

**GENERAL NOTES**

1. Topography taken from aerial topo prepared by Maps Incorporated and verified by field-run survey.
2. Recording reference for Lots C-1 thru C-33 is Plot # 4254
3. Water and sewer facilities are to be provided. (Publicly Owned)
4. Community owned lots which include parking spaces and sidewalks shall be owned and maintained by a home owners association. Only the 29' travelled way portion of the 50' right-of-way shall be publicly maintained.
5. The minimum gross floor area of each unit excluding basement shall be 1,080 square feet.
6. All entrance walks to dwellings shall be 3' wide.
7. All other sidewalks shall be 4' wide concrete unless otherwise noted.
8. Curb return radii for roadways shall be 25' unless otherwise specified.
9. Dwellings shown hereon are 3 bedroom 2 story group dwellings with basements.
10. Minimum setback from all public streets shall be 30' except for 50' on Hickory Ridge Road, approved by Howard County Planning Board.
11. Any damage to public right-of-way or paving must be corrected at the developer's expense.
12. Grades have been established to insure positive drainage.
13. Check walls shall be provided where a flight of steps contain more than 3 risers.
14. See Concept Plan 79-02C
15. East Wind Way and Hickory Ridge Road are public and existing roads.
16. All work shall be done in accordance with Howard County Road Construction Code and Standard Specifications.

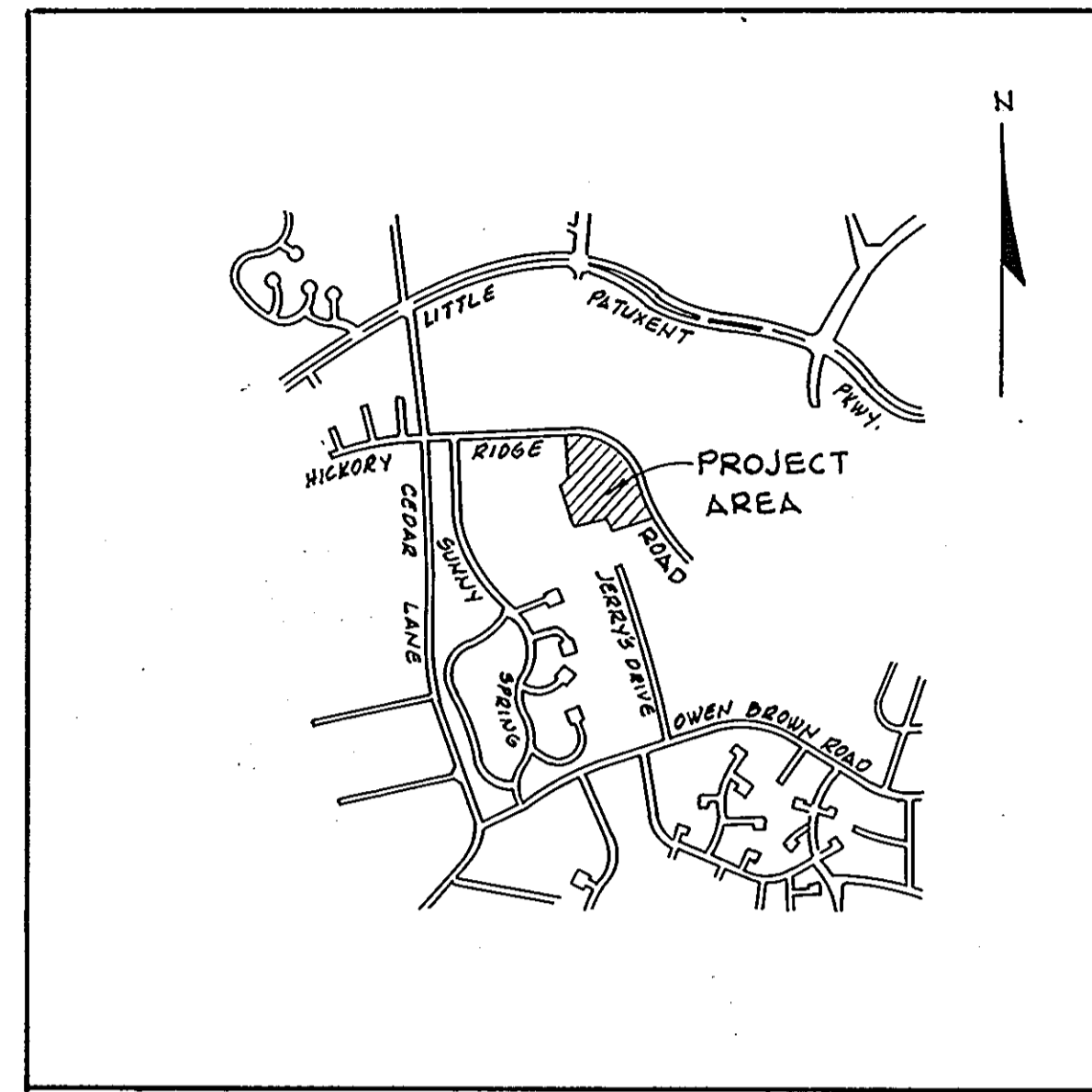
**SPECIAL NOTES**

This development plan includes all applicable information outlined in Data Sheet 150 Neighborhood Standards F.H.A. Land Planning Bulletin No. 3 V. A. Pamphlet 4 A 8 and conforms with lot improvements and detail lot grading of Chapter XII F.H.A. Minimum Property Requirements dated May 1963, and to all applicable ordinances and regulations.

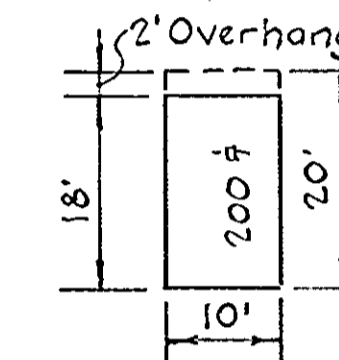
Drainage structures have been designed in accordance with sound engineering practice using recognized formulae and rainfall data currently prescribed by local authorities. These exhibits comply with the F.H.A. objectives, Minimum Property Standards, local acceptable standards and neighborhood requirements conform to all applicable local government ordinances and regulations and represent the best professional judgement of the designer.

**SITE ANALYSIS**

Existing Zoning - New Town (Single Family Attached)		
Final Development Plan - Phase 172	Plot 3054 A- 116 thru 120	
Area of this portion of Parcel "C"	3.561 Ac.	Total Lots in this portion of Parcel "C" 48
Area of SFA Lots (C-1 to C-33)	1.524 Ac.	SFA Lots 38
Area of Road R/W	0.473 Ac.	
Area of Community Owned Lots	1.477 Ac.	Community Owned Lots (C-33) 1
Area of Carport Lots (CP-15 to CP-23)	0.087 Ac.	Carport Lots 9
Dwelling Units Permissible	41	
Dwelling Units Proposed	38	
Parking Spaces Required	76	
* Parking Spaces Proposed	76	
* Includes 9 Carports		
Site Building Coverage Percentage	21	

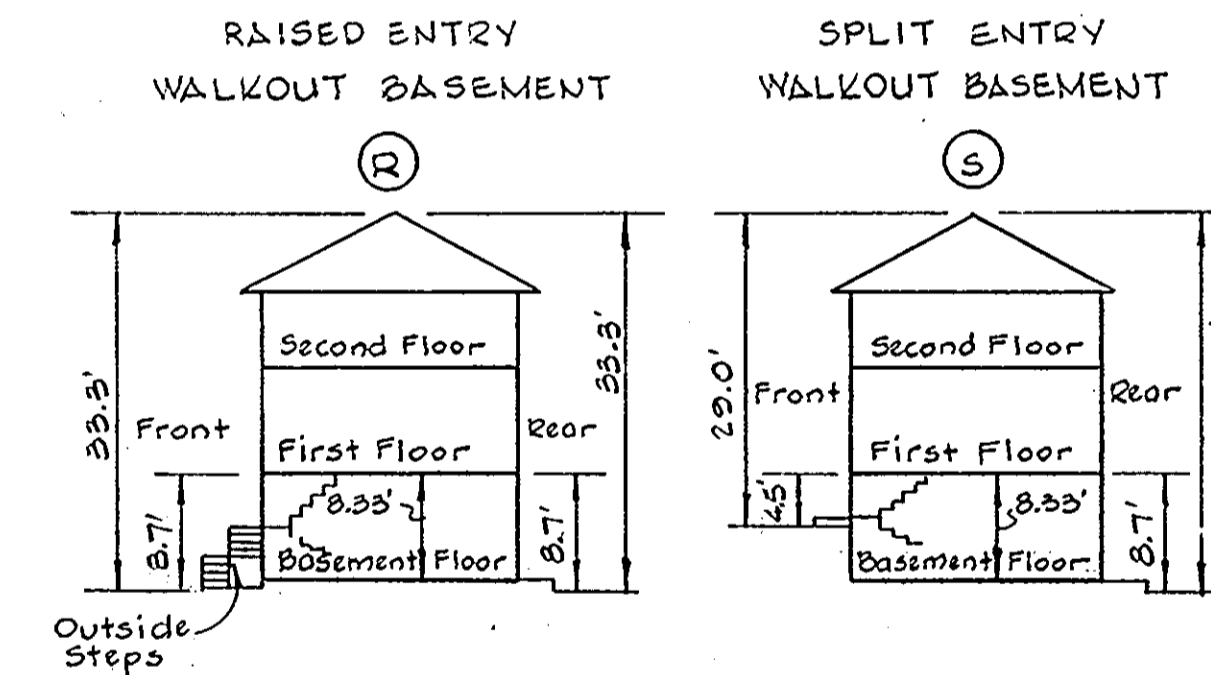


**VICINITY MAP**  
Scale: 1" = 2,000'

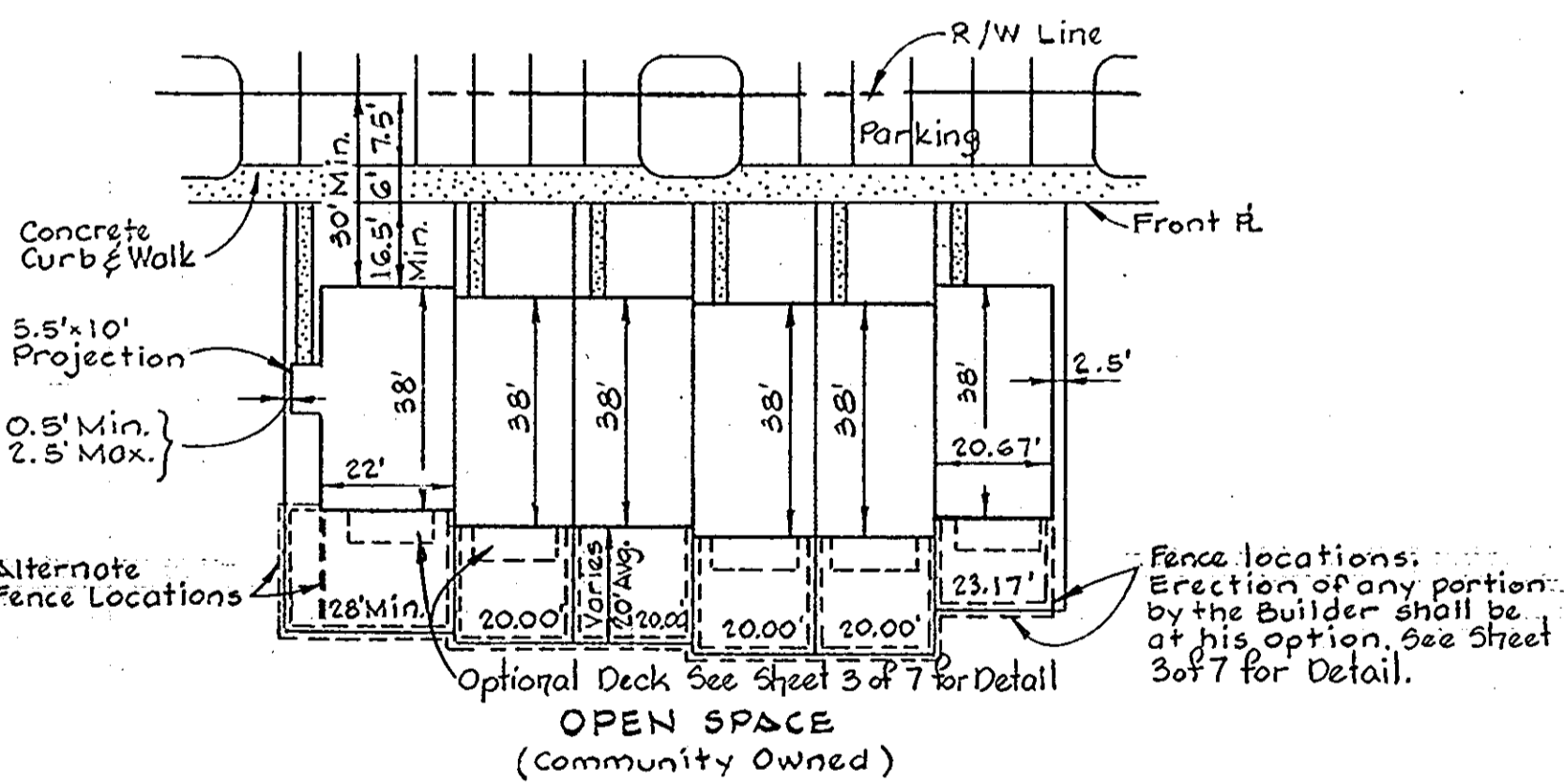


**TYPICAL PARKING SPACE**  
No Scale

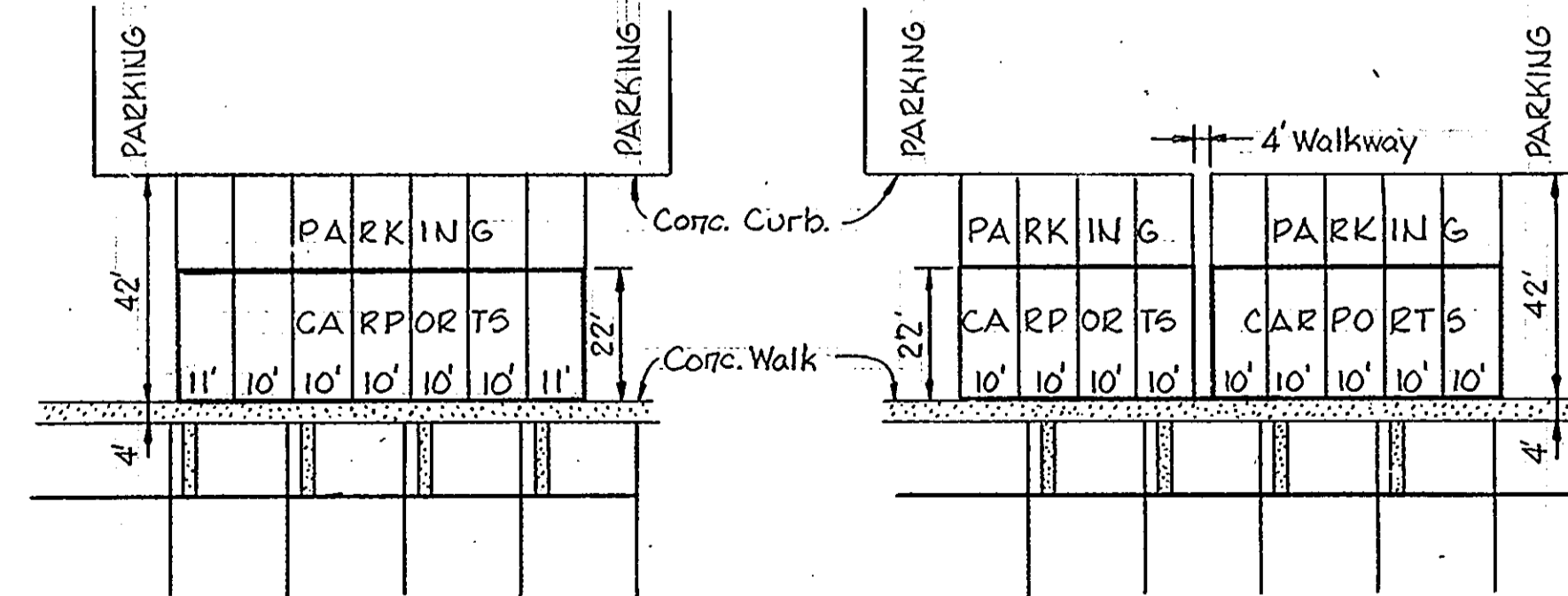
SHEET INDEX	
NO.	DESCRIPTION
1	TITLE SHEET
2	GRADING PLAN
3	DETAILS
4	STORM WATER MANAGEMENT POND
5	STORM WATER MANAGEMENT POND
6	SEDIMENT CONTROL
7	LANDSCAPE PLAN



**TYPICAL DWELLING ELEVATIONS**  
No Scale



**TYPICAL DWELLING**  
No Scale



**TYPICAL CARPORT LAYOUT**  
No Scale

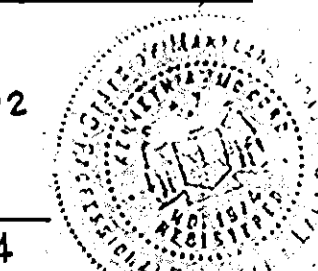
APPROVED  
DIVISION OF LAND DEVELOPMENT

HOWARD COUNTY, MARYLAND  
DATE 1-18-79  
Jum

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT  
COUNTY HEALTH OFFICER DATE 5-7-79  
APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
PLANNING DIRECTOR DATE 5-8-79  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE 5-8-79  
APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
DIRECTOR DATE 5-2-77  
CHIEF, BUREAU OF ENGINEERING DATE 5-1-79

HOWARD HOMES COMMUNITIES, INC.  
OWNER AND DEVELOPER  
P.O. Box 802, COLUMBIA, MARYLAND

WHITMAN, REQUART & ASSOCIATES  
ENGINEERS  
1304 ST. PAUL STREET  
BALTIMORE, MARYLAND 21202  
Kenneth A. McCord P.E. No. 1974



1	3/4/79	As per Planning and DPW Comments
NO.	DATE	DESCRIPTION OF REVISION

**COLUMBIA SITE PLANS**  
FOR  
HICKORY RIDGE SECTION 1 AREA  
LOTS C-1, THRU C-33  
CARPORT LOTS CP-15 THROUGH CP-23  
A RESUBDIVISION OF A PORTION OF PARCEL "C"  
**TITLE SHEET**  
SHEET 1 OF 7  
ELECTION DISTRICT NO. 5, HOWARD COUNTY, MARYLAND  
DATE: SCALE: 1" = 30'

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT  
 COUNTY HEALTH OFFICER *John G. Galum* DATE 5-7-79  
 APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
 PLANNING DIRECTOR *Thomas J. Harriott* DATE 5-8-79  
 CHIEF DIVISION OF LAND DEVELOPMENT *John W. Mischman* DATE 5-7-79  
 APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIRECTOR *Walter S. Nunn* DATE 5-2-79  
 CHIEF, BUREAU OF ENGINEERING *W.C. P. Cook* DATE 5-1-79

Walk pictured in open space is for pictorial purposes only. Final location and installation by others.

- LEGEND**
- 480-- Existing contour (2' interval)
  - ⊙ Building Group Number
  - ⊙ Number of Dwellings in Building Group
  - C-16 Lot Number
  - ▭ 20' Travelled Way (To be Publicly Maintained)
  - ▨ Concrete Walk
  - ▩ Retaining Wall
  - ▧ Macadam Walk
  - F.H. \* Fire Hydrant

Note: Vehicular Ingress and Egress is restricted along Hickory Ridge Road

APPROVED  
 DIVISION OF LAND DEVELOPMENT  
 HOWARD COUNTY, MARYLAND  
 DATE 1-18-79  
*John W. Mischman*

It is our intent to discharge all roof leaders and downspouts onto splash blocks. Where any nuisances are created, we shall rectify the situations to the satisfaction of the Howard County Plumbing Inspector.

*W.C. P. Cook*  
 Howard Homes Communities, Inc.

THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
 OWNER  
 10275 LITTLE PATUXENT PARKWAY  
 COLUMBIA, MARYLAND  
 HOWARD HOMES COMMUNITIES, INC.  
 DEVELOPER  
 P.O. BOX 802, COLUMBIA, MARYLAND

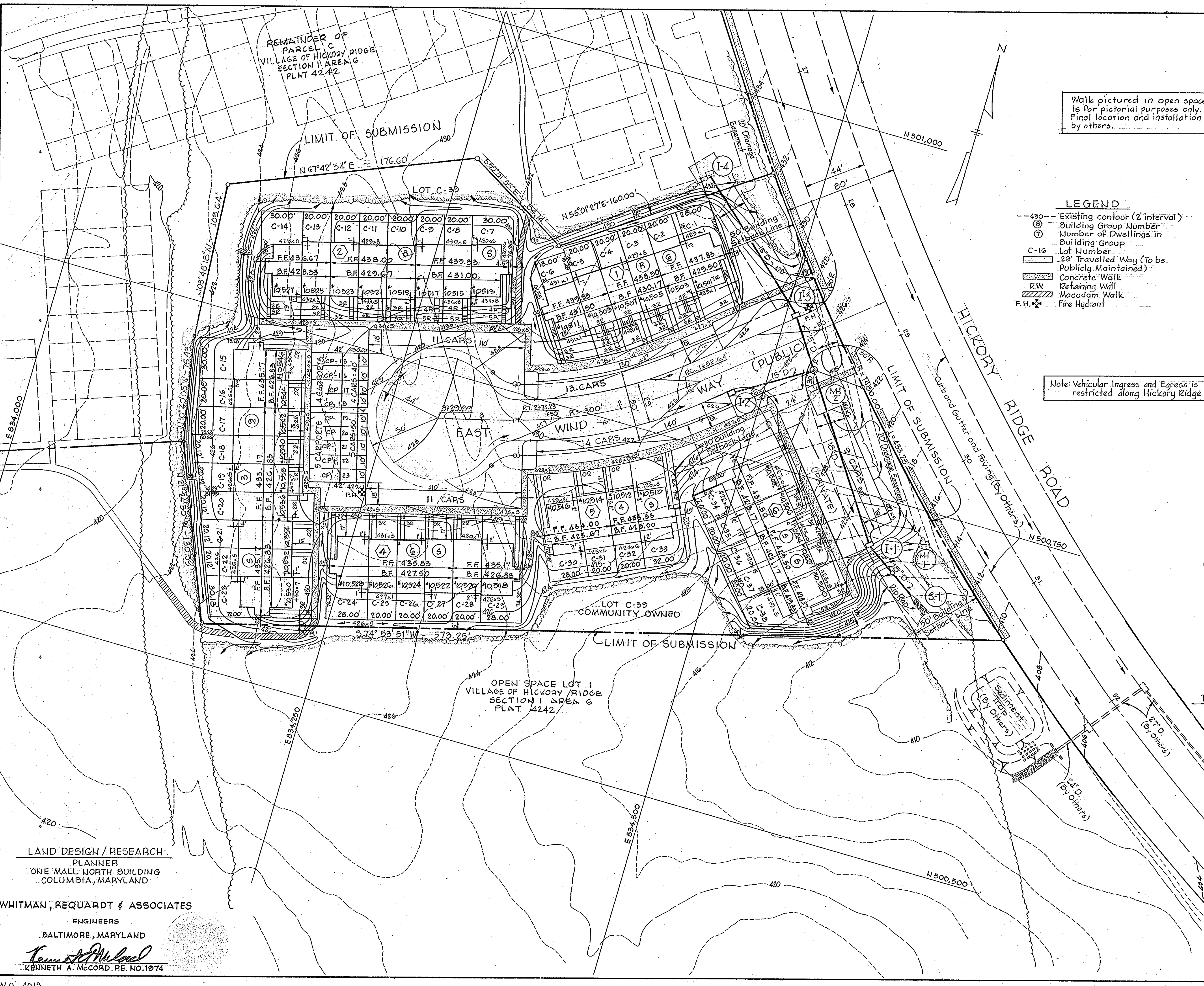
NO.	DATE	DESCRIPTION OF REVISIONS
1	3/4/79	As per Planning and DPW Comments

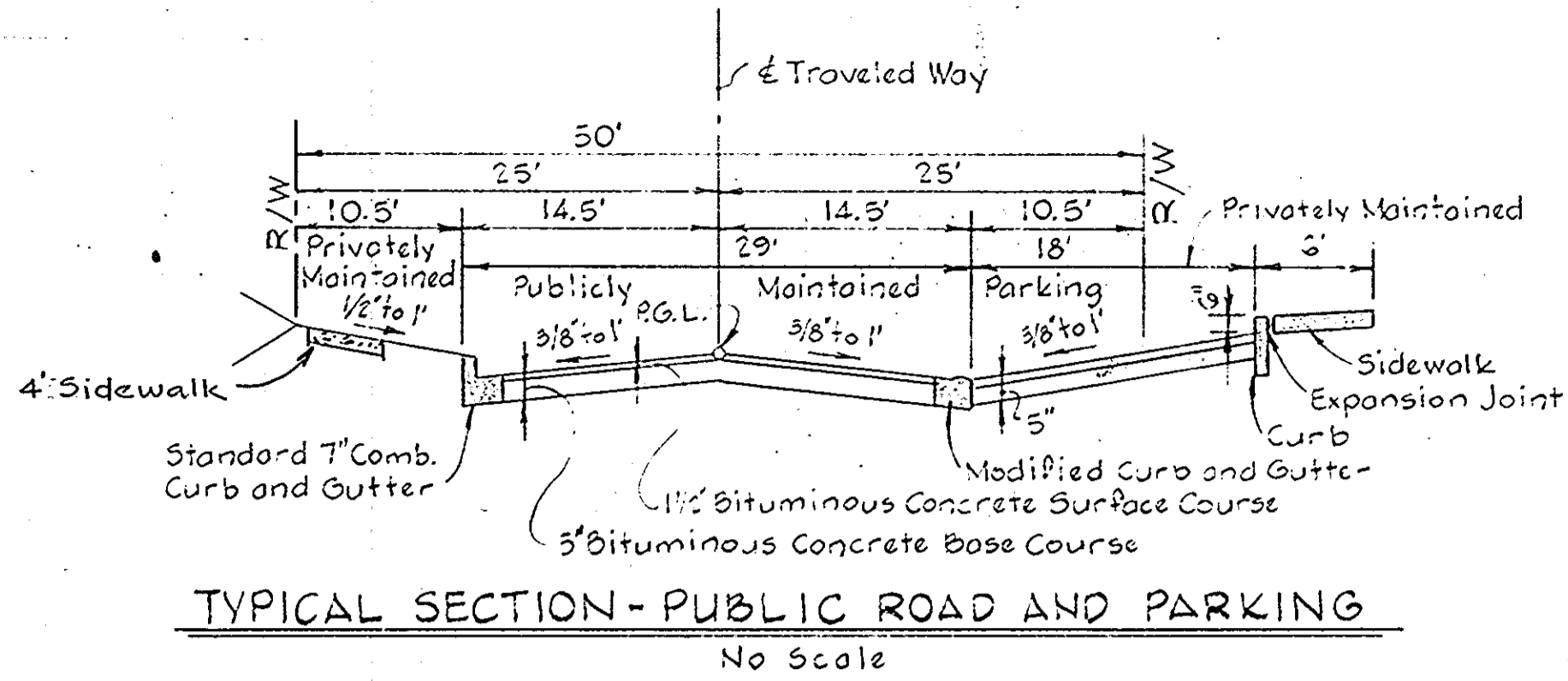
**COLUMBIA SITE PLANS**

FOR  
**HICKORY RIDGE**  
 SECTION I AREA G  
 LOTS C-1 THRU C-39  
 CARPORT LOTS CP-15 THRU CP-23  
 A RESUBDIVISION OF A PORTION OF PARCEL "C"  
 P.B. 4254  
**GRADING PLAN**  
 SHEET 2 OF 7

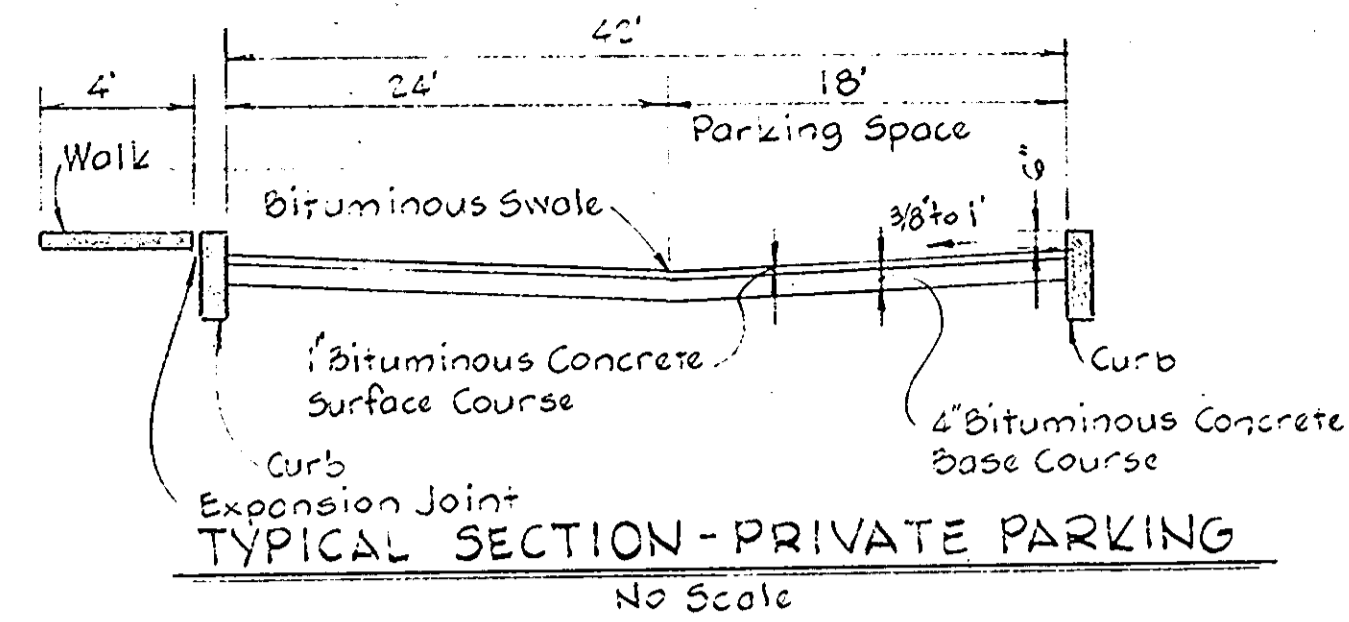
ELECTION DISTRICT NO. 5, HOWARD COUNTY, MARYLAND  
 DATE: SCALE: 1"=30'

LAND DESIGN / RESEARCH  
 PLANNER  
 ONE MALL NORTH BUILDING  
 COLUMBIA, MARYLAND  
 WHITMAN, REQUARDT & ASSOCIATES  
 ENGINEERS  
 BALTIMORE, MARYLAND  
*Kenneth A. McCord*  
 KENNETH A. MCCORD, P.E. NO. 1074

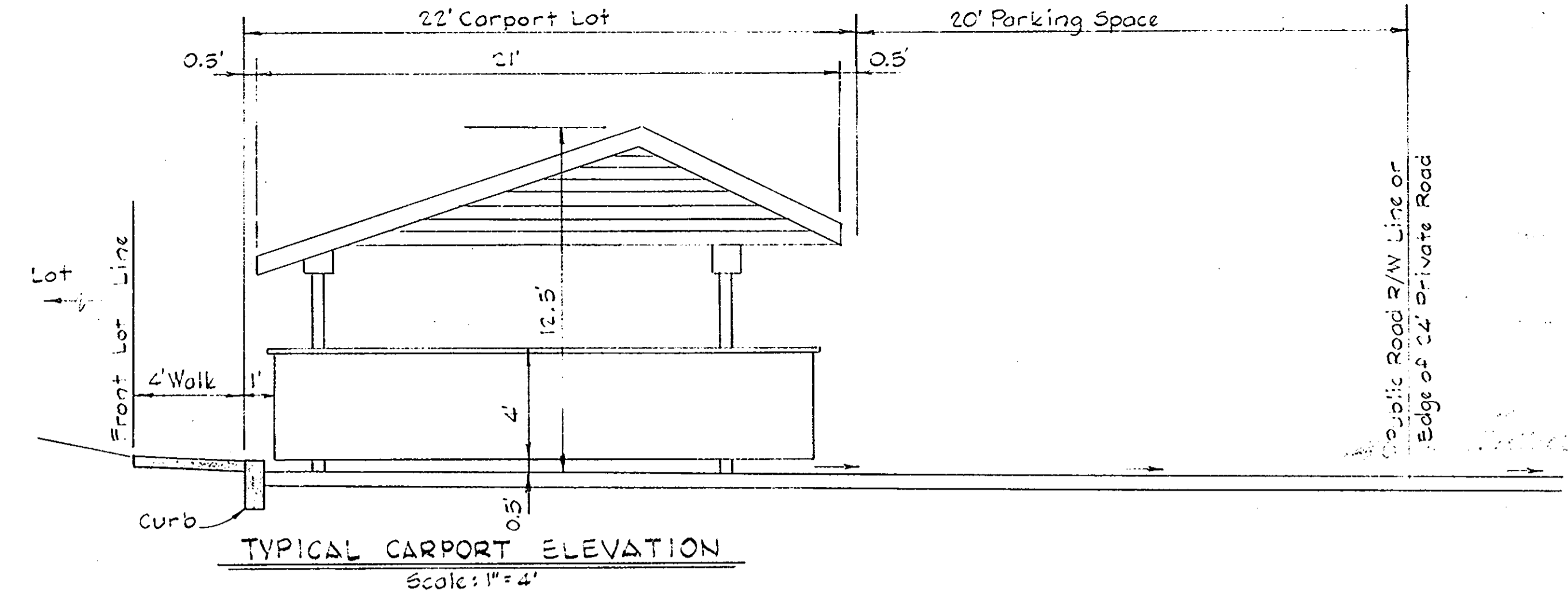




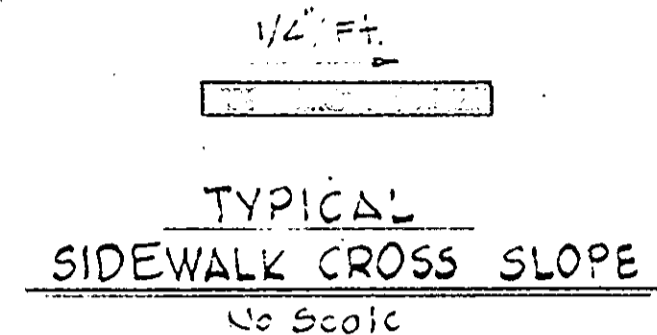
TYPICAL SECTION - PUBLIC ROAD AND PARKING  
No Scale



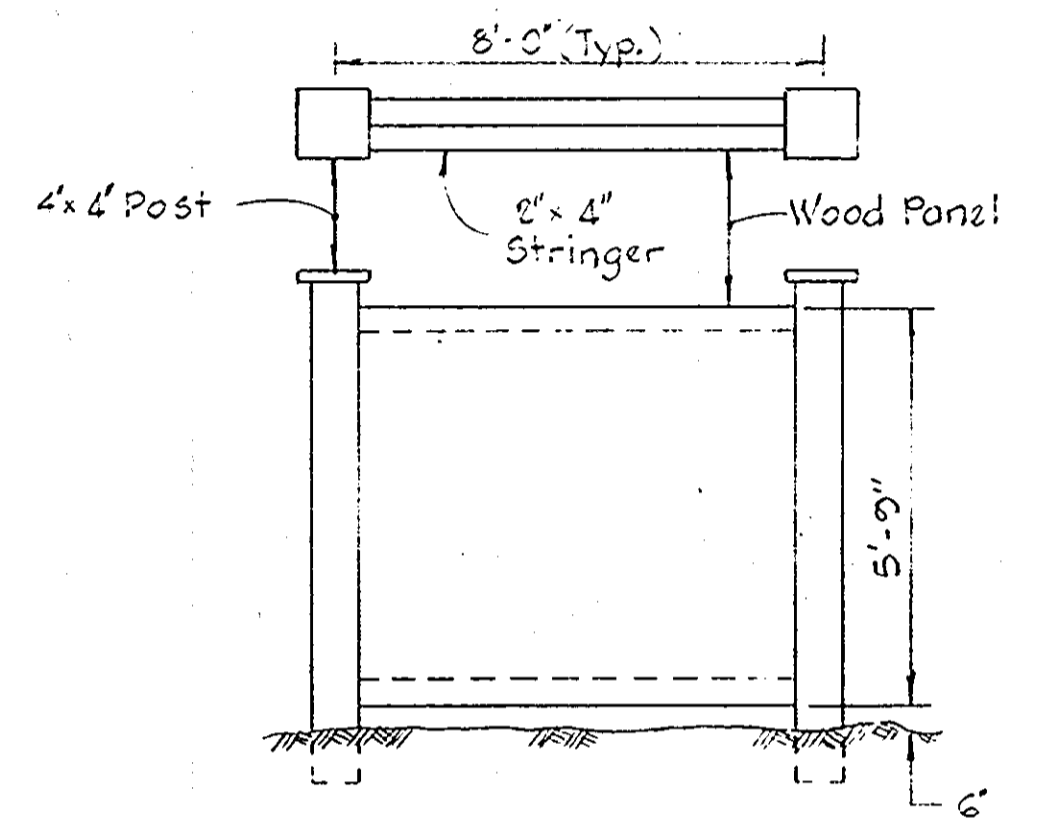
TYPICAL SECTION - PRIVATE PARKING  
No Scale



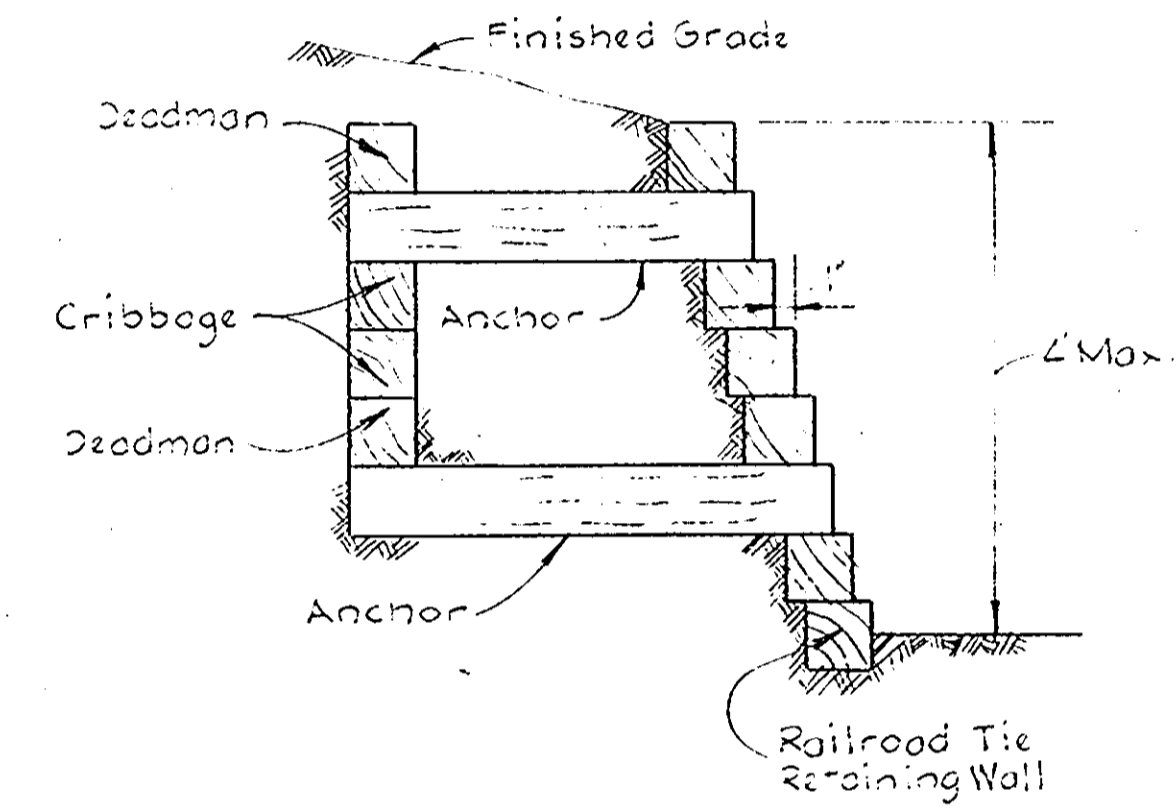
TYPICAL CARPORT ELEVATION  
Scale: 1" = 4'



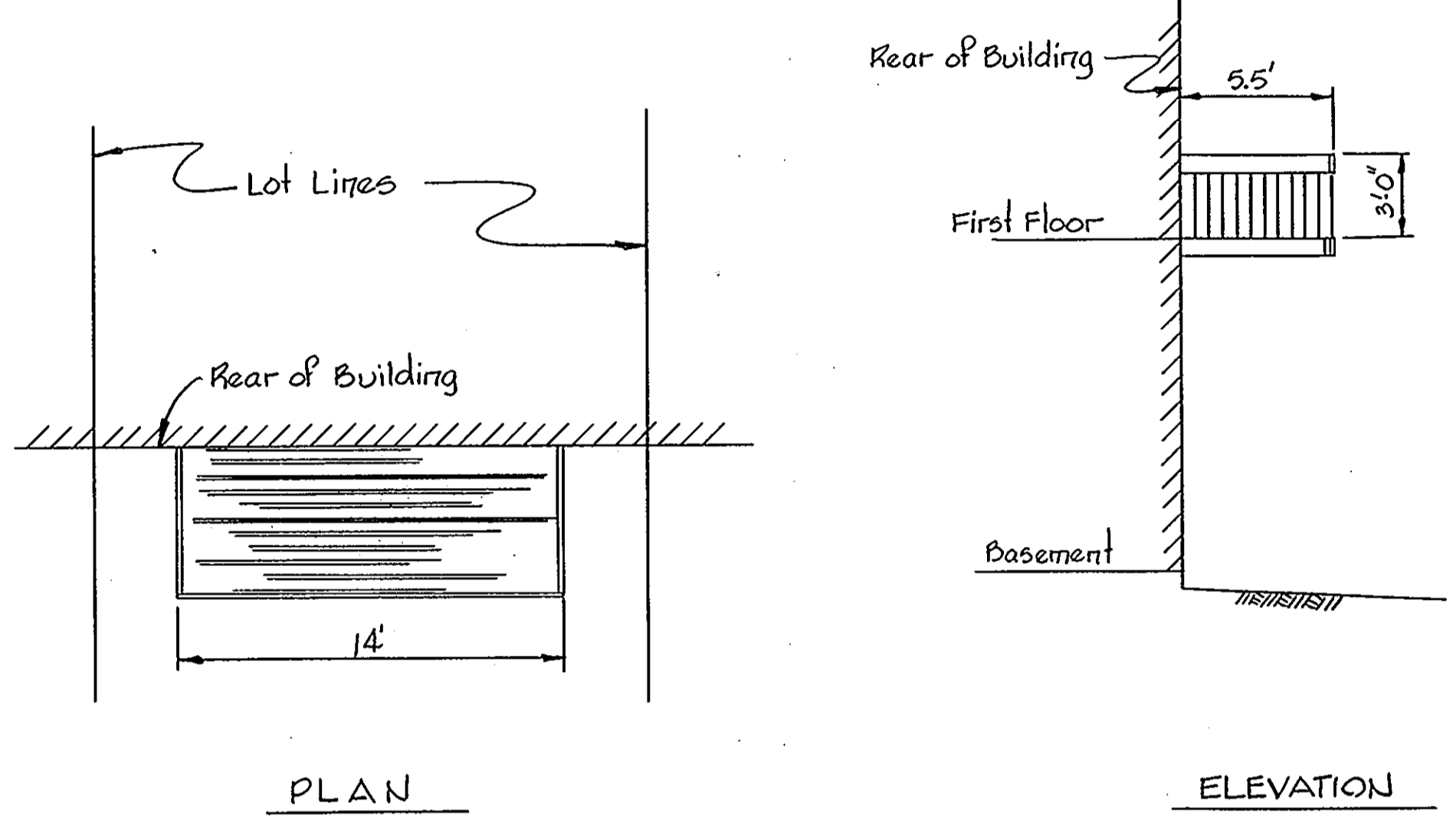
TYPICAL SIDEWALK CROSS SLOPE  
No Scale



SOLID WOOD PRIVACY FENCE  
No Scale



RETAINING WALL DETAIL  
No Scale



OPTIONAL DECK DETAIL  
No Scale

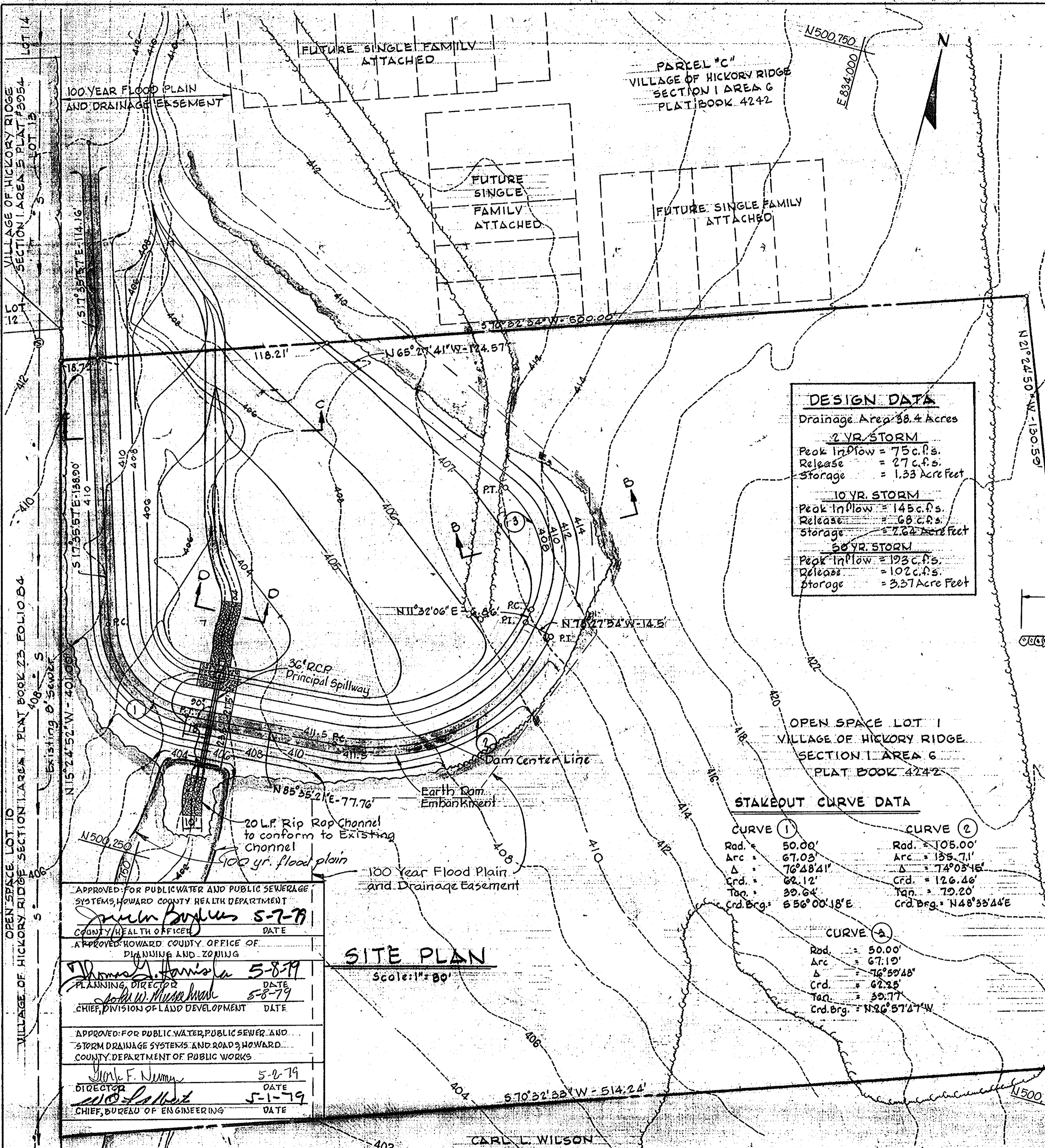
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT	
<i>[Signature]</i> 5-7-79	DATE
COUNTY HEALTH OFFICER	
APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING	
<i>[Signature]</i> 5-8-79	DATE
PLANNING DIRECTOR	
<i>[Signature]</i> 5-9-79	DATE
CHIEF, DIVISION OF LAND DEVELOPMENT	
APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS	
<i>[Signature]</i> 5-12-79	DATE
DIRECTOR	
<i>[Signature]</i> 5-1-79	DATE
CHIEF, BUREAU OF ENGINEERING	

HOWARD HOMES COMMUNITIES, INC.  
OWNER AND DEVELOPER  
P.O. Box 802, COLUMBIA, MARYLAND

WHITMAN, REQUARDT & ASSOCIATES  
ENGINEERS  
1304 ST. PAUL STREET  
BALTIMORE, MARYLAND 21202  
*[Signature]*  
Kenneth A. McCord P.E. No. 1974

APPROVED  
DIVISION OF LAND DEVELOPMENT  
HOWARD COUNTY, MARYLAND  
DATE 1-18-79  
*[Signature]*

3/4/79	As per Planning and DPW Comments	
NO.	DATE	DESCRIPTION OF REVISIONS
<b>COLUMBIA</b> <b>SITE PLANS</b> FOR <b>HICKORY RIDGE</b> SECTION 1, AREA 6 LOTS C-1 THRU C-39 CARPORT LOTS CP-15 THRU CP-23 A RESUBDIVISION OF A PORTION OF PARCEL "C" <b>DETAIL SHEET</b> SHEET 3 OF 7 ELECTION DISTRICT NO. 5, HOWARD COUNTY, MARYLAND DATE: SCALE: 1" = 30'		



**DESIGN DATA**

Drainage Area: 38.4 acres

**2 YR. STORM**  
 Peak Inflow = 75 c.f.s.  
 Release = 27 c.f.s.  
 Storage = 1.33 Acre Feet

**10 YR. STORM**  
 Peak Inflow = 145 c.f.s.  
 Release = 68 c.f.s.  
 Storage = 2.64 Acre Feet

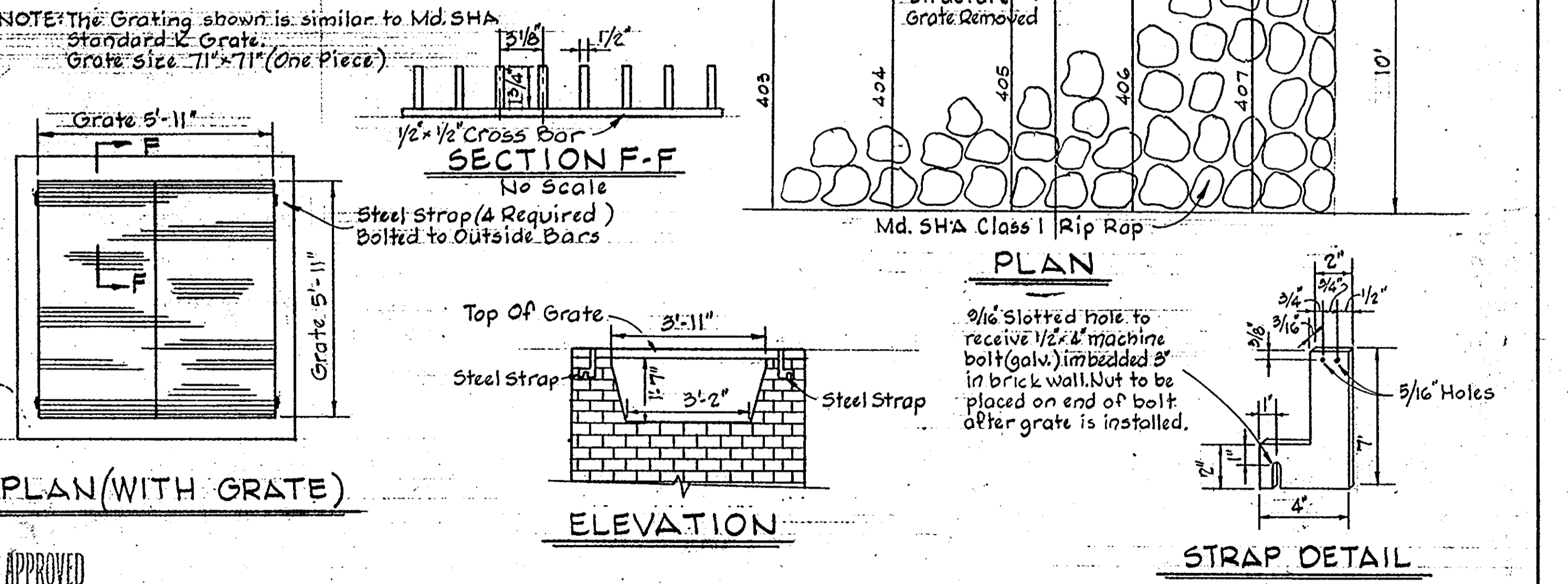
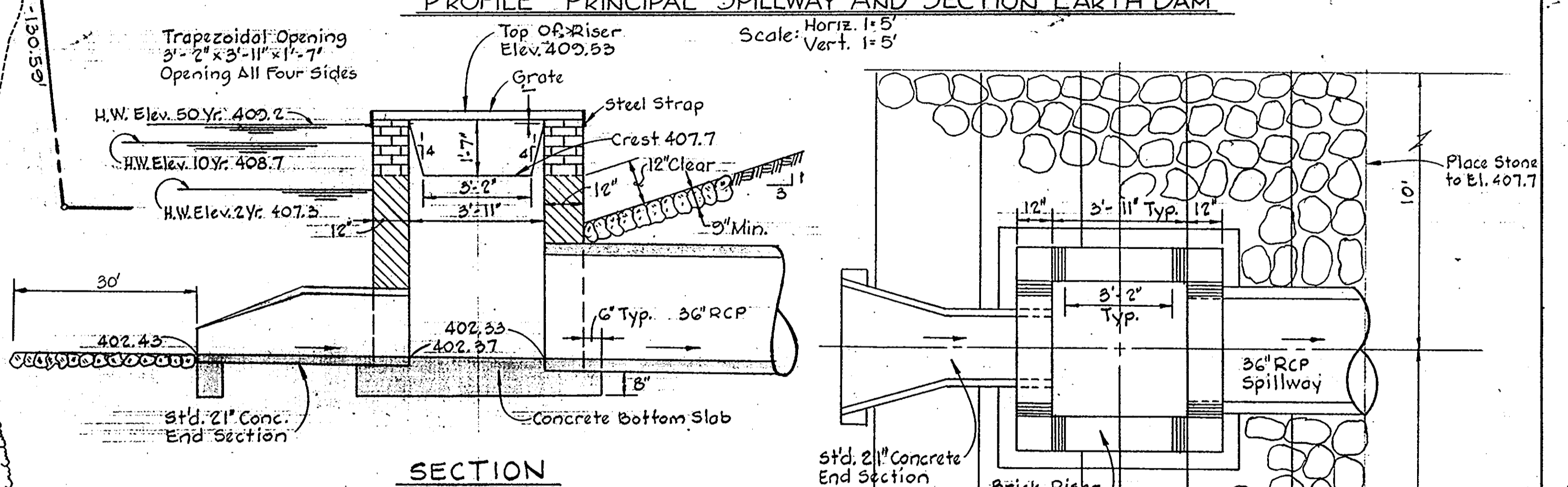
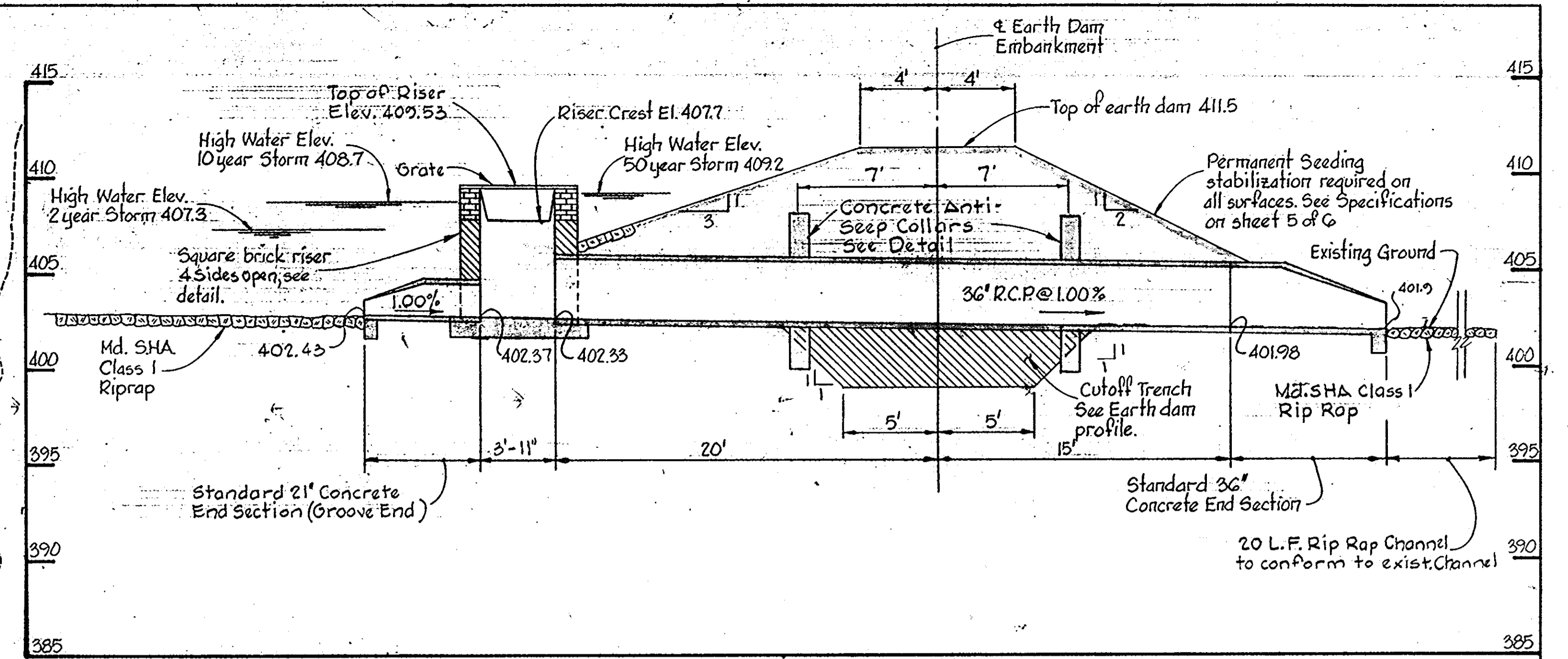
**50 YR. STORM**  
 Peak Inflow = 193 c.f.s.  
 Release = 102 c.f.s.  
 Storage = 3.37 Acre Feet

**STAKEOUT CURVE DATA**

CURVE ①	CURVE ②
Rad. = 50.00'	Rad. = 105.00'
Arc = 67.03'	Arc = 135.71'
Δ = 76°28'41"	Δ = 74°03'45"
Cr. = 64.12'	Cr. = 126.46'
Tan. = 39.64'	Tan. = 79.20'
Cr. Brg. = S56°00'18"E	Cr. Brg. = N48°33'44"E

CURVE ③
Rad. = 50.00'
Arc = 67.19'
Δ = 76°59'48"
Cr. = 62.35'
Tan. = 39.77'
Cr. Brg. = N26°57'47"W



APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT COUNTY HEALTH OFFICER  
*John B. Jones* 5-2-79 DATE

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
*John W. Mueser* 5-8-79 DATE  
 CHIEF, DIVISION OF LAND DEVELOPMENT

APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*Jim F. Nunn* 5-2-79 DATE  
*W.D. Lott* 5-1-79 DATE  
 CHIEF, BUREAU OF ENGINEERING

**SITE PLAN**  
 Scale: 1" = 30'

APPROVED  
 DIVISION OF LAND DEVELOPMENT  
 HOWARD COUNTY, MARYLAND  
 DATE 1-18-79  
 HOWARD HOMES COMMUNITIES, INC.  
 OWNER AND DEVELOPER  
 P.O. Box 802, COLUMBIA, MARYLAND

**RISER DETAIL**  
 Scale: 3/8" = 1'-0"

**CERTIFICATION BY THE DEVELOPER**  
 "I CERTIFY THAT ALL DEVELOPMENT AND OR CONSTRUCTION OF THIS POND WILL BE DONE ACCORDING TO THESE PLANS OF DEVELOPMENT."  
 I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. NO ALTERATIONS TO THESE PLANS WILL BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL AUTHORIZE A REGISTERED PROFESSIONAL ENGINEER TO SUPPLY THE HOWARD SOIL CONSERVATION DISTRICT OFFICE WITH AN AS-BUILT PLAN OF THIS POND WITHIN 30 DAYS OF THE POND'S COMPLETION.  
*Lee B. Rosenberg* 12-14-78 DATE  
 LEE B. ROSENBERG

**CERTIFICATION BY THE ENGINEER**  
 "I CERTIFY THAT THIS PLAN FOR SMALL POND CONSTRUCTION REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED AS-BUILT OF THE POND WITHIN 30 DAYS OF COMPLETION."  
*Kenneth A. McCord* 12-12-78 DATE  
 KENNETH A. MCCORD P.E. 1974

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.  
*C. Wayne Ray* 4/10/79 DATE  
 U.S. SOIL CONSERVATION SERVICE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
*Robert J. Jones* 4-10-79 DATE  
 APPROVED HOWARD S.O.D. DATE  
 PLAN NUMBER SDP-79-77

**WHITMAN, REQUARDT & ASSOCIATES**  
 ENGINEERS  
 1304 S. PAUL STREET  
 BALTIMORE, MARYLAND 21202  
*Kenneth A. McCord*  
 Kenneth A. McCord P.E. No. 1974

NO.	DATE	DESCRIPTION OF REVISIONS
1	3/4/79	As per Planning and DRW. Comments

**COLUMBIA SITE PLANS**  
 FOR  
**HICKORY RIDGE**  
 SECTION I AREA G  
 LOTS C-1 THRU C-39  
 CARPORT LOTS CP-15 THRU CP-23  
 A RESUBDIVISION OF A PORTION OF PARCEL 'C'  
**STORM WATER MANAGEMENT POND**  
 SHEET 4 OF 7  
 ELECTION DISTRICT NO. 5, HOWARD COUNTY, MARYLAND  
 DATE: SCALE: 1" = 30'

**POND SPECIFICATIONS**

**PERMANENT SEEDING** (See General Notes)

- LINE** = 2 Tons/acre agricultural ground limestone
- FERTILIZER** = 1000lbs./acre (10-10-10)
- SEEDING** = 100 lbs./acre of the following:
  - 20% Kentucky Blue Grass
  - 20% Merion Blue Grass
  - 55% Creeping Red Fescue
  - 5% Redtop

Mulch Required - Mulch area with straw at the rate of 75 lbs./1000 s.f. or 1.5 tons/acre.  
 Anchor with asphalt at the rate of 480 gallons/acre.  
 Stabilization of slopes steeper than 3:1 shall be planted with crownvetch including 15 lbs./acre.  
 (0.34 lbs./1000 s.f.) Kentucky 31 Tall Fescue 40 lbs./acre (1 lb./1000 s.f.)

**EARTH DAM EMBANKMENT**

- Suitable material from the pond excavation may be used for the embankment.
- Suitable material shall be placed in 8" loose layers and compacted to 90% of ASSHTO T-180.
- Moisture content of the suitable material shall be within the range of 2% below optimum moisture to 2% above optimum moisture.
- Area under the embankment shall be cleared and grubbed to remove all trees, vegetation, roots or other objectionable material and topsoil stripped.
- The fill material shall be free from roots, stumps, wood rubbish, oversize stones, frozen or other objectionable material. The fill height all along the length of the embankment shall be increased by 10%.
- Fill materials shall be placed in 8" maximum thickness (before compaction) layers which are to be continuous over the entire length of the fill. The most porous material shall be placed in the downstream portions of the embankment.
- Compaction shall be by multiple wheel pneumatic tired roller, vibratory roller or other types of acceptable rollers. Rolling of each layer shall be continuous over its entire area and the roller shall make sufficient coverages to insure that the required density has been obtained.

**36" PRINCIPLE SPILLWAY**

- Backfill around the RCP Spillway shall be placed in horizontal layers not to exceed 4 inches in thickness and compacted by hand tampers or other compaction equipment. At no time during the backfilling operation shall construction equipment be allowed to operate closer than 4 feet to any part of the RCP Spillway. Under no circumstances shall the contractor drive equipment over any part of the RCP Spillway unless there is a compacted fill to a depth of 24" inches or greater over the pipes.
- The RCP Spillway shall be firmly and uniformly bedded throughout its entire length. Where rock or other unsuitable soil is encountered under the pipe, all such material shall be removed and replaced with suitable earth compacted to provide adequate support.
- Reinforced concrete pipe shall be class IV, ASTM C-76-77 with watertight rubber gasket joints ASTM C-443-77.
- Bell and Spigot pipe shall be placed with the bell end upstream. Joints shall be made in accordance with recommendations of the manufacturer of the material. After the joints are sealed on the entire line, the bedding shall be placed so that all spaces under the pipe are filled.

**CONCRETE**

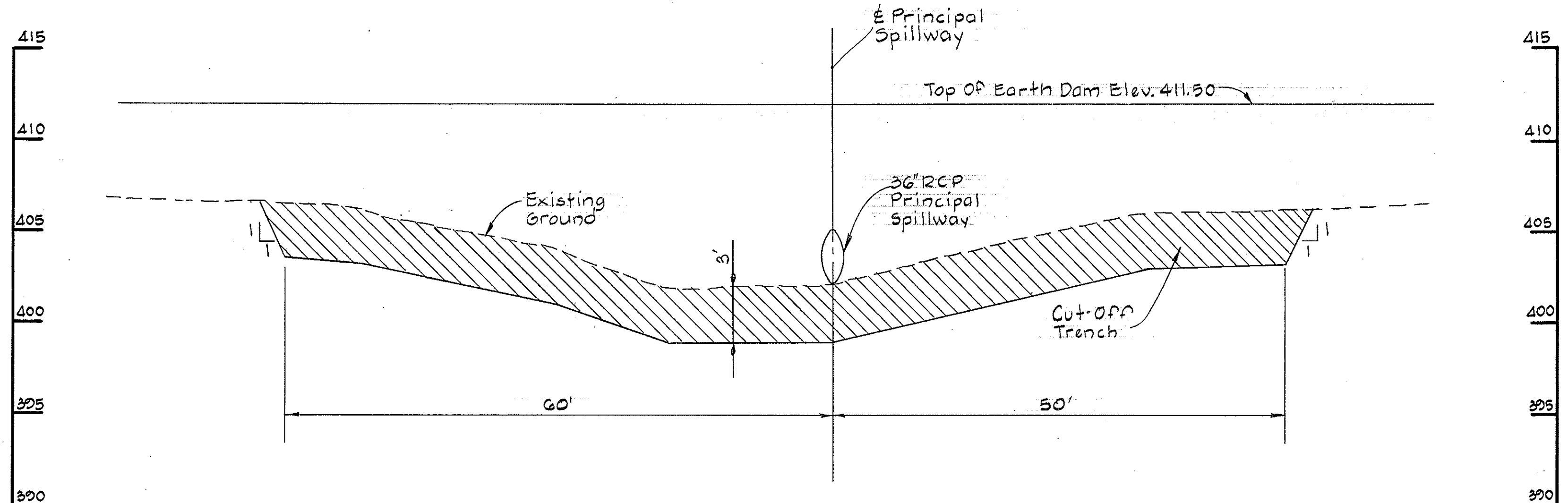
- Concrete shall have a minimum of 6 bags of cement per cubic yard and water content not to exceed 6 gallons per bag of cement. Slump shall range 3"-4". All concrete shall be transit mix.

**CUT OFF TRENCH**

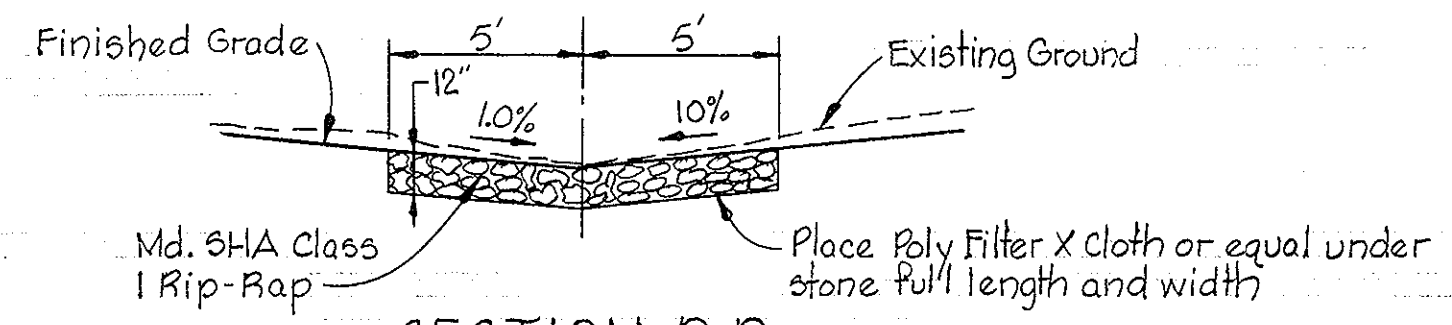
- The backfill material for the Cut Off Trench shall be the most impervious material available from the pond excavation. The material shall be placed in 8" loose layers and compacted to 90% of ASSHTO T-180. Moisture content of the suitable material shall be within the range of 2% below optimum moisture to 2% above optimum moisture.

**GENERAL NOTES**

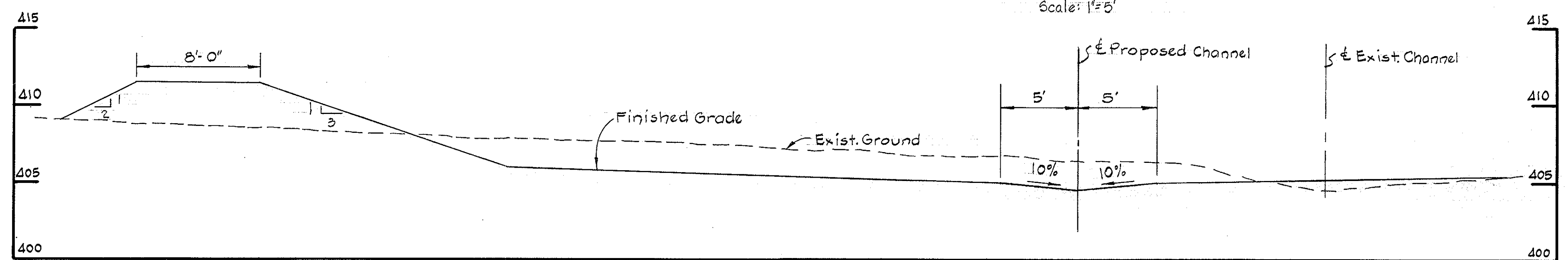
- The Pond shall function initially as SEDIMENT BASIN. The Pond shall be constructed prior to any construction work intended within the drainage area.
- Initial construction shall include all the work as shown except Pond invert seeding.
- Permanent seeding is required for all the graded surfaces within the limits where permanent seeding is required. Initial permanent seeding shall be applied to all cut and fill embankments from toe to top of slope and top elevation at the earth dam construction. The invert of the Pond shall be permanently seeded after the pond is refurbished.  
 Refurbishing of the pond shall be done after all construction is completed and grass is established within the pond drainage area. Refurbishing of the pond shall include the removal of all sediment; the restoration of the pond to the lines and grades as shown on the Plan; the replacement of all filter cloth and rip rap stone where necessary; permanent reseeding of all the disturbed graded surfaces and the cleaning of the principal spillway and outfall ditch.
- After the Pond is completely refurbished the owner shall submit "As Built" drawings to the Howard County Soil Conservation District.
- Poly Filter-X cloth (CARTHAGE MILLS INCORPORATED) or equal, shall be placed under all rip-rap construction, full length and width of rip-rap.
- Stone shall be Maryland S.H.A. Class 1 medium Rip-Rap.  
 Stone from onsite rock excavation may be substituted for the Maryland S.H.A. Class 1 medium Rip-Rap.
- This pond shall also cover the sediment control and storm water management requirements for SDP 79-20, F 79-104, F 79-125 and the remaining section of Development Lots C-135 to C-202.
- The storm drain systems shall be flushed and cleaned prior to refurbishing the storm water management pond.
- All water in the sediment basin shall be pumped out prior to removal of sediment.



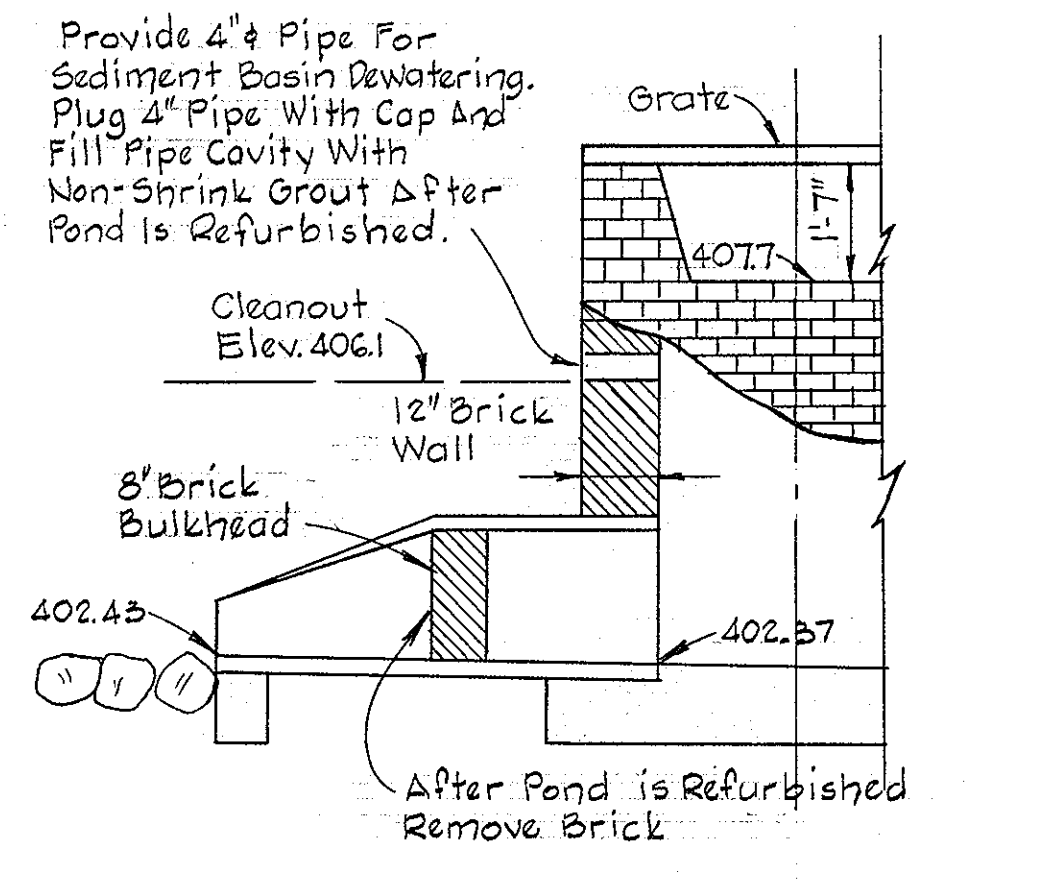
**PROFILE EARTH DAM**  
 Scale: Hor. 1" = 10'  
 Ver. 1" = 5'



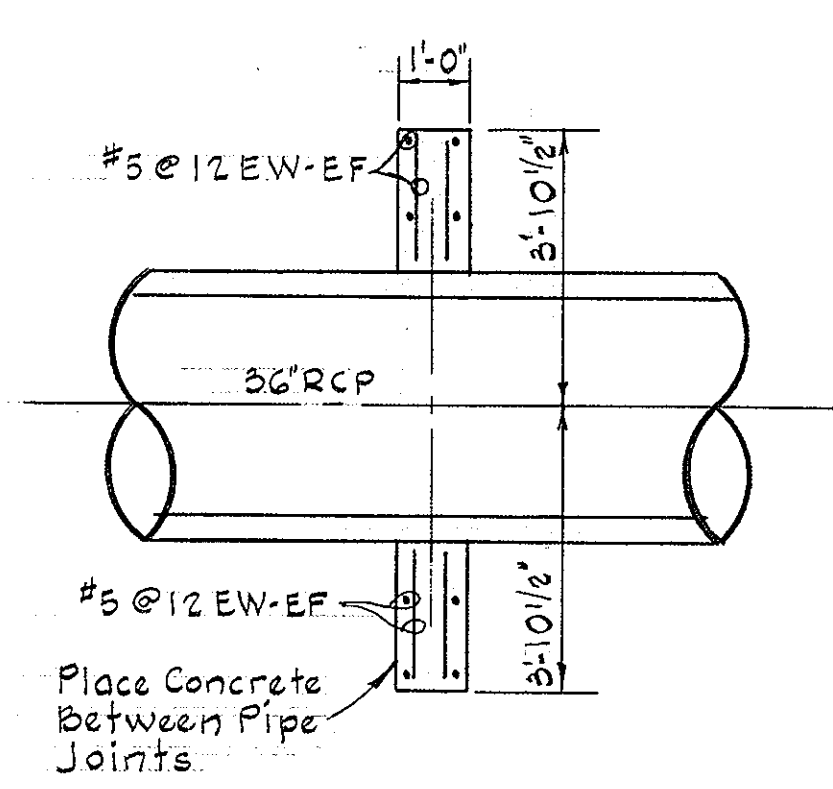
**SECTION D-D**  
 Scale: 1" = 5'



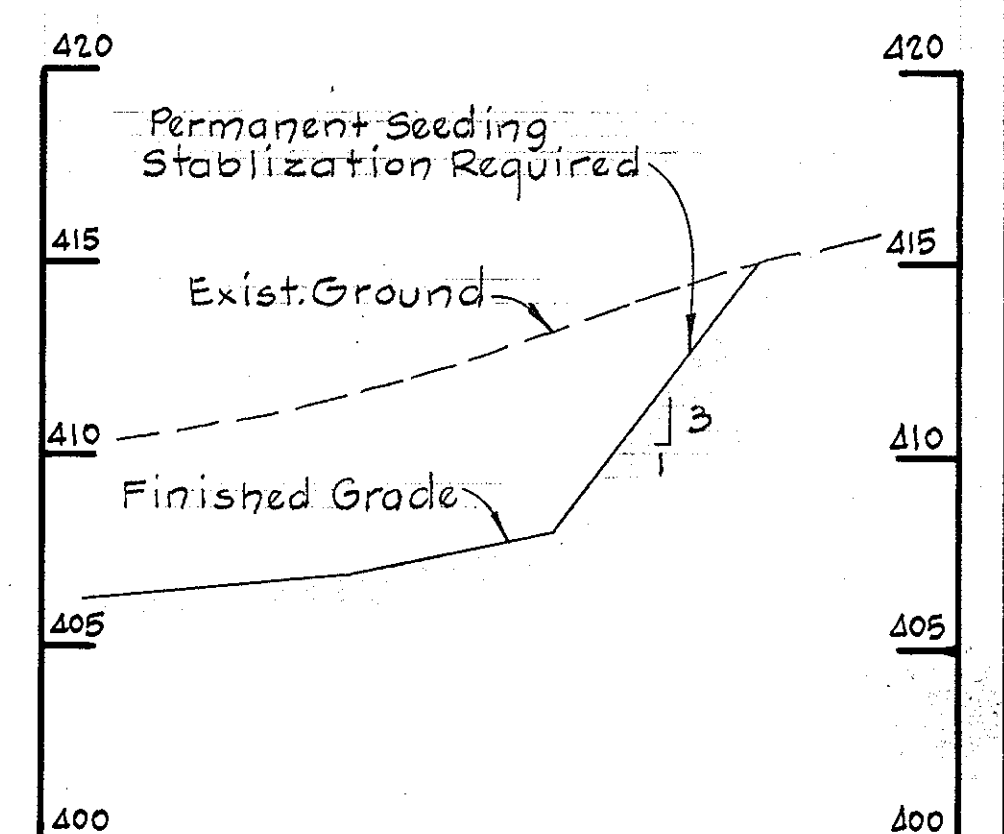
**SECTION C-C**  
 Scale: 1" = 5'



**RISER DETAIL**  
**SEDIMENT BASIN DEWATERING**  
 Scale: 3/8" = 1'-0"



**DETAIL - ANTI-SEEP COLLAR**  
 Scale: 3/8" = 1'-0"



**SECTION B-B**  
 Scale: Hor. 1" = 20'  
 Ver. 1" = 5'

SEDIMENT CONTROL	
Drainage Area	38.4 Acres
Sediment Volume Required	1.6 Ac. Ft.
Sediment Volume Available	1.6 Ac. Ft.
Cleanout Elevation	406.1

APPROVED  
 DIVISION OF LAND DEVELOPMENT

HOWARD COUNTY, MARYLAND  
 DATE 1-18-79  
*[Signature]*

HOWARD HOMES COMMUNITIES, INC.  
 OWNER AND DEVELOPER  
 P.O. Box 802, COLUMBIA, MARYLAND

WHITMAN, REQUARDT & ASSOCIATES  
 ENGINEERS  
 1304 ST. PAUL STREET  
 BALTIMORE, MARYLAND 21202

*[Signature]*  
 Kenneth A. McCord P.E. No. 1574

NO.	DATE	DESCRIPTION OF REVISIONS
1	3/4/79	As per Planning and DPW Comments

**COLUMBIA SITE PLANS**

FOR  
**HICKORY RIDGE**  
 SECTION 1 AREA G  
 LOTS C-1 THRU C-39

CARPPOOL LOT CP-15 THRU CP-23  
 A RESUBDIVISION OF A PORTION OF PARCEL "C"  
**STORM WATER MANAGEMENT POND**

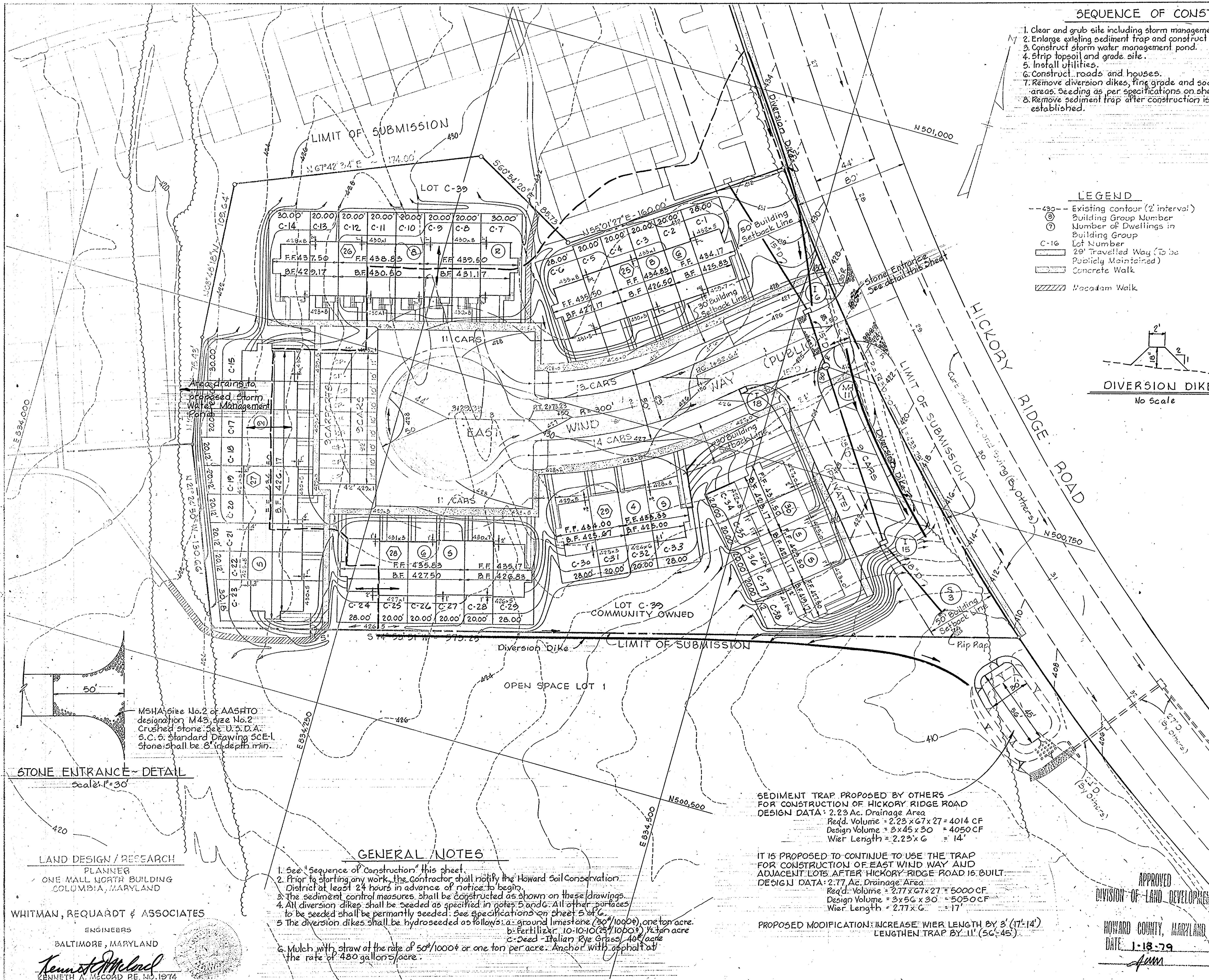
SHEET 5 OF 7  
 ELECTION DISTRICT NO. 5, HOWARD COUNTY, MARYLAND  
 DATE: SCALE: 1" = 30'

**CERTIFICATION BY THE DEVELOPER**  
 "I CERTIFY THAT ALL DEVELOPMENT AND OR CONSTRUCTION OF THIS POND WILL BE DONE ACCORDING TO THESE PLANS OF DEVELOPMENT  
 I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL AUTHORIZE A REGISTERED PROFESSIONAL ENGINEER TO SUPPLY THE HOWARD SOIL CONSERVATION DISTRICT OFFICE WITH AN AS-BUILT PLAN OF THIS POND WITHIN 30 DAYS OF THE PONDS COMPLETION."  
*[Signature]* 12-12-78  
 LEE B. ROSENBERG DATE

**CERTIFICATION BY THE ENGINEER**  
 "I CERTIFY THAT THIS PLAN FOR SMALL POND CONSTRUCTION REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS BUILT" OF THE POND WITHIN 30 DAYS OF COMPLETION."  
*[Signature]* 12-12-78  
 KENNETH A. MCCORD P.E. 1974 DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL  
*[Signature]* 4/10/79  
 U.S. SOIL CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT  
*[Signature]* 4/10/79  
 HOWARD S.O.D. DATE  
 PLAN NUMBER SDP 79-77

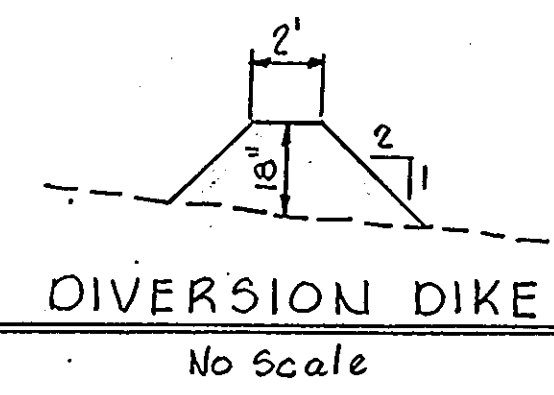


**SEQUENCE OF CONSTRUCTION**

1. Clear and grub site including storm management pond area.
2. Enlarge existing sediment trap and construct diversion dikes.
3. Construct storm water management pond.
4. Strip topsoil and grade site.
5. Install utilities.
6. Construct roads and houses.
7. Remove diversion dikes, fine grade and sod or seed all disturbed areas. Seeding as per specifications on sheet 5 of 6.
8. Remove sediment trap after construction is complete and grass is established.

**LEGEND**

- 430- Existing contour (2' interval)
- ⊙ Building Group Number
- ⑦ Number of Dwellings in Building Group
- C-16 Lot Number
- ▭ 20' Travelled Way (to be Publicly Maintained)
- ▭ Concrete Walk
- ▨ Macadam Walk



*Joseph Brown* 5-7-79  
*Thomas L. Harris* 5-8-79  
*John W. Mansman* 5-8-79  
*George F. Nunn* 5-2-79  
*W. O. Roberts* 5-1-79

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED *Robert J. ...* DATE 4-10-79  
 HOWARD SCD

REVIEWED FOR HOWARD SCD NAME AND MEETS TECHNICAL REQUIREMENTS

*R. Wayne Ray* DATE 4/10/79  
 SIGNATURE  
 U.S. SOIL CONSERVATION SERVICE

**CERTIFICATION BY THE ENGINEER**

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*Kenneth A. McCord* 12-14-78  
 KENNETH A. MCCORD, P.E. 1974 DATE:

**CERTIFICATION BY THE DEVELOPER**

"I CERTIFY THAT ALL DEVELOPMENT AND OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL, AND I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY."

*Lee B. Rosenberg* 12-14-78  
 LEE B. ROSENBERG DATE

THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
 OWNER  
 10715 LITTLE PATENT PARKWAY  
 COLUMBIA, MARYLAND  
 HOWARD HOMES COMMUNITIES, INC.  
 DEVELOPER  
 P.O. BOX 502, COLUMBIA, MARYLAND

NO.	DATE	DESCRIPTION OF REVISIONS
1	3/4/79	As per Planning and DRW Comments

**COLUMBIA SITE PLAN**  
 FOR  
 HICKORY RIDGE SECTION I AREA G  
 LOTS C-1 THRU C-39  
 A RESUBDIVISION OF A PORTION OF PARCEL C  
**SEDIMENT CONTROL**  
 SHEET 6 OF 7  
 ELECTION DISTRICT NO. 5, HOWARD COUNTY, MARYLAND  
 DATE: SCALE: 1"=30'

SEDIMENT TRAP PROPOSED BY OTHERS FOR CONSTRUCTION OF HICKORY RIDGE ROAD  
 DESIGN DATA: 2.23 Ac. Drainage Area  
 Req'd. Volume = 2.23 x 67 x 27 = 4014 CF  
 Design Volume = 3 x 45 x 30 = 4050 CF  
 Wier Length = 2.23 x 6 = 14'

IT IS PROPOSED TO CONTINUE TO USE THE TRAP FOR CONSTRUCTION OF EAST WIND WAY AND ADJACENT LOTS AFTER HICKORY RIDGE ROAD IS BUILT.  
 DESIGN DATA: 2.77 Ac. Drainage Area  
 Req'd. Volume = 2.77 x 67 x 27 = 5000 CF  
 Design Volume = 3 x 56 x 30 = 5050 CF  
 Wier Length = 2.77 x 6 = 17'

PROPOSED MODIFICATION: INCREASE WIER LENGTH BY 3' (17'-14')  
 LENGTHEN TRAP BY 11' (56'-45')

APPROVED  
 DIVISION OF LAND DEVELOPMENT  
 HOWARD COUNTY, MARYLAND  
 DATE: 1-18-79  
*Ann*

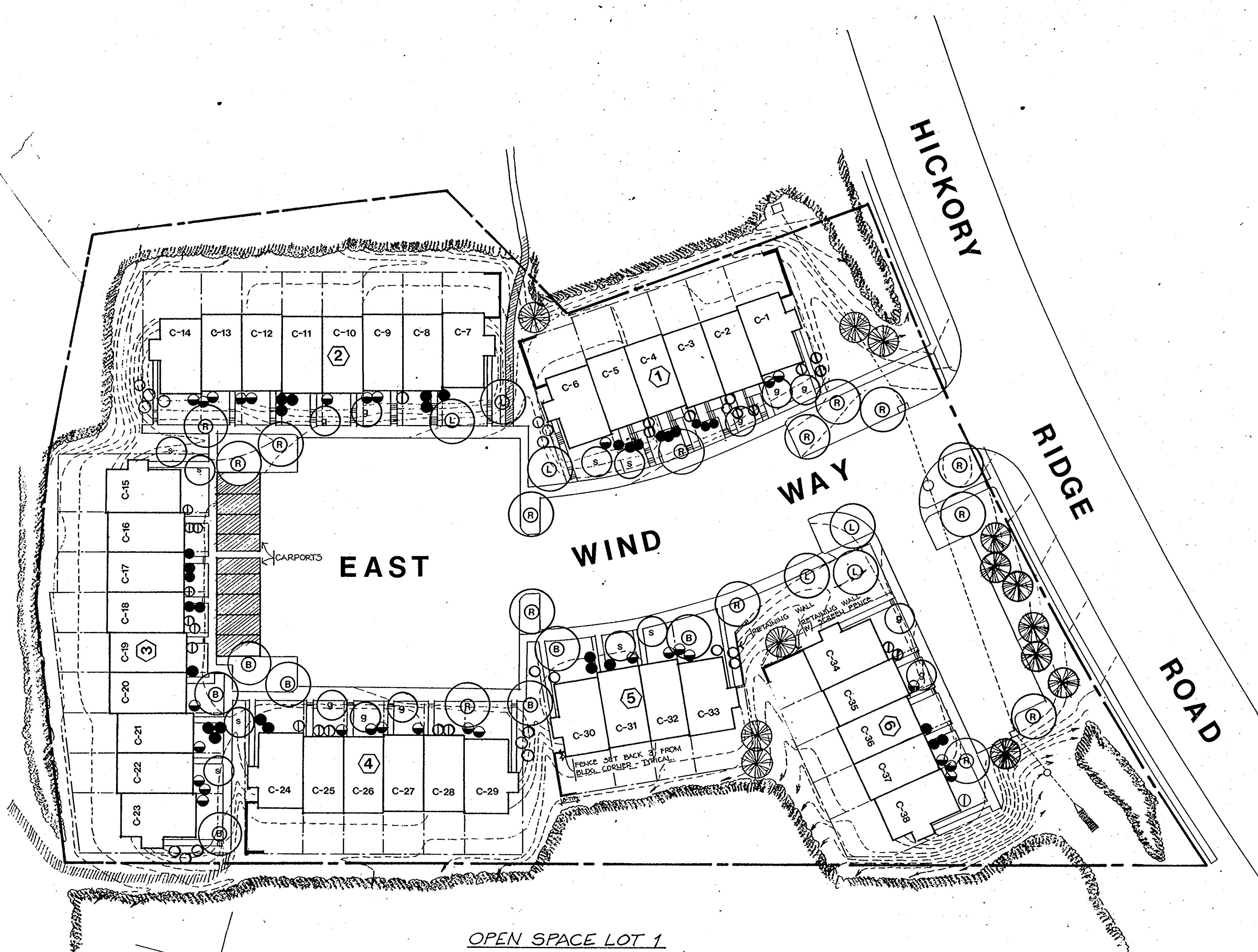
**GENERAL NOTES**

1. See "Sequence of Construction" this sheet.
2. Prior to starting any work, the Contractor shall notify the Howard Soil Conservation District at least 24 hours in advance of notice to begin.
3. The sediment control measures shall be constructed as shown on these drawings.
4. All diversion dikes shall be seeded as specified in notes 5 and 6. All other surfaces to be seeded shall be permanently seeded. See specifications on sheet 5 of 6.
5. The diversion dikes shall be hydroseeded as follows: a. ground limestone (50%/100%) one ton per acre. b. Fertilizer 10-10-10 (25/100%) 1/2 ton per acre. c. Seed - Italian Rye Grass 40#/acre.
6. Mulch with straw at the rate of 50#/1000<sup>2</sup> or one ton per acre. Anchor with asphalt at the rate of 480 gallons/acre.

**STONE ENTRANCE - DETAIL**  
 Scale: 1"=30'

MSHA size No. 2 of AASHTO designation M43, size No. 2 Crushed stone, 3/8" U.S.D.A. s.c. s. Standard Drawing SCE-1. Stone shall be 8" in depth min.

LAND DESIGN / RESEARCH  
 PLANNER  
 ONE MALL NORTH BUILDING  
 COLUMBIA, MARYLAND  
 WHITMAN, REQUARDT & ASSOCIATES  
 ENGINEERS  
 BALTIMORE, MARYLAND  
*Kenneth A. McCord*  
 KENNETH A. MCCORD P.E. NO. 1974



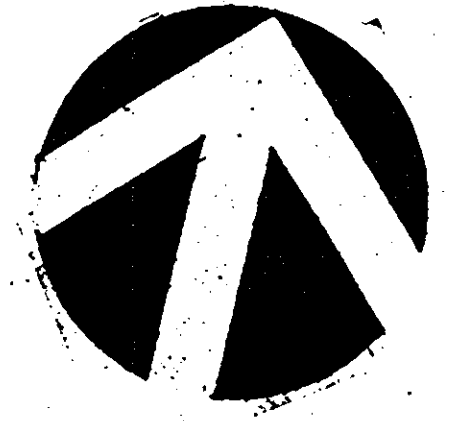
PLANT LIST					
No.	Symbol	Quantity	Size	Name	Remarks
1.	(R)	15	2 1/2-3" cal. 12-14' Ht.	Acer Rubrum Red Maple	B&B
2.	(L)	6	2 1/2-3" cal. 12-14' Ht.	Liquidambar styraciflua Sweet Gum	B&B
3.	(B)	7	2 1/2-3" cal. 12-14' Ht.	Pyrus calleryana bradford Bradford Callery Pear	B&B
4.	(g)	10	2-2 1/2" cal. 8-10' Ht.	Malus dolgo Dolgo Crabapple	B&B
5.	(s)	6	2-2 1/2" cal. 8-10' Ht.	Malus Snowcloud Snowcloud Crabapple	B&B
6.	(●)	30	18-24" Ht.	Taxus media 'Hatfieldii' Hatfieldii Yew	B&B
7.	(*)	13	2-2 1/2" cal. 6-7' Ht.	Pinus strobus Eastern White Pine	B&B/Full
8.	(○)	20	2-3' Ht.	Forsythia intermedia spectabilis Showy Border Forsythia	B&B
9.	(⊖)	24	2-3' Ht.	Euonymus alatus compactus Dwarf Winged Euonymous	B&B
10.	(●)	32	18-24" Ht.	Taxus bacatta repandens Spreading English Yew	B&B

- LEGEND**
- 1. Project Boundary
  - 2. Lot Lines
  - 3. Proposed Contours
  - 4. Screen Fence
  - 5. Retaining Wall
  - 6. Existing Trees to be Saved
  - 7. Building Group No.
  - 8. Lot No.

APPROVED FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.  
 COUNTY HEALTH OFFICER DATE 5-2-79  
 APPROVED, HOWARD COUNTY OFFICE OF PLANNING AND ZONING

PLANNING DIRECTOR DATE 5-8-79  
 CHIEF DIVISION OF LAND DEVELOPMENT DATE

APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.  
 COUNTY DEPARTMENT OF PUBLIC WORKS DATE 5-2-79  
 DIRECTOR DATE 5-1-79  
 CHIEF BUREAU OF ENGINEERING DATE



APPROVED  
 DIVISION OF LAND DEVELOPMENT  
 HOWARD COUNTY, MARYLAND  
 DATE 1-18-79  
 PLANTING PLAN

**LD LAND DESIGN / RESEARCH, INC.**  
 ONE MALL NORTH SUITE 400  
 COLUMBIA, MARYLAND

**HICKORY HOLLOW**  
 Howard Homes Development Corp.  
 Village of Hickory Ridge - Sec. 1, Area G  
 Lots C-1 through C-39

DATE	Feb. 1979	REVISIONS:	
SCALE	1" = 30'	VAR. 19, 1979	XL-1
DRAWN	DRH		
CHECKED	EDJ		