
HOWARD COUNTY, MARYLAND
D.T.E. 10-10-79

PLOT PLAN SCALE: 1" = 20'

*NOTE:
ELEV. OF LOWEST LEVEL W/ PLUMBING = 393.0
ELEV. OF LOWEST LEVEL IN HOUSE = 391.0

STONE OUTLET NOTES:

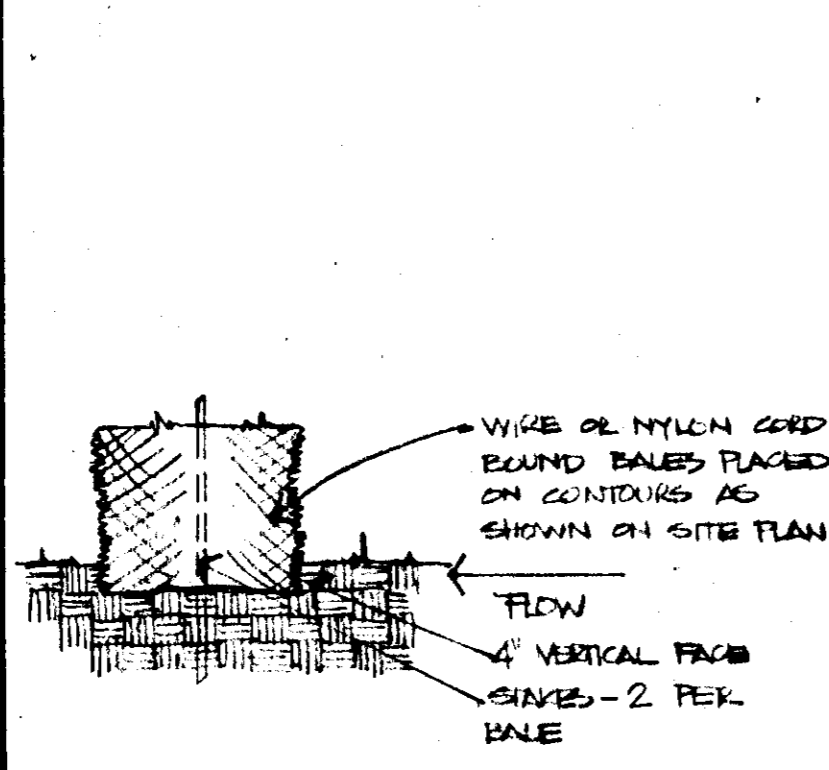
1. STONE SHALL BE CRUSHED STONE OR GRAVEL. STONE SHALL MEET MESH SIZE # 2 OR AASHTO DESIGNATION M43 SIZE # 2 OF 24
2. CREST OF DIKE SHALL BE MIN. 6" LOWER THAN TOP OF DIKE AND SHALL BE LEVEL.
3. DIKE TO BE A MIN. OF 24" WIDE AT TOP.
4. ERECT STRUCTURE MIN. 4" AND SOIL
5. STONE OUTLET STRUCTURE SHALL BE INSPECTED PERIODICALLY AND REPAIRED IF SILED UP.



STONE OUTLET STRUCTURE NO SCALE

STRAW BALE DIKE NOTES:

1. BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY BUTTED.
2. EACH BALE SHALL BE EMBEDDED IN SOIL A MIN. OF 4" - SEE DETAIL BELOW.
3. SECURELY ANCHOR BALES IN PLACE BY WOOD STRIKES OR REE BARS DRIVEN THROUGH BALES. THE FIRST STRIKE IN EACH BALE SHALL BE ANGLED TOWARD PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
4. INSPECT DIKE PERIODICALLY FOR DAMAGE AND REPAIR OR REPLACE BALES AS NEEDED.
5. REMOVE DIKE COMPLETELY UPON COMPLETION OF WORK.



STRAW BALE IMBEDDING NO SCALE

I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR SOIL EROSION AND SEDIMENT CONTROL, AND I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

OWNER: Stephen P. Duffy
DATE: 9/11/79

ARCHITECT: Robert I. Kaplan
DATE: 10 October 1979

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND METS TECHNICAL REQUIREMENTS.
DATE: 10/24/79

APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
DATE: 10-24-79

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS & ROADS.
DATE: 11-1-79

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
DATE: 11/1/79

APPROVED FOR PLANNING AND ZONING.
DATE: 11-6-79

APPROVED FOR DIVISION OF LAND DEVELOPMENT.
DATE: 11-7-79

CITE ANALYSIS	
SITE AREA	59,557 .98 ACRES
ZONING	SINGLE FAMILY LOW DENSITY NEW TOWN DISTRICT FINAL DEVELOPMENT PLAN # 130-A
FLOOR AREA	LOWER LEVEL 1596 sq ft FIRST FLOOR 1596 sq ft SECOND FLOOR 576 sq ft
PERMITS	REQUIRED 2 SPACES PROVIDED 2 SPACES (INCLUDING 2 CAR SPACES)

SITE INFORMATION: COLUMBIA, VILLAGES OF HARPERS CHOICE SECTION 2, AREA 4, LOT 66
ELECTION DISTRICT 3
TITLE REFERENCE: LIBER WITH 463, FOLIO 158, TAX MAP NO. PLAT 393B

OWNER: MR & MRS. STEPHEN DUFFY
5234 RACCOON COURT
COLUMBIA, MD 21045

ARCHITECT: ROBERT I. KAPLAN AND ASSOCIATES
2410 LEAF TREEMER WAY
COLUMBIA, MARYLAND 21044

