

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY DEPARTMENT

John Bond 12-6-78
COUNTY HEALTH OFFICER DATE

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING

James H. Haring 12-7-78
PLANNING DIRECTOR DATE

John W. Munn 12-7-78
CHIEF DIVISION OF LAND DEVELOPMENT DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS

Richard E. Freudenberg 11-22-78
DIRECTOR DATE

W. J. Sabat 11-22-78
CHIEF BUREAU OF ENGINEERING DATE

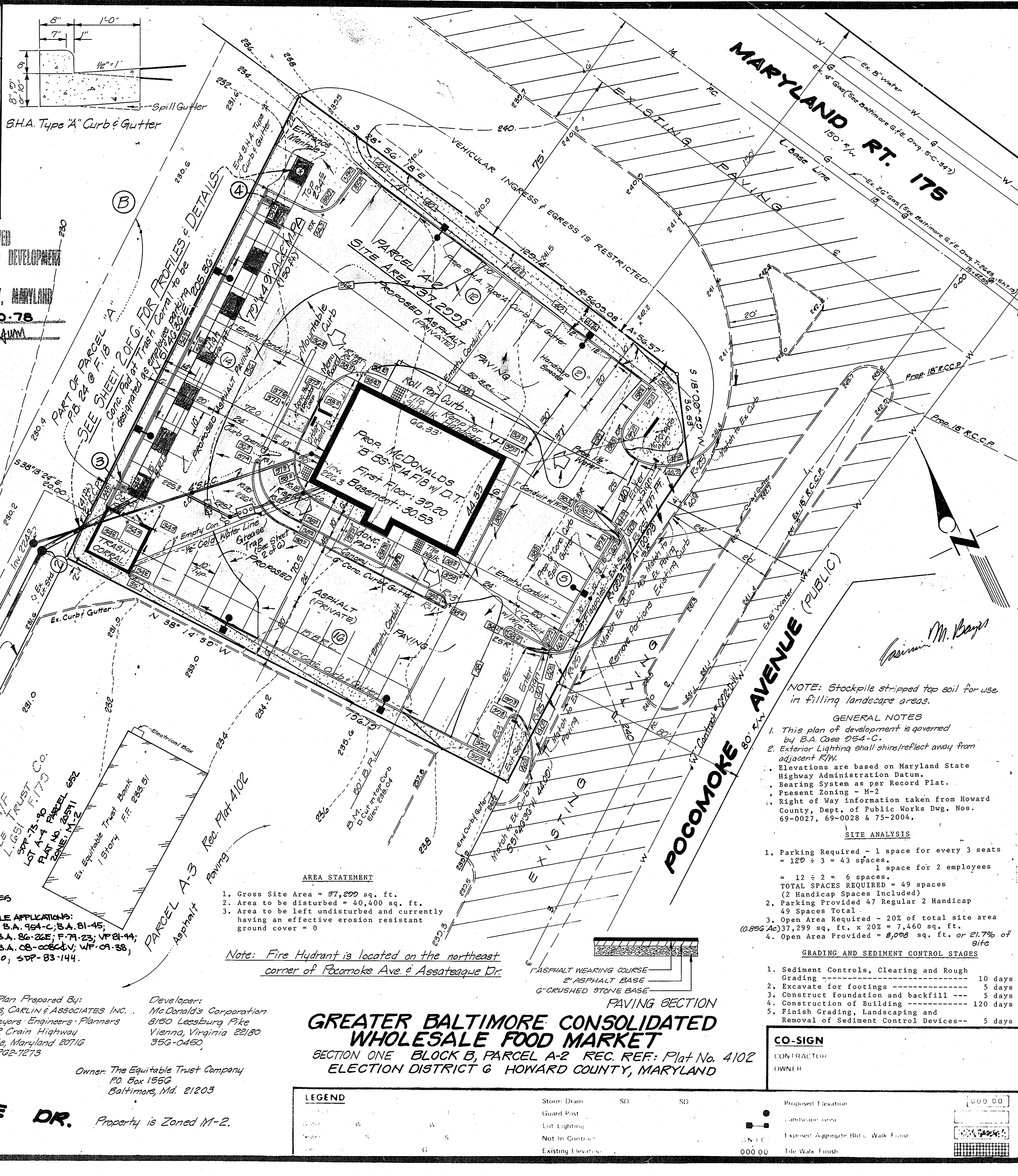
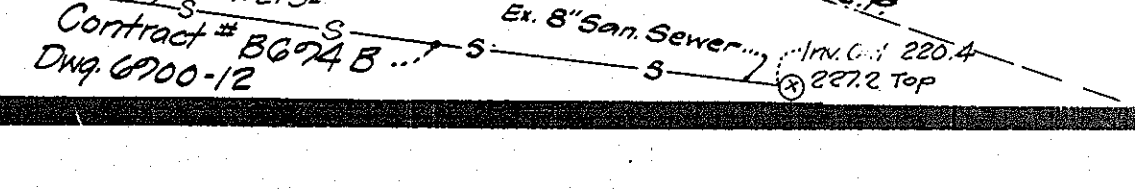
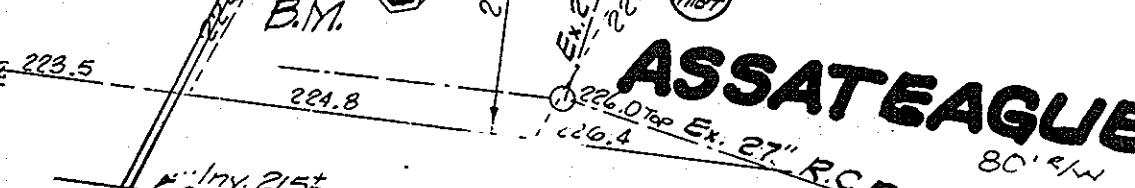
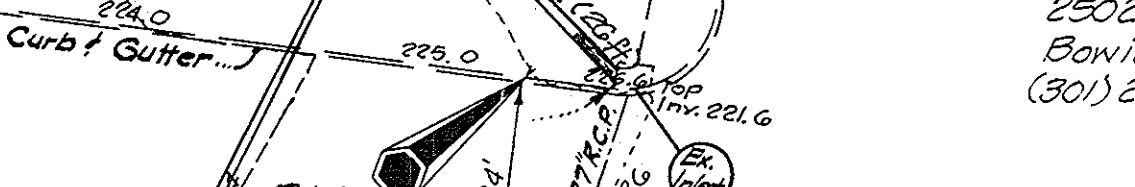
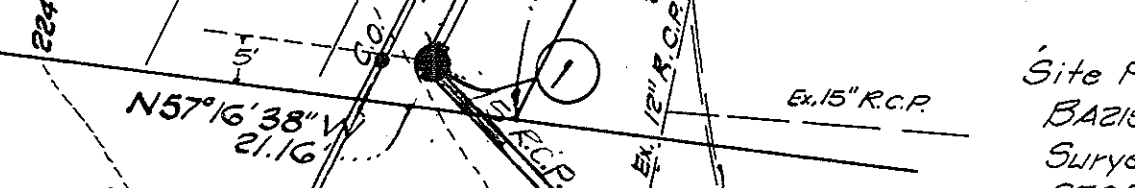
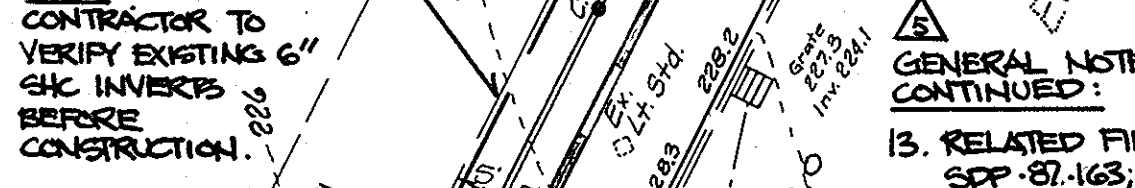
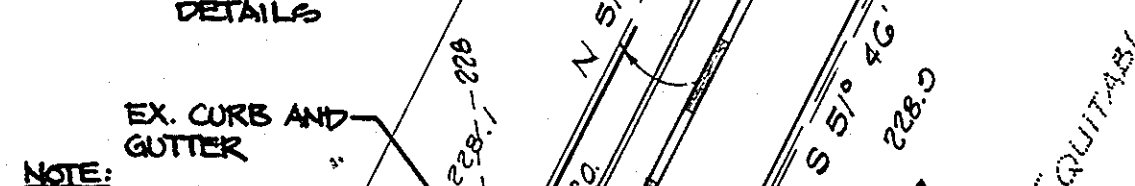
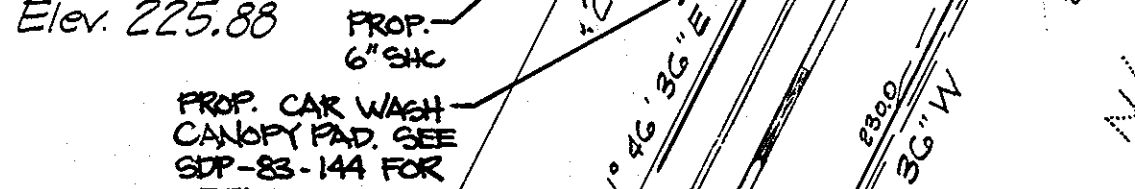
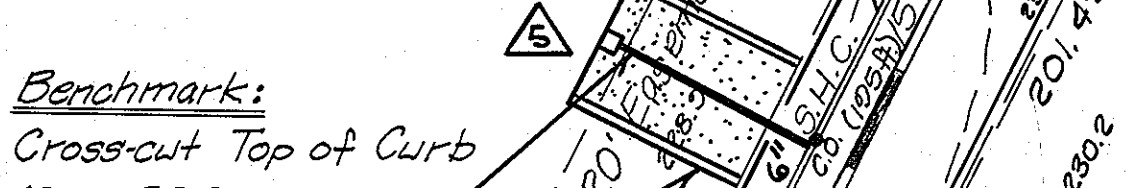
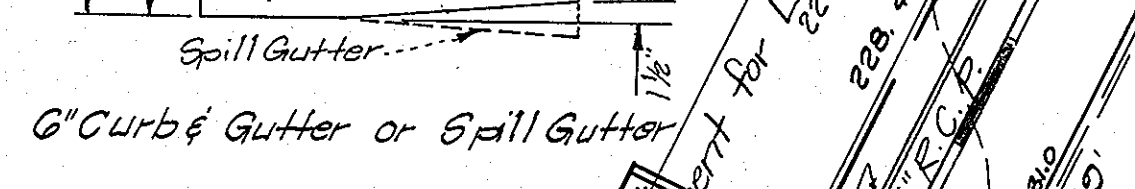
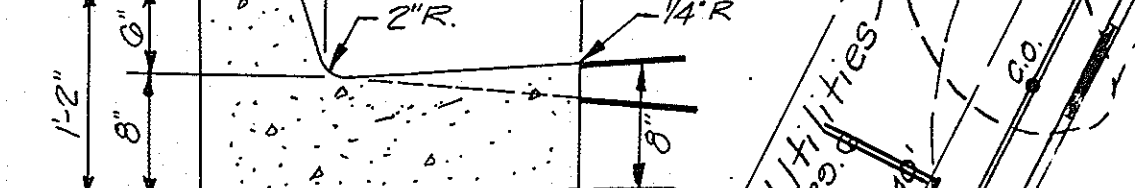
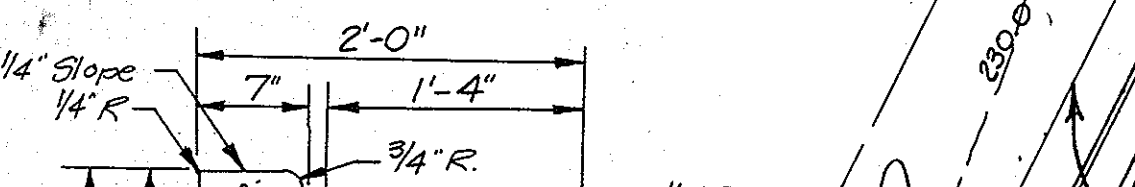
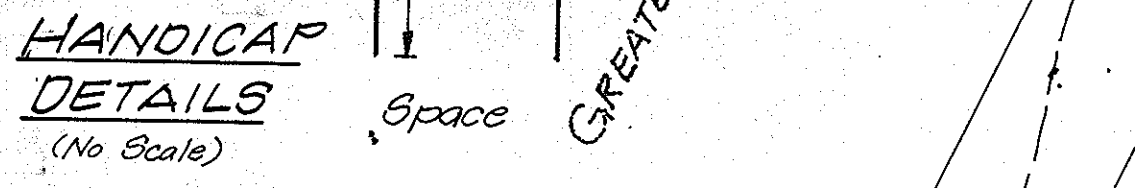
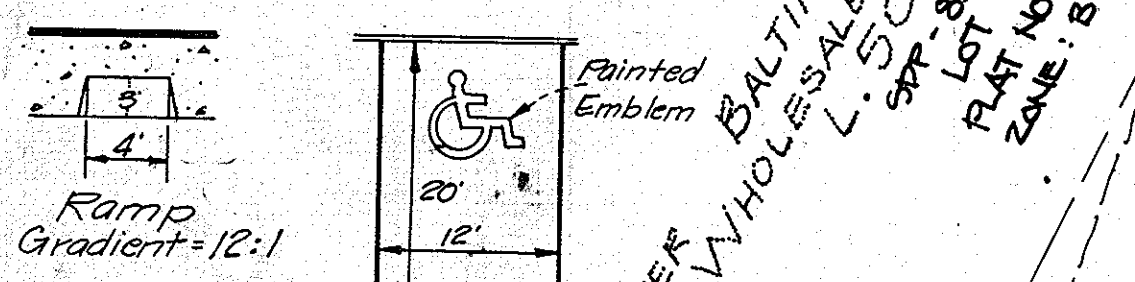
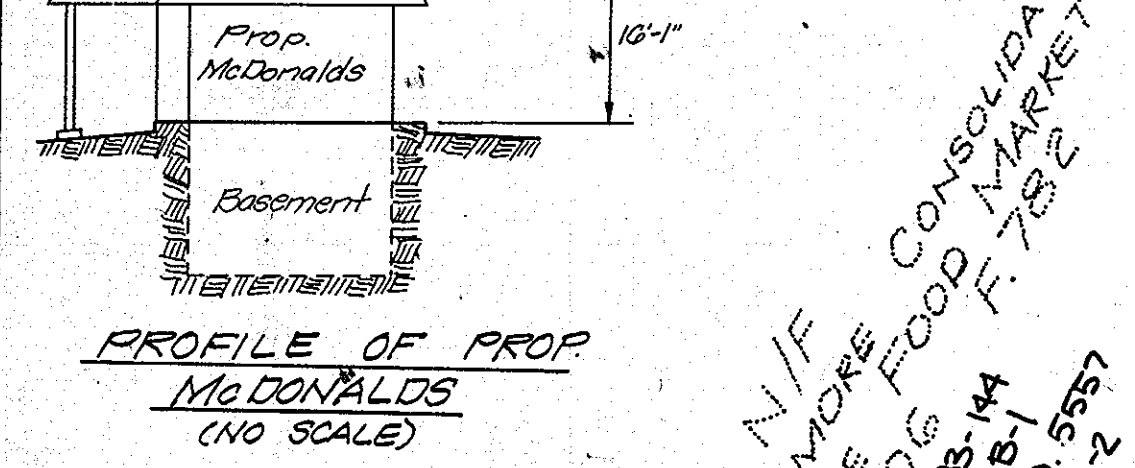
LOT/PARCEL #	STREET ADDRESS
LOTS A-1/PARCEL 652	7878 POCOMOKE AVENUE

SECTION NAME	SECTION/AREA	OFFICE NO. & PARCEL
GEOM FOOD MARKET	SECTION 1	PARCEL 652

PLAT RESUBDIVISION	TAX MAP	ELECT. DIST. CENTRAL TRACT
652-1	M-2	6TH

WATER CODE	SEWER CODE
GR-D-W	SRH-15

10-30-78



GENERAL NOTES:

- These Plans & Specifications are the property of M. Donald's Corporation. One McDonald's Plaza, Oak Brook, Illinois 60521 & shall not be reproduced without their written permission.
- The responsibility of the contractor for the accuracy of the information shown on these plans & specifications is assumed by the contractor.
- Basement and floor levels shall be as shown on the plans. All signs and flag poles are to be installed in accordance with the applicable codes.
- McDonald's Road Sign & Base are to be installed in accordance with the applicable codes.
- Conductor to furnish the empty conduit for the lighting, and the lighting fixture shall be installed in accordance with the applicable codes.
- Finisher works & curb & gutter to be installed in accordance with the applicable codes.
- Elevations are based on Maryland State Highway Administration Datum.
- Present Zoning - M-2.
- Right of Way information taken from Howard County, Dept. of Public Works Dug. Nos. 69-0027, 69-0028 & 75-2004.
- CRUSHED STONE BASE
- ASPHALT BASE
- ASPHALT WEARING COURSE
- THE MOST CURRENT SDP FOR THE MCDONALD'S SITE IS SDP-CB-120. HOWEVER IT DOES NOT SHOW THE SEWER HOUSE CONNECTION IN ITS ENTIRETY AND THAT IS WHY SDP-74-29C HAS BEEN USED FOR THE CAR WASH CANOPY REDLINE REVISION.
- McDonald's Engineer reserves the right to change the contract in any way without notice. If the contractor does not agree to these terms, it will be at the expense of the contractor. It will be back charged to the contractor.

NOTES:

- 42 Parking Spaces 10x20, 12x20 @ 20'
- Survey Prepared By: *Bazis, Carlin & Associates, Inc.* 2502 Crain Highway, Bowie, MD, 20716

UTILITIES & LOCATION:

Sanitary Sewer	Assateague Dr.
Storm Drain	Pocomoke Avenue
Water	Pocomoke Avenue
Gas	Not Available
Electrical	Underground at Property Line

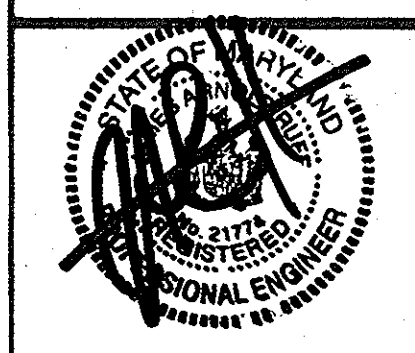
No.	DESCRIPTION	DATE
1	Rev. Prop. let. grading SWM per R.I.	6-9-78
2	Add SWM and Enclosed Storm Drain	8-1-78
3	Rev. per How. Cty. Comment	10-9-78
4	Add note about Fire Hydrant	11-6-78
5	ADD CAR WASH CANOPY SEWER HOUSE CONNECTION	4-12-12

Drawn	R.M.
Date	5-12-78
Scale	1" = 20' 0"

APPROVALS	
Signature	NAME
Regional District Mgr	
Construction Dept	
Operations Dept	

MD. RTE. 175 & POCOMOKE AVENUE
WATERLOO MARYLAND
HOWARD COUNTY

SITE PLAN



THIS SEAL APPLIES ONLY TO REVISIONS DATED 4-12-12

McDonald's

147-19

SP-1 OF 6

GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET
SECTION ONE BLOCK B, PARCEL A-2 REC. REF: Plat No. 4102
ELECTION DISTRICT G HOWARD COUNTY, MARYLAND

LEGEND	DESCRIPTION
Storm Drain	SD
Guard Post	GP
Lot Lighting	LL
Not In Contract	NIC
Existing Elevations	000 00
Proposed Elevation	000 00
Landmark Area	
Exposed Aggregate Bitu. Walk Finish	
Tile Walk Finish	

CO-SIGN	
CONTRACTOR	
OWNER	

GRADING AND SEDIMENT CONTROL STAGES	
1. Sediment Controls, Clearing and Rough Grading	10 days
2. Excavate for footings	5 days
3. Construct foundation and backfill	5 days
4. Construction of Building	120 days
5. Finish Grading, Landscaping and Removal of Sediment Control Devices	5 days

- GENERAL NOTES**
- This plan of development is governed by B.A. Case 054-C.
 - Exterior Lighting shall shine/reflect away from adjacent R/W.
 - Elevations are based on Maryland State Highway Administration Datum.
 - Bearing System as per Record Plat.
 - Present Zoning - M-2.
 - Right of Way information taken from Howard County, Dept. of Public Works Dug. Nos. 69-0027, 69-0028 & 75-2004.

NOTE: Stockpile stripped top soil for use in filling landscape areas.

AREA STATEMENT

- Gross Site Area = 37,200 sq. ft.
- Area to be disturbed = 40,400 sq. ft.
- Area to be left undisturbed and currently having an effective erosion resistant ground cover = 0

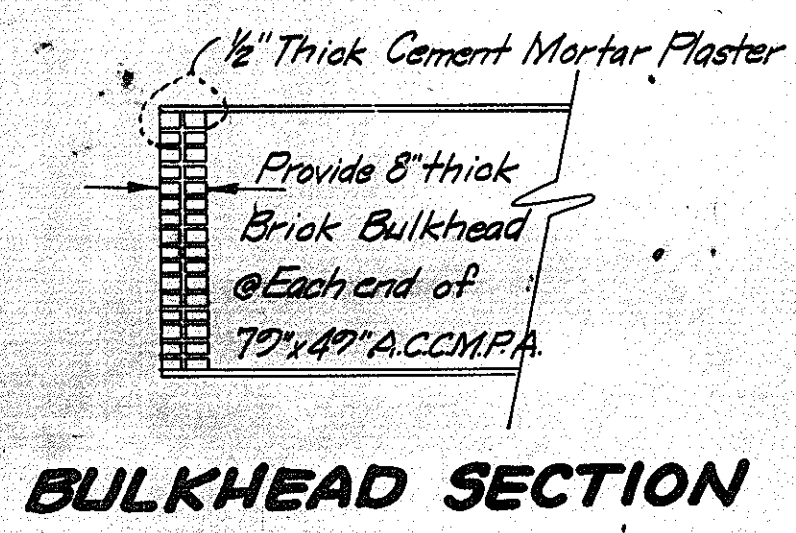
Note: Fire Hydrant is located on the northeast corner of Pocomoke Ave. & Assateague Dr.

Site Plan Prepared By: *Bazis, Carlin & Associates, Inc.* 2502 Crain Highway, Bowie, Maryland 20716 (301) 262-7273

Developer: *McDonald's Corporation* 3150 Leesburg Pike, Vienna, Virginia 22180 356-0460

Owner: *The Equitable Trust Company* P.O. Box 1550, Baltimore, Md. 21203

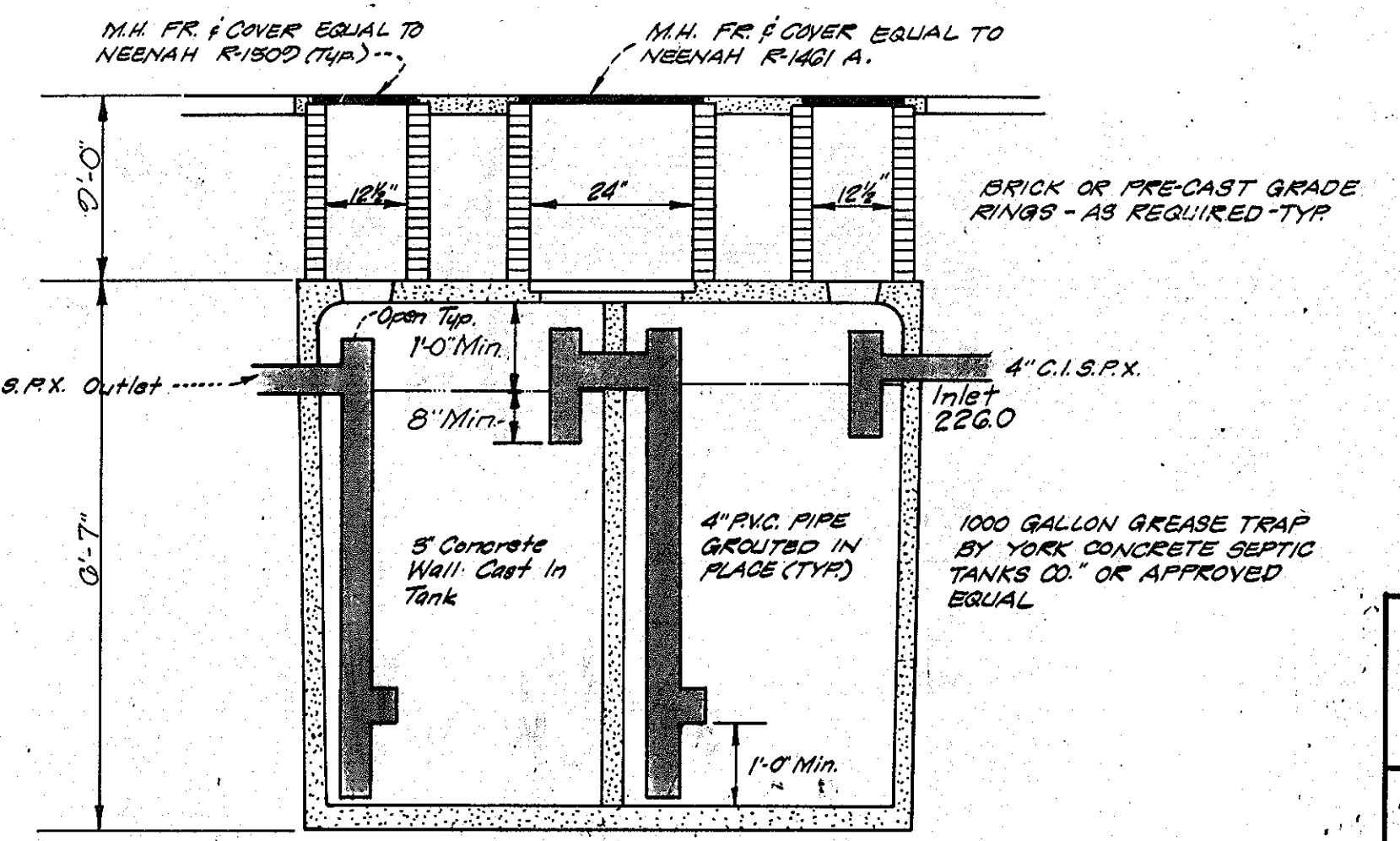
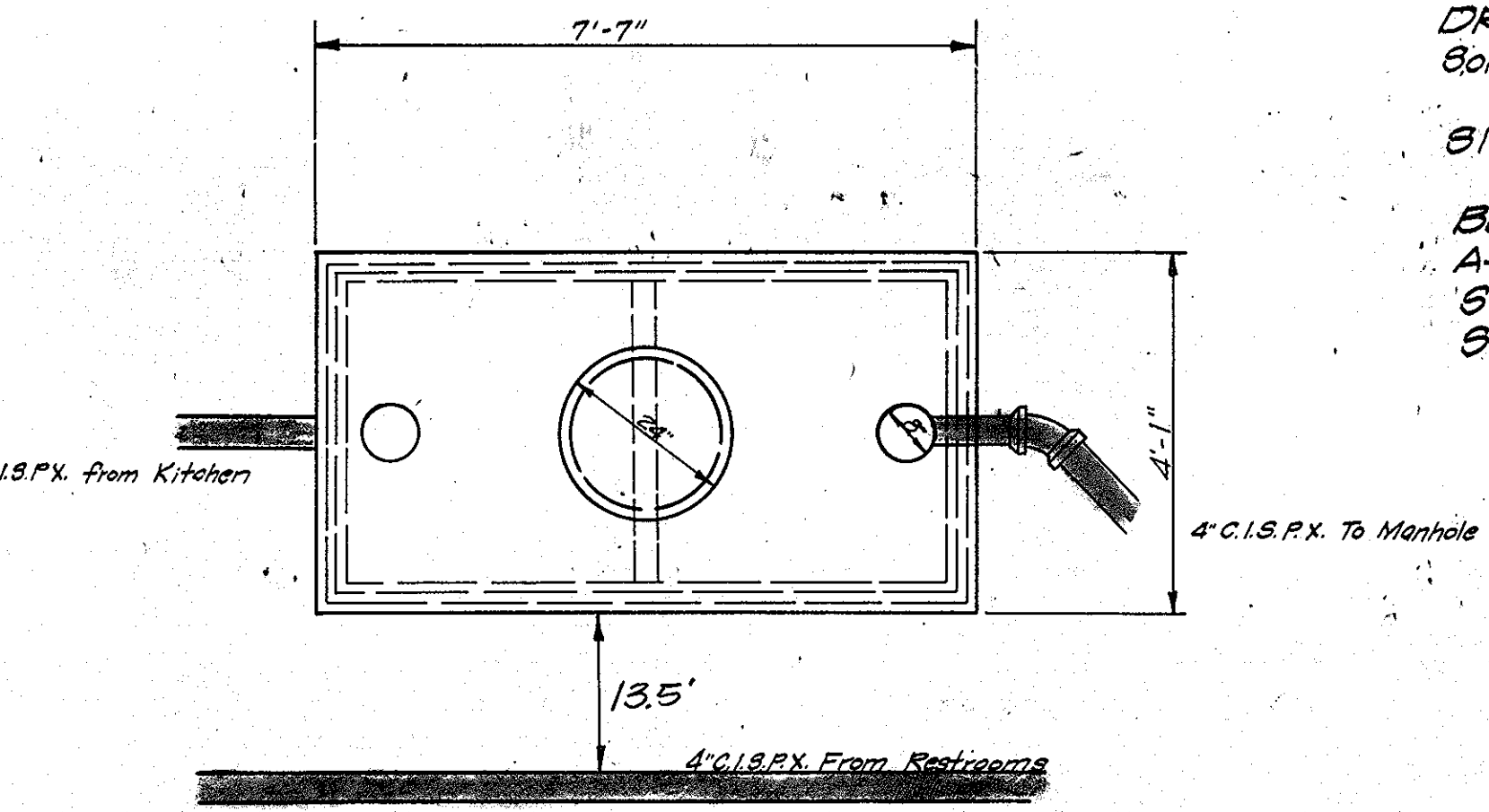
Property is Zoned M-2.



STRUCTURE SCHEDULE		
No.	TYPE	Elev.
1	How. Cty. Std. D-105 & D-103	229.40
2	How. Cty. Std. D-105 & D-103	231.70
3	How. Cty. Std. D-100	234.00
4	How. Cty. Std. D-100	234.00

PIPE SCHEDULE		
Size	Type	Length
12"	R.C.P. Class IV	41'
12"	A.C.C.M.P. 10 gauge	8' *
15"	R.C.P. Class IV	221'
79x49	A.C.C.M.P.A. - 8 gauge	150'

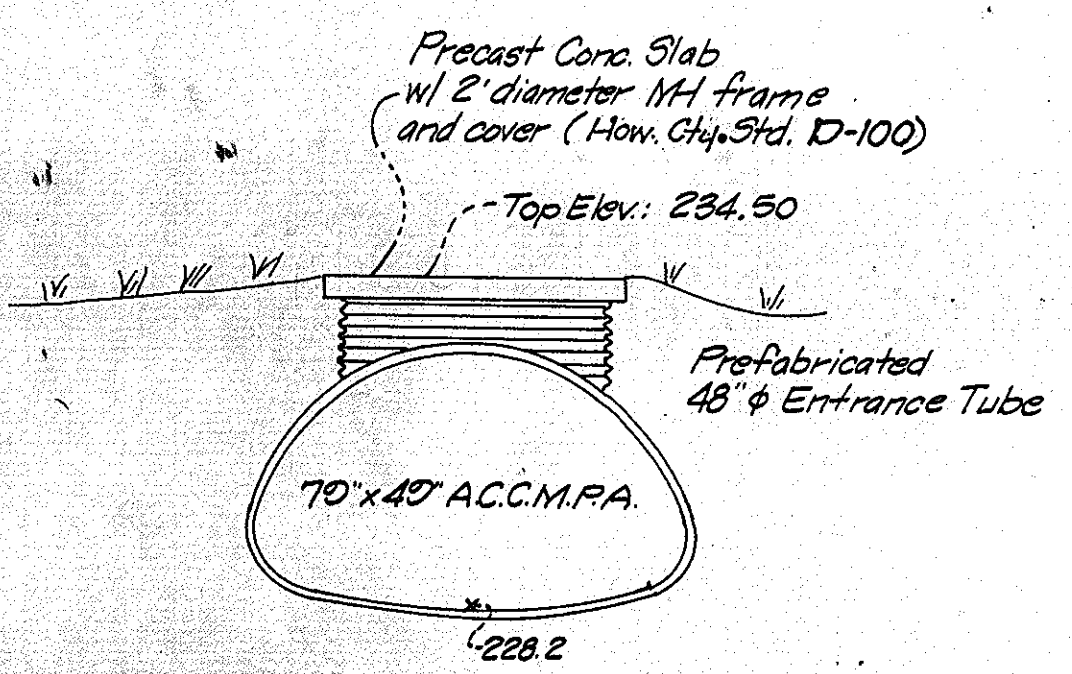
* 2-4' lengths connecting structures #3 & 4 to 79x49 A.C.C.M.P.A.



GREASE TRAP PLAN & PROFILE
"No Scale"

STORM WATER MANAGEMENT
 DRAINAGE AREA = 0.87 Ac.
 Soil Type: Beltsville Silt Loam
 Soil Group C
 Slope of Site: 4% to 5% (Moderate)
RUNOFF
 Before Development: $Q_2 = 3.7$ cfs $Q_{10} = 7.1$ cfs
 After Development: $Q_2 = 6.5$ cfs $Q_{10} = 11.3$ cfs
 Storage Required: 3,134 cu. ft.
 Storage Provided: 3,105 cu. ft.

- STORM WATER MANAGEMENT NOTES**
- All construction shall be done in accordance with the latest edition of the Howard County Dept. of Public Works Standard Specifications.
 - Types of Structures refer to the How. Cty. Book of Standards.
 - No construction shall begin until proper permits have been obtained.
 - Upon completion of construction, all disturbed areas in easement are to be fine graded and sodded.



SECTION THRU S.W.M. HOLDING PIPE @ M.H.

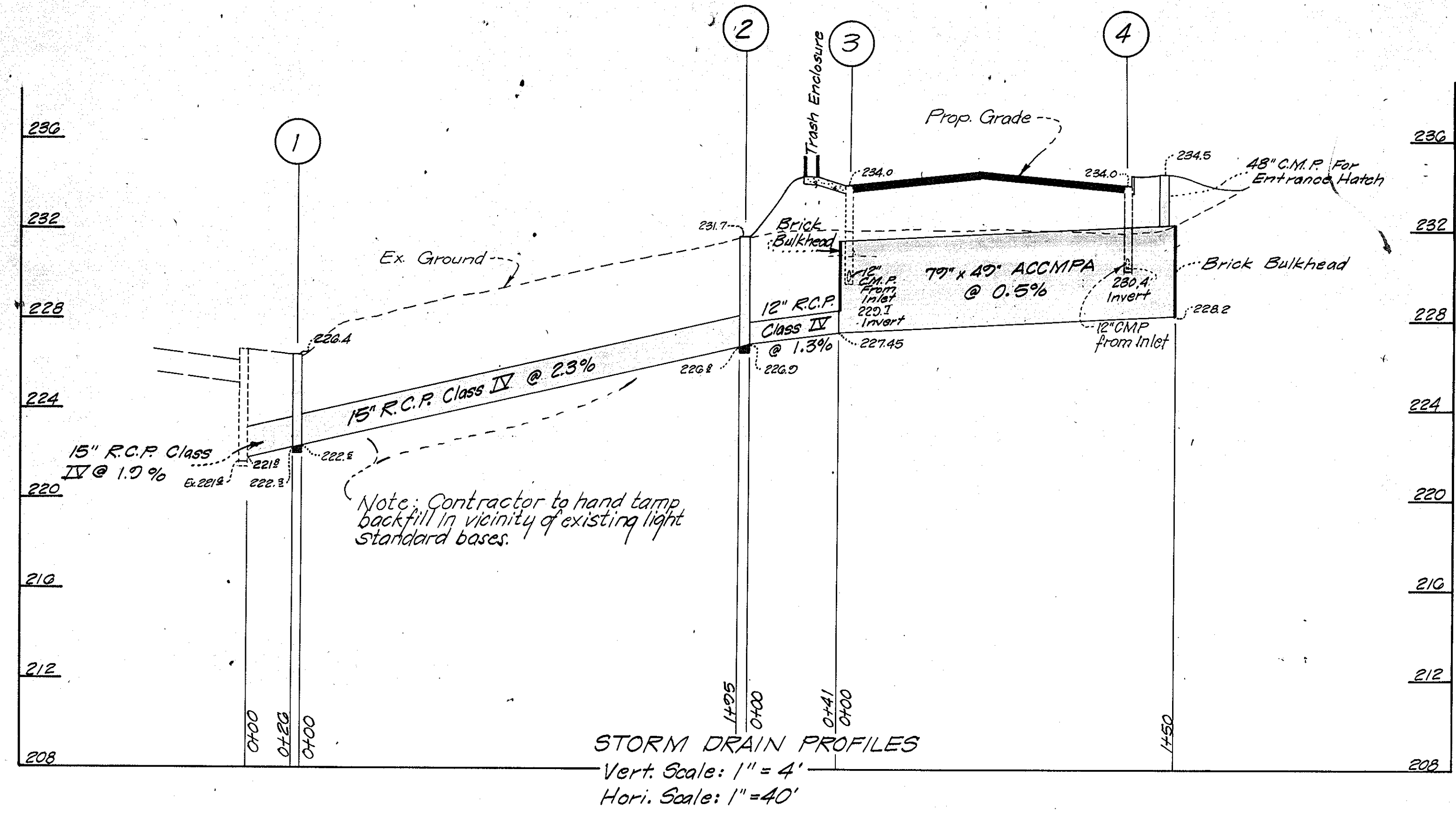
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER: *[Signature]* DATE: 12-6-78

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 PLANNING DIRECTOR: *[Signature]* DATE: 12-7-78

APPROVED: HOWARD COUNTY, MARYLAND
 CHIEF DIVISION OF LAND DEVELOPMENT: *[Signature]* DATE: 12-7-78

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR: *[Signature]* DATE: 11-22-78

CHIEF BUREAU OF ENGINEERING: *[Signature]* DATE: 11-22-78



STORM DRAIN PROFILES
 Vert. Scale: 1" = 4'
 Hori. Scale: 1" = 40'

GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET
 SECTION ONE, BLOCK B, PARCEL A-2, REC. REF.: PLAT 4102
 ELECTION DISTRICT #6 HOWARD COUNTY, MARYLAND

Prepared By:
 BAZIS, CARLIN & ASSOCIATES INC.
 2502 Grain Highway
 Bowie, Maryland 20716
 (301) 262-7273

CO-SIGN

CONTRACTOR: _____
 OWNER: _____

Proposed Elevation: 000.00
 Landscape Area: _____
 Exposed Aggregate Bld'g. Walk Finish: _____
 File Walk Finish: _____

GENERAL NOTES:

- These Plans & Specifications Are The Property Of McDonald's Corporation; One McDonald's Plaza, Oak Brook, Illinois 60521 & Shall Not Be Reproduced Without Their Written Permission.
- It Is The Responsibility Of The Contractor To Meet All Requirements Of State, Local Authorities, Health Depts. & Utility Companies, Regardless Of Information Stated On The Site & Building Plans.
- Bases & Anchor Bolts, Conduit, & Wiring For Welcome & Thank You Signs & Flag Poles Are By General Contractor.
- McDonald's Road Sign & Base Are By Sign Contractor. 1 1/2" Conduit & Wiring Are By General Contractor.
- Contractor To Furnish 1" Empty Conduit, From Building To Lot Lighting, As Indicated. Lot Lighting, Bases, Conduit & Wiring Are By Others.
- Finished Walks & Curb Elevations To Be 6" Above Finish Paving.
- All Elevations Are In Reference To The Bench Mark & Must Be Verified By General Contractor At Ground Break.
- All Landscaped Areas To Be Rough Graded To 6" Below Top Of All Walks & Curbs. Final Grading & Landscaping By Others.
- For Site Details Refer To Sheet S.P.
- PAVING SPECIFICATIONS

NOTES:

- Parking Spaces: _____
- Survey Prepared By: _____

UTILITIES & LOCATION:

Sanitary Sewer: _____
 Storm Drain: _____
 Water: _____
 Gas: _____
 Electrical: _____

No.	DESCRIPTION	DATE
1	Lower system 1.2 ft., Add details	7-2-78
2	REVISE PIPE SCHEDULE, STRUCTURE SCHEDULE	10-9-78
3	Add Grease Trap Detail	10-12-78

Drawn: R.M.
 Date: 5-12-78
 Scale: 1" = 20'-0"

McDonald's
 147-19

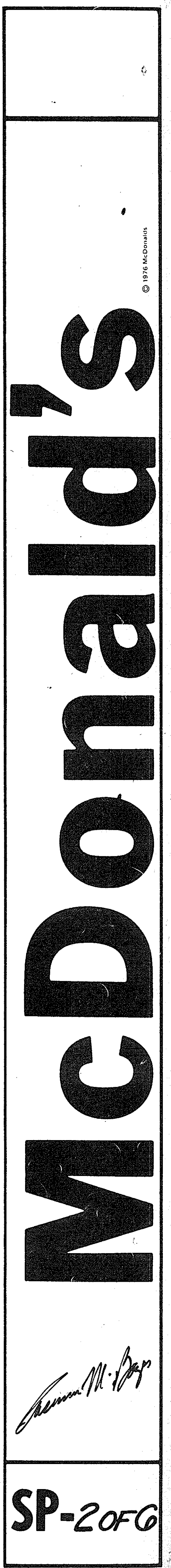
Regional/District Dwg. No. 147-19

APPROVALS

(2) SIGNATURES REQ.	NAME	DATE
Regional/District Mgr.		
Construction Dept.		
Operations Dept.		

MD. RTE. 175 & POCOMOKE AVENUE
 STREET ADDRESS: WATERLOO MARYLAND
 CITY STATE: HOWARD COUNTY

STORM DRAIN & GREASE TRAP DETAILS
 Corporate Dwg. No. _____



SP-20FG

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
Joseph M. Bazy 12-6-78
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
James M. Bazy 12-7-78
 PLANNING DIRECTOR DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Richard C. Brudenbuck 11/22/78
 DIRECTOR DATE

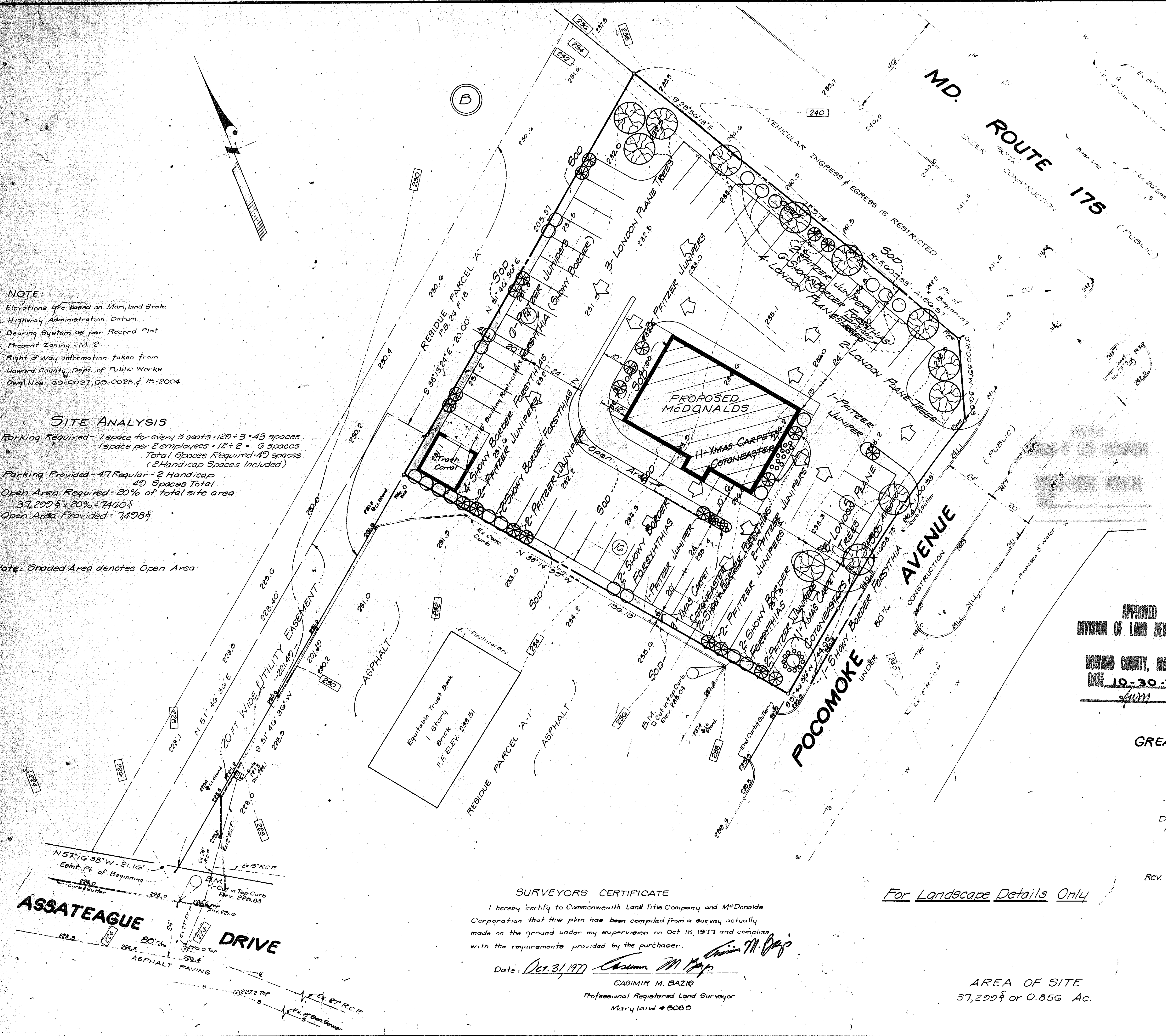
W. O. Sallent 11-22-78
 CHIEF BUREAU OF ENGINEERING DATE

NOTE:
 1. Elevations are based on Maryland State Highway Administration Datum
 2. Bearing System as per Record Plat
 3. Present Zoning - M-2
 4. Right of Way Information taken from Howard County Dept. of Public Works
 Dwp# Nos. 69-0027, 69-0028 & 75-2004

SITE ANALYSIS

1. Parking Required - 1 space for every 3 seats = 120 ÷ 3 = 40 spaces
 1 space per 2 employees = 12 ÷ 2 = 6 spaces
 Total Spaces Required - 46 spaces
 (2 Handicap Spaces Included)
2. Parking Provided - 47 Regular - 2 Handicap
 49 Spaces Total
3. Open Area Required - 20% of total site area
 37,220 sq ft x 20% = 7,444 sq ft
4. Open Area Provided - 7,498 sq ft

Note: Shaded Area denotes Open Area



PLANT SCHEDULE				
SYMBOL	BOTANICAL NAME	COMMON NAME	HGT.	QTY.
	PLATANUS OCCIDENTALIS	LONDON PLANE TREE	10-12' High	12 B&B
	JUNIPERUS PRITZERIANA	PRITZER JUNIPER	2-3' High	20 B&B
	FORSYTHIA INTERMEDIASPETABILIS	SHOWY BORDER FORSYTHIA	2'-6' High	23 B&B
	COTONEASTER SKOOGHOLMEN	XMAS CARPET COTONEASTER	18"-24" High	31 Cars

APPROVED
 DIVISION OF LAND DEVELOPMENT

HOWARD COUNTY, MARYLAND
 DATE 10-30-78
Sum

LANDSCAPE PLAN

PARCEL A-2
 BLOCK B
 SECTION ONE
 GREATER BALTIMORE CONSOLIDATED
 WHOLESALE FOOD MARKET

6th ELECTION DISTRICT
 HOWARD COUNTY
 MARYLAND

DATE: APRIL 7, 1978
 Rev. (Areas) 5-11-78

SCALE: 1" = 20'

RECORD REFERENCE PLAT NO. 4102
 Rev. 10-9-78 Add Approval Blocks

James M. Bazy

SURVEYORS CERTIFICATE

I hereby certify to Commonwealth Land Title Company and McDonald's Corporation that this plan has been compiled from a survey actually made on the ground under my supervision on Oct 18, 1977 and complies with the requirements provided by the purchaser.

Date: Oct. 31, 1977 *James M. Bazy*

CABIMIR M. BAZIE
 Professional Registered Land Surveyor
 Maryland # 5085

For Landscape Details Only

AREA OF SITE
 37,220 sq ft or 0.856 Ac.

BAC & ASSOCIATES, INC.
 ENGINEERING SURVEYORS PLANNERS
 2500 MAIN HIGHWAY
 BETHESDA, MARYLAND 20814
 410-326-7238

HOWARD SOIL CONSERVATION DISTRICT
REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS
TECHNICAL REQUIREMENTS

William Roy 11-15-78
SIGNATURE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT
CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

Richard Zehme 11-15-78
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE
SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

Asa L. Burdick 12-6-78
COUNTY HEALTH OFFICER DATE

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING

Thomas J. Hamill 12-7-78
PLANNING DIRECTOR DATE

John W. Mullaney 12-7-78
CHIEF DIVISION OF LAND DEVELOPMENT DATE

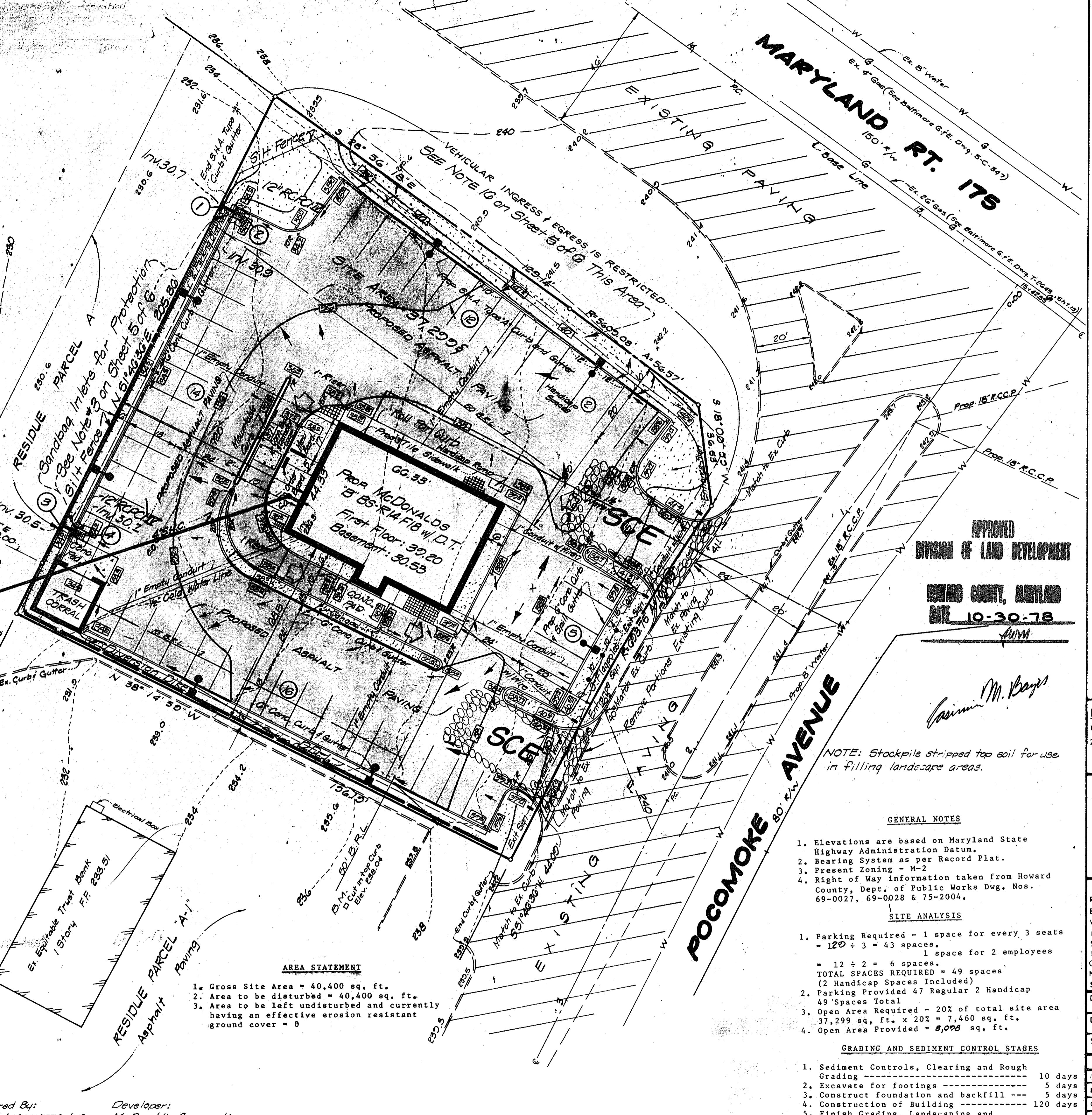
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE,
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

Richard C. Sorenberg 11-22-78
DIRECTOR DATE

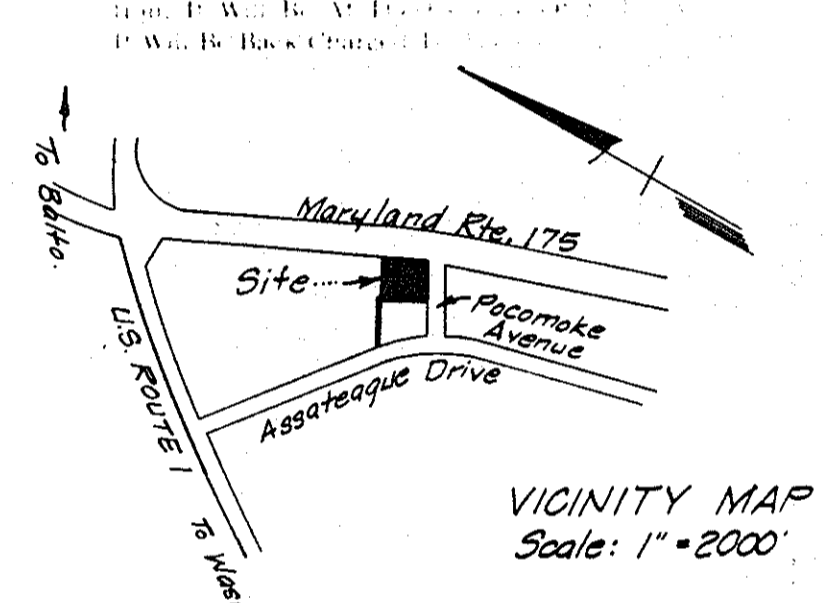
W.O. Gilbert 11-22-78
CHIEF BUREAU OF ENGINEERING DATE

FOR SEDIMENT
CONTROL DETAILS
ONLY



- GENERAL NOTES:**
- These Plans & Specifications are the Property of M.D. Corporation, One McDonald Plaza, One Block East of the Intersection of U.S. Highway 175 & Assateague Drive, Bowie, Maryland. No Part of This Work shall be Reproduced or Used Without Written Permission.
 - The Responsibility for the Design and Construction of the Site is the Responsibility of the Contractor. The Design is the Responsibility of the Designer.
 - The Contractor shall be responsible for obtaining all necessary permits and for compliance with all applicable laws, regulations, and codes.
 - The Contractor shall be responsible for the protection and preservation of all existing utilities and structures.
 - The Contractor shall be responsible for the removal and disposal of all debris and materials.
 - The Contractor shall be responsible for the maintenance of all accessways and for the safe passage of all vehicles.
 - The Contractor shall be responsible for the maintenance of all sediment control structures.
 - The Contractor shall be responsible for the maintenance of all signage and wayfinding.
 - The Contractor shall be responsible for the maintenance of all landscaping and site furnishings.
 - The Contractor shall be responsible for the maintenance of all site lighting.
 - The Contractor shall be responsible for the maintenance of all site security.
 - The Contractor shall be responsible for the maintenance of all site safety.

- 6" Crushed Stone Base
- 2" Asphalt Base
- 1" Asphalt Wearing Course



APPROVED
DIVISION OF LAND DEVELOPMENT
HOWARD COUNTY, MARYLAND
DATE 10-30-78

William M. Roy

NOTES:

- 49' Parking Space, 10x20, 12x20, 90°
- Survey Prepared by Paris, Carlin & Associates, Inc., 2502 Chain Highway, Bowie, Md. 20716

UTILITIES & LOCATION:

- Sanitary Sewer: Assateague Dr.
- Storm Drain: Pocomoke Avenue
- Water: Pocomoke Avenue
- Gas: Not Available
- Electrical: Underground at Property Line

No.	DESCRIPTION	Date
1	Rev. Prop. lot grading, SWM per R.I.	6-9-78
2	Rev. Grd. Cont.	6-10-78
3	Rev. per comments H. Ch. R.	"

Drawn *R.M.*
Date 5-12-78
Scale 1" = 20'-0"

147-19

APPROVALS

Signature	Name	Title
_____	Regional District Mgr.	
_____	Construction Dept.	
_____	Operations Dept.	

M.D. RTE. 175 & POCOMOKE AVENUE
STREET ADDRESS
WATERLOO MARYLAND
CITY STATE
HOWARD COUNTY
COUNTY

AREA STATEMENT

- Gross Site Area = 40,400 sq. ft.
- Area to be disturbed = 40,400 sq. ft.
- Area to be left undisturbed and currently having an effective erosion resistant ground cover = 0

Site Plan Prepared by:
BAZIS, CARLIN & ASSOCIATES, INC.
Surveyors, Engineers, Planners
2502 Chain Highway,
Bowie, Maryland 20716
(301) 262-7273

Developer:
McDonald's Corporation
3150 Leesburg Pike
Vienna, Virginia 22180
356-0460

**GREATER BALTIMORE CONSOLIDATED
WHOLESALE FOOD MARKET**
SECTION 1 BLOCK B, PARCEL A-2 REC. REFERENCE PLAT 4102
ELECTION DISTRICT G HOWARD COUNTY, MARYLAND

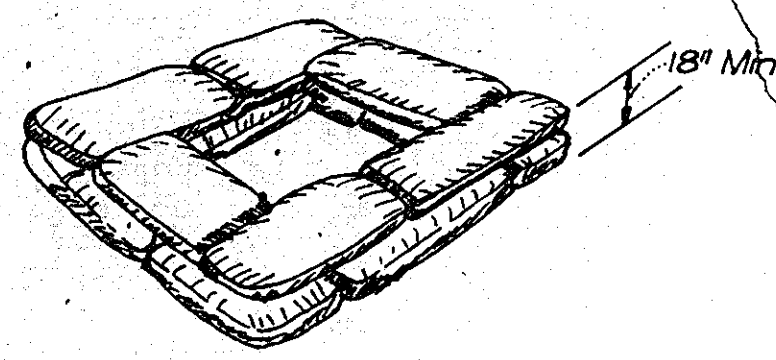
LEGEND

Conduit	C	C	Storm Drain	SD	SD	Proposed Elevation	000.00
Water	W	W	Guard Post	---	---	Landscape Area	---
Sewer	S	S	Lot Lighting	---	---	Exposed Aggregate Bld'g. Walk Finish	---
Gas	G	G	Not in Contract	(N I C)	(N I C)	Tile Walk Finish	---
			Existing Elevation	000.00	000.00		

McDonald's

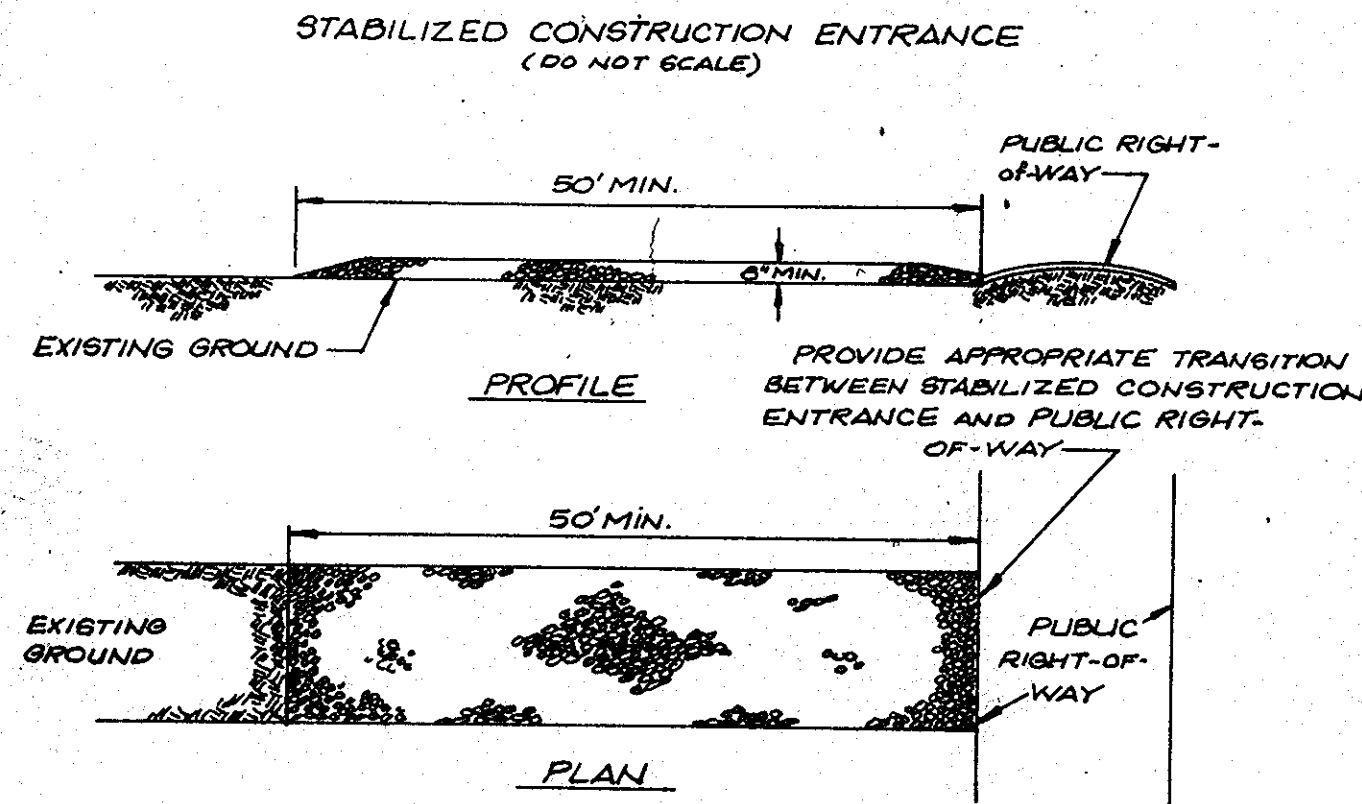
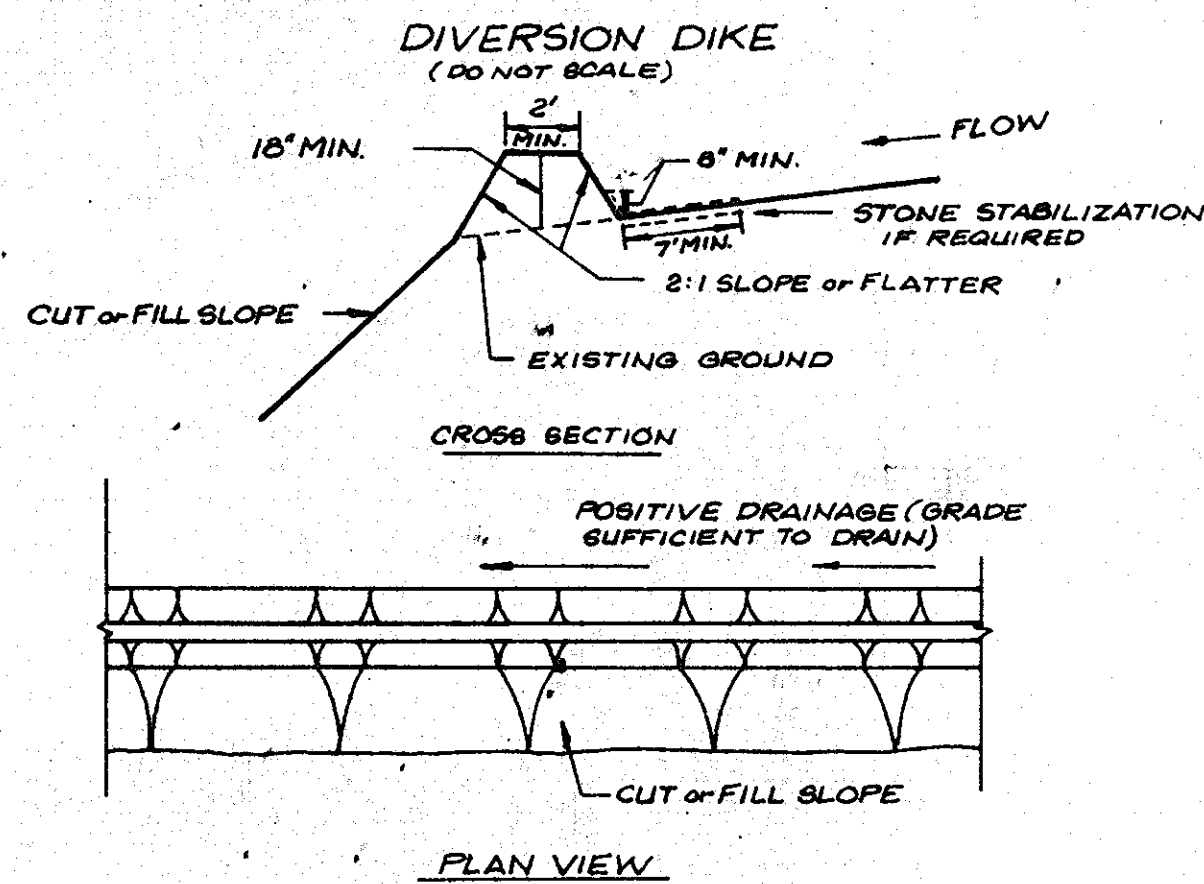
SP-4 OF 6

SDP-79-29 77-218

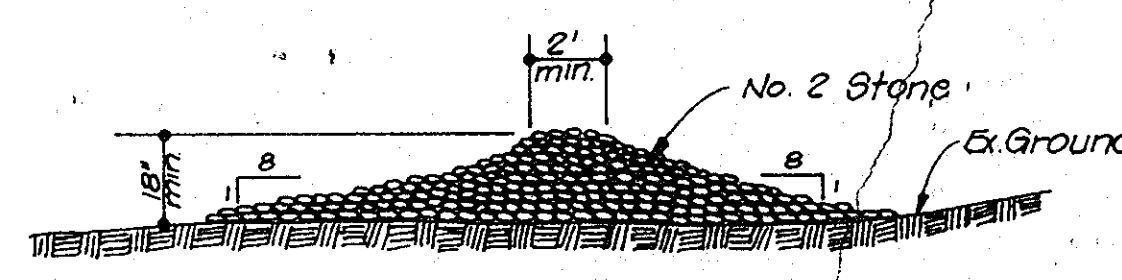


NOTE: Form 18" high dike of sand bags around inlet. Stagger sand bags.

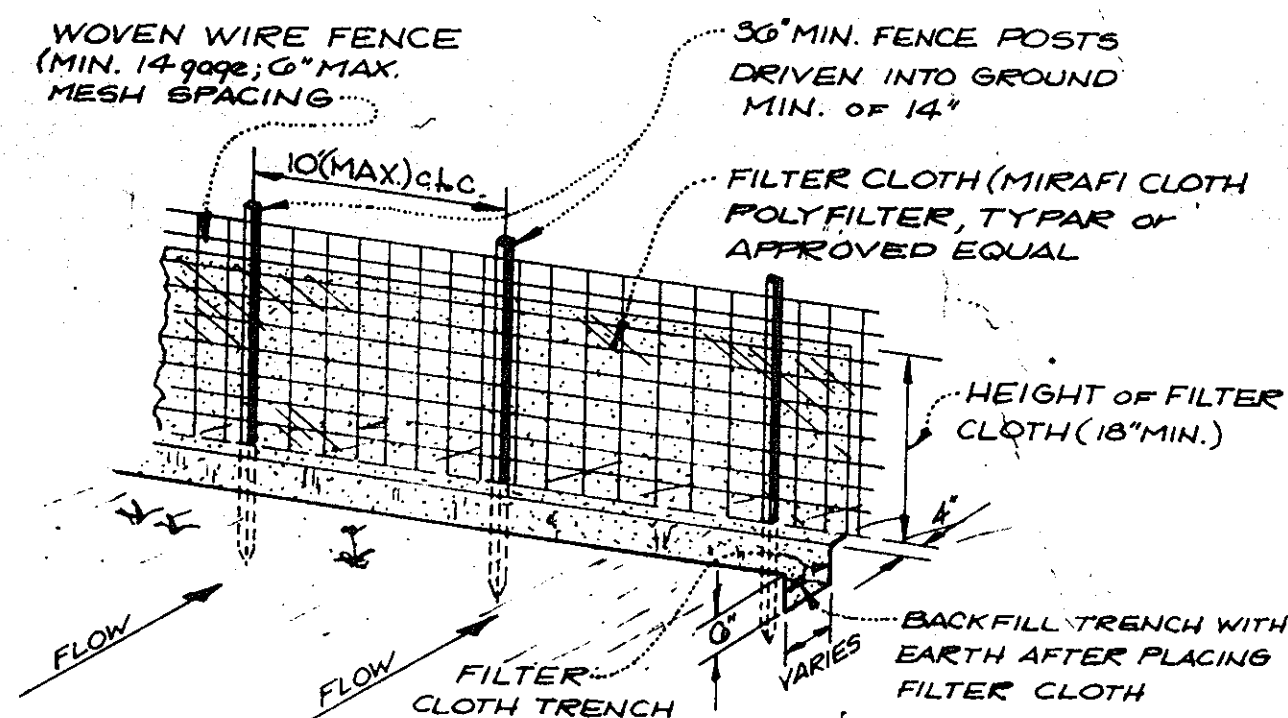
SAND BAG DETAIL
No Scale



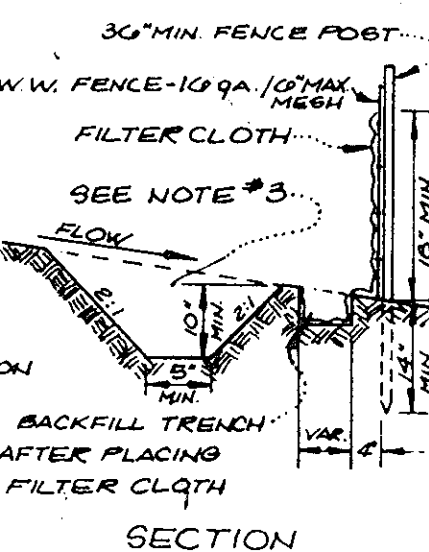
STONE CONSTRUCTION ENTRANCE



SILT FENCE
DO NOT SCALE



- NOTES:
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES.
 - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH WIRE TIES SPACED EVERY 24" AT TOP AND MID-SECTION.
 - AT POINTS OF HIGH CONCENTRATION OF SILT, A DEPRESSION WILL BE CONSTRUCTED AS SHOWN. THE DEPRESSION SHALL BE ADJUSTED TO PREVENT DAMAGE TO TREES. MIN. LENGTH SHALL BE 15 FT.



APPROVED
DIVISION OF LAND DEVELOPMENT
HOWARD COUNTY, MARYLAND
DATE 10-30-78

I certify that all development and/or construction will be done according to this plan of development and plan of silt and sediment control.

F. Richard Johnson
Owner/Developer
F. Richard Johnson
Agent for McDonald's Corporation

John C. Ridenour
JOHN C. RIDENOUR
AGENT FOR McDONALD'S CORP.

Notes:

- All sediment control measures to be adjusted to meet field conditions at the time of construction and be constructed prior to any grading or disturbance of existing surface materials.
- All sediment control measures shall be undertaken in strict accordance with the approved plans and the criteria and specifications approved by
- Periodic inspection and maintenance of all sediment control structures must be provided to insure intended purpose is accomplished.
- All surface runoff from construction site will be diverted through sediment control devices before it is discharged from site.
- Contractor installing the above shall obtain and follow the "Standards and Specifications for Soil Erosion & Sediment Control in Developing Areas," by Howard Cty. Soil Conservation District
- Sequence of Construction - See site plan sheet no. 1
- Public roads to be kept in clean and dust free condition at all times.
- All seeding of disturbed areas to be per note #12
- Total site area = 37,200 sq. ft.
- Total disturbed area = 37,200 sq. ft.
- All sediment control facilities and/or areas to be left exposed for more than 20 days are to be temporarily seeded per note #12
- All seeding of disturbed areas to K-31 at 5-7 lbs. per 1000 sq. ft. with 10-10-10 fertilizer at 23 lbs. per 1000 sq. ft. and dolomitic limestone at 100 lbs. per 1000 sq. ft. Lime and fertilizer to be incorporated to a depth of 2-3 inches. Mulch with unweathered small grain straw at 80 lbs. per 1000 sq. ft. and anchor with mulch anchoring tool.

I hereby certify that this plan complies with the standards and specifications of the

Casimir M. Bazis
Casimir M. Bazis
Md. P.L.S. #5089



HOWARD SOIL CONSERVATION DISTRICT	
REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS	
<i>C. Wayne Day</i> SIGNATURE	11-15-78 DATE
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT	
<i>Robert W. Zidner</i> HOWARD SOIL CONSERVATION DISTRICT	11-15-78 DATE
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT	
<i>Joseph M. Bazis</i> COUNTY HEALTH OFFICER	12-6-78 DATE
APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING	
<i>Thomas J. Hamill</i> PLANNING DIRECTOR	12-7-78 DATE
APPROVED: CHIEF DIVISION OF LAND DEVELOPMENT	
<i>John W. Munn</i> CHIEF DIVISION OF LAND DEVELOPMENT	12-7-78 DATE
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS	
<i>Richard E. Freudenberger</i> DIRECTOR	11/22/78 DATE
<i>W. O. Gilbert</i> CHIEF BUREAU OF ENGINEERING	11-22-78 DATE

- SEQUENCE OF CONSTRUCTION
- Grading permit is required before beginning any grading at all.
 - Install sediment control measures.
 - Inlets to be blocked with plywood and a sandbag at end of each day in conjunction with the perimeter sandbags.
 - Install proposed Storm Drainage System.
 - Install Stabilized Construction Entrance at proposed driveway entrance.
 - Clear, grub and scarify all fill area stockpiling material on site near top soil stockpile.
 - Strip and stockpile topsoil from cut area. All stumps to be disposed of at legal landfill area.
 - Cut and fill area per plan. Fill to be 90% compaction in all roadways and parking lots.
 - Excavate and pour all footings. Commence building construction.
 - Rough grade parking lot and install sub base material.
 - Install curb and gutter and base course paving.
 - Fine grade, seed, sod and landscape.
 - Install surface course paving and stripe parking lots.
 - Complete building construction.
 - Remove sediment control traps and stabilize any remaining disturbed areas by seeding or sodding.
 - The berm is to be graded at such time as it can be stabilized immediately thereafter.
 - Stockpile area to be protected from erosion by Silt Fence.

PREPARED BY:

BAZIS, CARLIN & ASSOCIATES, INC.
ENGINEERS - SURVEYORS - PLANNERS
2502 CRAIN HIGHWAY
BOWIE, MARYLAND 20716
(301) 292-7273

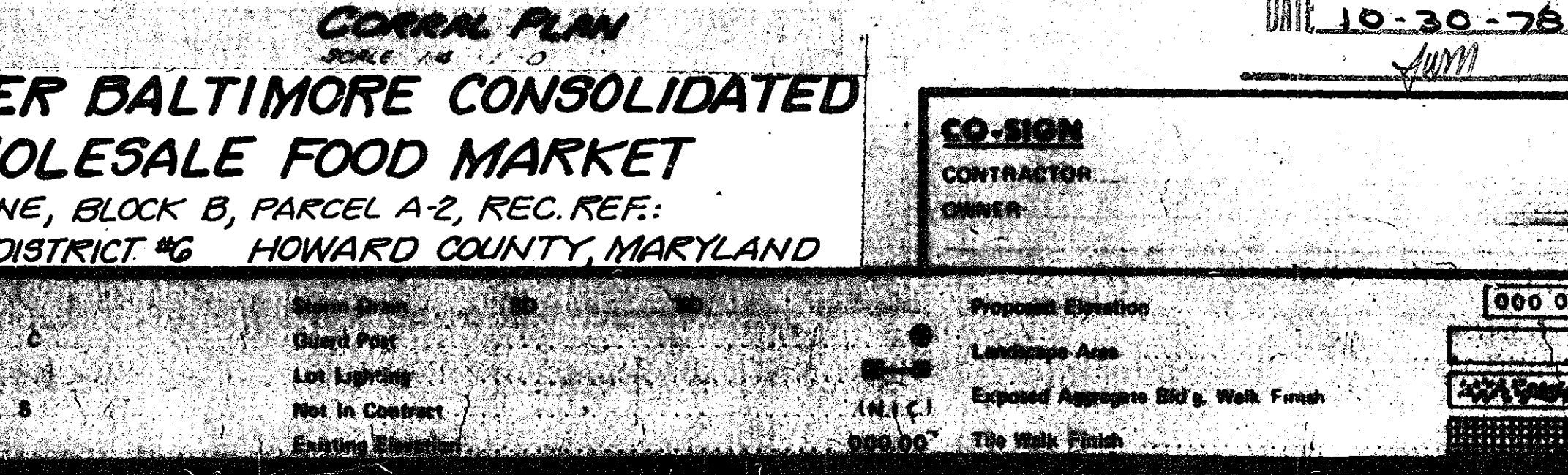
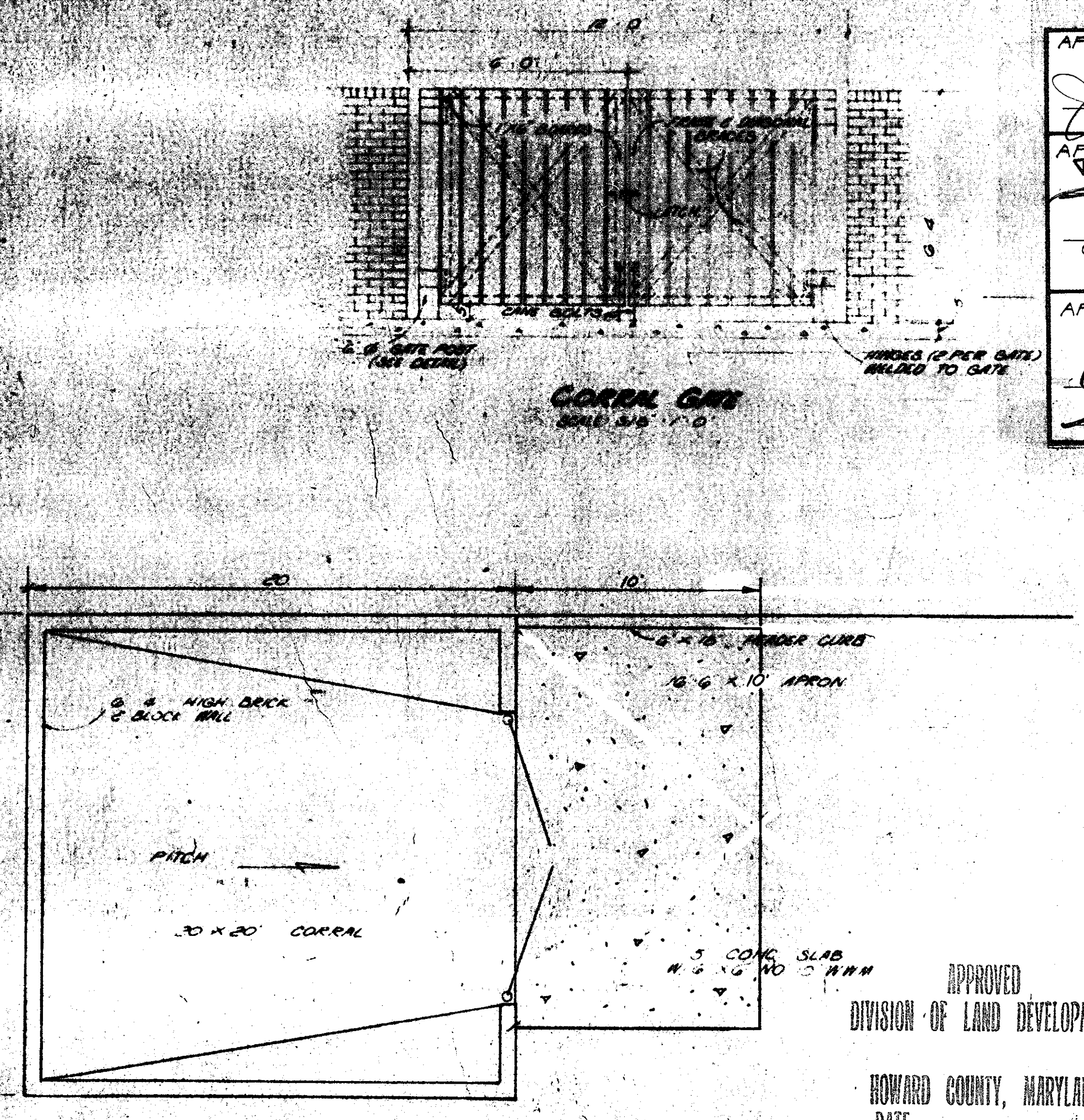
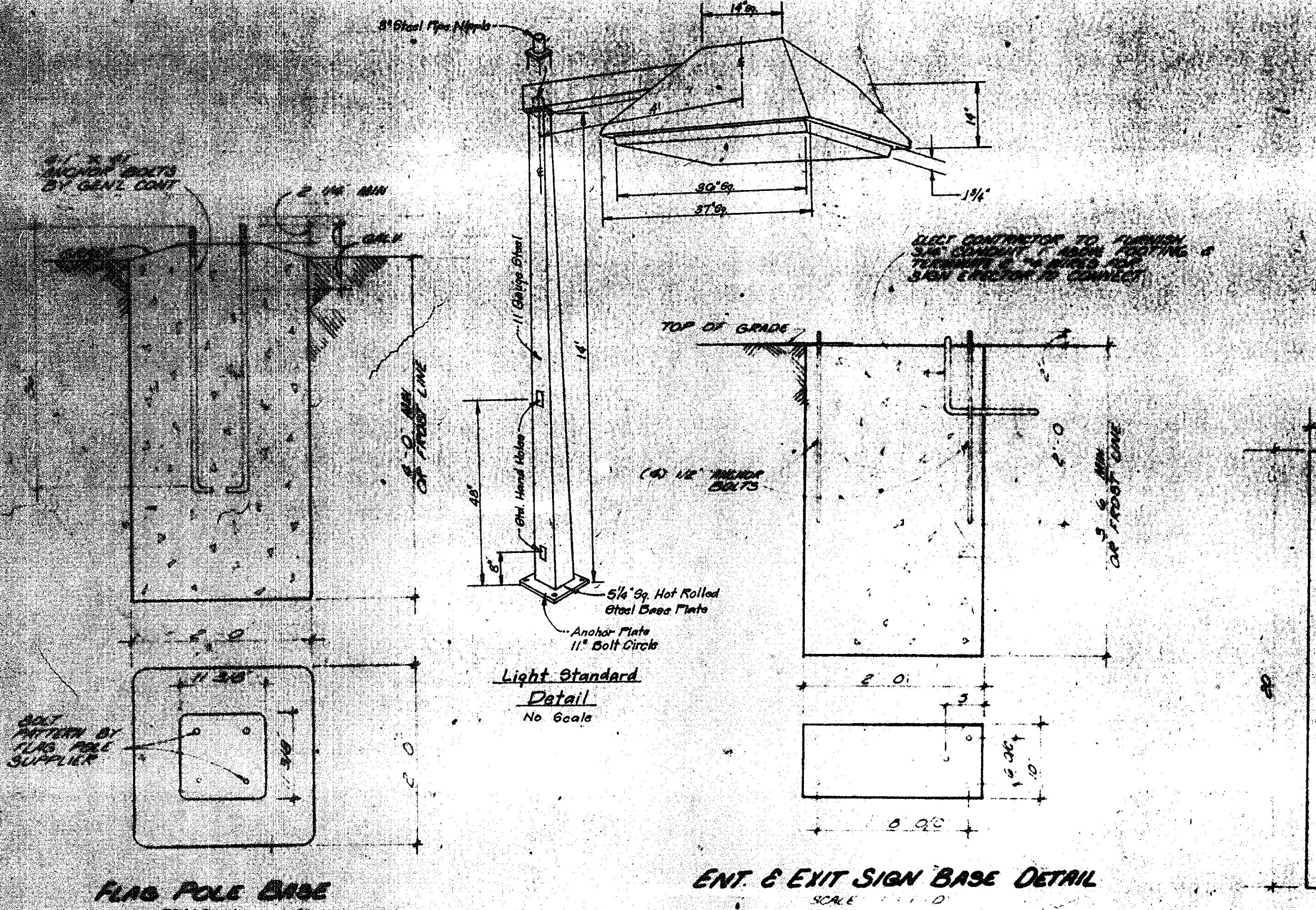
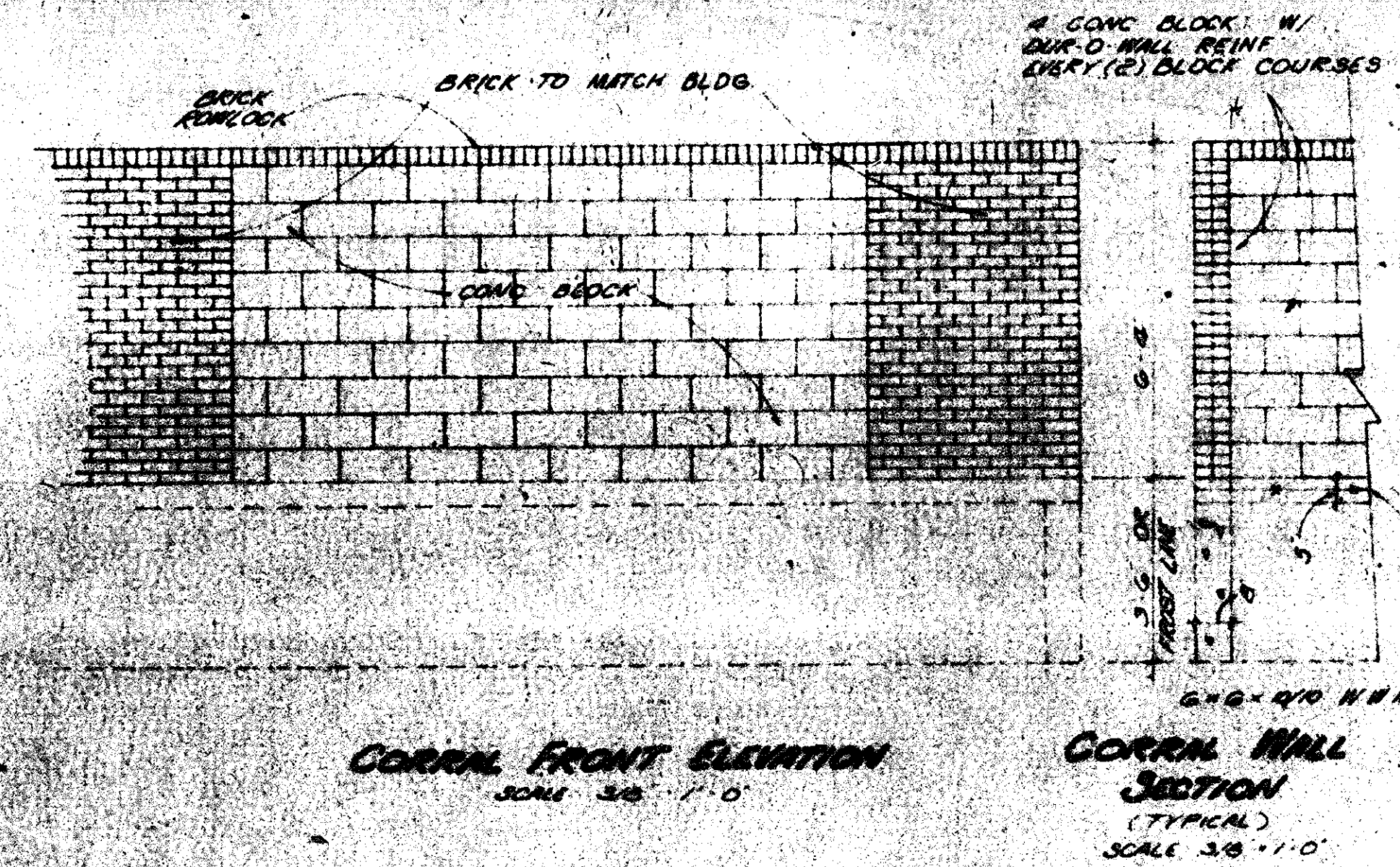
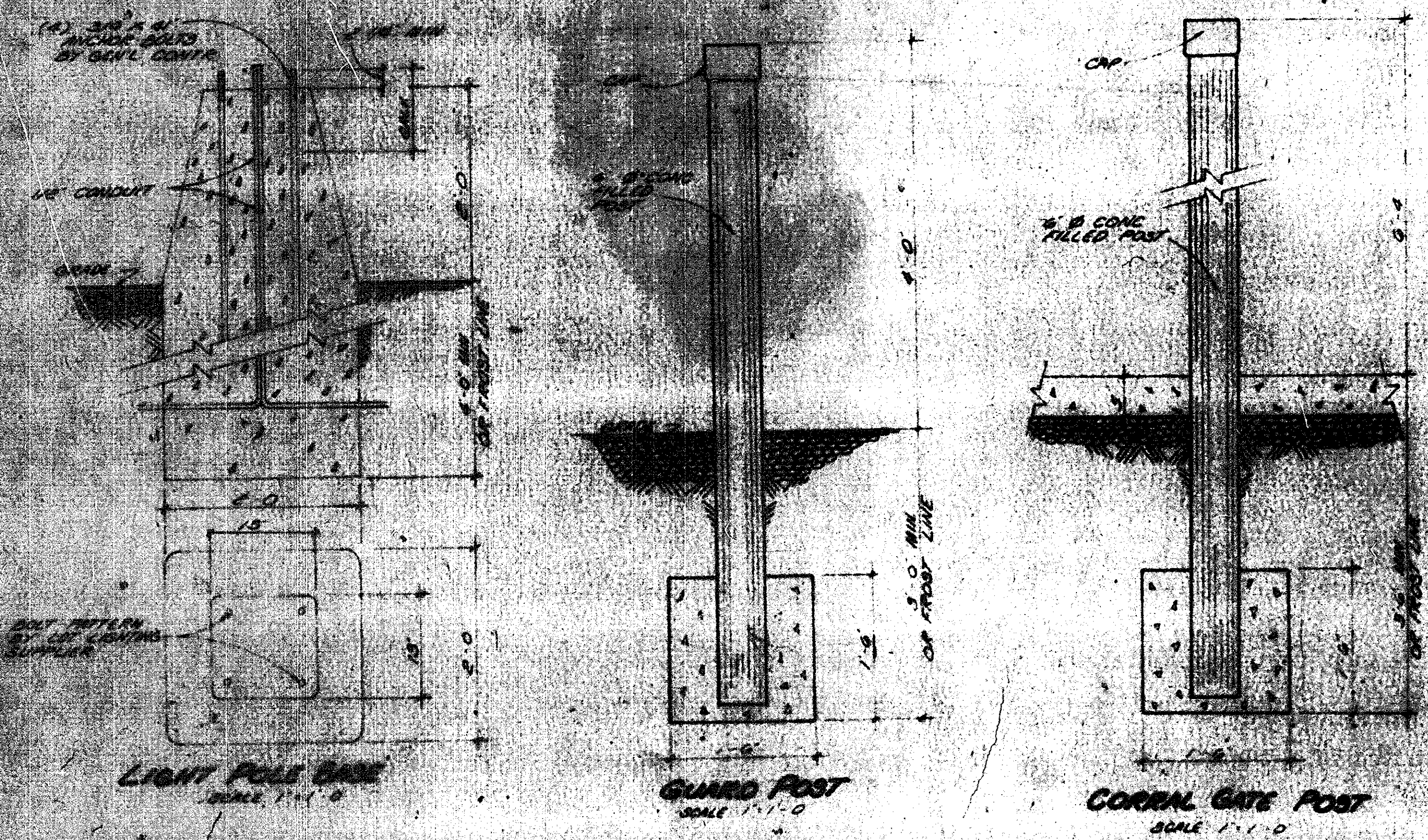
**GREATER BALTIMORE CONSOLIDATED
WHOLESALE FOOD MARKET**
SECTION ONE, BLOCK B, PARCEL A-2, REC. REF.: PLAT NO. 4102
ELECTION DISTRICT #6 HOWARD COUNTY, MARYLAND

SEDIMENT CONTROL DETAILS
ROUTE 175 & POCOMOKE AVENUE
HOWARD CO., MARYLAND
Revised 6-16-78
Rev. 10-4-78

McDonald's

Casimir M. Bazis

SP-50FG



GENERAL NOTES:

- These Plans & Specifications Are The Property Of McDonald's Corporation. One McDonald's Plaza, Oak Brook, Illinois 60021 & Shall Not Be Reproduced Without Their Written Permission.
- It Is The Responsibility Of The Contractor To Meet All Requirements Of State, Local, Authority, Health Dept. & Utility Contractors, Regardless Of Information Stated On The Site & Building Plans.
- Rebar & Anchor Bolts, Concrete, & Wiring For Workings & Signs Shall Be Installed As Directed By General Contractor.
- McDonald's Road Sign & Base Are By Sign Contractor. The Contract & Working Are By General Contractor.
- Contractor To Furnish & Install Complete, Proper Building To Meet All Requirements For Lighting, Basis, Foundation & Wiring Are By Other.
- Finished Work & Construction To Be 6" Above Finished Floor.
- All Excavations Are To Be Done To The Bottom Mark & Must Be Verified By General Contractor At Ground Break.
- All Landscaping, Areas To Be Graded To 6" Below Top Of A. Walk & Curbs, Final Grading & Landscaping By Other.
- For Site Details Refer To Sheet S-1.
- SEE SPECIFICATIONS.

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER
 12-6-78 DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 PLANNING DIRECTOR
 12-7-78 DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 CHIEF DIVISION OF LAND DEVELOPMENT
 12-7-78 DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC WORKS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR
 11/22/78 DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC WORKS
 CHIEF BUREAU OF ENGINEERING
 11-23-78 DATE

NOTES:

Parking Spaces: _____

Survey Prepared By: _____

UTILITIES & LOCATION:

Sanitary Sewer: _____

Storm Drain: _____

Water: _____

Gas: _____

Electric: _____

No.	DESCRIPTION	DATE
1	Add Title and Approval Block	10-9-78

Drawn: _____
 Date: _____
 Scale: 20' 0"

APPROVALS

NO. SIGNATURES REQ.	NAME	DATE

147-19
 REGIONAL DISTRICT Dwg No.

APPROVED
 DIVISION OF LAND DEVELOPMENT
 HOWARD COUNTY, MARYLAND
 DATE 10-30-78

CO-SIGN CONTRACTOR OWNER

Md. Rt. 175 and Pocomoke Avenue
 WATERLOO, MARYLAND
 HOWARD COUNTY

DETAIL SHEET

GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET
 SECTION ONE, BLOCK B, PARCEL A-2, REC. REF:
 ELECTION DISTRICT #6 HOWARD COUNTY, MARYLAND

BAZIS, CARLIN & ASSOCIATES INC.
 Engineers, Surveyors, Planners
 2502 Crain Highway
 Bowie, Maryland 20716
 (301) 268-7273

LEGEND

Conduit	○	○	Proposed Signpost	○
Water	W	W	Landscaping Area	■
Drain	D	D	Exposed Aggregate Sidg. Walk Finish	■
Gas	G	G	The Walk Finish	■
Guard Post	■	■		
Not In Contract	---	---		
Existing Elevation	---	---		

McDonald's

SP-6 OFG

SDP-79-29 77-28