

**SITE ANALYSIS:**

- Zoning: New Town (Employment Center Commercial)
- Area: 5.425 Acres
- Number of Parking Spaces Required: 208 (4 per 1000 sq. ft. of gross leasable area)
- Number of Parking Spaces Provided: 222
- Building Coverage shown: (13% = 306,000 sq. ft.)
- Topography and boundary compiled from actual field survey.
- Parcel "D-1" is recorded as Plat 4358
- Parcel "D-1" is located on Tax Map #30, Parcel #71.
- Public Water and Sewer to be utilized.
- All Building Setback restrictions comply with those set forth in Final Development Plan Phase 43-A-1 Recorded as Plat Book 3054A-85 thru 83.
- All roadways and parking to be privately owned and maintained.
- Installation of All Traffic Control Devices shall be in accordance with the 1971 Edition of Manual of Uniform Traffic Control Devices.

19. Initial use 22000 sq. ft. Gross leasable area = 1824 sq. ft. (Unit 1935) = 50613 sq. ft. (4 spaces per 1000 sq. ft.) = 202 parking spaces

20. Initial provided parking spaces - current req. parking spaces (222 - 202 = 20) extra parking spaces provided.

21. Gross leasable area of unit #226 (personnel services) = 1887 sq. ft. (# spaces/1000 sq. ft.) = 7 spaces

**GENERAL NOTES:**

- All materials and construction to be in accordance with the Howard County Road Construction Code and Specifications.
  - Water House connection shall be installed in accordance with Contract # 2203-DW6S.
  - Any damage to county owned rights of way shall be corrected at the developer's expense.
  - All coordinates are based on the Maryland State Grid System. Elevations on the U.S. Coast and Geodetic Survey Mean Sea Level Datum of 1929.
  - All downspout drains shall be handled by one of the following methods:
    - Downspout to splash blocks and discharged to ground having good percolation.
    - Downspout piped to curb.
    - Downspout connected to storm drain.
  - The developer agrees to work with the Department of Licenses and Inspections to resolve any problems caused by roof water discharge.
- \* See Sheet 4 of 4 for On-Site Sewer Profile and Notes.

**POND CONSTRUCTION SPECIFICATIONS:**

- SITE PREPARATION:**  
Areas under the embankment and any structural works shall be cleared, grubbed and topsoil stripped to remove all trees, vegetation, roots, or other objectionable material. In order to facilitate clean out and restoration, it is recommended that the pool area be cleared of all brush and trees.
- EARTH FILL AND STRUCTURAL BACKFILL:**  
Construction of earth fill and structural backfill shall be in accordance with applicable sections of the Howard County Road Construction Code and Standard Specifications.
- CONCRETE:**  
Concrete shall meet minimum requirements set forth in Maryland State Roads Commission Specifications For Materials, Highways, Bridges, and Incidental Structures, Article 20.07 (Portland Cement Concrete Mixtures).
- STABILIZATION:**  
All exposed surfaces of the embankment, spillway and borrow areas shall be stabilized by seeding and straw mulch in accordance with "Standards and Specifications For Soil Erosion and Sediment Control in Developing Areas" immediately after finish grading. All borrow areas shall be graded to provide proper drainage and left in a slightly condition. All slopes exceeding 3:1 shall be stabilized with Crown vetch, applied at a rate of 34.16/1000 sq. ft. and in accordance with the above mentioned Standards and Specifications.
- PIPE CONDUITS:**  
All materials and construction shall be in accordance with the Howard County Road Construction Code and Specifications.

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

James Helms, U.S. Soil Conservation Service, 11-6-79 Date

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

County Health Officer: *John F. ...* 4-28-80 DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING

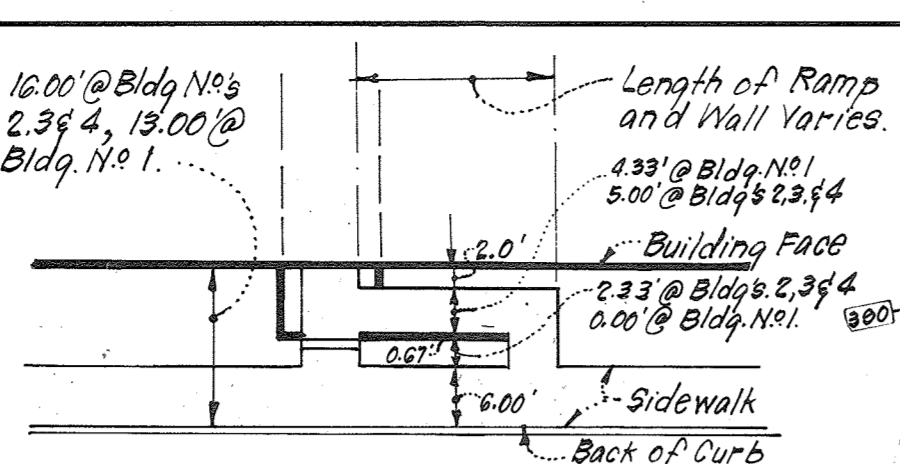
Planning Director: *...* 4-30-80 DATE

Chief Division of Land Development: *...* 4-28-80 DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

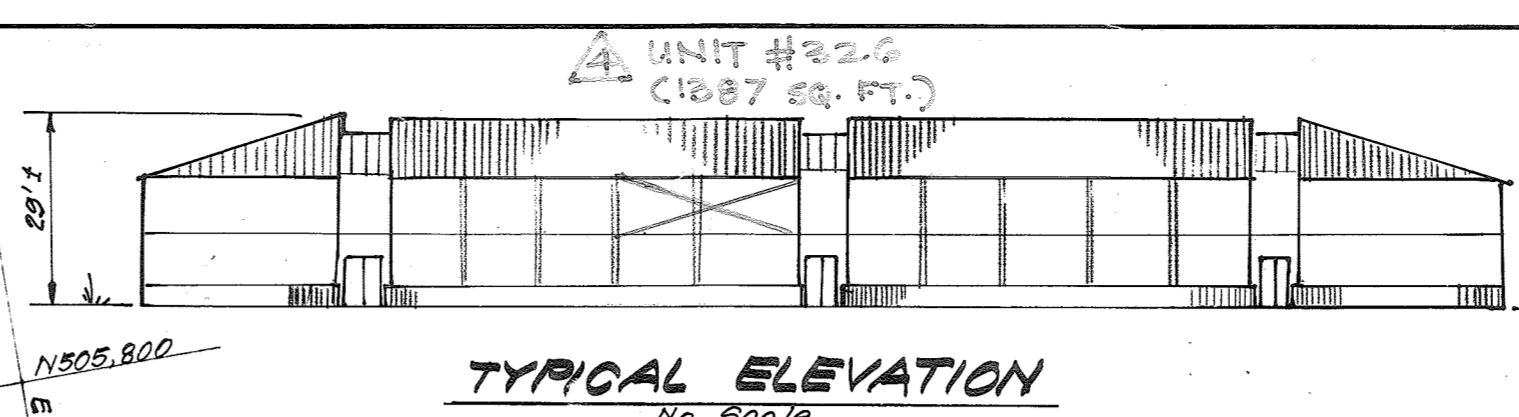
Director: *...* 4-25-80 DATE

Chief Bureau of Engineering: *...* 4-25-80 DATE



**TYPICAL ENTRY WITH STEPS AND RAMP**  
No Scale

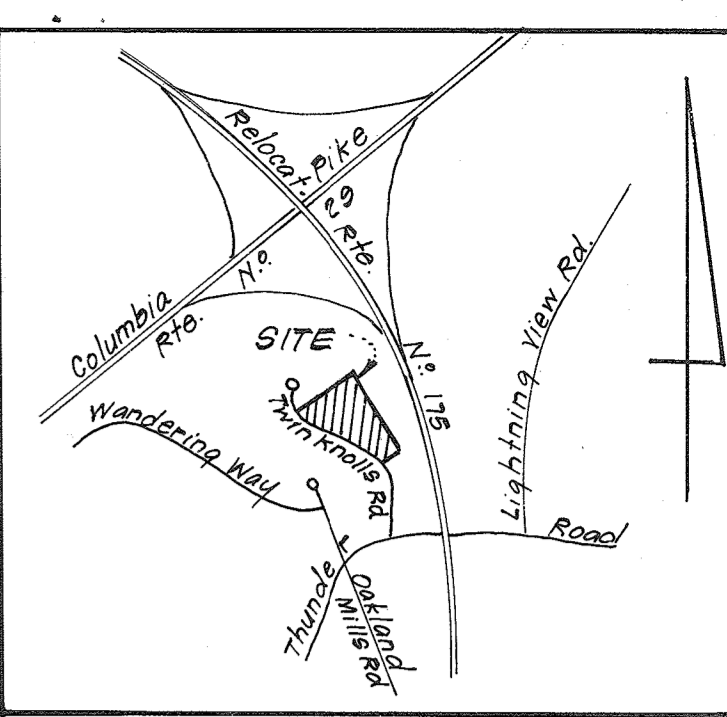
WALL NO. 2 EXISTING WALL TO BE REPLACED WITH NEW WALL OF SAME LENGTH & HEIGHT



**TYPICAL ELEVATION**  
No Scale

**LEGEND:**

1. Contour Interval	2 Ft.
2. Existing Contour	--- 070 ---
3. Prop. Contour	--- 370 ---
4. Spot Elevation	+70.2
5. Direction of Drainage	→
6. Ex. Storm Drain	—□—
7. Proposed Storm Drain	—□—
8. Existing Water Line	—○—
9. Existing Sewer Line	—○—
10. Retaining Wall	—□—
12. Storm Drain (Under Constr.)	—□—

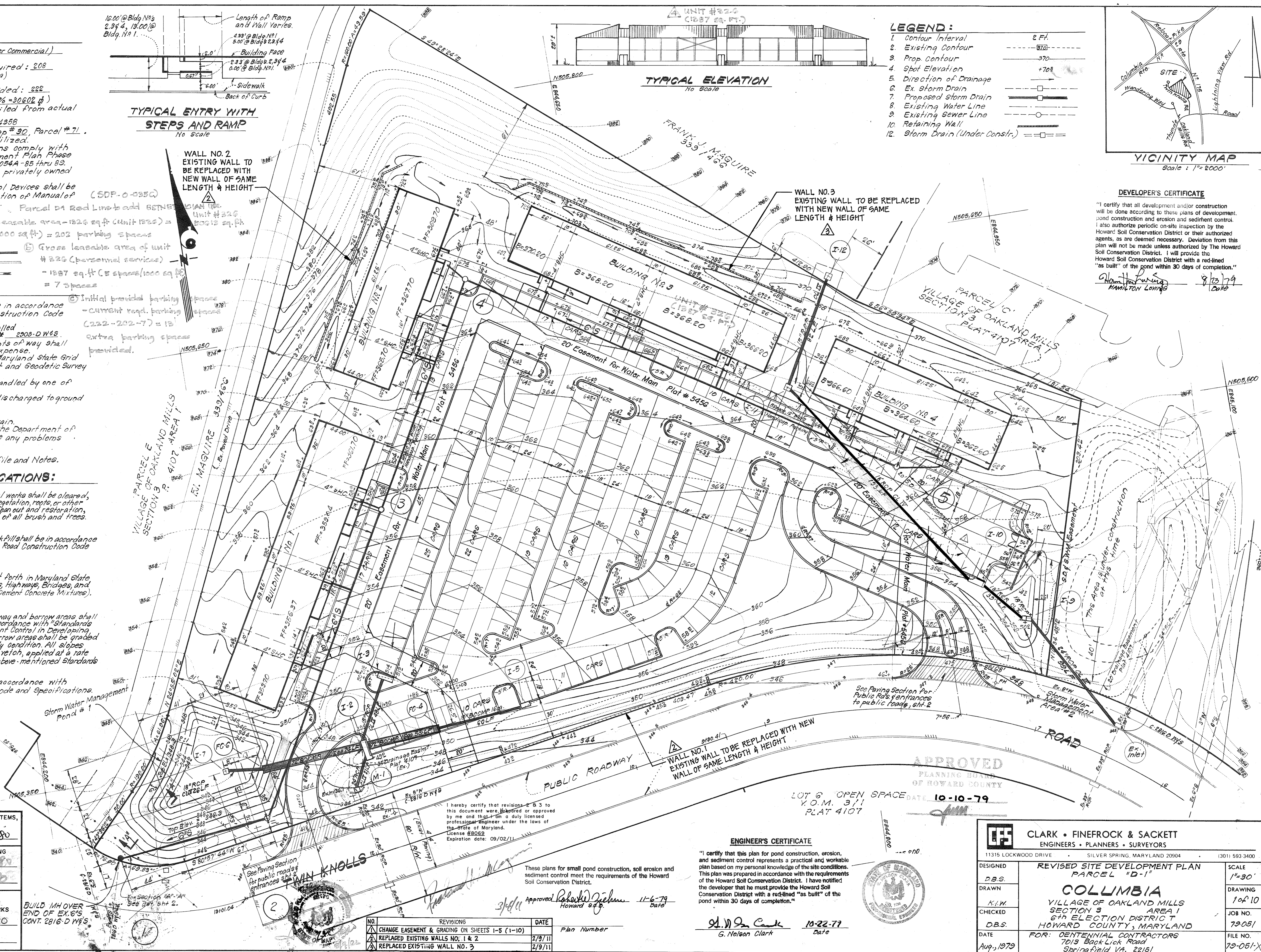


**VICINITY MAP**  
Scale: 1" = 2000'

**DEVELOPER'S CERTIFICATE**

"I certify that all development and/or construction will be done according to these plans of development, pond construction and erosion and sediment control. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary. Deviation from this plan will not be made unless authorized by The Howard Soil Conservation District. I will provide the Howard Soil Conservation District with a red-lined "as built" of the pond within 30 days of completion."

Hamilton Loring, 8/13/79 Date



I hereby certify that revisions 2 & 3 to this document were prepared or approved by me and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
License #8063  
Expiration date: 09/02/11

These plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

**ENGINEER'S CERTIFICATE**

"I certify that this plan for pond construction, erosion, and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he must provide the Howard Soil Conservation District with a red-lined "as built" of the pond within 30 days of completion."

G. Nelson Clark, 10-22-77 Date

APPROVED  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE 10-10-79

**CLARK • FINEPROCK & SACKETT**  
ENGINEERS • PLANNERS • SURVEYORS  
11315 LOCKWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 593-3400

DESIGNED: D.B.S.  
DRAWN: K.W.  
CHECKED: D.B.S.  
DATE: Aug. 1979

**REVISED SITE DEVELOPMENT PLAN**  
PARCEL "D-1"  
**COLUMBIA**  
VILLAGE OF OAKLAND MILLS  
SECTION 3 AREA 1  
6th ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

FOR: CENTENNIAL CONTRACTORS  
7013 Backlick Road  
Springfield VA, 22151

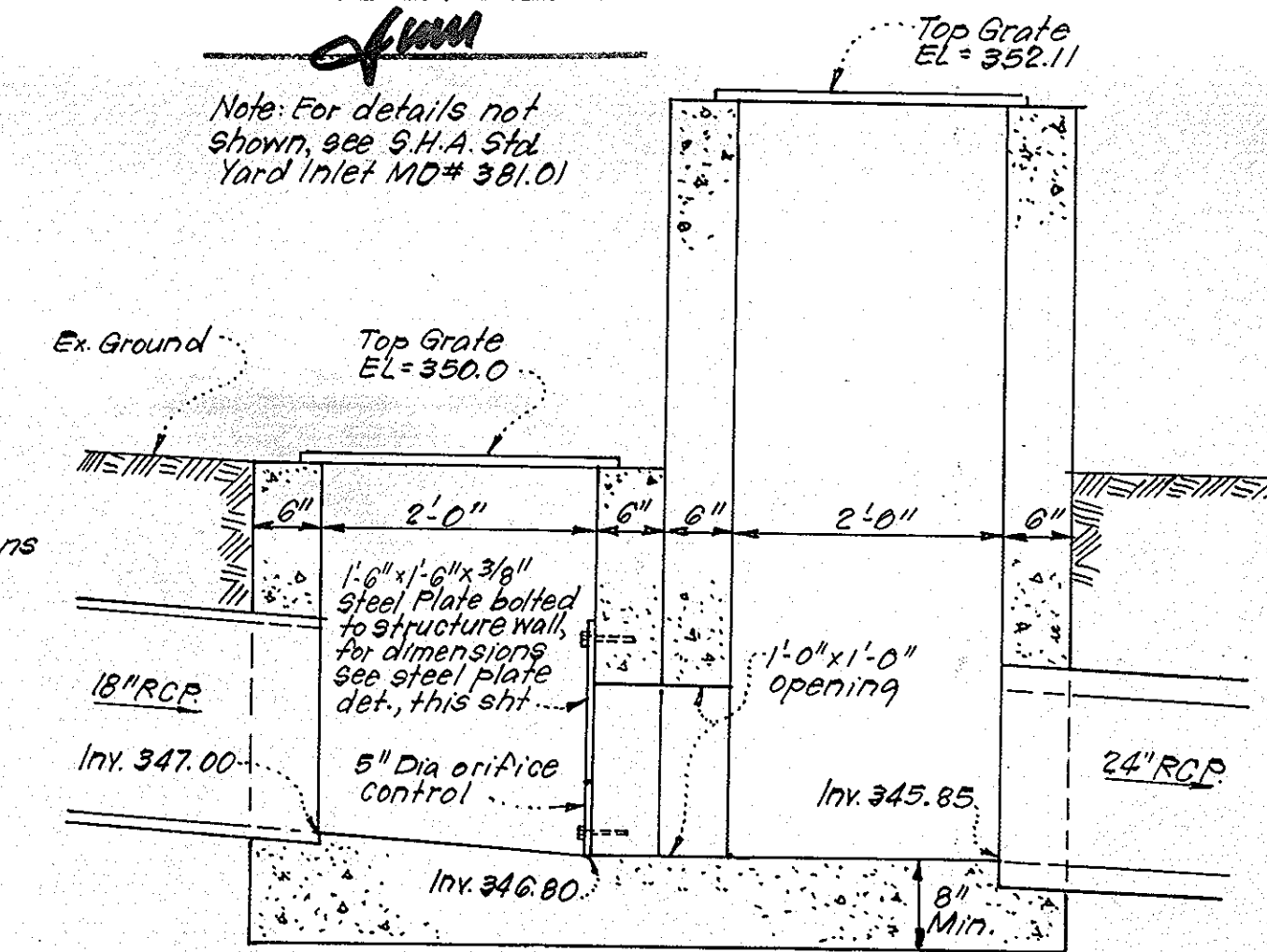
SCALE: 1" = 30'  
DRAWING: 10A-10  
JOB NO.: 79-051  
FILE NO.: 79-051-X

NO.	REVISIONS	DATE
1	CHANGE EASEMENT & GRADING ON SHEETS 1-5 (1-10)	2/9/11
2	REPLACED EXISTING WALLS NO. 1 & 2	2/9/11
3	REPLACED EXISTING WALL NO. 3	2/9/11

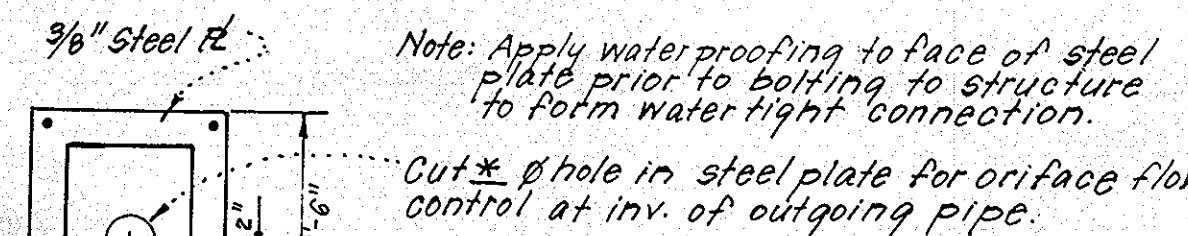
DATE 10-10-79

of *plan*

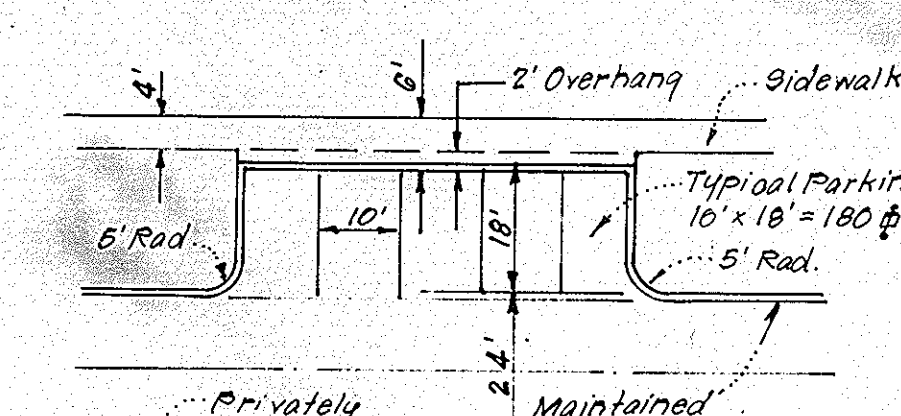
Note: For details not shown, see S.H.A. Std. Yard Inlet MD# 381.01



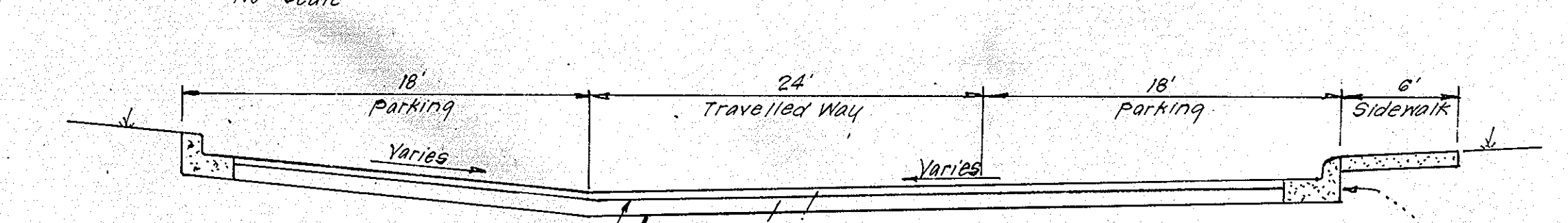
SPECIAL STRUCTURE NO. I-9  
No SCALE



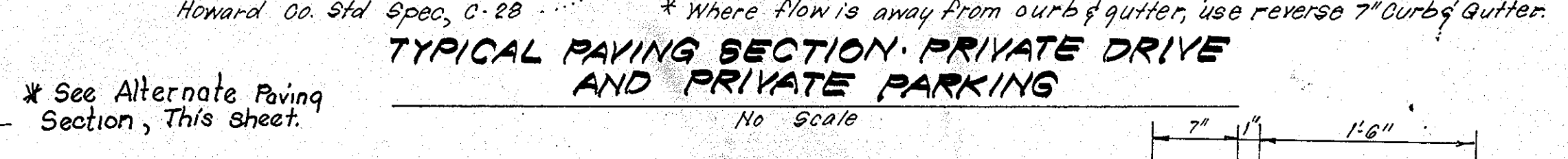
STEEL PLATE DETAIL  
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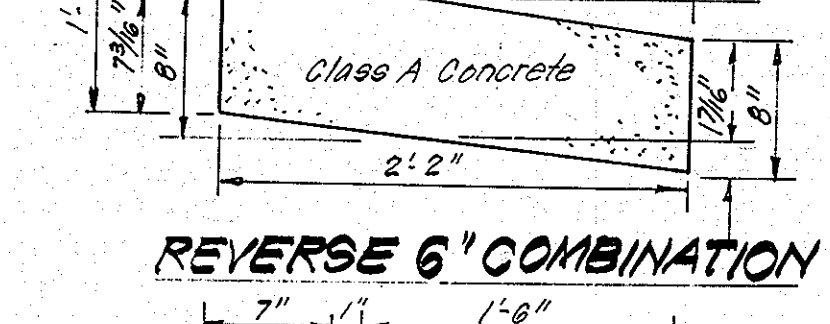
TYPICAL PARKING  
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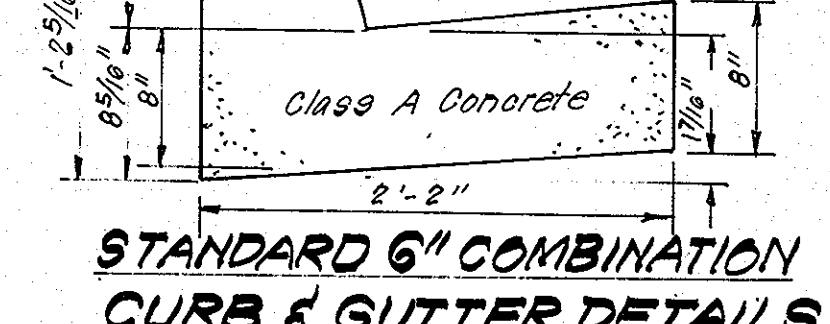
TYPICAL PAVING SECTION - PRIVATE DRIVE AND PRIVATE PARKING  
No Scale



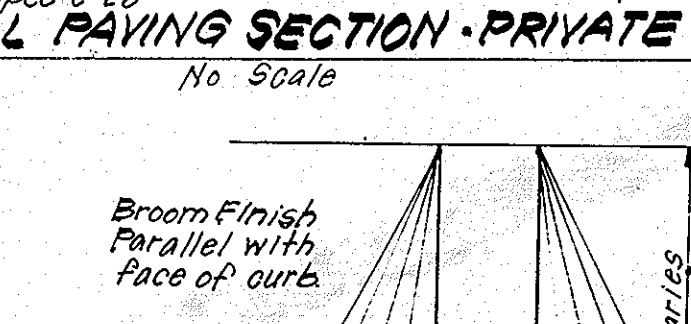
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No Scale



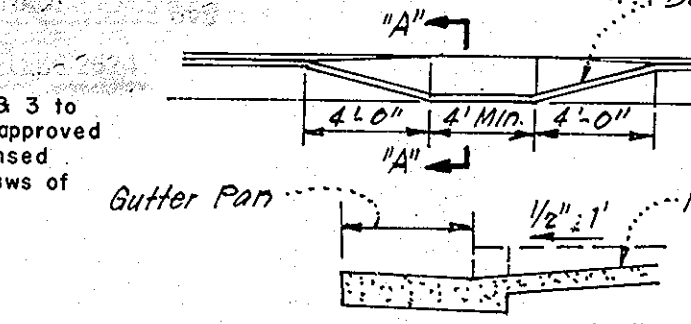
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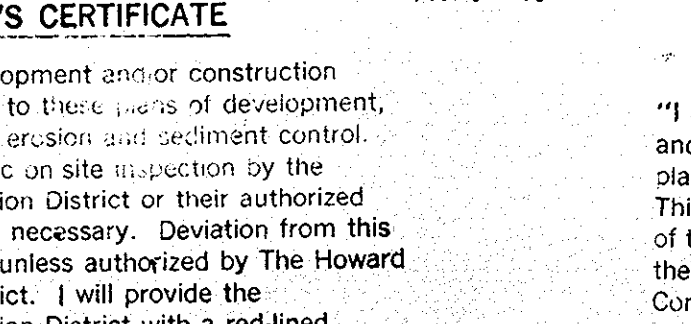
STANDARD 6" COMBINATION CURB & GUTTER DETAILS  
No Scale



TYPICAL RETAINING WALL DETAIL  
No Scale

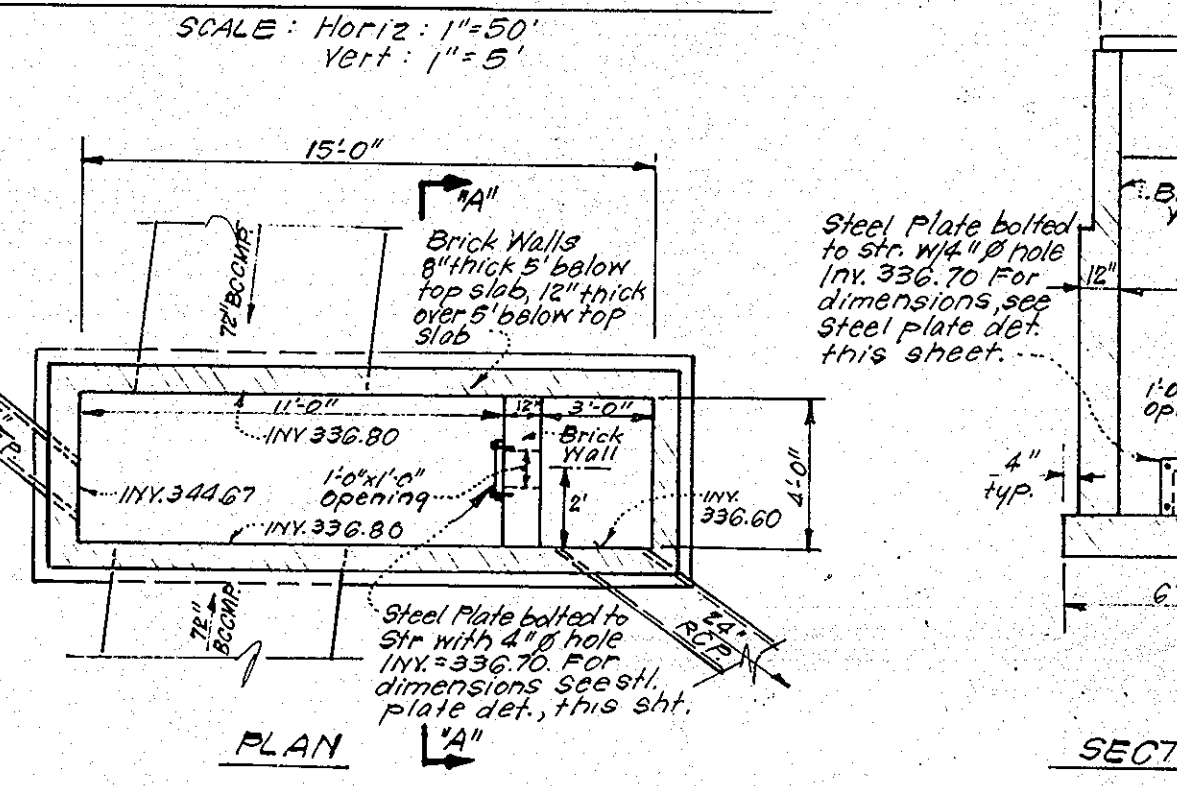


STANDARD 7" COMBINATION CURB & GUTTER DETAILS  
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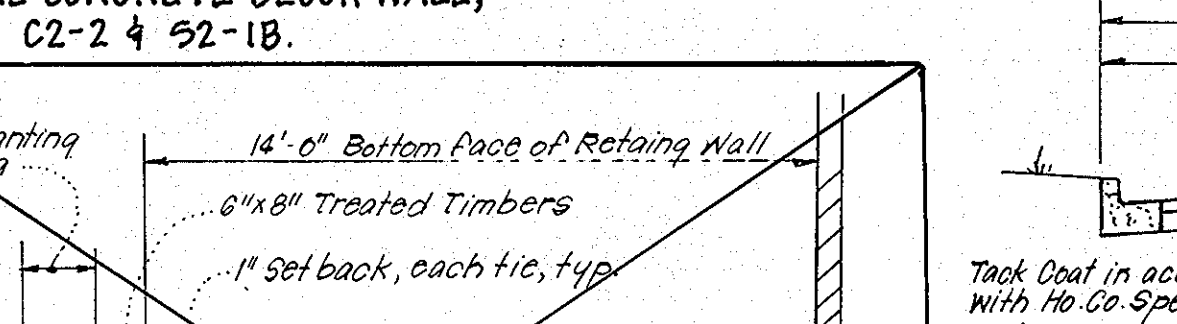


SIDEWALK RAMP DETAILS  
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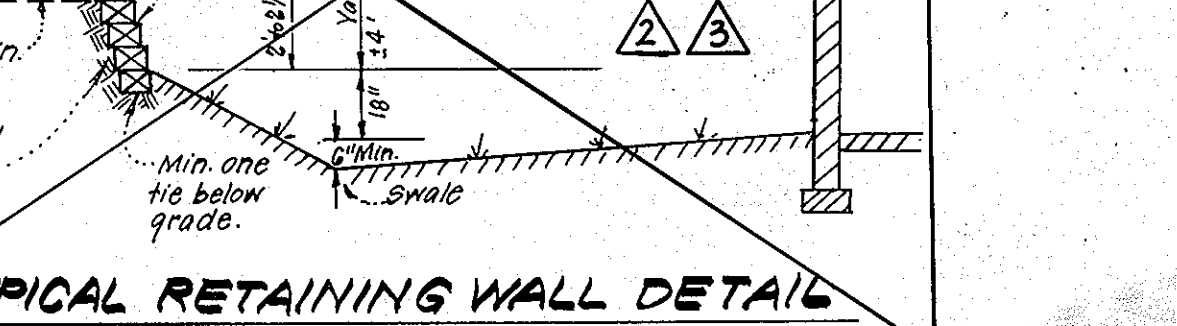
PROFILES



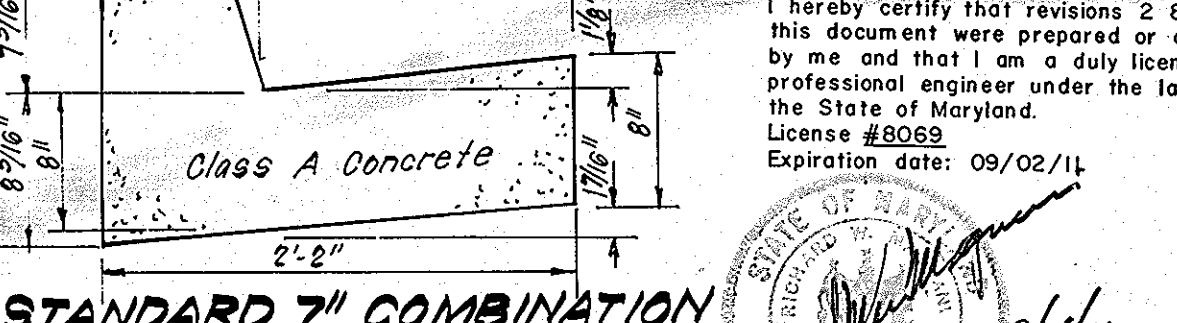
SPECIAL STRUCTURE NO. I-2  
No SCALE



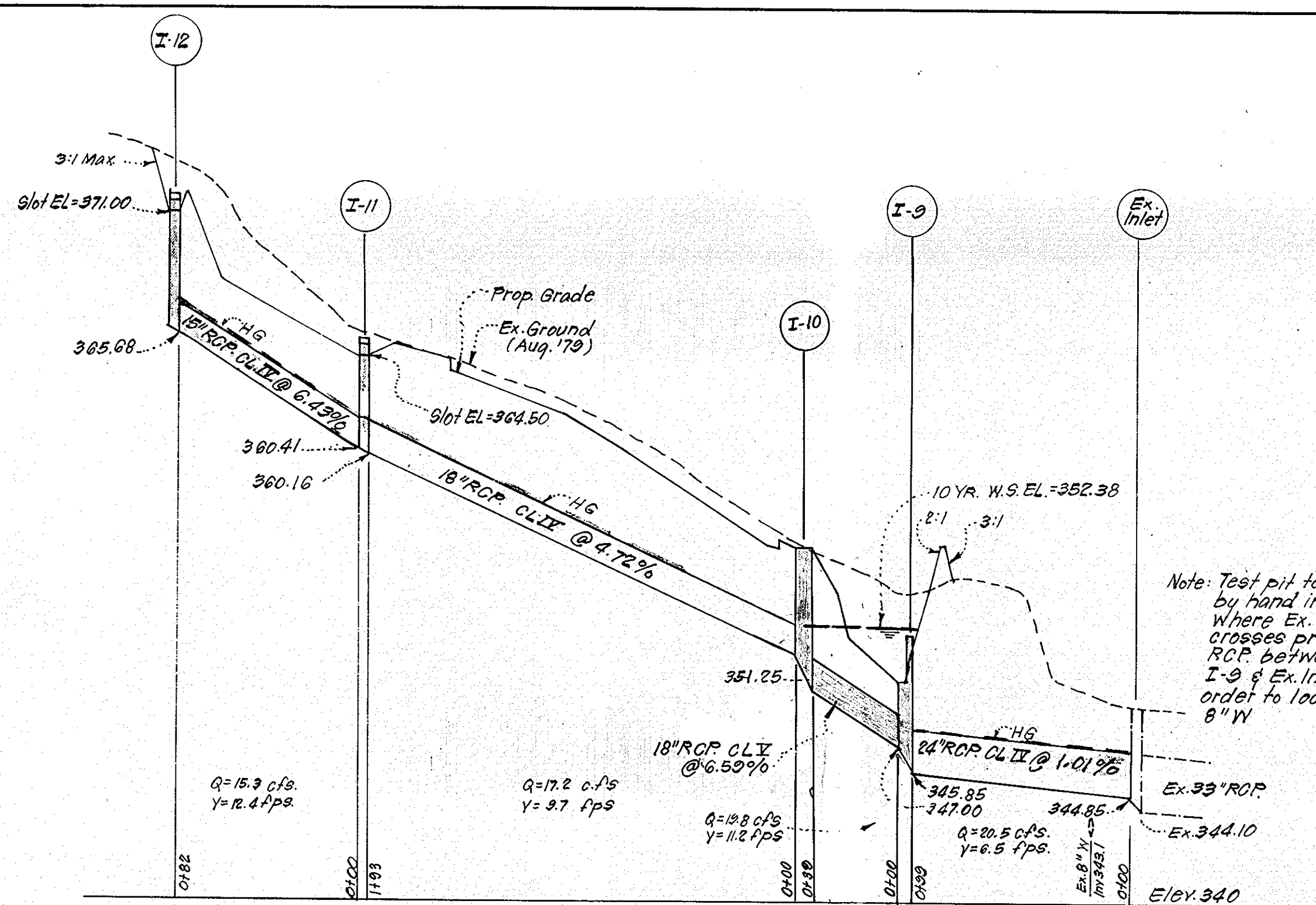
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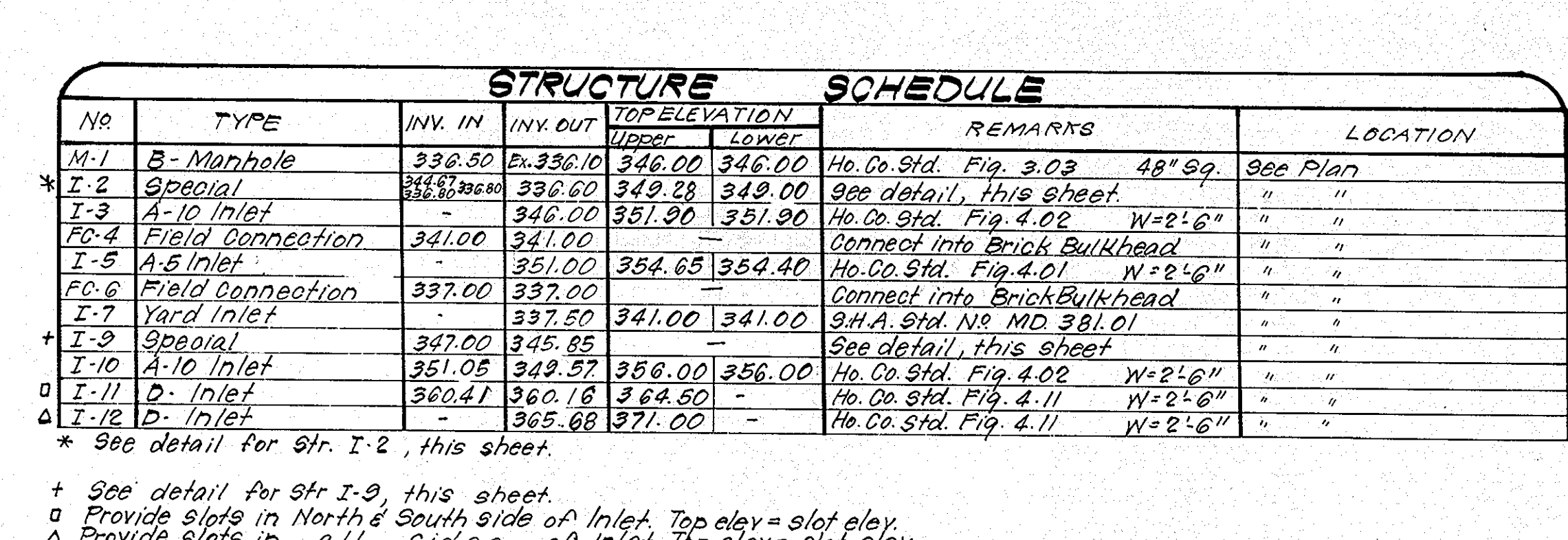
STANDARD 7" COMBINATION CURB & GUTTER DETAILS  
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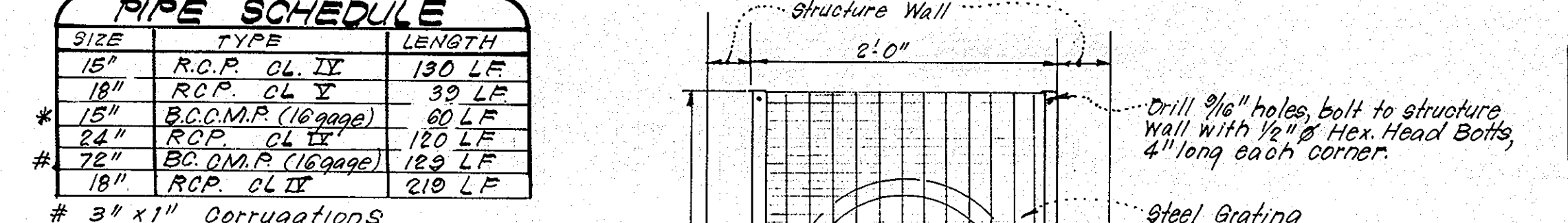
SIDEWALK RAMP DETAILS  
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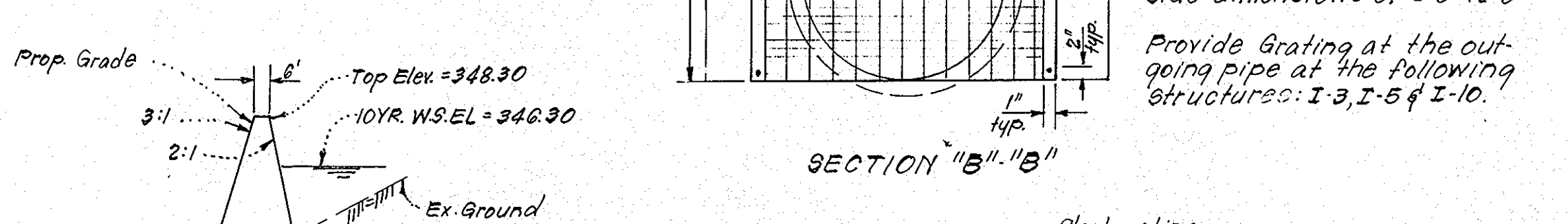
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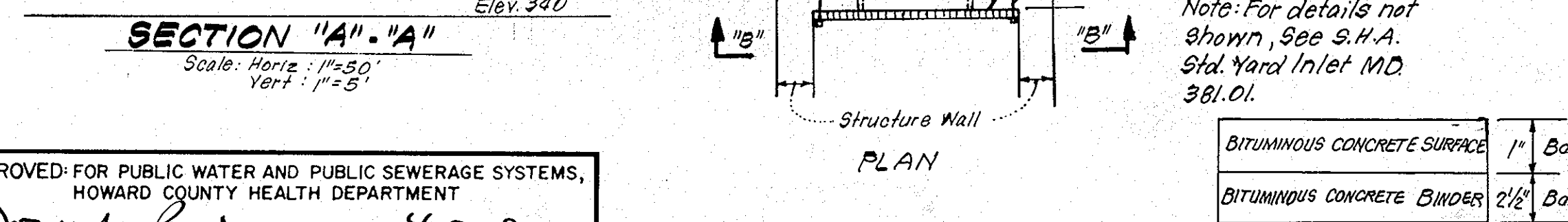
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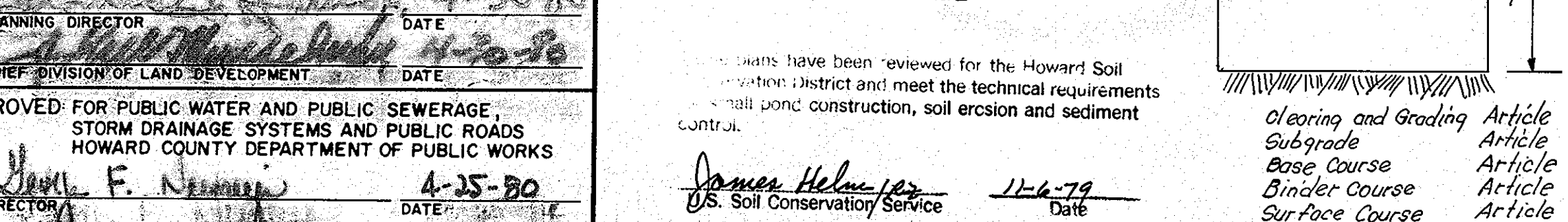
PROFILES



PROFILES



PROFILES



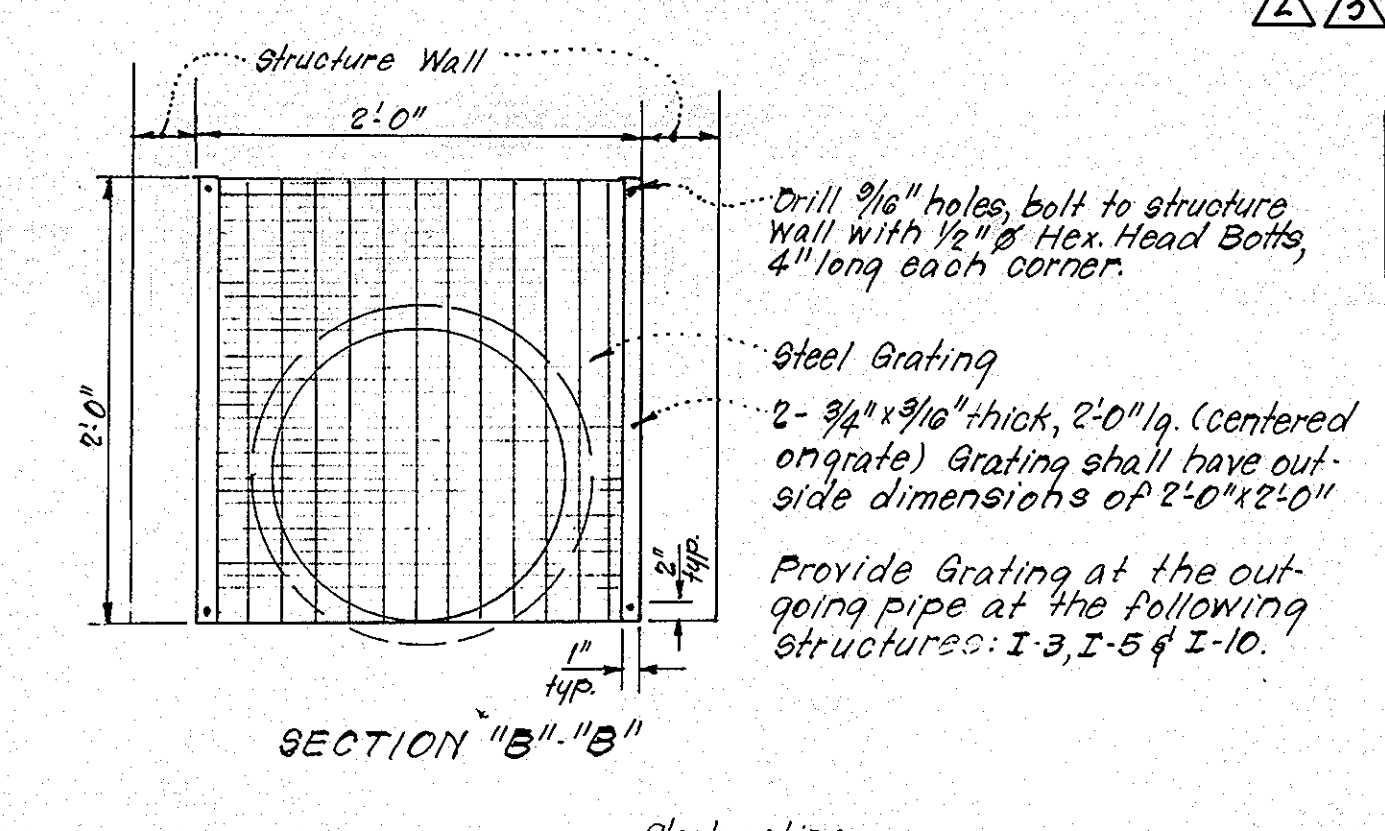
PROFILES

STRUCTURE SCHEDULE		TOPELEVATION		REMARKS	LOCATION	
NO	TYPE	INV. IN	INV. OUT			
M-1	B-Manhole	336.50	Ex. 336.10	346.00	346.00	Ho. Co. Std. Fig. 3.03 48" Sq. See Plan
I-2	Special	349.28	349.28	349.00	349.00	See detail, this sheet.
I-3	A-10 Inlet	346.00	351.90	351.90	351.90	Ho. Co. Std. Fig. 4.02 W=2'6"
FC-4	Field Connection	341.00	341.00			Connect into Brick Bulkhead
I-5	A-5 Inlet	351.00	354.65	354.40	354.40	Ho. Co. Std. Fig. 4.01 W=2'6"
FC-6	Field Connection	337.00	337.00			Connect into Brick Bulkhead
I-7	Yard Inlet	337.50	341.00	341.00	341.00	S.H.A. Std. No. MD 381.01
I-9	Special	347.00	345.85			See detail, this sheet.
I-10	A-10 Inlet	351.05	349.57	356.00	356.00	Ho. Co. Std. Fig. 4.02 W=2'6"
I-11	D-Inlet	360.41	360.16	364.50		Ho. Co. Std. Fig. 4.11 W=2'6"
I-12	D-Inlet	365.68	365.68	371.00		Ho. Co. Std. Fig. 4.11 W=2'6"

\* See detail for Str. I-2, this sheet.  
+ See detail for Str. I-9, this sheet.  
o Provide slots in North & South side of Inlet. Top elev = slot elev.  
Δ Provide slots in all sides of Inlet. Top elev = slot elev.

PIPE SCHEDULE		
SIZE	TYPE	LENGTH
15"	R.C.P. CL. IV	39 LF
18"	R.C.P. CL. V	39 LF
15"	B.C.C.M.P. (16 ga.)	80 LF
24"	R.C.P. CL. IV	120 LF
72"	B.C.C.M.P. (16 ga.)	129 LF
18"	R.C.P. CL. IV	210 LF

# 3" x 1" Corrugations  
\* 2 3/8" x 1/2" Corrugations



STEEL GRATING DETAIL  
STRUCTURES I-3, I-5 & I-10.  
No SCALE

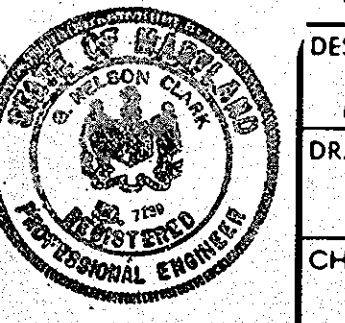
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,  
HOWARD COUNTY HEALTH DEPARTMENT  
DATE 4-23-81  
APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING  
DATE 4-30-81  
PLANNING DIRECTOR  
CHIEF DIVISION OF LAND DEVELOPMENT  
DATE 4-25-80  
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE,  
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
DATE 4-25-80  
CHIEF BUREAU OF ENGINEERING

Plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for pond construction, soil erosion and sediment control.  
James Helms  
S.S. Soil Conservation Service  
11-6-79  
DATE

BITUMINOUS CONCRETE SURFACE 1" Band C-3  
BITUMINOUS CONCRETE BINDERS 2 1/2" Band C-2  
CRUSHER RUN BASE 7"  
I hereby certify that revisions 2 & 3 to this document were prepared or approved by me and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
License #8053  
Expiration date: 09/02/11  
Approved: Robert J. Zedman  
Howard S.C.D.  
11-6-79  
DATE

DEVELOPER'S CERTIFICATE  
I certify that all development and/or construction will be done according to these plans of development, construction and erosion and sediment control. I will not authorize any part of the site to be used for any other purpose than that authorized by these plans, as are deemed necessary. Deviation from this plan will not be made unless authorized by the Howard Soil Conservation District. I will provide the Howard Soil Conservation District with a red-lined "as built" of the pond within 30 days of completion.  
Approved: Hamilton Lovins  
Hamilton Lovins  
8/23/79  
DATE

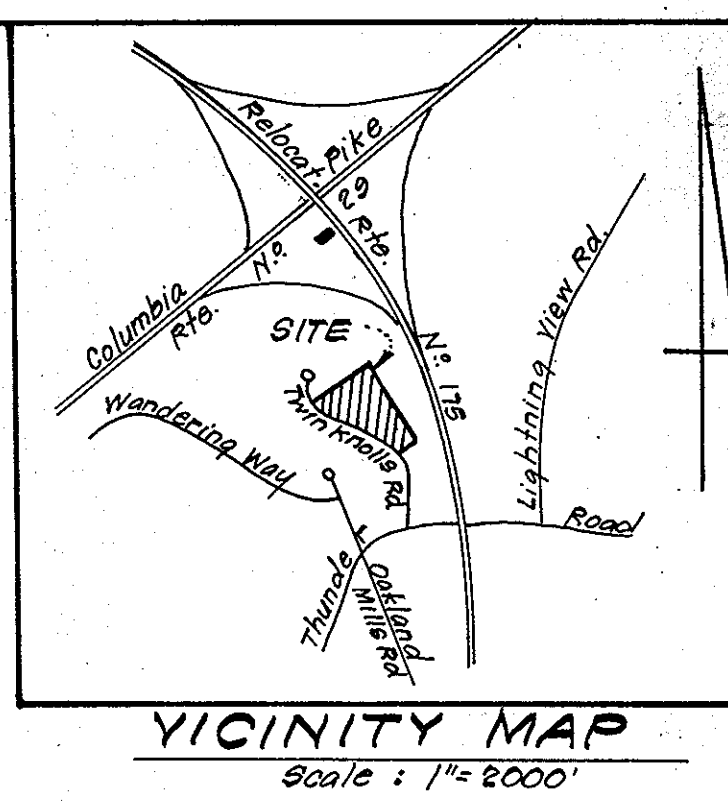
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Approved: G. Nelson Clark  
G. Nelson Clark  
10-22-79  
DATE



CLARK • FINEFROCK & SACKETT  
ENGINEERS • PLANNERS • SURVEYORS  
11315 LOCKWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 593-3400  
DESIGNED: J.L.S.  
DRAWN: K.I.W.  
CHECKED: J.L.S.  
DATE: Aug, 1979  
REVISID SITE DEVELOPMENT PLAN  
PARCEL "D-1"  
COLUMBIA  
VILLAGE OF OAKLAND MILLS  
SECTION 5 AREA 1  
6TH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
FOR: CENTENNIAL CONTRACTORS  
7013 BACKLICK ROAD  
Springfield, VA 22151  
5DP-80-35c

For Off site Drainage, see Drainage Area Map prepared by Richard P. Brown and Assoc. dated 8/18/75 for Twin Knolls South, Village of Oakland Mills Sect. 3, Area 1.

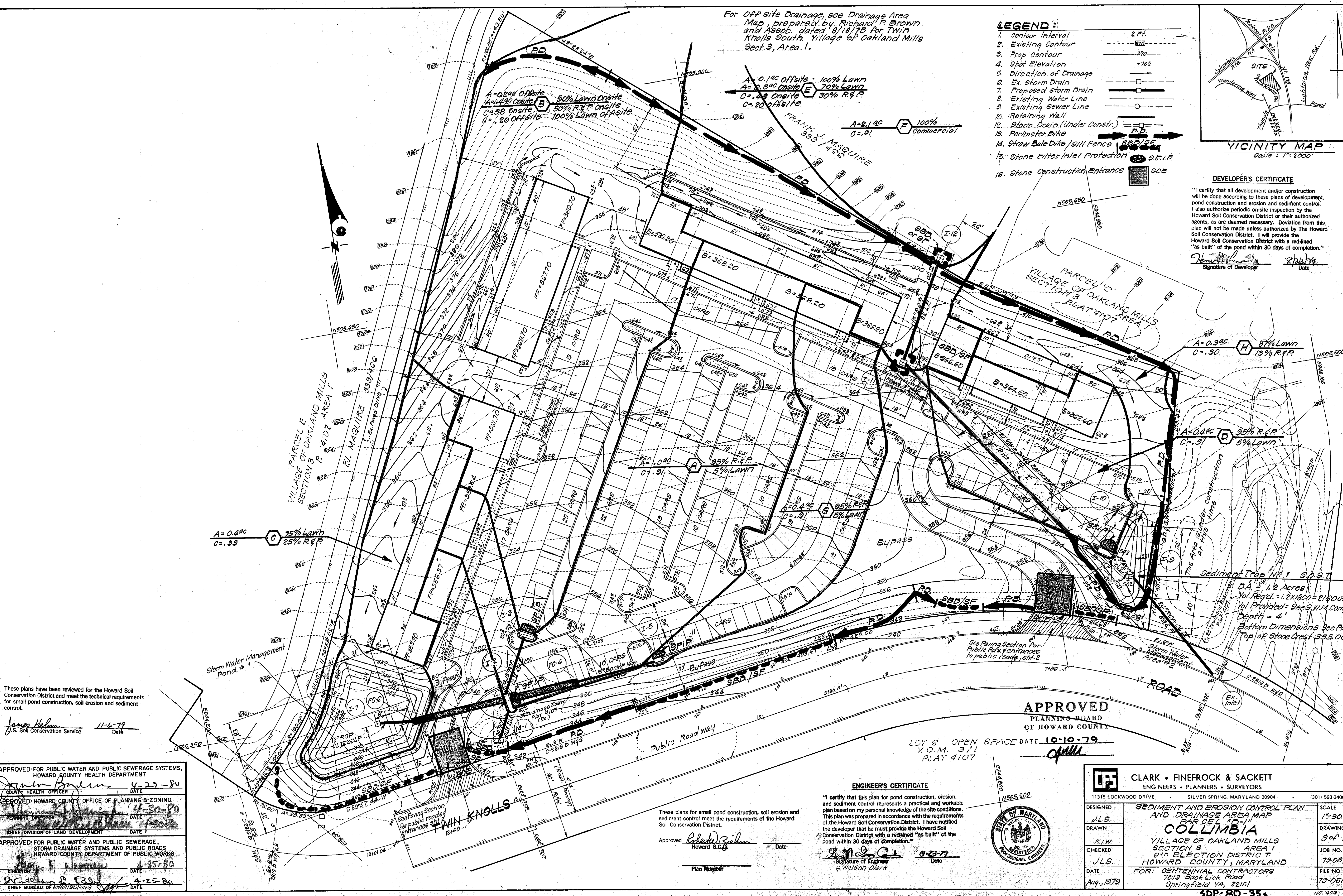
- LEGEND:**
- 1. Contour Interval 2 Ft.
  - 2. Existing Contour --- 370
  - 3. Prop. Contour --- 370
  - 4. Spot Elevation +70<sup>s</sup>
  - 5. Direction of Drainage --->
  - 6. Ex. Storm Drain ---
  - 7. Proposed Storm Drain ---
  - 8. Existing Water Line ---
  - 9. Existing Sewer Line ---
  - 10. Retaining Wall ---
  - 11. Storm Drain (Under Constr.) ---
  - 12. Perimeter Dike ---
  - 13. Straw Bale Dike / Silt Fence ---
  - 14. Stone Filter Inlet Protection ---
  - 15. Stone Construction Entrance ---



**DEVELOPER'S CERTIFICATE**

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Signature of Developer: *[Signature]* Date: 8/26/79



These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

James Helm 11-6-79  
U.S. Soil Conservation Service Date

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT  
 COUNTY HEALTH OFFICER: *[Signature]* DATE: 4-23-80  
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING  
 PLANNING DIRECTOR: *[Signature]* DATE: 4-30-80  
 CHIEF DIVISION OF LAND DEVELOPMENT DATE: 4-30-80  
 APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIRECTOR: *[Signature]* DATE: 4-25-80  
 CHIEF BUREAU OF ENGINEERING DATE: 4-25-80

**APPROVED**  
 PLANNING BOARD  
 OF HOWARD COUNTY  
 10-10-79  
*[Signature]*

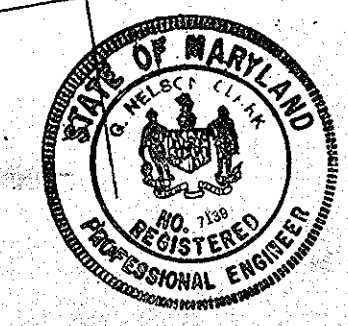
These plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

Approved: *[Signature]* Date: \_\_\_\_\_  
 Howard S.C.D.  
 Plan Number: \_\_\_\_\_

**ENGINEER'S CERTIFICATE**

"I certify that this plan for pond construction, erosion, and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he must provide the Howard Soil Conservation District with a red-lined "as built" of the pond within 30 days of completion."

Signature of Engineer: *[Signature]* Date: 8-23-79  
 G. Nelson Clark



**CLARK • FINEFROCK & SACKETT**  
 ENGINEERS • PLANNERS • SURVEYORS  
 11315 LOCKWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 593-3400

DESIGNED: J.L.S.  
 DRAWN: J.L.S.  
 CHECKED: J.L.S.  
 DATE: Aug., 1979

**SEDIMENT AND EROSION CONTROL PLAN AND DRAINAGE AREA MAP**  
 PARCEL "D-1"  
**COLUMBIA**  
 VILLAGE OF OAKLAND MILLS SECTION 3 AREA 1 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 FOR: CENTENNIAL CONTRACTORS 7013 Backlick Road Springfield VA, 22151

SCALE: 1" = 30'  
 DRAWING: 3 of 10  
 JOB NO.: 79-051  
 FILE NO.: 79-051-X

SDP-80-35c HC-403

**GENERAL NOTES**

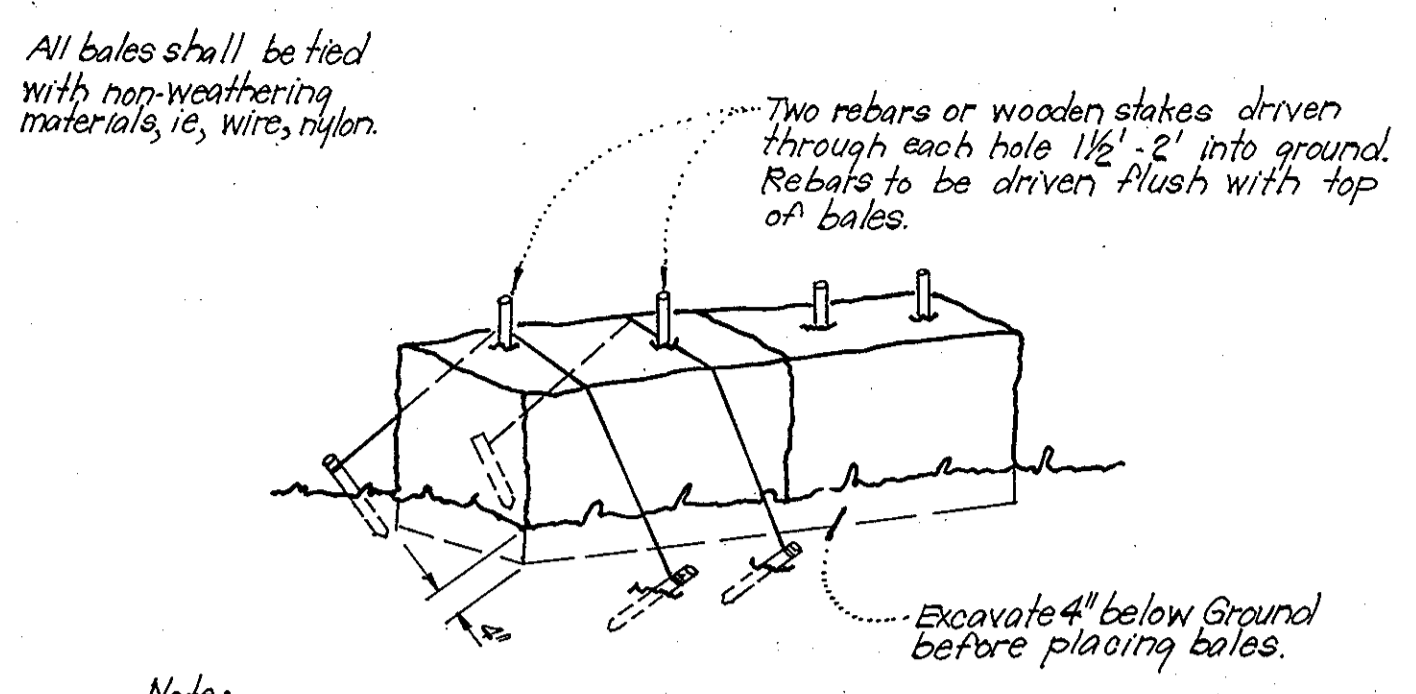
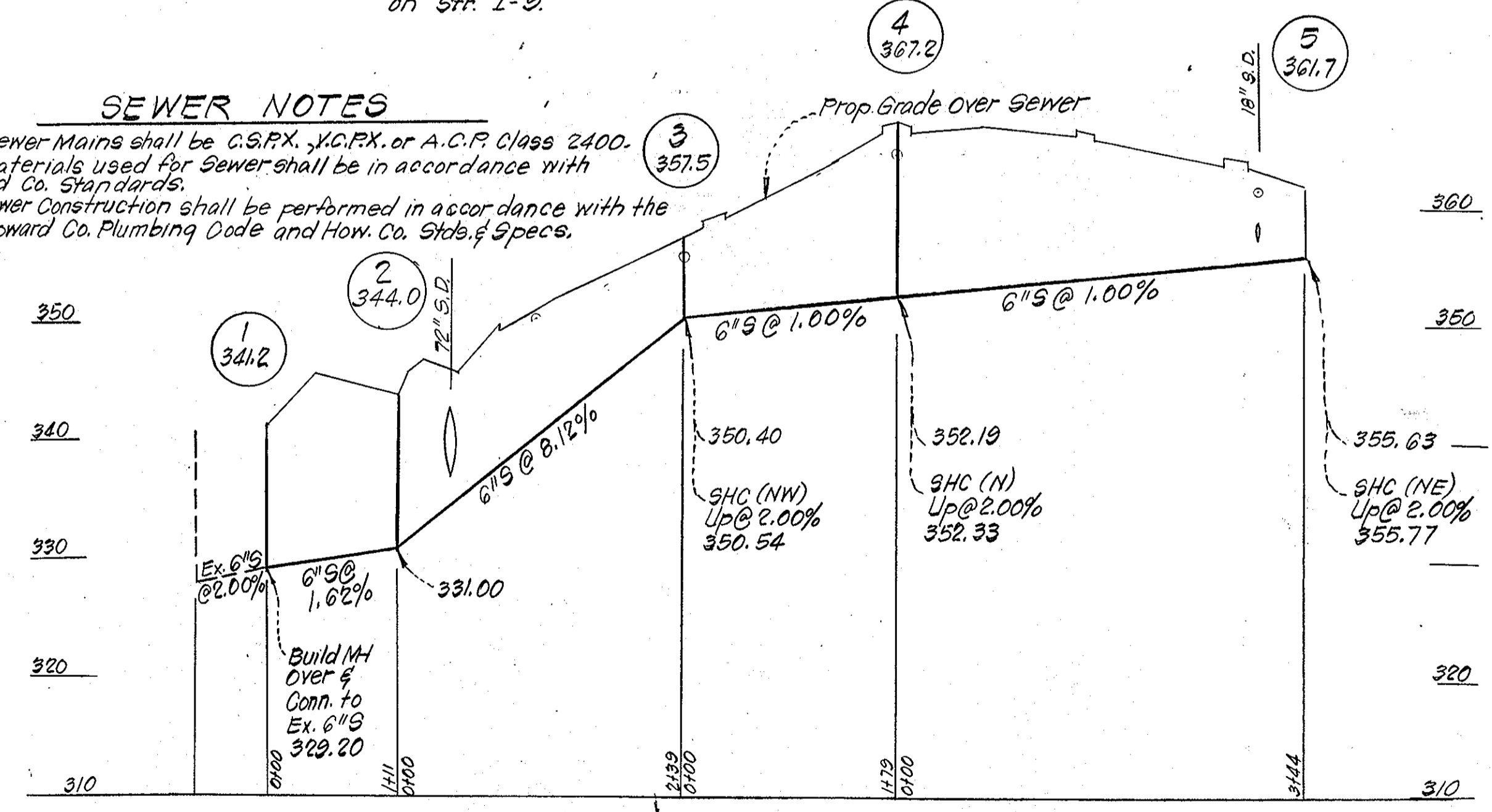
- Grading Permits shall be obtained prior to installation of Sediment Control & Grading.
- All Sediment and Erosion Control Measures will be installed and stabilized according to this plan prior to any other grading, clearing or disturbance of the existing surface of the site. See note #6 for stabilization except that the seed mixture will be annual rye applied at a rate of 1.4 lbs/1000 sq. ft.
- Notify the Bureau of Inspections and Permits at least 24 hrs before starting any work.
- All Sediment Control Practices to conform to the "Standards and Specifications for Soil Erosion and Sediment Control in Developing Areas" and shall be adjusted to meet actual field conditions.
- Stabilization of Disturbed ground to be done as soon after construction as possible.
- All grading shall be treated in accordance with the following Specifications:
  - Seed- certified 85% germination applied at the rate of 3 lbs/1000 sq. ft. Mixture - 40% Kentucky Blue, 20% chewing Fescue, 20% Kentucky 31 and 20% annual rye.
  - Fertilizer - 10-10-10 applied at rate of 23 lbs/1000 sq. ft. Ground Agricultural Lime or Dolomitic Lime applied at a rate of 46 lbs/1000 sq. ft.
  - Mulch - Weed free grain straw applied at a rate of 46 lbs/1000 sq. ft. Mulch shall be secured to the ground by any approved method i.e., asphalt tacks, chemical binder, etc.
  - All Sod used shall be Maryland State Certified.
- All Structural Sediment Control Measures are to remain in place until permission for their removal has been obtained from the Bureau of Inspections and Permits.
- On-Site Inspection and Maintenance of all Sediment Control Measures including clean out of Sediment Traps and dikes, and proper establishment of all planned vegetative measures will be the responsibility of the developer or his representative on the site, on a continuing day to day basis.
- It will be the developers responsibility to provide additional Sediment & Erosion Control Devices to protect stabilized areas during construction.
- The Contractor shall keep all public roads free of sediment deposits left from traffic leaving construction site.
- Stone Construction Entrances shall be placed at all construction entrances.
- SITE ANALYSIS:
  - Total Area: 5.425 Acres
  - Area to be roofed: 0.700 Acres
  - Area to be paved: 2.639 Acres
  - Area to be seeded: 1.753 Acres
  - Area Undisturbed: 0.273 Acres

**APPROVED**  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE 10-10-79  
*JMM*

- CONSTRUCTION SEQUENCE:
  - Install stone construction entrance
  - Construct all storm drainage and block all inlets as shown in plan and convert Str. I-7 as per detail, this sheet.
  - Construct S.W.M. Ponds 1 and 2 and stabilize immediately.
  - Install remaining sediment and erosion control devices.
  - Rough grade and excavate for foundations
  - Erect structures and construct paving & sidewalk.
  - Fine grade and stabilize in accordance with general note #6.
  - Flush all storm drains prior to removing riser and blocking on Str. I-9.

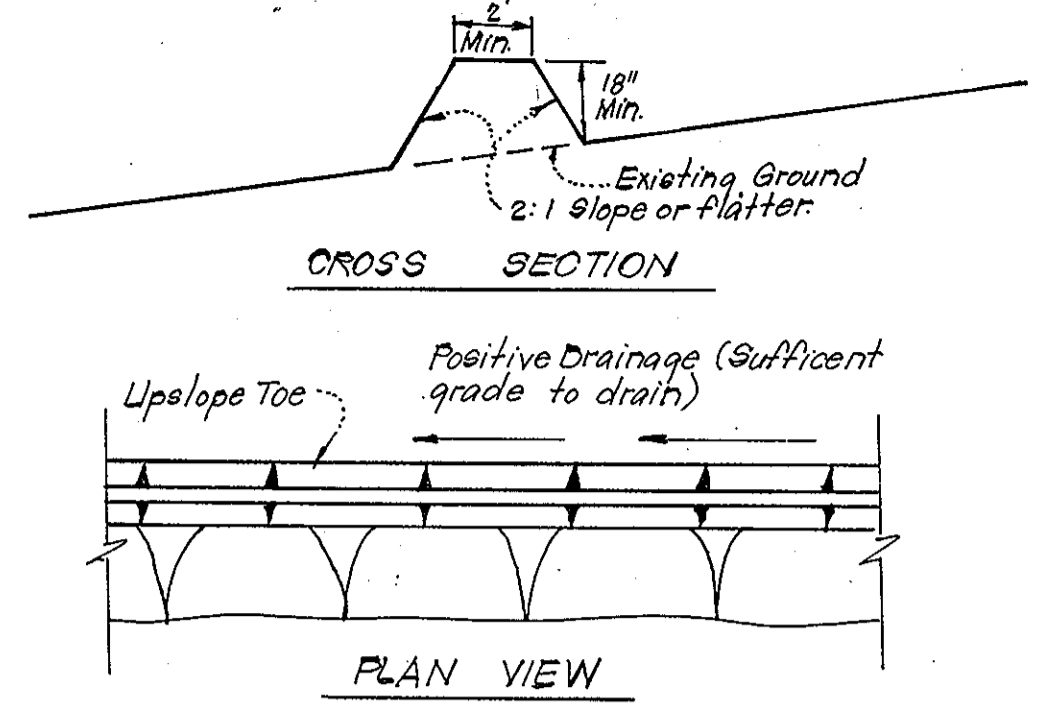
**SEWER NOTES**

- All Sewer Mains shall be C.S.P.X., J.C.P.X. or A.C.P. Class 2400.
- All materials used for Sewer shall be in accordance with Howard Co. Standards.
- All Sewer Construction shall be performed in accordance with the 1977 Howard Co. Plumbing Code and How. Co. Stds. & Specs.

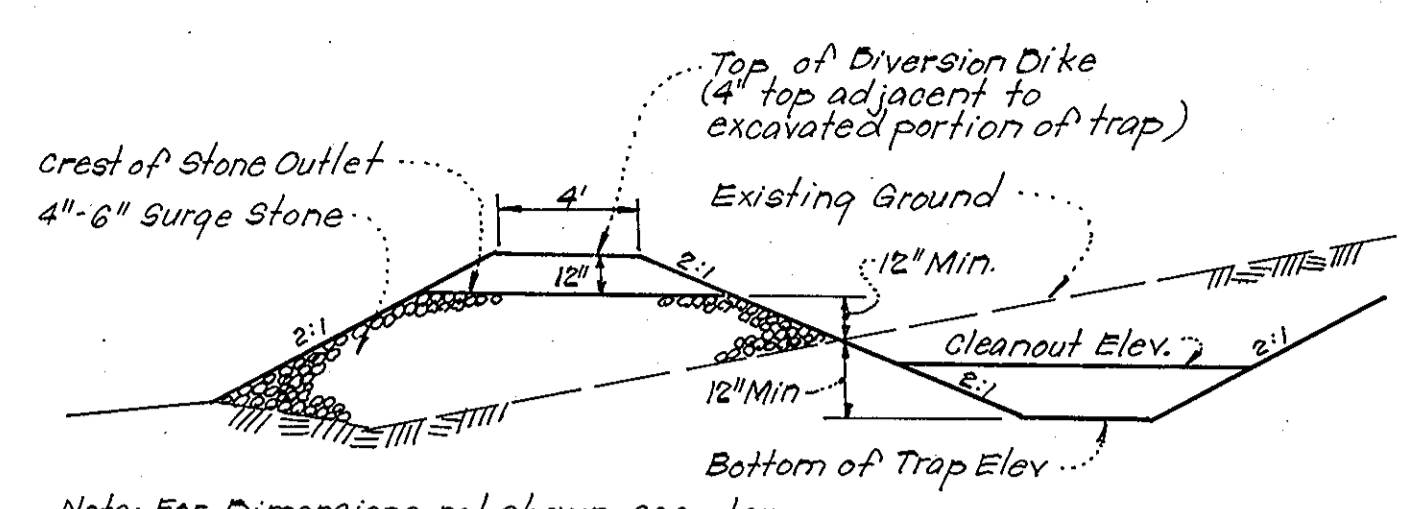


Note:  
1. In lieu of the use of rebar each straw bale may be fastened to ground with pegs (4 per bale and wire or nylon as shown above.)

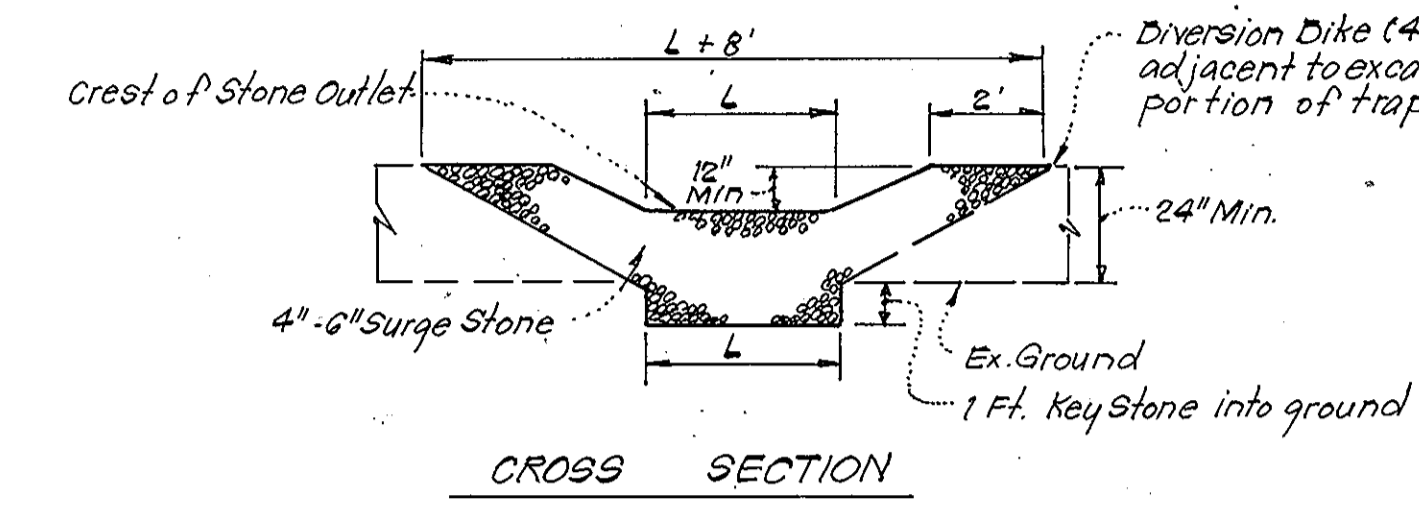
**TYPICAL STRAW BALE DIKE DETAIL (S.B.D.)**  
No Scale



**TYPICAL PERIMETER DIKE DETAIL (P.D.)**  
No Scale

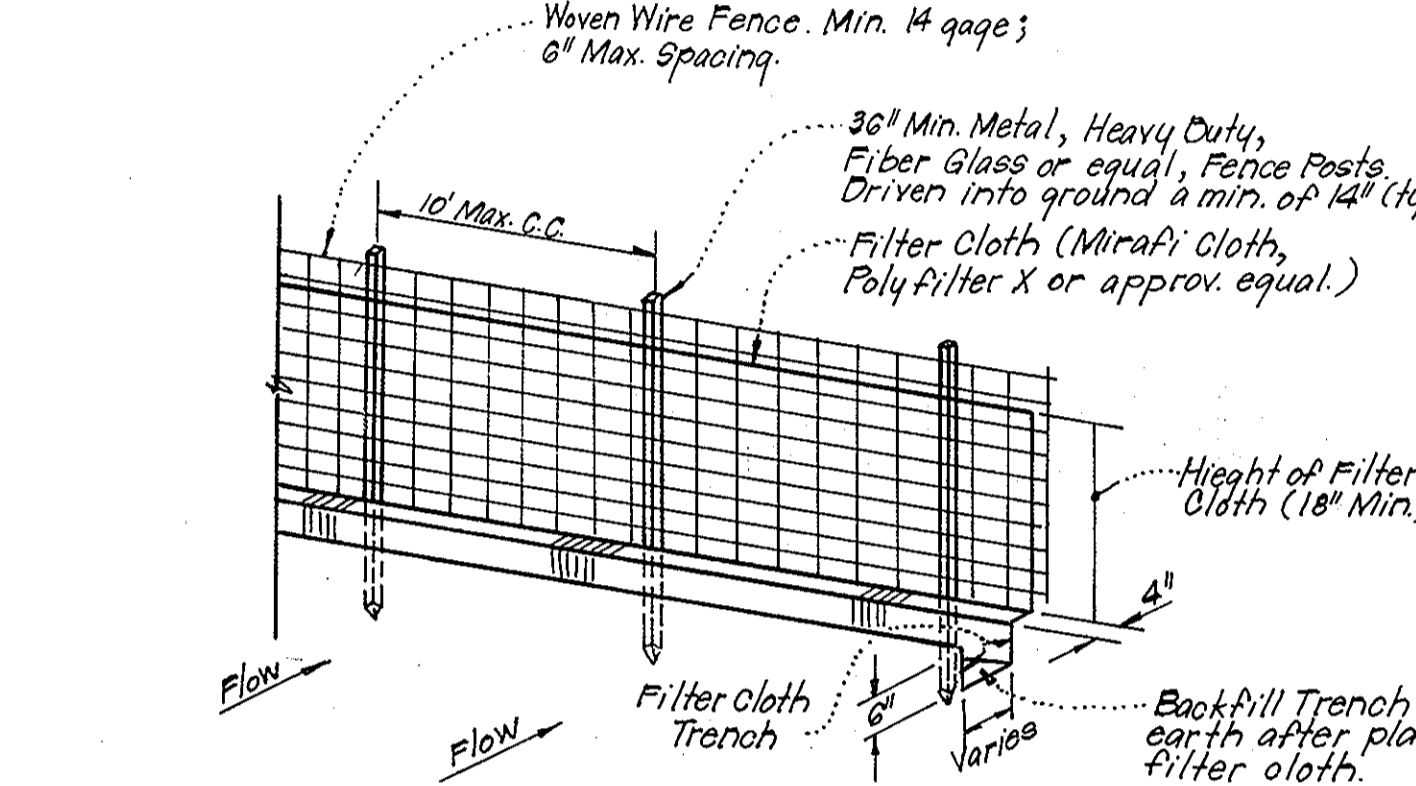


Note: For Dimensions not shown, see plan.



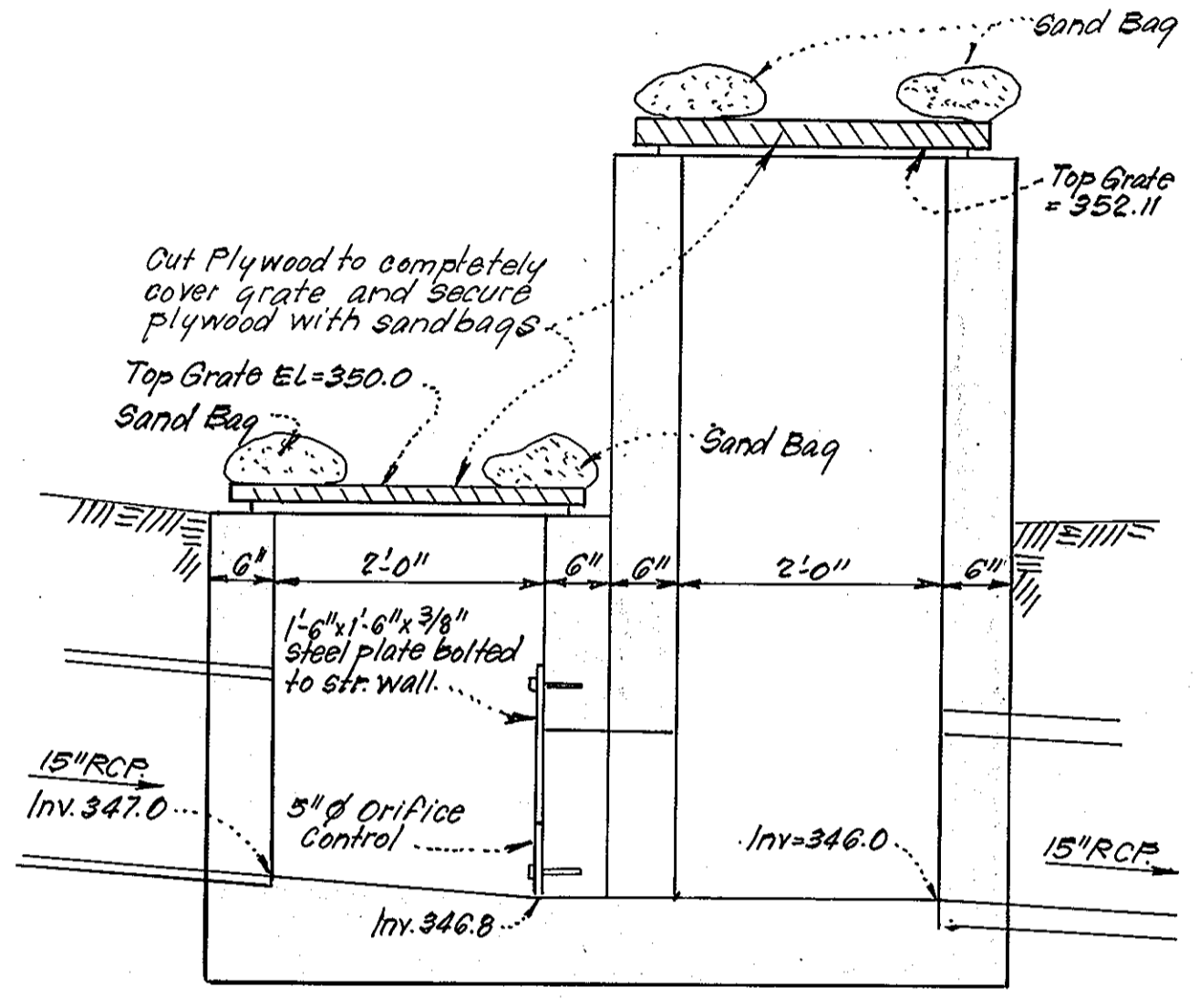
- Notes:
- Sediment Trap to be cleaned out when sediment reaches a level of 1 ft. below crest of stone outlet.
  - Bottom of Sediment Trap to be constructed to the dimensions shown on plan.
  - Stone Outlet to be constructed through diversion dike adjacent to excavated portion of sediment trap.

**DETAILS OF STONE FILTER OUTLET (FOR STONE OUTLET SEDIMENT TRAP)**  
No Scale

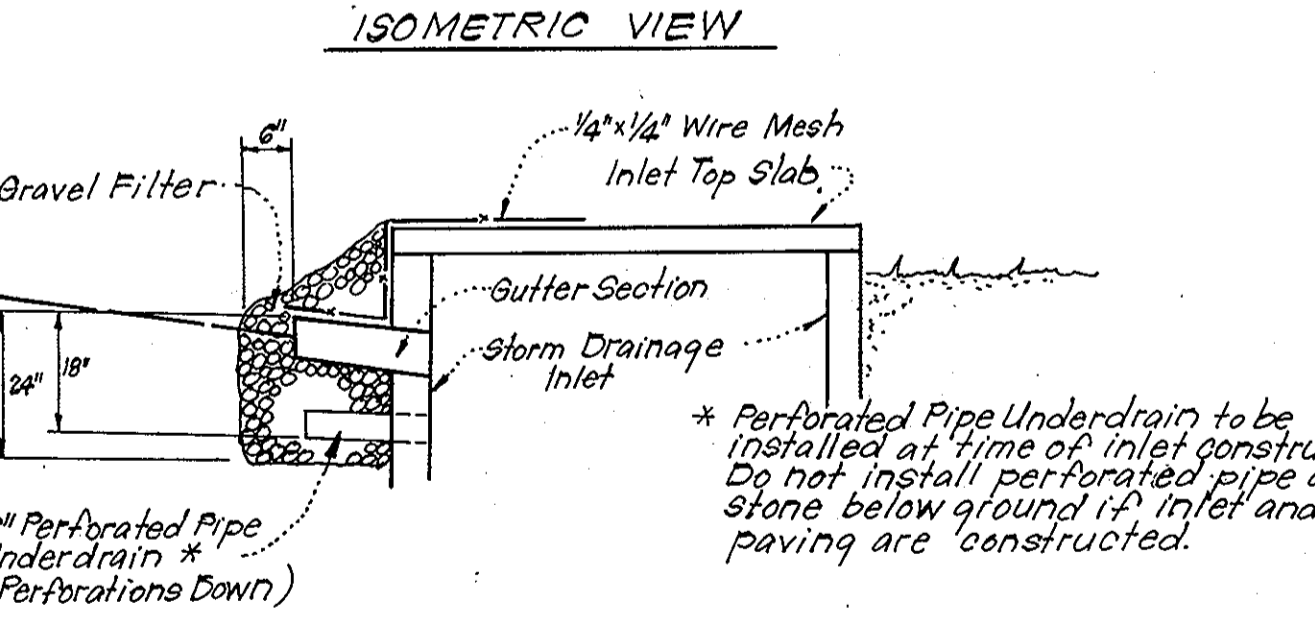
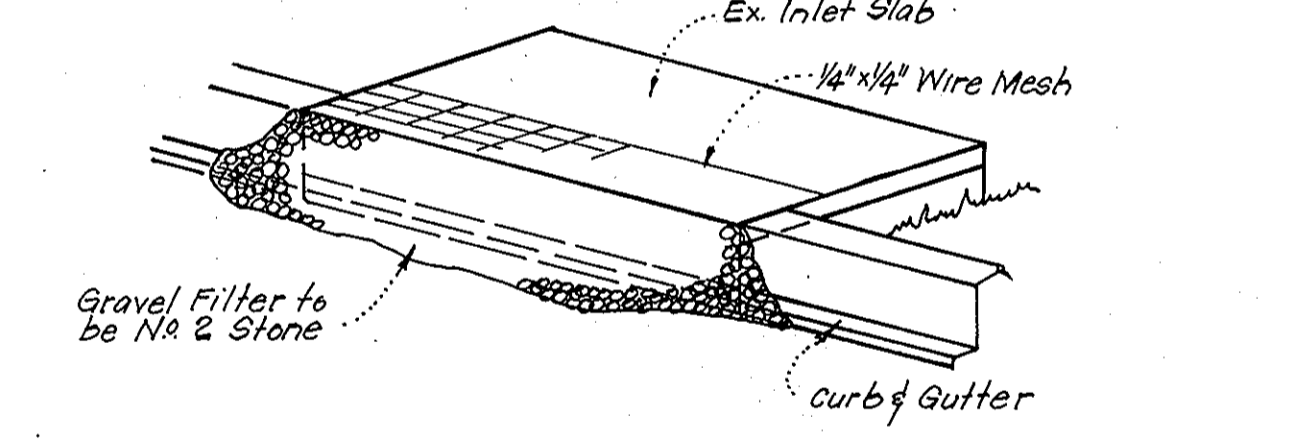


- Notes:
- Woven Wire Fence to be fastened securely to fence posts by use of wire ties.
  - Filter Cloth to be fastened securely to Woven Wire, by use of wire ties spaced every 24"x24"

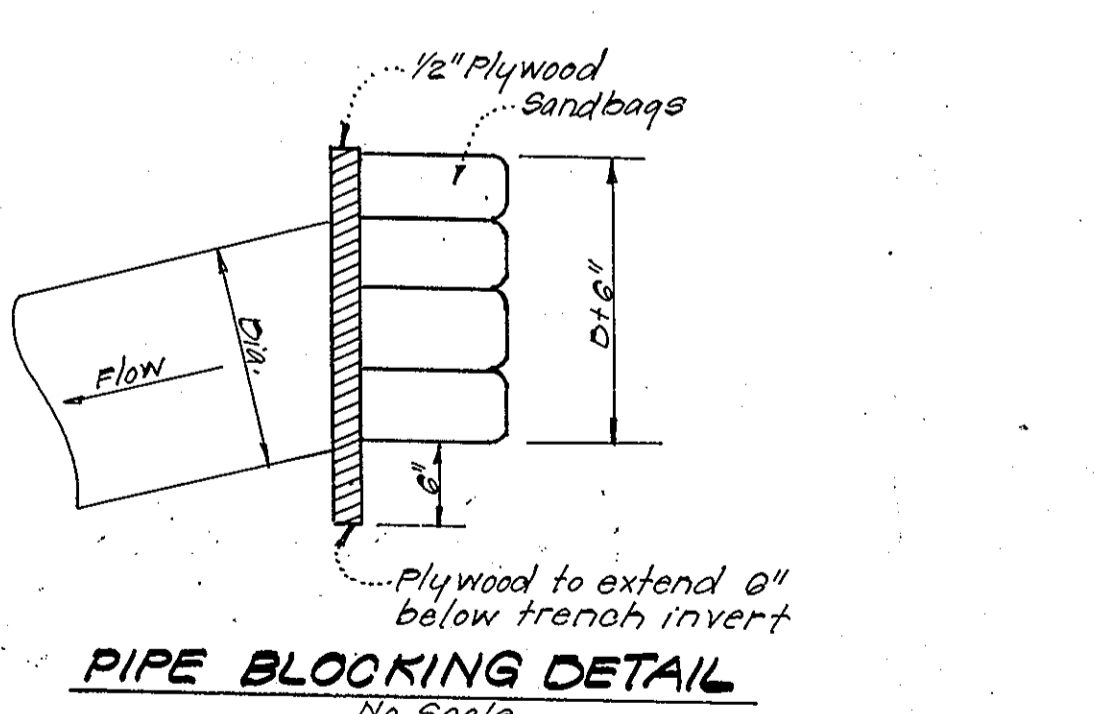
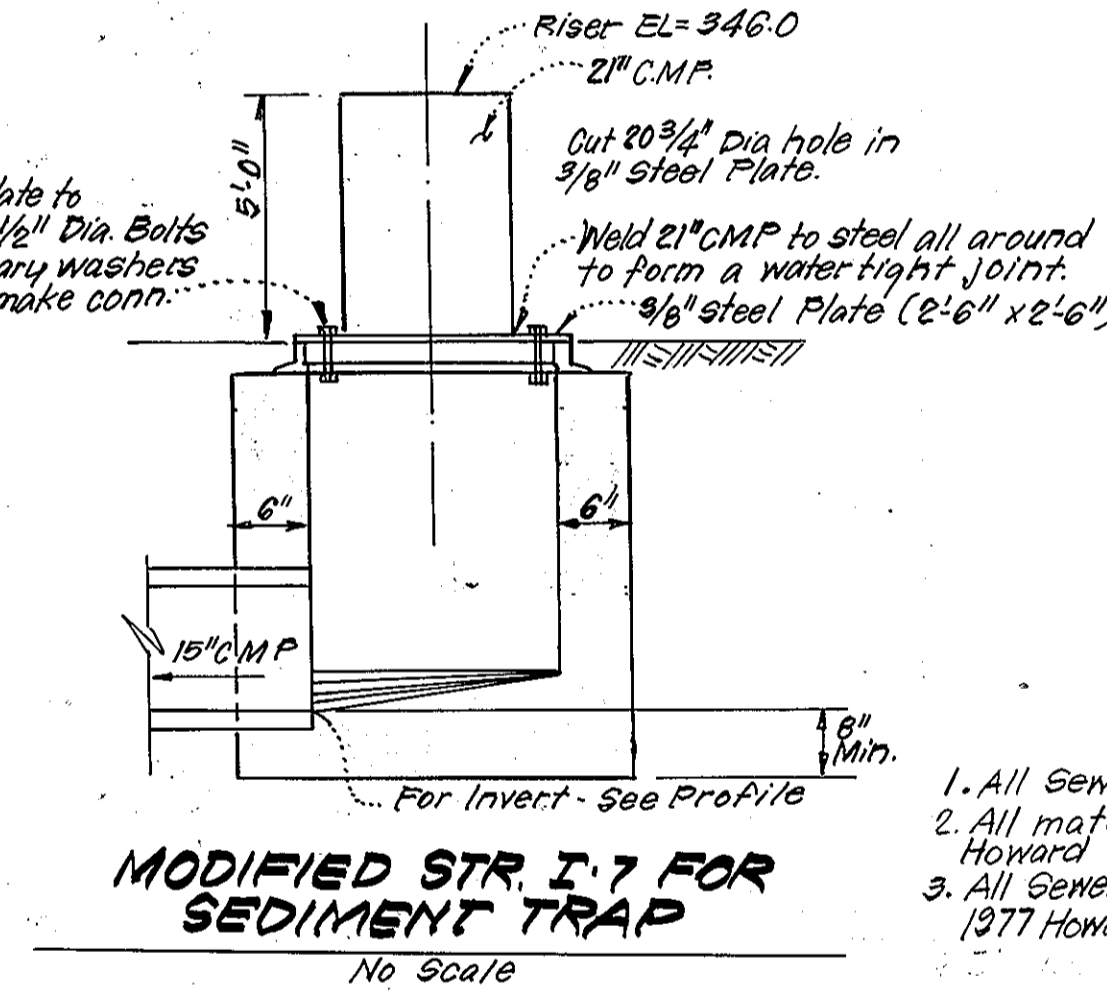
**TYPICAL SILT FENCE DETAIL (S.F.)**  
No Scale



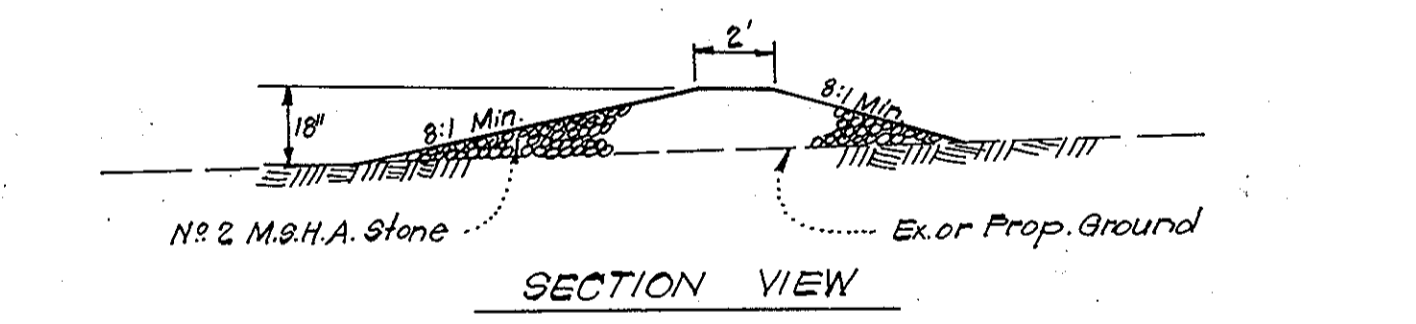
**BLOCKING DETAIL FOR STRUCTURE I-9**  
No Scale



**STONE FILTER INLET PROTECTION (S.F.I.P.)**  
No Scale



**PIPE BLOCKING DETAIL**  
No Scale



**STONE CONSTRUCTION ENTRANCE DETAIL (S.C.E.)**  
No Scale

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,  
HOWARD COUNTY HEALTH DEPARTMENT  
*John Mills* 4-30-80  
COUNTY HEALTH OFFICER DATE

APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING  
*John Mills* 4-30-80  
PLANNING DIRECTOR DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE,  
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*John F. Nunn* 4-25-80  
DIRECTOR DATE

*Richard S. Ryan* 4-25-80  
CHIEF BUREAU OF ENGINEERING DATE

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.  
*James Helm* 11-6-79  
U.S. Soil Conservation Service Date

These plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.  
Approved *Richard S. Ryan* 11-6-79  
Howard S.C.D. Date

**DEVELOPER'S CERTIFICATE**  
"I certify that all development and/or construction will be done according to these plans of development, pond construction and erosion and sediment control. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary. Deviation from this plan will not be made unless authorized by The Howard Soil Conservation District. I will provide the Howard Soil Conservation District with a red-lined "as built" of the pond within 30 days of completion."  
*Richard S. Ryan* 8-23-79  
Signature of Developer Date

**ENGINEER'S CERTIFICATE**  
"I certify that this plan for pond construction, erosion, and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he must provide the Howard Soil Conservation District with a red-lined "as built" of the pond within 30 days of completion."  
*G. Nelson Clark* 8-23-79  
Signature of Engineer Date



**CLARK • FINEFROCK & SACKETT**  
ENGINEERS • PLANNERS • SURVEYORS  
11315 LOCKWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 593-3400

DESIGNED: J.L.S. SCALE: As Shown  
DRAWN: K.I.W. DRAWING: 4 of 10  
CHECKED: J.L.S. JOB NO.: 79-051  
DATE: Aug, 1979 FOR: CENTENNIAL CONTRACTORS FILE NO.: 79-051-X  
7013 Backlick Road  
Springfield VA 22151

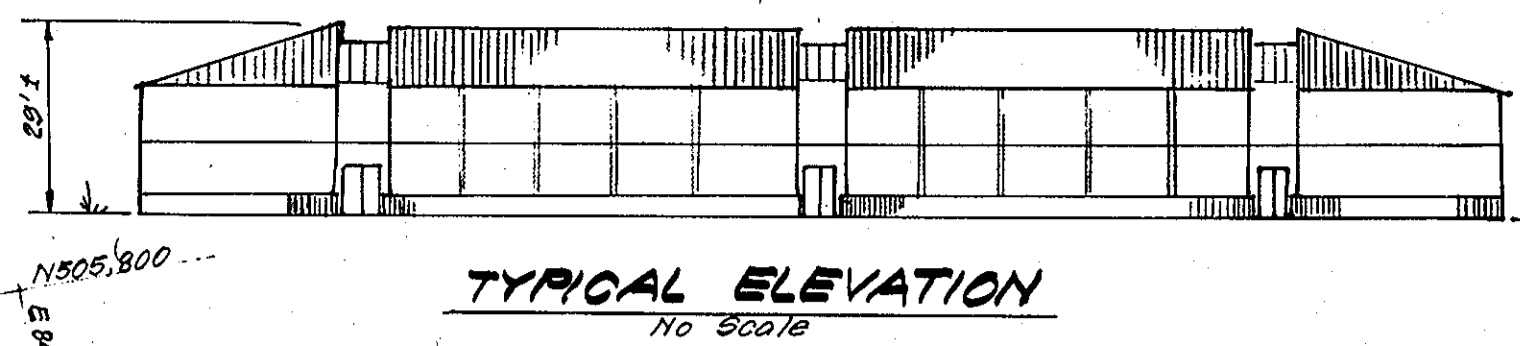
**SEDIMENT & EROSION CONTROL PLAN**  
**PARCEL "D-1"**  
**COLUMBIA**  
VILLAGE OF OAKLAND MILLS  
SECTION 3 AREA 1  
6TH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

SDP-80-35c

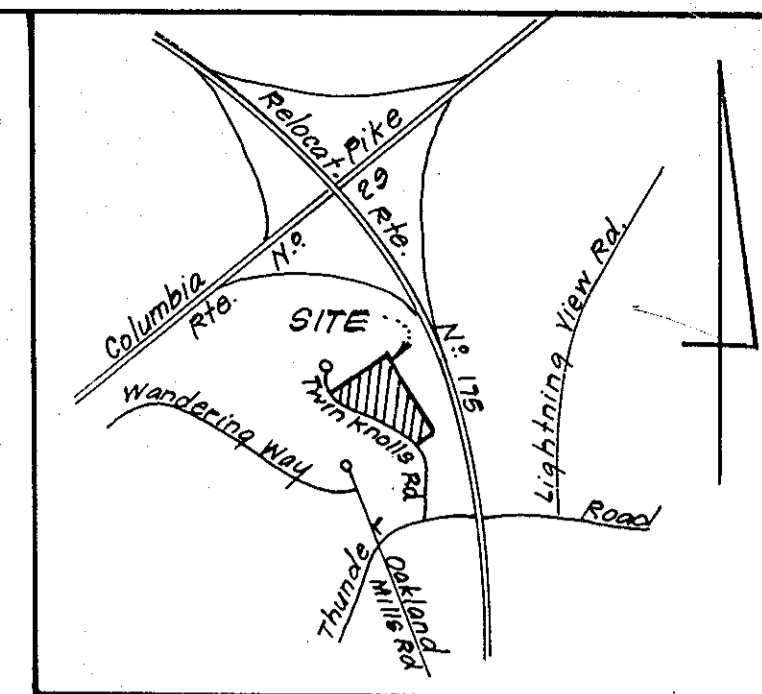
# PLANT SCHEDULE

KEY	PLANT NAME	SIZE	QUANT	REMARKS
⊕	ACER RUBRUM OCTOBER GLORY OCTOBER GLORY MAPLE	2 1/2'-3' CAL. 12-14' HT.	40	B&B HEAVY HEADS
⊕	QUERCUS PALMSTRIS PIN OAK	2 1/2'-3' CAL. 12-14' HT.	25	" " "
⊕	ZELKOVA SERRATA 'VILLAGE GREEN' VILLAGE GREEN ZELKOVA	2 1/2'-3' CAL. 12-14' HT.	18	" " "
⊕	SALIX BABILONICA BABILON WEEPING WILLOW	2 1/2'-3' CAL. 12-14' HT.	3	" " "
⊕	MALUS RADIANT RADIANT CRABAPPLE	2-2 1/2' CAL. 8-10' HT.	18	B&B SPECIMEN
⊕	PRUNUS KWANZAN KWANZAN CHERRY	2-2 1/2' CAL. 8-10' HT.	35	" " "
⊕	AMELANCHIER CANADENSIS SHARDBLOV CLOMP	2-2 1/2' CAL. 8-10' HT.	2	B&B SPECIMEN 3-5 STEM CLUMP
⊕	BETULA NIGRA RIVER BIRCH	2-2 1/2' CAL. 8-10' HT.	3	B&B SPECIMEN 3-5 STEM CLUMP
⊕	PINUS STROBUS WHITE PINE	6-8' HT.	42	B&B HEAVY
⊕	PINUS STROBUS WHITE PINE	8-10' HT.	25	" " "
⊕	PINUS THUNBERGI JAPANESE BLACK PINE	6-8' HT.	26	" " "
⊕	PINUS THUNBERGI JAPANESE BLACK PINE	8-10' HT.	28	" " "
A	TAXUS BACCATA REPANDEUSE SPREADING ENGLISH YEW	15-18' SP.	155	B&B HEAVY
B	COTONEASTER DIV. 'HERBST FEUER' FALLFIRE COTONEASTER	15-18' SP.	835	B1B HEAVY PLANT 24" O.C.
C	JASMINUM NODIFLORUM WINTER JASMINE	2-3' SP.	435	" " " PLANT 4' O.C.
D	JULIPERUS H. BAR HARBOR BAR HARBOR JUNIPER	15-18' SP.	30	B&B HEAVY PLANT 36" O.C.

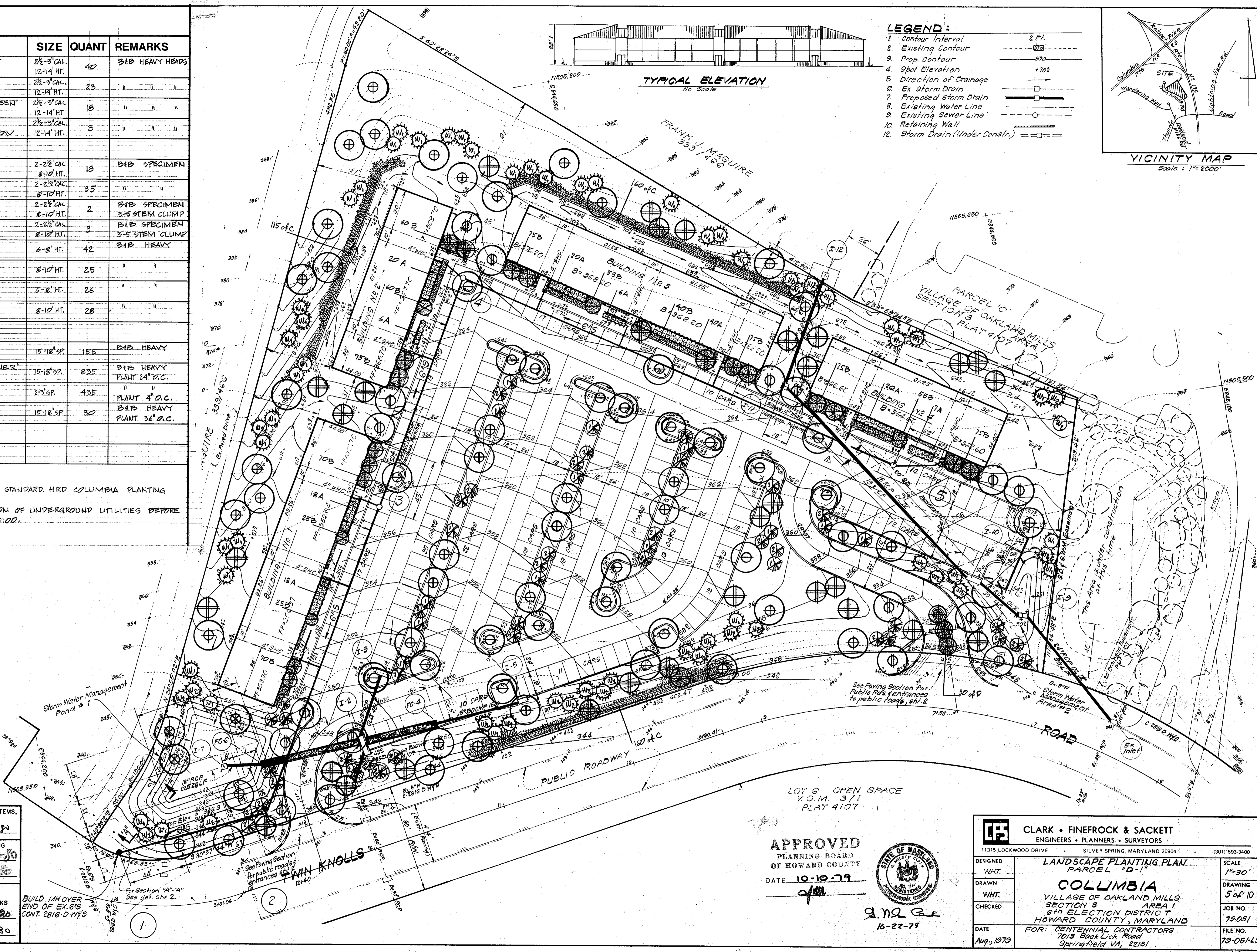
NOTE: ALL PLANTING SHALL COMPLY WITH STANDARD H.R.D. COLUMBIA PLANTING SPECIFICATIONS.  
CONTRACTOR SHALL VERIFY LOCATION OF UNDERGROUND UTILITIES BEFORE DIGGING. CALL MISS UTILITY 539-0100.



- LEGEND:**
- 1. Contour Interval 2 FT.
  - 2. Existing Contour - - - - -
  - 3. Prop. Contour - - - - -
  - 4. Spot Elevation +70±
  - 5. Direction of Drainage - - - - -
  - 6. Ex. Storm Drain - - - - -
  - 7. Proposed Storm Drain - - - - -
  - 8. Existing Water Line - - - - -
  - 9. Existing Sewer Line - - - - -
  - 10. Retaining Wall - - - - -
  - 12. Storm Drain (Under Constr.) - - - - -



VICINITY MAP  
Scale: 1"=2000'



APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,  
HOWARD COUNTY HEALTH DEPARTMENT  
GARY HEALTH OFFICER  
DATE 4-29-80

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING  
PLANNING DIRECTOR  
DATE 4-30-80

CHIEF DIVISION OF LAND DEVELOPMENT  
DATE 4-30-80

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE,  
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
DIRECTOR  
DATE 4-25-80

CHIEF BUREAU OF ENGINEERING  
DATE 4-25-80

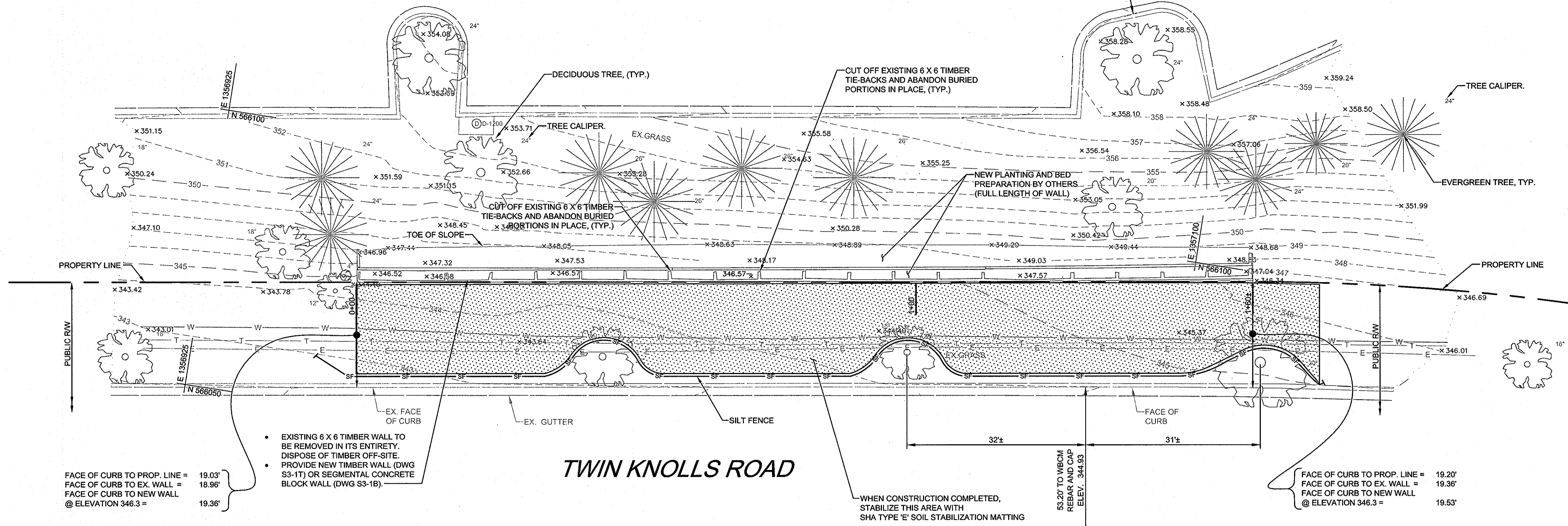
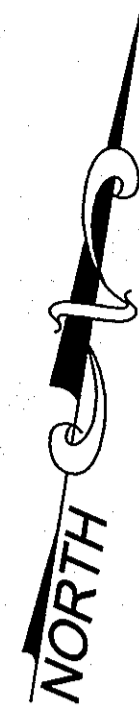
LOT 8 OPEN SPACE  
Y.O.M. 3/11  
PLAT 4107

APPROVED  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE 10-10-79



2.12.80  
10-22-79

<b>CLARK • FINEROCK &amp; SACKETT</b> ENGINEERS • PLANNERS • SURVEYORS 11315 LOCKWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 593 3400	
DESIGNED WHT.	LANDSCAPE PLANTING PLAN PARCEL "D-1"
DRAWN WHT.	COLUMBIA VILLAGE OF OAKLAND MILLS SECTION 3 AREA 1 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND
CHECKED	FOR: CENTENNIAL CONTRACTORS 7019 Backlick Road Springfield VA, 22151
DATE Aug, 1979	SCALE 1"=30' DRAWING 5 of 10 JOB NO. 79-051 FILE NO. 79-061LS



**TWIN KNOLLS ROAD**

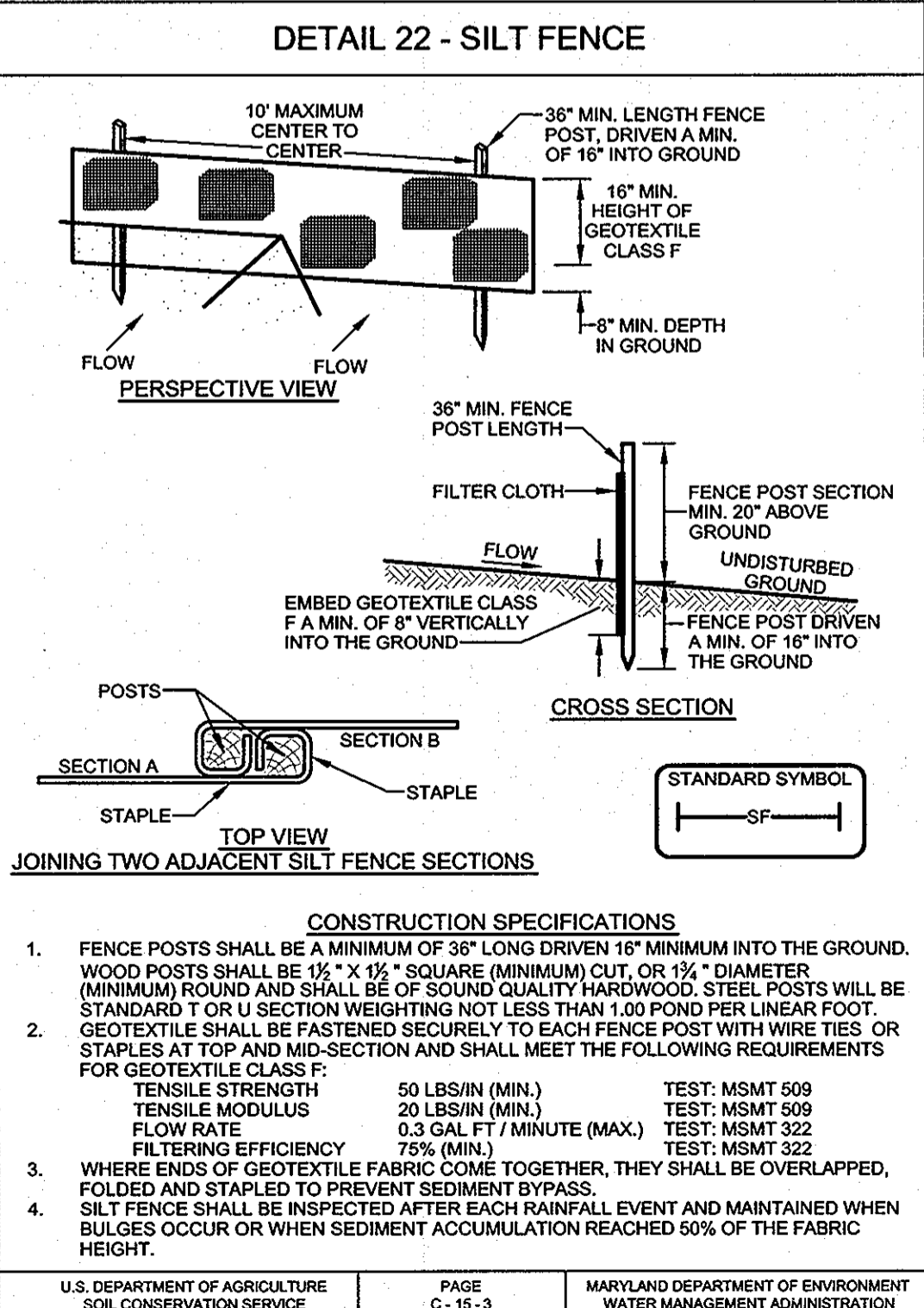
**WALL 1 - ALONG TWIN KNOLLS ROAD**  
SCALE: 1" = 10'

OWNER: **VILLAGE OF OAKLAND MILLS, PARCEL D-1**  
**TWIN KNOLLS PROFESSIONAL CTR.**  
**5525 TWIN KNOLLS RD, STC 326 #**  
**COLUMBIA, MD 21045 TEL 410-730-2800**  
**SECTION 3**  
**6TH ELECTION DISTRICT**  
**HOWARD COUNTY, MARYLAND**

NO.	DATE	REVISION	BY

WHITNEY BAILEY COX & MAGNANI LLC  
 849 Fairmont Ave. Suite 100 Baltimore, MD 21286  
 Tel. 410-512-4500 Fax. 410-524-4100  
 www.wbcm.com

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License #8552  
 Expiration Date: 09/02/11



**SILT FENCE (continued)**

**SILT FENCE DESIGN CRITERIA**

SLOPE STEEPNESS	SLOPE LENGTH (MAXIMUM)	SILT FENCE LENGTH (MAXIMUM)
FLATTER THAN 50:1	UNLIMITED	UNLIMITED
50:1 TO 10:1	125 FEET	1,000 FEET
10:1 TO 5:1	100 FEET	750 FEET
5:1 TO 3:1	60 FEET	500 FEET
3:1 TO 2:1	40 FEET	250 FEET
2:1 AND STEEPER	20 FEET	125 FEET

NOTE: IN AREAS OF LESS THAN 2% SLOPE AND SANDY SOILS (USDA GENERAL CLASSIFICATION SYSTEM, SOIL CLASS A) MAXIMUM SLOPE LENGTH AND SILT FENCE LENGTH WILL BE UNLIMITED. IN THESE AREAS A SILT FENCE MAY BE THE ONLY PERIMETER CONTROL REQUIRED.

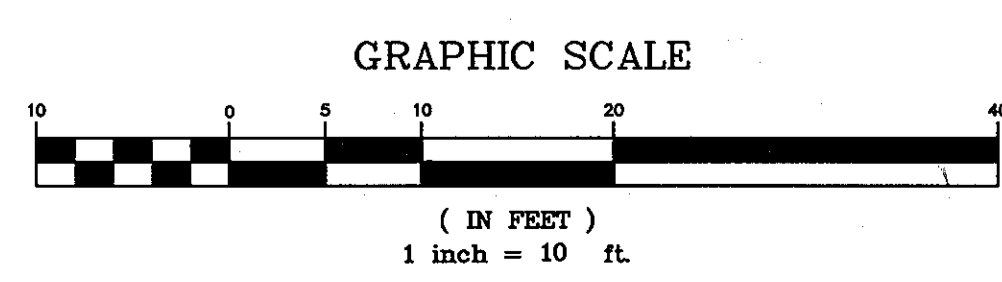
- GENERAL NOTES**
- ALL POINTS OF INGRESS AND EGRESS TO AND FROM THE WORK SITE SHALL BE PROTECTED TO PREVENT TRACKING OF MUD ON TO PUBLIC RIGHT-OF-WAYS OR PRIVATE PARKING LOTS.
  - ALL EXCAVATED MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF THE WORK AREA AND CONFINED TO AN AREA WHERE IT WILL NOT OBSTRUCT THE NORMAL COURSE OF DRAINAGE.
  - ANY EARTH, GRAVEL, AND/OR OTHER MATERIAL TRACKED, SPILLED, OR WASHED ON TO ADJACENT PARKING LOT AND ROADS MUST BE IMMEDIATELY REMOVED AND DISPOSED OF IN A PROPER MANNER. FLUSHING WILL NOT BE PERMITTED. ALL MATERIAL MUST BE REMOVED BY MEANS OF SHOVELING & SWEEPING.
  - THE CONTRACTOR SHALL APPLY SOD OR SEED AND ANCHORED STRAW MULCH OR OTHER STABILIZATION MEASURES TO ALL DISTURBED AREAS AND STOCKPILES WITHIN (7) SEVEN CALENDAR DAYS AFTER STRIPPING AND GRADING ACTIVITIES OR OTHER ACTIVITIES THAT DISTURB EXISTING NON-PAVED AREAS HAVE CEASED IN THE AREA. MAINTENANCE SHALL BE PERFORMED AS NECESSARY TO ENSURE CONTINUED STABILIZATION.
  - ALL SEDIMENT & EROSION CONTROL DEVICES ARE TO BE CHECKED AND REPAIRS MADE FOLLOWING A RAIN EVENT.
  - CONTRACTOR'S VEHICLES AND EQUIPMENT CAN NOT BE STORED WITHIN THE PUBLIC RIGHT OF WAY. DESIGNATED AREA WILL BE ASSIGNED BY OWNER. SEE OVERALL SITE PLAN. CONTRACTOR TO PROVIDE BARRICADE AROUND THE DESIGNATED AREAS.
  - BEFORE BEGINNING DEMOLITION OF THE EXISTING WALL OR ANY EXCAVATION, HAVE MISS UTILITY LOCATE ALL UTILITIES IN THE VICINITY OF THE WORK. WHEREVER THE FIBER OPTICAL CABLE IS WITHIN 3 FEET OF THE EXISTING WALL, CAREFULLY HAND DIG, SO AS TO NOT DAMAGE THE CABLE, TEST PITS TO DETERMINE THE DEPTH OF THE CABLE.
  - UTILITY LEGEND:  
W = WATERLINE  
E = ELECTRIC  
T = TELEPHONE  
FO = FIBER OPTIC CABLE
  - SEE PROJECT MANUAL FOR ADDITIONAL SPECIFICATIONS.

**WALL 1 SHEET INDEX**

C1	OVERALL SITE PLAN (MARKED-UP ORIGINAL DATED AUG. 1979)
C2-1	PARTIAL SITE PLAN - WALL ALONG TWIN KNOLLS ROAD
S1-1T	ELEVATION AND DETAILS OF WALL 1
S1-1B	NEW TIMBER WALL ALONG TWIN KNOLLS ROAD
S1-1B	ELEVATION AND DETAILS OF WALL 1
S1-1B	NEW CONCRETE BLOCK WALL ALONG TWIN KNOLLS ROAD

APPROVED, DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *[Signature]* Date: 3/23/11  
 Chief, Division of Land Development: *[Signature]* Date: 3/28/11  
 Director: *[Signature]* Date: 3/28/11

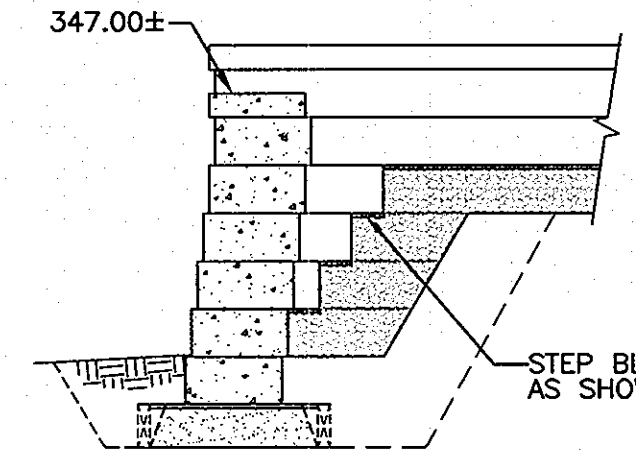
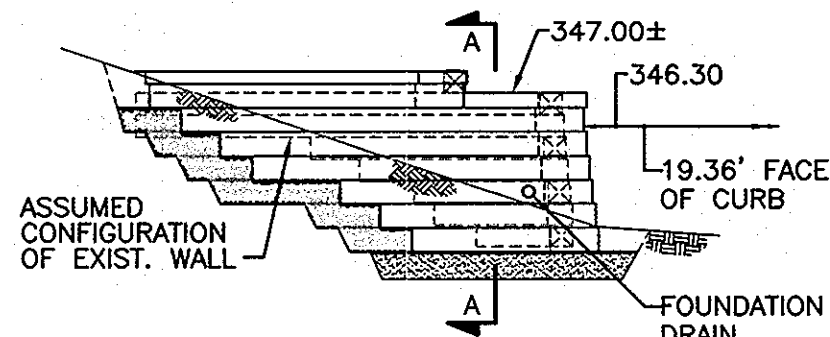


PARTIAL SITE PLAN  
 WALL ALONG TWIN KNOLLS ROAD  
 TWIN KNOLLS PROFESSIONAL CENTER  
 RETAINING WALL REPLACEMENT  
 TWIN KNOLLS ROAD - COLUMBIA, MARYLAND

PROJECT: 2010.0135.00.0  
 DESIGNED: R.M.  
 DRAWN: J.A.B.  
 CHECKED: R.M.  
 DATE: 11/08/2010  
 SCALE: 1"=10'  
 DRAWING: 6 of 10  
**C2-1**

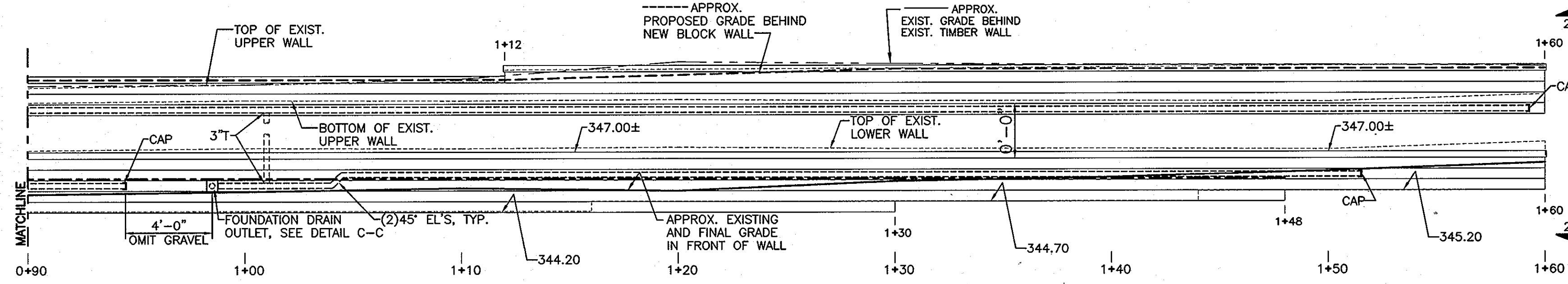
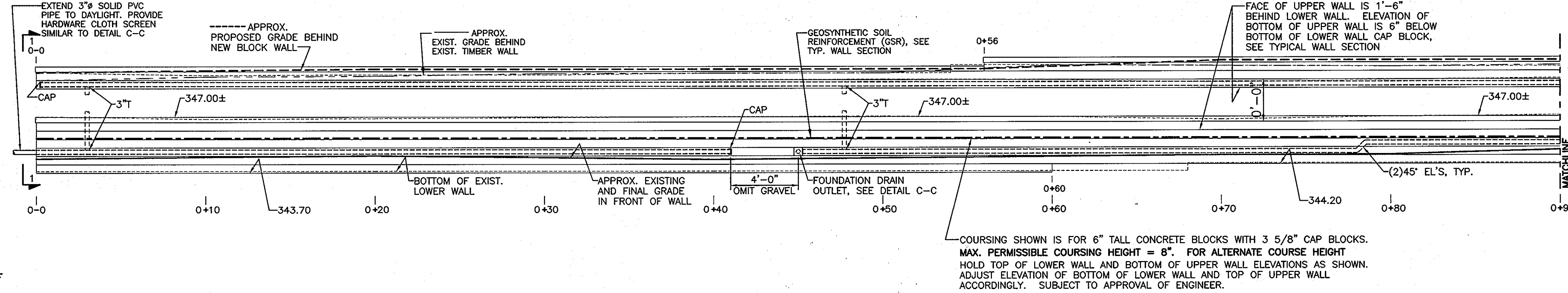
**ELEVATION 1-1  
CONCRETE BLOCK WALL**

SCALE: 1/4"=1'-0"



**SECTION A-A**

SCALE: 1/2"=1'-0"

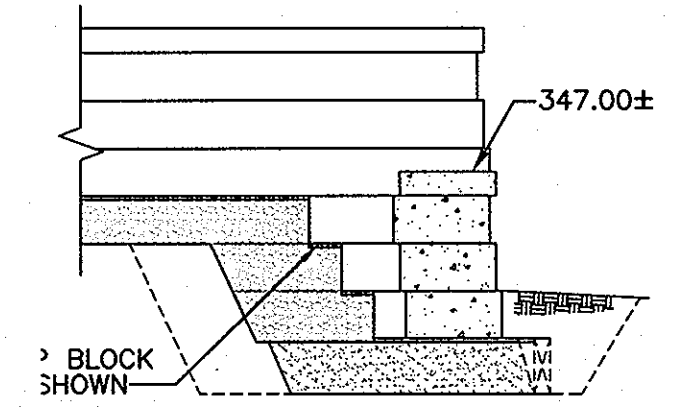
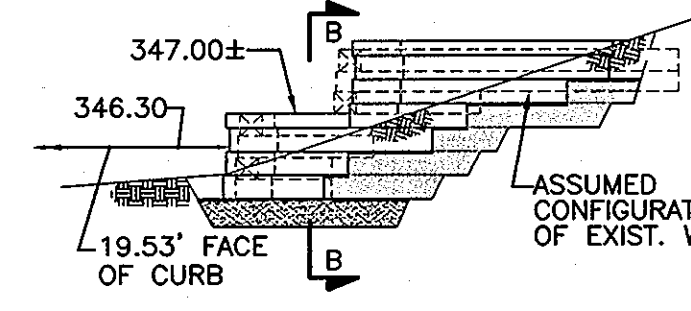


**ELEVATION OF WALL 1 - NEW BLOCK WALL ALONG TWIN KNOLLS ROAD**

SCALE: 1/4"=1'-0"

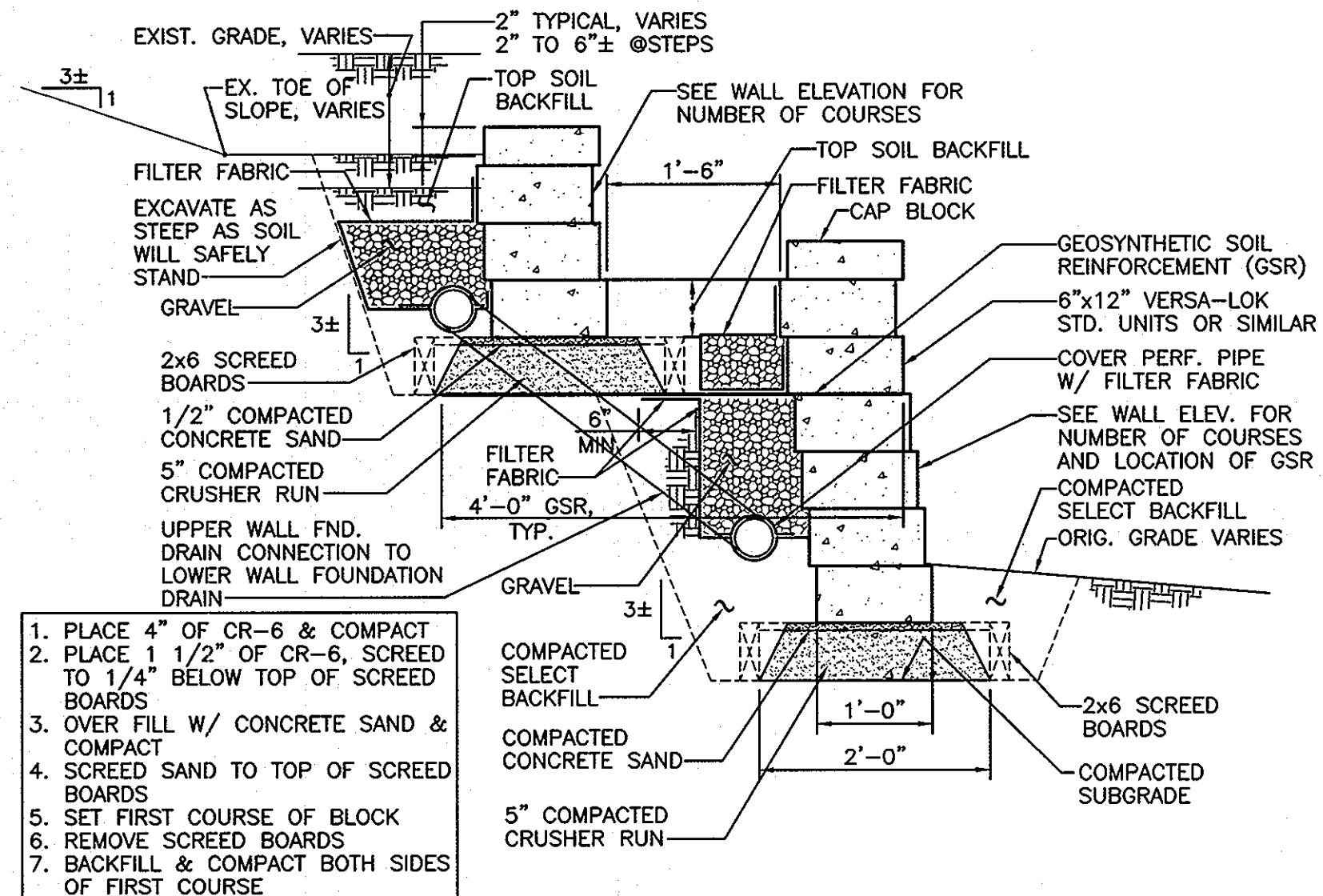
**ELEVATION 2-2  
CONCRETE BLOCK WALL**

SCALE: 1/4"=1'-0"



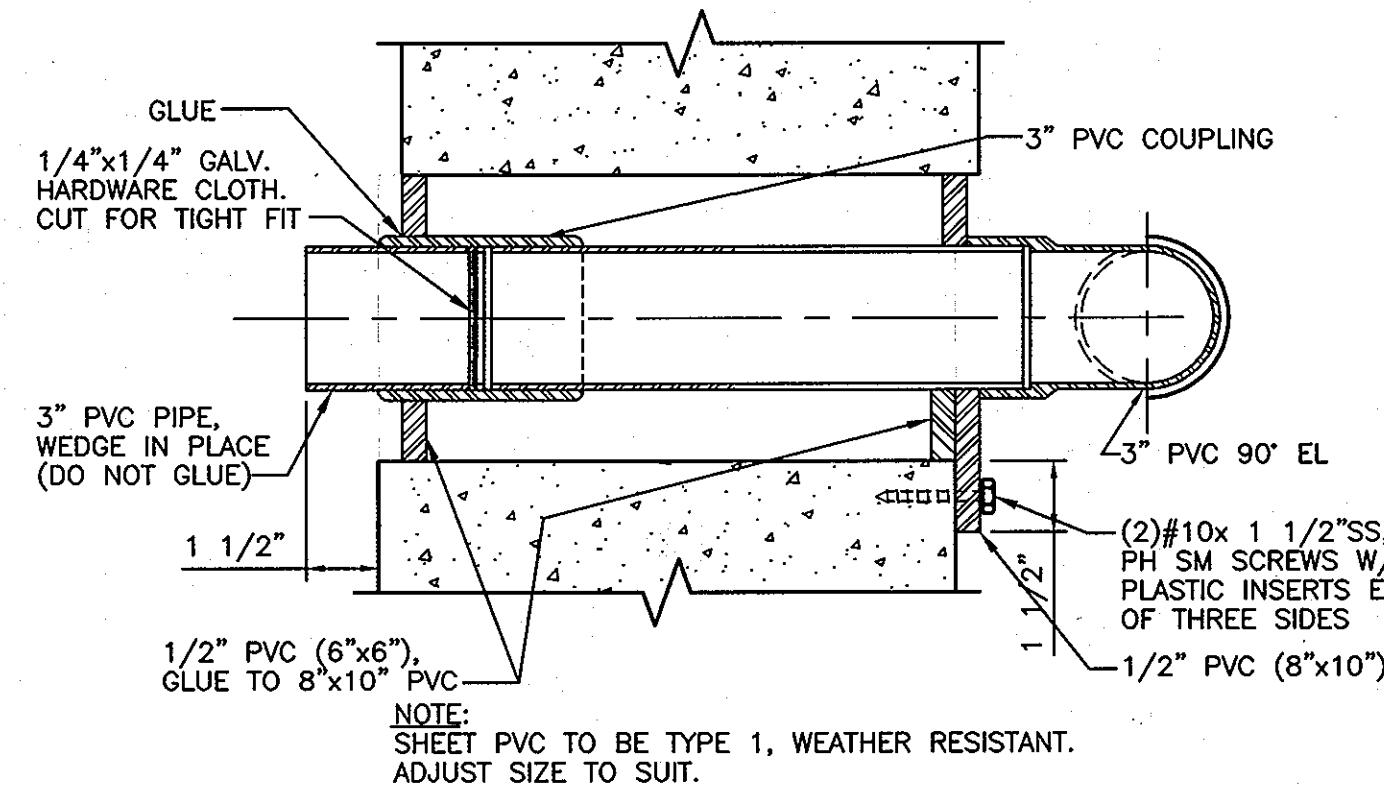
**SECTION B-B**

SCALE: 1/2"=1'-0"



**TYP. WALL SECTION**

SCALE: 3/4"=1'-0"



**FOUNDATION  
DRAIN OUTLET DETAIL C-C**

SCALE: 3"=1'-0"

**General Notes**

- Project Mobilization
  - Contractor's Designated Staging Area
    - Drawing C-1 shows the areas designated for the use by the Contractor for vehicle and equipment parking, storage of materials and stockpiling of excavated materials and new backfill materials.
    - Contractor's Designated Areas shall be cordoned off with easily movable barricades positioned so as to discourage unauthorized entrance into the Areas.
    - Protect the existing paving from damage.
  - Locating Existing Underground Utilities
    - Prior to any demolition or excavation work, have Miss Utility identify and mark the location of all utilities in the general areas of the work and access areas between Buildings 2 and 3 and between Building 3 and 4.
    - Wherever the Fiber Optic Cable, FO, is within three feet of the existing retaining walls, carefully, so as not to damage the Cable, hand dig several test pits along the length of the cable to determine its depth.
- Demolition
  - Remove existing timber walls in their entirety, except where noted that portions may be abandoned in place if deduct alternate regarding same is accepted.
  - All demolished timber shall be removed from the site and disposed of in a legal manner. Existing timber shall not be reused in the new wall.
  - At all times during demolition, great care shall be exercised so as not to damage any buried or above ground utilities or any other physical assets
- Excavation
  - Excavate to lines and grades shown on the drawings. Minimize excavation into the slopes to permit construction of the new wall. Side cuts to be as steep as the unsupported soil will safely stand.
  - Unusable Excess excavated materials shall be removed from the site and disposed of legally; or stockpiled or distributed on site as directed by Engineer.
  - At all times during excavation, great care shall be exercised so as not to damage any buried or above ground utilities or any other physical assets
  - At the end of each day, protect all open excavations with 6 mil polyethylene securely anchored in place
- New Segmental Concrete Block Walls
  - Construct new Segmental Concrete Block Walls to the profiles shown on the Wall Elevations
  - Segmental Concrete Block Walls shall be Versa-Lok Standard (6" height x 16" width x 12" depth), Keystone Compac (8" height x 18" width x 12" depth) or similar units
- See Specifications for further requirements.

OWNER  
**VILLAGE OF OAKLAND MILLS, PARCEL D-1**  
**SECTION 3**  
**6TH ELECTION DISTRICT**  
**HOWARD COUNTY, MARYLAND**  
 5525 Twin Knolls Rd. Ste 324  
 Columbia, MD 21045 Tel #410-730-2800

BY	
REVISION	
DATE	
NO.	

WHITNEY BAILEY COX & MAGNANI LLC  
 848 Fairmount Ave. Suite 100 Baltimore, MD 21288  
 Tel. 410-516-4500 Fax. 410-524-4100  
**WBCM**  
 ARCHITECTURE ENGINEERING CONSTRUCTION

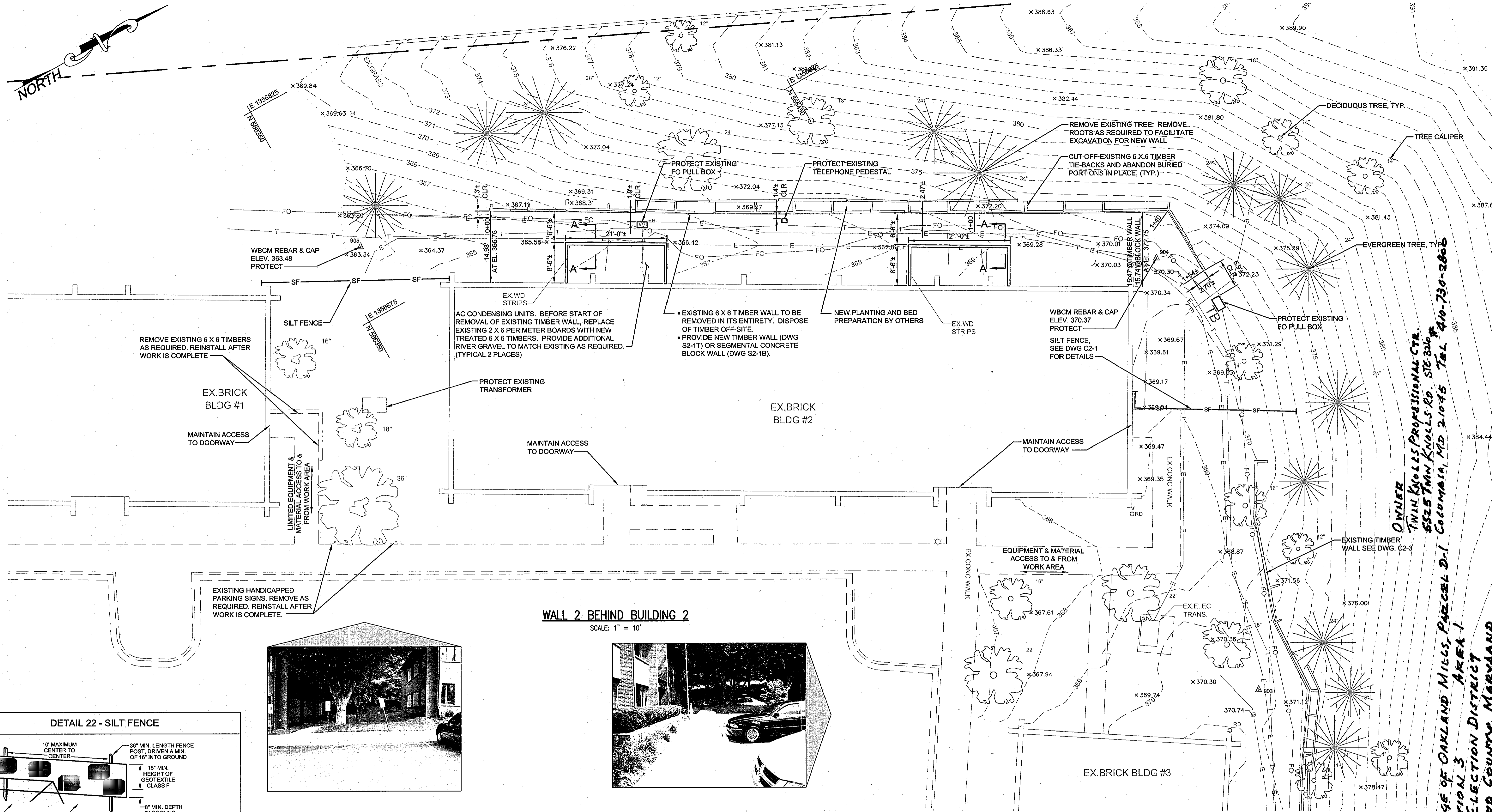
STATE OF MARYLAND  
 PROFESSIONAL ENGINEER  
 3/4/11  
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License #2029. Expiration Date: 09/02/11

ELEVATION & DETAILS OF WALL 1 - NEW BLOCK WALL ALONG TWIN KNOLLS ROAD  
 TWIN KNOLLS PROFESSIONAL CENTER RETAINING WALL REPLACEMENT  
 TWIN KNOLLS ROAD - COLUMBIA, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 Chief, Development Engineering Division Date: 3/23/11  
 Chief, Division of Land Development Date: 3/28/11  
 Director Date: 3/28/11

PROJECT:	2010.0135.00.0
DESIGNED:	R.M.
DRAWN:	R.C.W.
CHECKED:	R.M.
DATE:	11/08/2010
SCALE:	AS NOTED
DRAWING:	7 of 10

**S1-1B**



REMOVE EXISTING 6 X 6 TIMBERS AS REQUIRED. REINSTALL AFTER WORK IS COMPLETE

EX. BRICK BLDG #1

MAINTAIN ACCESS TO DOORWAY

EXISTING HANDICAPPED PARKING SIGNS. REMOVE AS REQUIRED. REINSTALL AFTER WORK IS COMPLETE.



PROTECT EXISTING TRANSFORMER

MAINTAIN ACCESS TO DOORWAY

EX. BRICK BLDG #2

MAINTAIN ACCESS TO DOORWAY

EX. BRICK BLDG #3

**WALL 2 BEHIND BUILDING 2**

SCALE: 1" = 10'



**OWNER**  
 TWIN KNOLLS PROFESSIONAL CTR.  
 6525 TWIN KNOLLS RD. STE 320  
 VILLAGE OF OAKLAND MILLS, PARCEL D-1 AREA 1  
 SECTION 3 GTR ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

410-730-2808  
 TEL. 410-730-2808

NO.	DATE	REVISION

WHITNEY BAILEY COX & MAGNANI, LLC  
 849 Fairmount Ave. Suite 100 Baltimore, MD 21286  
 Tel. 410-512-4500 Fax. 410-524-4100  
**WBCM**  
 ARCHITECTURE ENGINEERING CONSTRUCTION

STATE OF MARYLAND  
 REGISTERED PROFESSIONAL ENGINEER  
 License #2859  
 Expiration Date: 09/02/11

PARTIAL SITE PLAN  
 WALL BEHIND BUILDING 2  
 TWIN KNOLLS PROFESSIONAL CENTER  
 RETAINING WALL REPLACEMENT  
 TWIN KNOLLS ROAD - COLUMBIA, MARYLAND

PROJECT: 2010.0135.00.0  
 DESIGNED: R.M.  
 DRAWN: J.A.B.  
 CHECKED: R.M.  
 DATE: 11/08/2010  
 SCALE: 1"=10'  
 DRAWING: 8 of 10  
**C2-2**

**DETAIL 22 - SILT FENCE**

10" MAXIMUM CENTER TO CENTER  
 36" MIN. LENGTH FENCE POST, DRIVEN A MIN. OF 16" INTO GROUND  
 16" MIN. HEIGHT OF GEOTEXTILE CLASS F  
 8" MIN. DEPTH IN GROUND  
 36" MIN. FENCE POST LENGTH  
 FILTER CLOTH  
 FENCE POST SECTION MIN. 20" ABOVE GROUND  
 UNDISTURBED GROUND  
 EMBED GEOTEXTILE CLASS F A MIN. OF 8" VERTICALLY INTO THE GROUND  
 A MIN. OF 16" INTO THE GROUND  
 CROSS SECTION  
 STANDARD SYMBOL  
 SECTION A  
 SECTION B  
 STAPLE  
 TOP VIEW JOINING TWO ADJACENT SILT FENCE SECTIONS

**CONSTRUCTION SPECIFICATIONS**

- FENCE POSTS SHALL BE A MINIMUM OF 36" LONG DRIVEN 16" MINIMUM INTO THE GROUND. WOOD POSTS SHALL BE 1 1/2" X 1 1/2" SQUARE (MINIMUM) CUT, OR 1 1/2" DIAMETER (MINIMUM) ROUND AND SHALL BE OF SOLID QUALITY HARDWOOD. STEEL POSTS WILL BE STANDARD T OR U SECTION WEIGHTING NOT LESS THAN 1.00 POND PER LINEAR FOOT. GEOTEXTILE SHALL BE FASTENED SECURELY TO EACH FENCE POST WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION AND SHALL MEET THE FOLLOWING REQUIREMENTS FOR GEOTEXTILE CLASS F:
- TENSILE STRENGTH 50 LBSIN (MIN.) TEST: MSMT 509
- TENSILE MODULUS 20 LBSIN (MIN.) TEST: MSMT 509
- FLOW RATE 0.3 GAL FT / MINUTE (MAX.) TEST: MSMT 322
- FILTERING EFFICIENCY 75% (MIN.) TEST: MSMT 322
- WHERE ENDS OF GEOTEXTILE FABRIC COME TOGETHER, THEY SHALL BE OVERLAPPED, FOLDED AND STAPLED TO PREVENT SEDIMENT BYPASS.
- SILT FENCE SHALL BE INSPECTED AFTER EACH RAINFALL EVENT AND MAINTAINED WHEN BULGES OCCUR OR WHEN SEDIMENT ACCUMULATION REACHED 50% OF THE FABRIC HEIGHT.

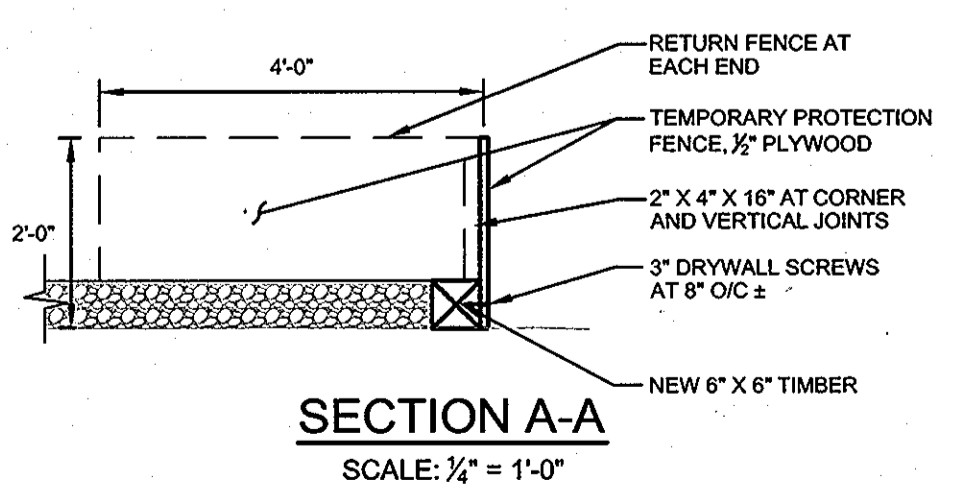
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE C-15-3 MARYLAND DEPARTMENT OF ENVIRONMENTAL WATER MANAGEMENT ADMINISTRATION  
 U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE C-15-3A MARYLAND DEPARTMENT OF ENVIRONMENTAL WATER MANAGEMENT ADMINISTRATION

**SILT FENCE (continued)**

**SILT FENCE DESIGN CRITERIA**

SLOPE STEEPNESS	SLOPE LENGTH (MAXIMUM)	SILT FENCE LENGTH (MAXIMUM)
FLATTER THAN 50:1	UNLIMITED	UNLIMITED
50:1 TO 10:1	125 FEET	1,000 FEET
10:1 TO 5:1	100 FEET	750 FEET
5:1 TO 3:1	60 FEET	500 FEET
3:1 TO 2:1	40 FEET	250 FEET
2:1 AND STEEPER	20 FEET	125 FEET

NOTE: IN AREAS OF LESS THAN 2% SLOPE AND SANDY SOILS (USDA GENERAL CLASSIFICATION SYSTEM, SOIL CLASS A) MAXIMUM SLOPE LENGTH AND SILT FENCE LENGTH WILL BE UNLIMITED. IN THESE AREAS A SILT FENCE MAY BE THE ONLY PERIMETER CONTROL REQUIRED.



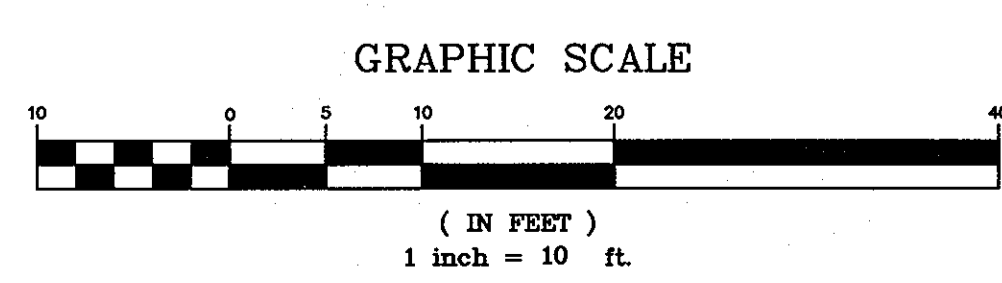
**GENERAL NOTES**

- ALL POINTS OF INGRESS AND EGRESS TO AND FROM THE WORK SITE SHALL BE PROTECTED TO PREVENT TRACKING OF MUD ON TO PUBLIC RIGHT-OF-WAYS OR PRIVATE PARKING LOTS.
- ALL EXCAVATED MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF THE WORK AREA AND CONFINED TO AN AREA WHERE IT WILL NOT OBSTRUCT THE NORMAL COURSE OF DRAINAGE.
- ANY EARTH, GRAVEL, AND/OR OTHER MATERIAL TRACKED, SPILLED, OR WASHED ON TO ADJACENT PARKING LOT AND ROADS MUST BE IMMEDIATELY REMOVED AND DISPOSED OF IN A PROPER MANNER. FLUSHING WILL NOT BE PERMITTED. ALL MATERIAL MUST BE REMOVED BY MEANS OF SHOVELING & SWEEPING.
- THE CONTRACTOR SHALL APPLY SOD OR SEED AND ANCHORED STRAW MULCH OR OTHER STABILIZATION MEASURES TO ALL DISTURBED AREAS AND STOCKPILES WITHIN (7) SEVEN CALENDAR DAYS AFTER STRIPPING AND GRADING ACTIVITIES OR OTHER ACTIVITIES THAT DISTURB EXISTING NON-PAVED AREAS HAVE CEASED IN THE AREA. MAINTENANCE SHALL BE PERFORMED AS NECESSARY TO ENSURE CONTINUED STABILIZATION.
- PERMANENT SWALES OR OTHER POINTS OF CONCENTRATED WATER FLOW SHALL BE STABILIZED WITH SOD OR SEED WITH EROSION CONTROL MATTING, PER THE ENGINEER'S DIRECTION.
- ALL SEDIMENT & EROSION CONTROL DEVICES ARE TO BE CHECKED AND REPAIRS MADE FOLLOWING A RAIN EVENT.
- CONTRACTOR'S VEHICLES AND EQUIPMENT CAN NOT BE STORED WITHIN THE PUBLIC RIGHT OF WAY. DESIGNATED AREA WILL BE ASSIGNED BY OWNER. SEE OVERALL SITE PLAN. CONTRACTOR TO PROVIDE BARRICADE AROUND THE DESIGNATED AREAS.
- BEFORE BEGINNING DEMOLITION OF THE EXISTING WALL OR ANY EXCAVATION, HAVE MISS UTILITY LOCATE ALL UTILITIES IN THE VICINITY OF THE WORK, WHEREVER THE FIBER OPTICAL CABLE IS WITHIN 3 FEET OF THE EXISTING WALL, CAREFULLY HAND DIG, SO AS TO NOT DAMAGE THE CABLE, TEST PITS TO DETERMINE THE DEPTH OF THE CABLE.
- UTILITY LEGEND:  
 W = WATERLINE  
 E = ELECTRIC  
 T = TELEPHONE  
 FO = FIBER OPTIC CABLE
- SEE PROJECT MANUAL FOR ADDITIONAL SPECIFICATIONS.

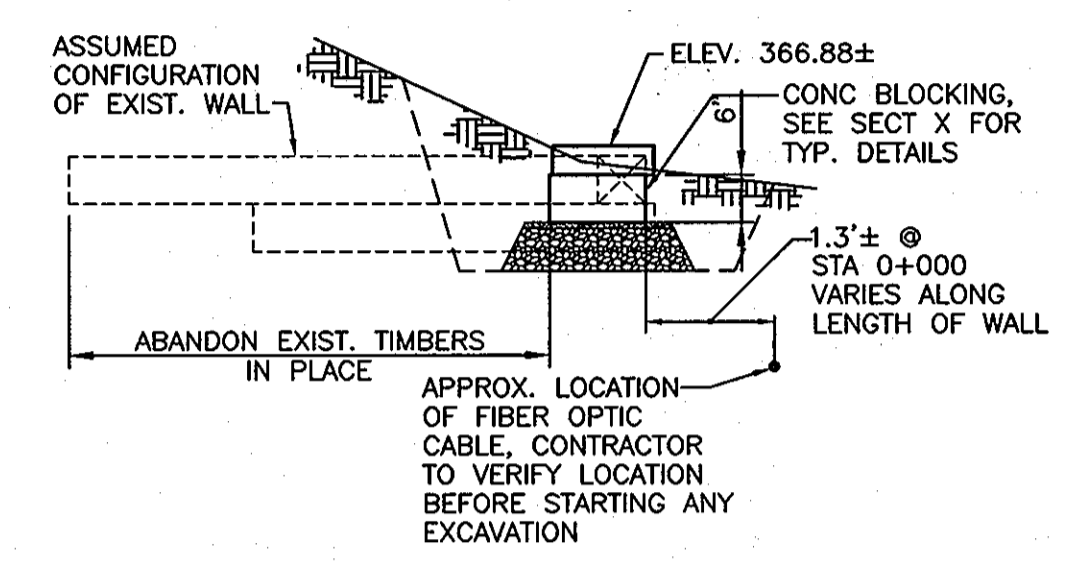
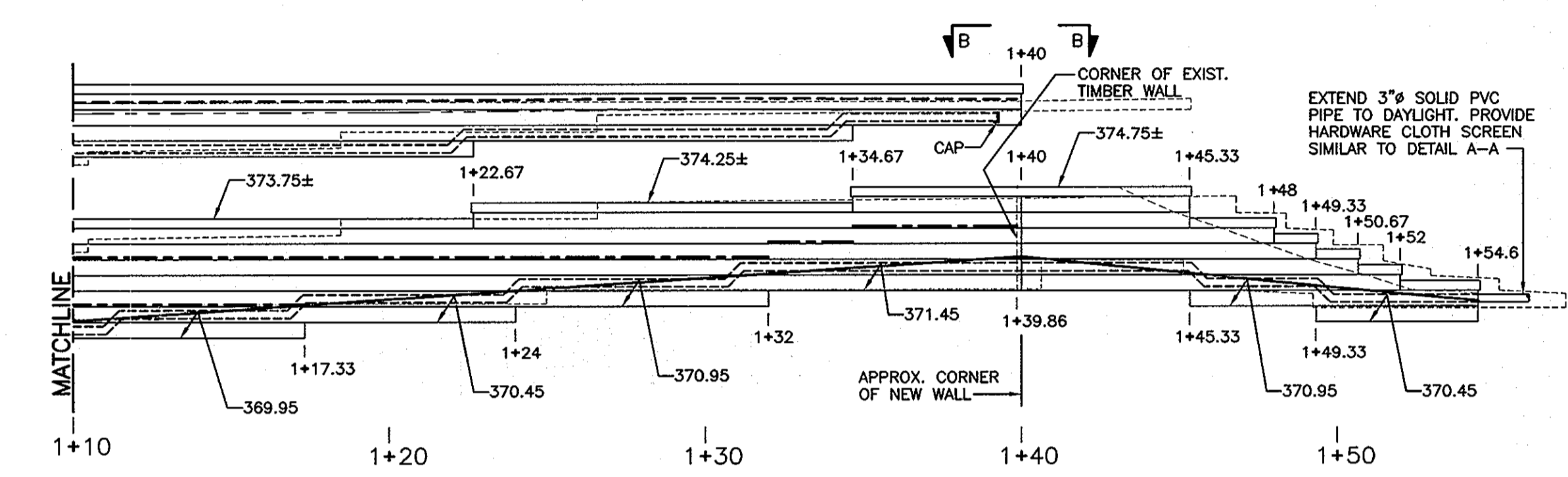
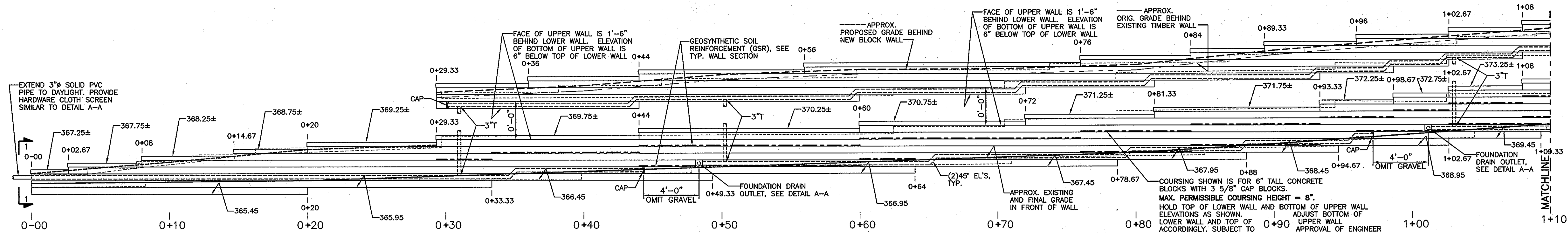
APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division  
 Chief, Division of Land Development  
 Director

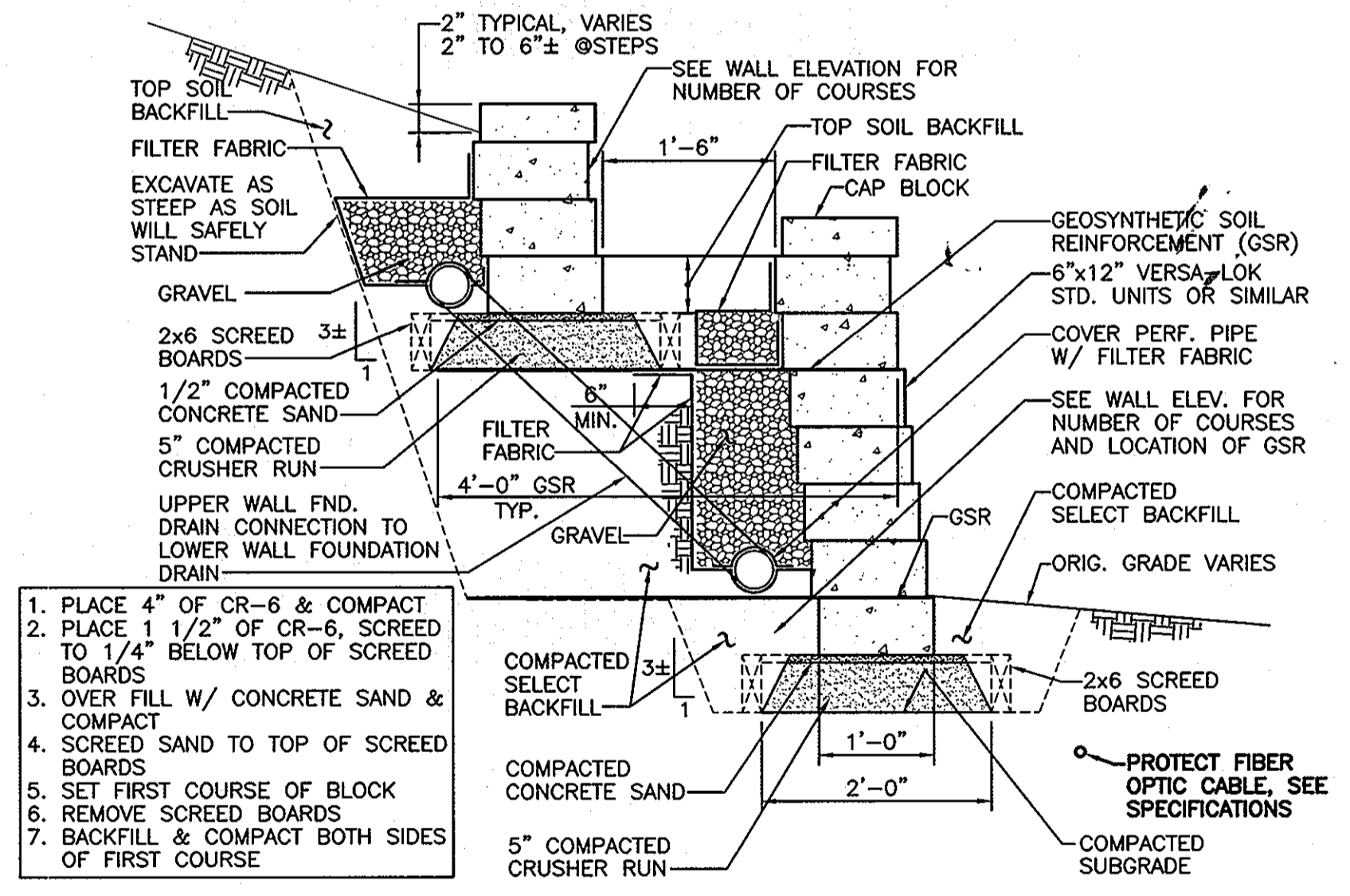
Date: 3/23/11  
 Date: 3/24/11  
 Date: 3/28/11





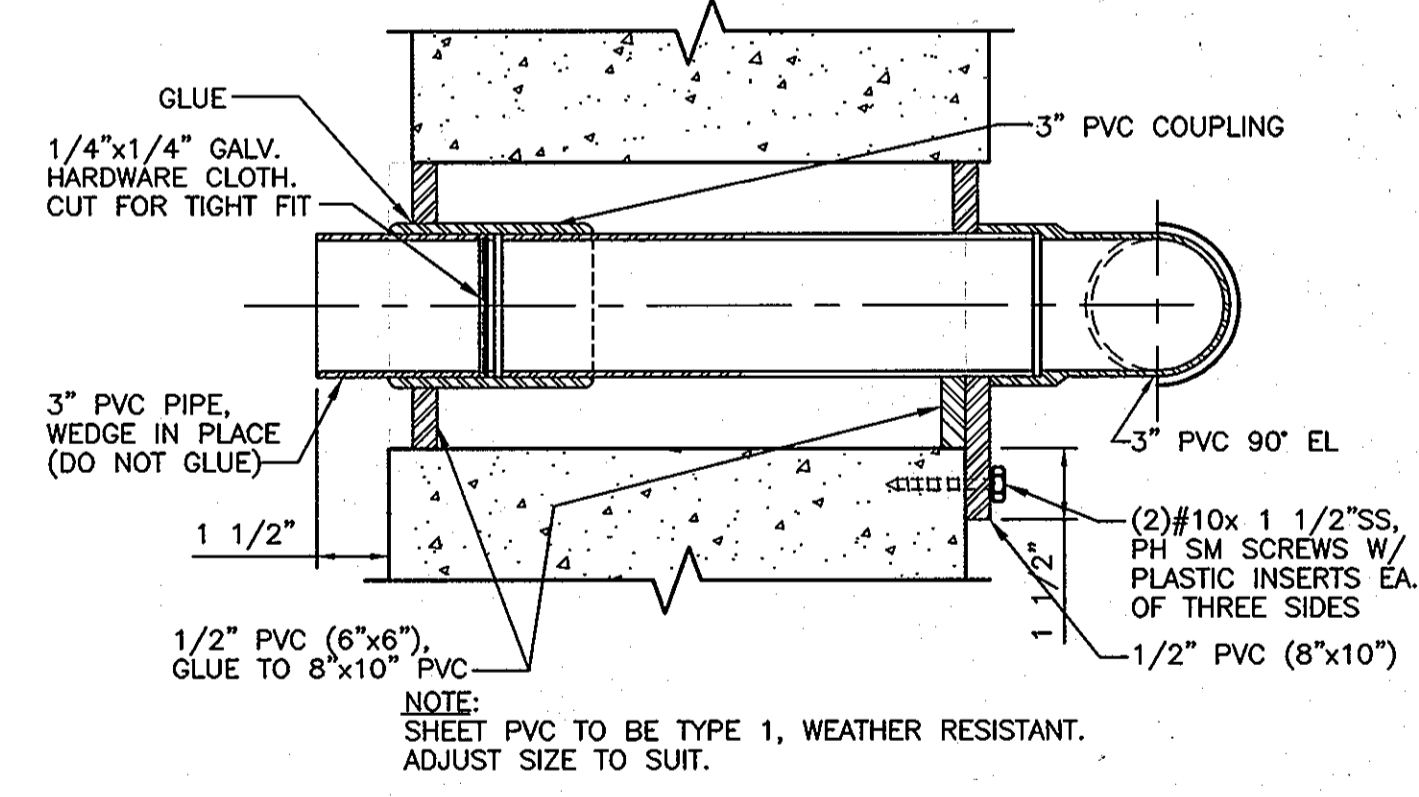


ELEVATION OF WALL 2 - NEW BLOCK WALL BEHIND BUILDING No. 2  
SCALE: 1/4"=1'-0"

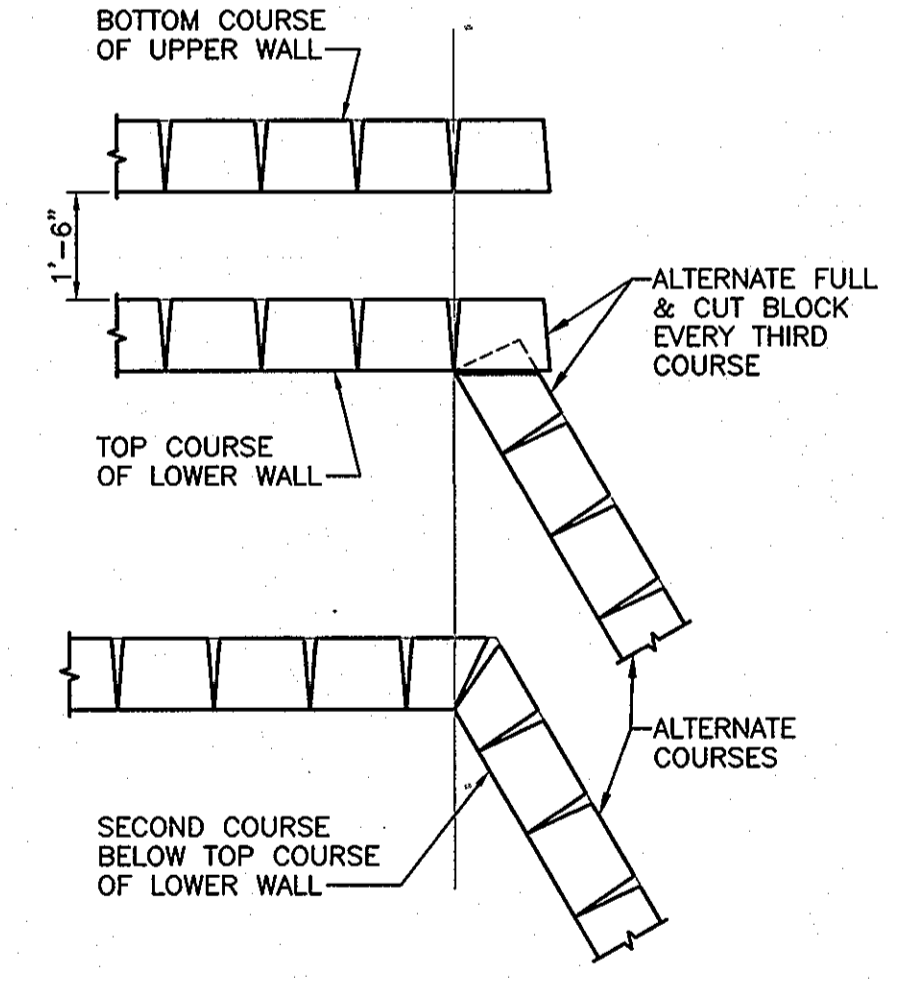


1. PLACE 4" OF CR-6 & COMPACT
2. PLACE 1 1/2" OF CR-6, SCREED TO 1/4" BELOW TOP OF SCREED BOARDS
3. OVER FILL W/ CONCRETE SAND & COMPACT
4. SCREED SAND TO TOP OF SCREED BOARDS
5. SET FIRST COURSE OF BLOCK
6. REMOVE SCREED BOARDS
7. BACKFILL & COMPACT BOTH SIDES OF FIRST COURSE

TYP. WALL SECTION  
SCALE: 3/4"=1'-0"



FOUNDATION DRAIN OUTLET DETAIL A-A  
SCALE: 3"=1'-0"



SECTION B-B  
SCALE: 3/8"=1'-0"

- General Notes**
1. Project Mobilization
    - a. Contractor's Designated Staging Area
    - i. Drawing C-1 shows the areas designated for the use by the Contractor for vehicle and equipment parking, storage of materials and stockpiling of excavated materials and new backfill materials.
    - ii. Contractor's Designated Areas shall be cordoned off with easily movable barricades positioned so as to discourage unauthorized entrance into the Areas.
    - iii. Protect the existing paving from damage.
  2. Demolition
    - a. Remove existing timber walls in their entirety, except where noted that portions may be abandoned in place if deduct alternate regarding same is accepted.
    - b. All demolished timber shall be removed from the site and disposed of in a legal manner. Existing timber shall not be reused in the new wall.
    - c. At all times during demolition, great care shall be exercised so as not to damage any buried or above ground utilities or any other physical assets
  3. Excavation
    - a. Excavate to lines and grades shown on the drawings. Minimize excavation into the slopes to permit construction of the new wall. Side cuts to be as steep as the unsupported soil will safely stand.
    - b. Unusable Excess excavated materials shall be removed from the site and disposed of legally; or stockpiled on site as directed by Engineer.
    - c. At all times during excavation, great care shall be exercised so as not to damage any buried or above ground utilities or any other physical assets
    - d. At the end of each day, protect all open excavations with 6 mil polyethylene securely anchored in place
  4. New Segmental Concrete Block Walls
    - i. Construct new Segmental Concrete Block Walls to the profiles shown on the Wall Elevations
    - ii. Segmental Concrete Block Walls shall be Versa-Lok Standard (6" height x 16" width x 12" depth), Keystone Compac (6" height x 18" width x 12" depth) or similar units
  5. See Specifications for further requirements.

OWNER:  
TWIN KNOLLS PROFESSIONAL CTE.  
5525 TWIN KNOLLS RD. STE 304 #  
COLUMBIA, MD 21045 TEL 410-730-2800

VILLAGE OF OAKLAND MILLS, PARCEL D-1  
SECTION 3  
6TH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

NO.	DATE	REVISION	BY

WHITNEY BAILEY COX & MAGNANI LLC  
949 Fairmount Ave. Suite 100 Baltimore, MD 21286  
Tel. 410-512-4600 Fax. 410-526-4100  
www.wbcm.com

**WBCM**  
ARCHITECTURE ENGINEERING CONSTRUCTION

STATE OF MARYLAND  
RICHARD W. MANNING  
Professional Engineer  
3/4/11

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License #20822 Expiration Date: 09/02/11

ELEVATION & DETAILS OF WALL 2 - NEW BLOCK WALL BEHIND BUILDING No. 2

TWIN KNOLLS PROFESSIONAL CENTER  
RETAINING WALL REPLACEMENT

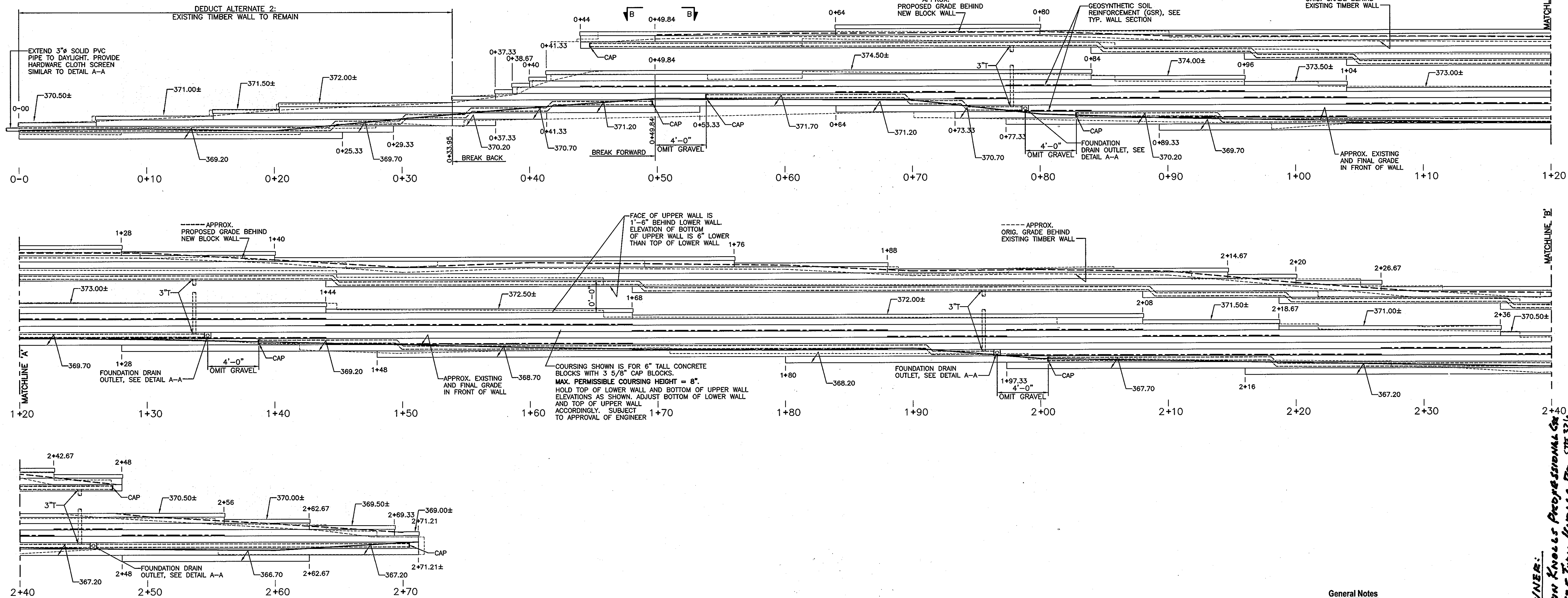
TWIN KNOLLS ROAD - COLUMBIA, MARYLAND

APPROVED - DEPARTMENT OF PLANNING AND ZONING

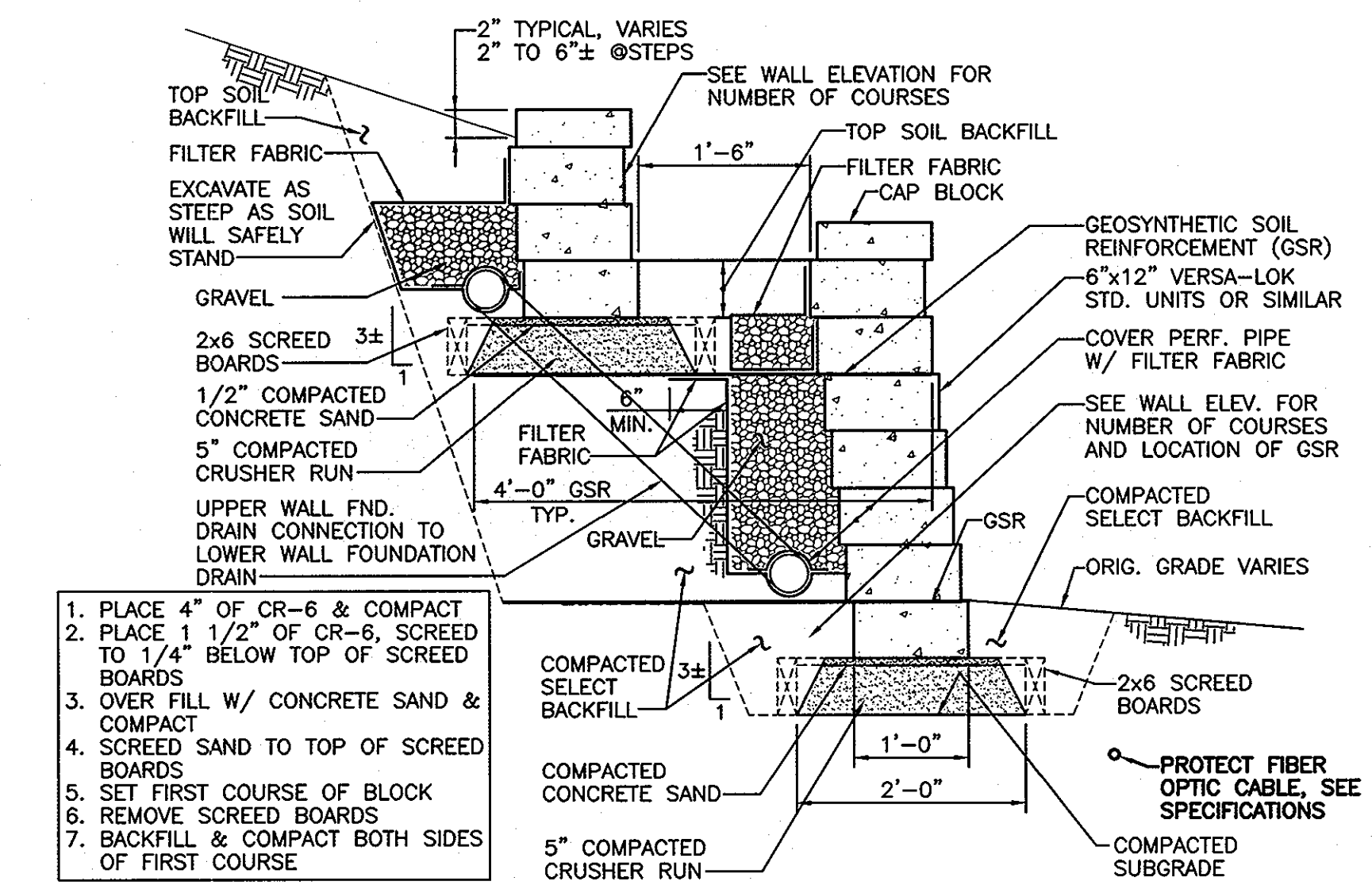
Chief, Development Engineering Division  
Chief, Division of Land Development  
Director

Date: 3/25/11  
Date: 3/28/11  
Date: 3/28/11

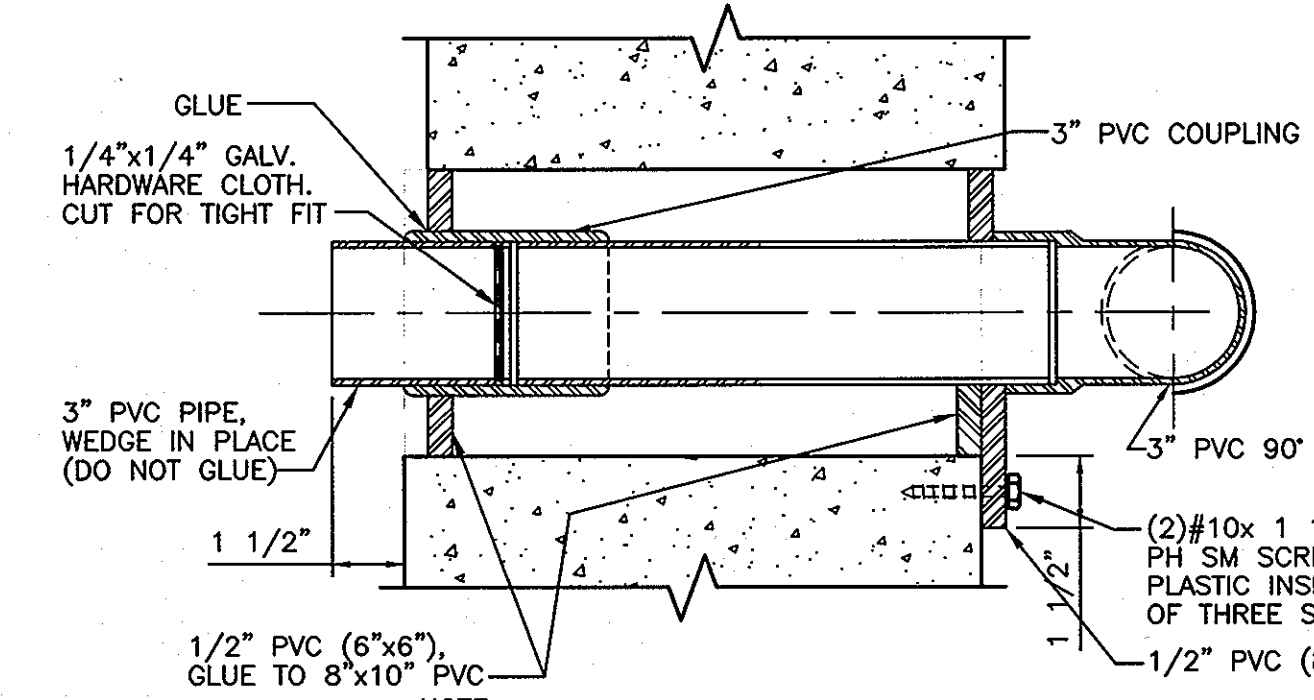
PROJECT: 2010.0135.00.0  
DESIGNED: R.M.  
DRAWN: R.C.W.  
CHECKED: R.M.  
DATE: 11/08/2010  
SCALE: AS NOTED  
DRAWING: 9 of 10



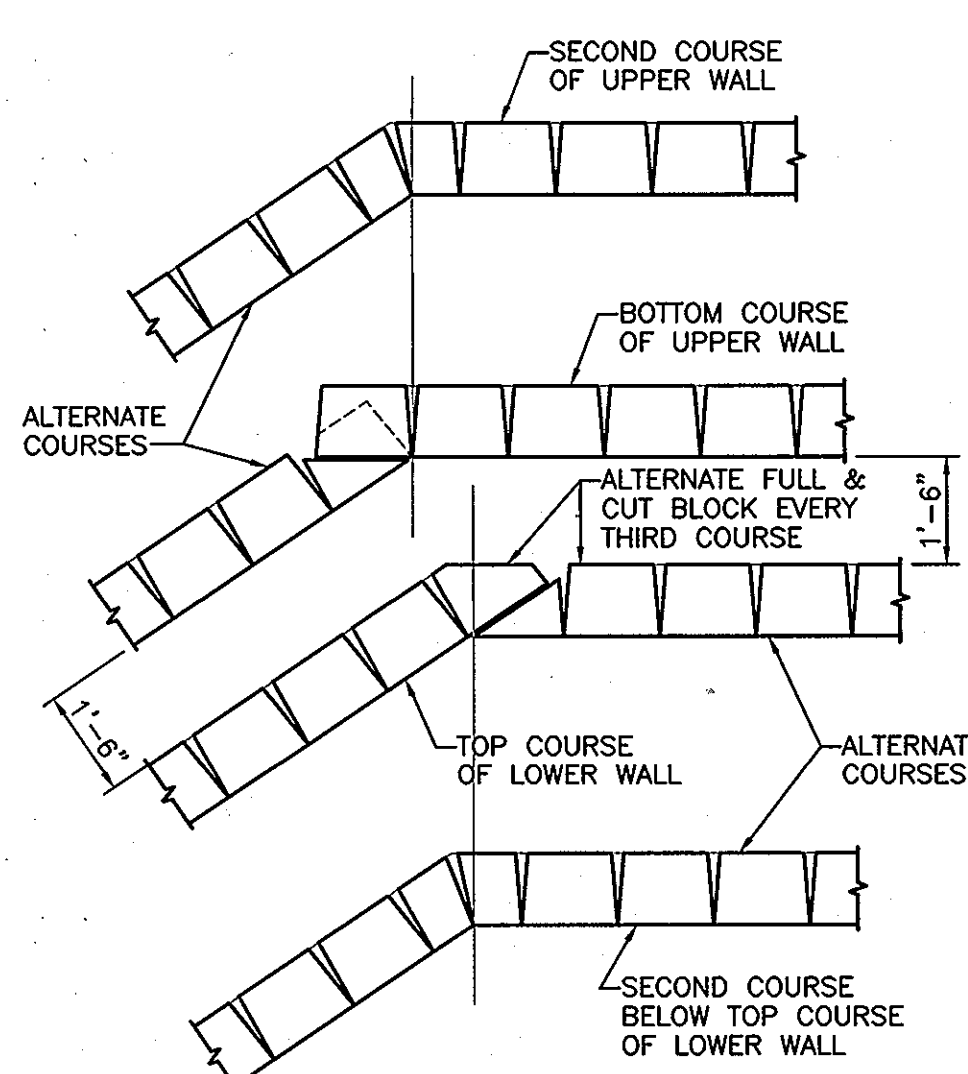
ELEVATION OF WALL 3 - NEW BLOCK WALL BEHIND BUILDING No. 3  
SCALE: 1/4"=1'-0"



TYP. WALL SECTION  
SCALE: 3/4"=1'-0"



FOUNDATION DRAIN OUTLET DETAIL A-A  
SCALE: 3"=1'-0"



SECTION B-B  
SCALE: 3/8"=1'-0"

- General Notes**
- Project Mobilization
    - Contractor's Designated Staging Area
    - Drawing C-1 shows the areas designated for the use by the Contractor for vehicle and equipment parking, storage of materials and stockpiling of excavated materials and new backfill materials.
    - Contractor's Designated Areas shall be cordoned off with easily movable barricades positioned so as to discourage unauthorized entrance into the Areas.
  - Protect the existing paving from damage.
  - Locating Existing Underground Utilities
    - Prior to any demolition or excavation work, have Miss Utility identify and mark the location of all utilities in the general areas of the work and access areas between Buildings 2 and 3 and between Building 3 and 4.
    - Wherever the Fiber Optic Cable, FO, is within three feet of the existing retaining walls, carefully, so as not to damage the Cable, hand dig several test pits along the length of the cable to determine its depth.
  - Demolition
    - Remove existing timber walls in their entirety, except where noted that portions may be abandoned in place if deduct alternate regarding same is accepted.
    - All demolished timber shall be removed from the site and disposed of in a legal manner. Existing timber shall not be reused in the new wall.
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APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 Chief, Development Engineering Division  
 Chief, Division of Land Development  
 Director

Date: 3/23/11  
 Date: 3/28/11  
 Date: 3/29/11

NO.	DATE	REVISION

OWNER:  
 TWIN KNOLLS PROFESSIONAL CENTER  
 5525 TWIN KNOLLS RD. STE 320  
 COLUMBIA, MD 21046 TEL: 410-780-2800

BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_

WHITNEY BAILEY COX & MAGNANI, LLC  
 849 Filmmount Ave., Suite 100 Baltimore, MD 21286  
 Tel. 410-512-4500 www.wbcm.com

**WBCM**  
 ARCHITECTURE ENGINEERING CONSTRUCTION

STATE OF MARYLAND  
 PROFESSIONAL ENGINEER  
 3/4/11

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License #8262  
 Expiration Date: 09/02/11

VILLAGE OF OAKLAND MILLS, PARCEL D-1  
 SECTION 3  
 6TH ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

ELEVATION & DETAILS OF WALL 3 - NEW BLOCK WALL BEHIND BUILDING No. 3  
 TWIN KNOLLS PROFESSIONAL CENTER  
 RETAINING WALL REPLACEMENT  
 TWIN KNOLLS ROAD - COLUMBIA, MARYLAND

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 DRAWING: 10 of 10  
**S3-1B**