

TYPICAL BUILDING ELEVATION
NO SCALE

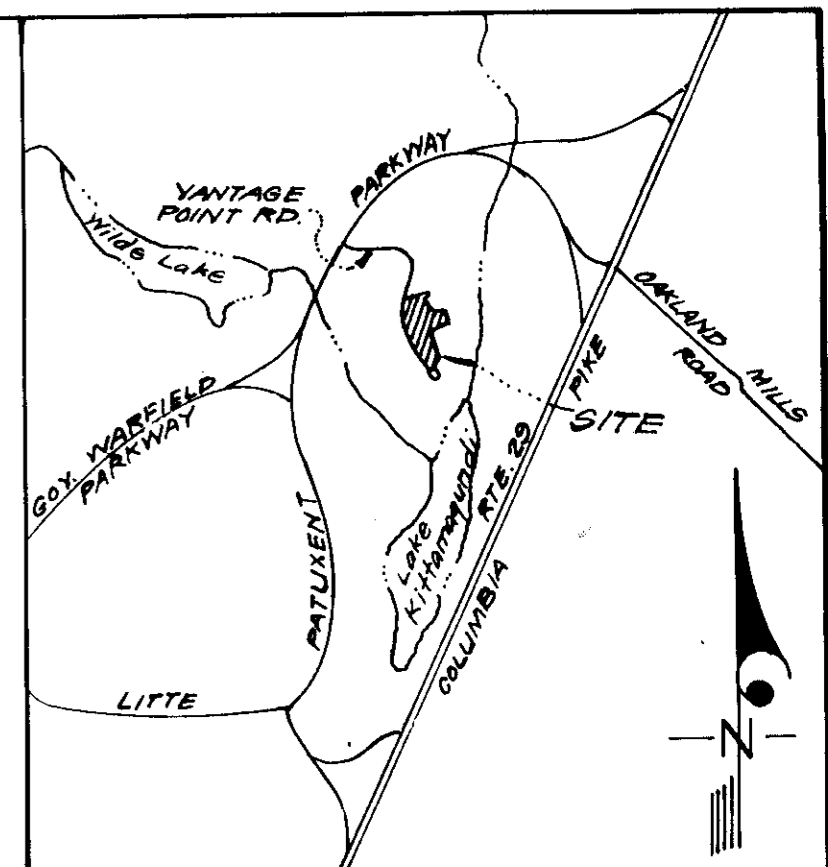
PARCEL "B"
TOWN CENTER
PB. 23 F. 3

GENERAL NOTES:

1. Installation of traffic control devices, markings and signing shall be in accordance with the Manual of Uniform Traffic Control Devices, latest edition.
2. All parking spaces and travelled ways to be privately owned and maintained.
3. This plan is subject to the criteria set forth in Final Development Plan Phase 107 A-2 as recorded in Plat 9054 A-28.
4. All coordinates are based on Maryland State Grid System. Elevations are based on U.S. Coast and Geodetic Survey Mean Sea Level Datum of 1929.
5. The Area covered in this submission is located on Tax Map No. 30.
6. Public Water and Sewer to be utilized.
7. Plat Reference: Plat Book No. 4099
8. Roof Storm Water carried in downspouts will be handled by one of the following methods:
(a) Downspout to splash block and discharged to ground having good percolation.
(b) Downspout piped to curb.
(c) Downspout connected to storm drain.
9. The developer agrees to work with the Dept. of Licenses and Inspections to resolve any problems caused by roof water discharge.
10. Construction will be in accordance with the Howard County Road Construction Code and Standard Specifications.
11. Concept Plan was approved by the Howard County Planning Board on March 15, 1978.
12. Standard 7" Combination Curb & Gutter shown thus:
13. Modified Combination Curb & Gutter shown thus:
14. Any damage to county owned right-of-way, or paving shall be corrected at the developer's expense.
15. All material and construction shall be in accordance with the Howard County Road Construction Code and Specifications.
16. Water and Sewer House Connections shall be installed in accordance with Cont. #2821D-WMS as approved by the How. Co. Bureau of Engineering.

SITE ANALYSIS:

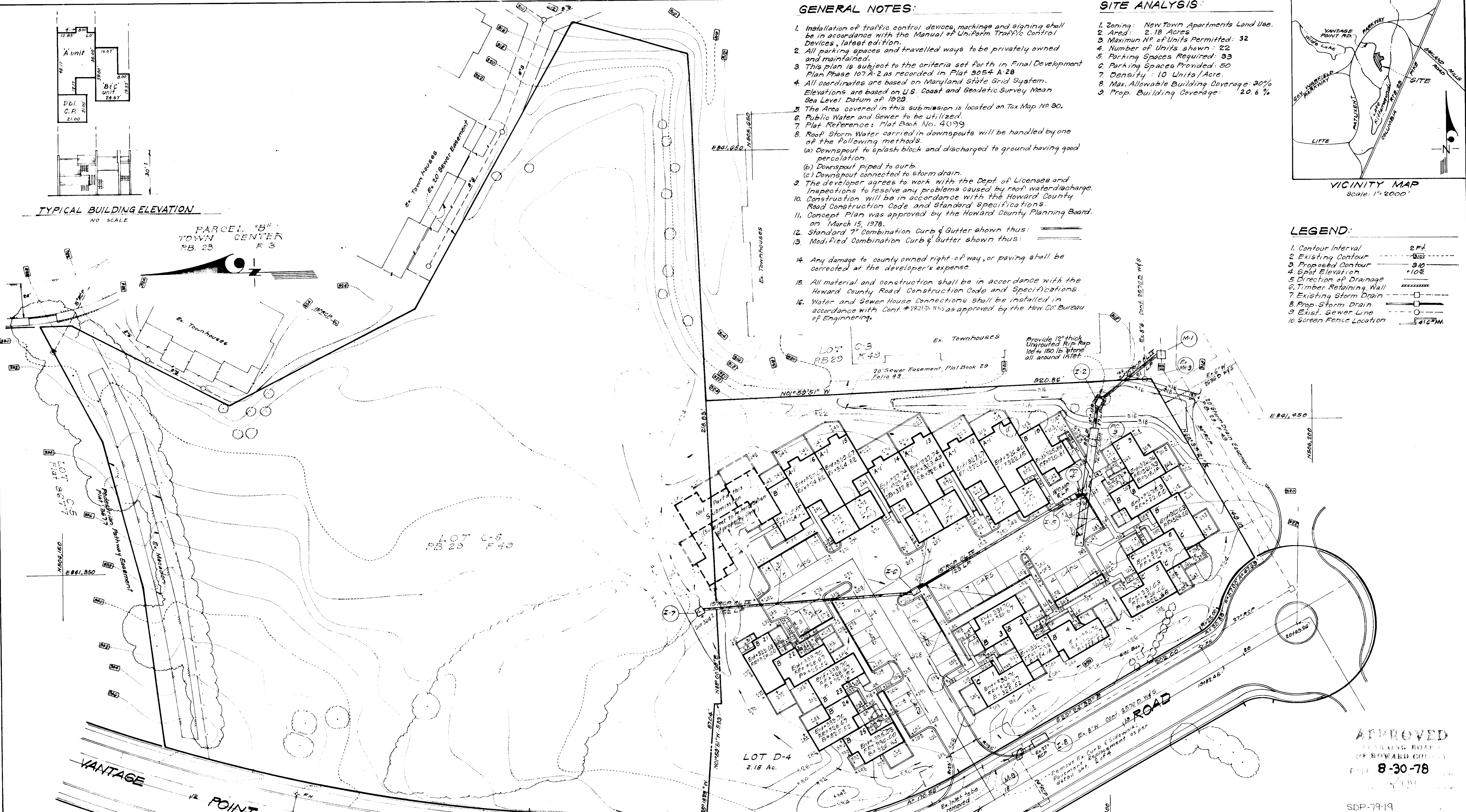
1. Zoning: New Town Apartments Land Use.
2. Acre: 2.18 Acres
3. Maximum No. of Units Permitted: 32
4. Number of Units shown: 22
5. Parking Spaces Required: 33
6. Parking Spaces Provided: 50
7. Density: 10 Units/Acre.
8. Max. Allowable Building Coverage: 30%
9. Prop. Building Coverage: 20.6%



VICINITY MAP
Scale: 1"=2000'

LEGEND:

1. Contour Interval 2 FT
2. Existing Contour
3. Proposed Contour
4. Spot Elevation
5. Direction of Drainage
6. Timber Retaining Wall
7. Existing Storm Drain
8. Prop. Storm Drain
9. Exist. Sewer Line
10. Screen Fence Location



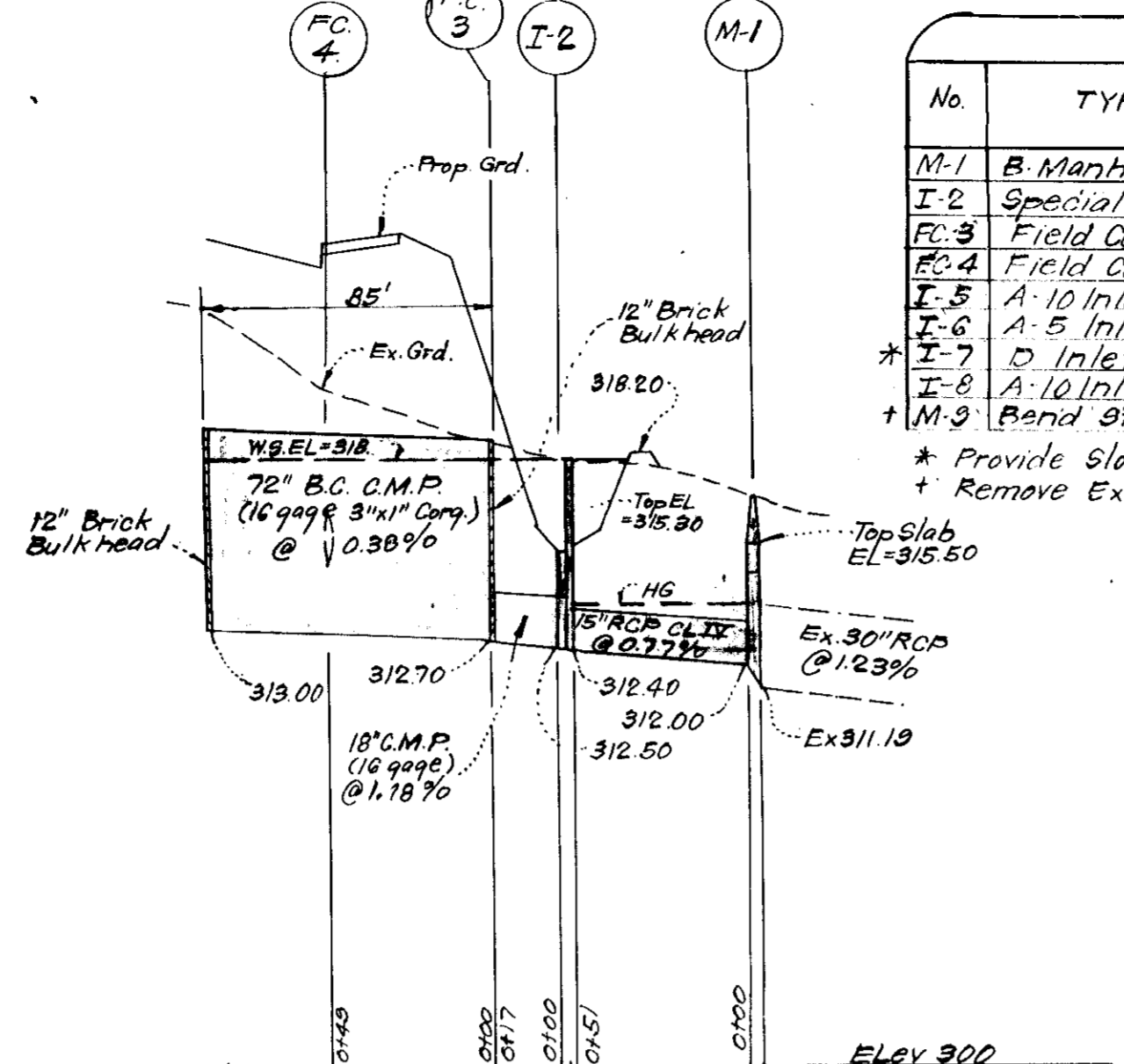
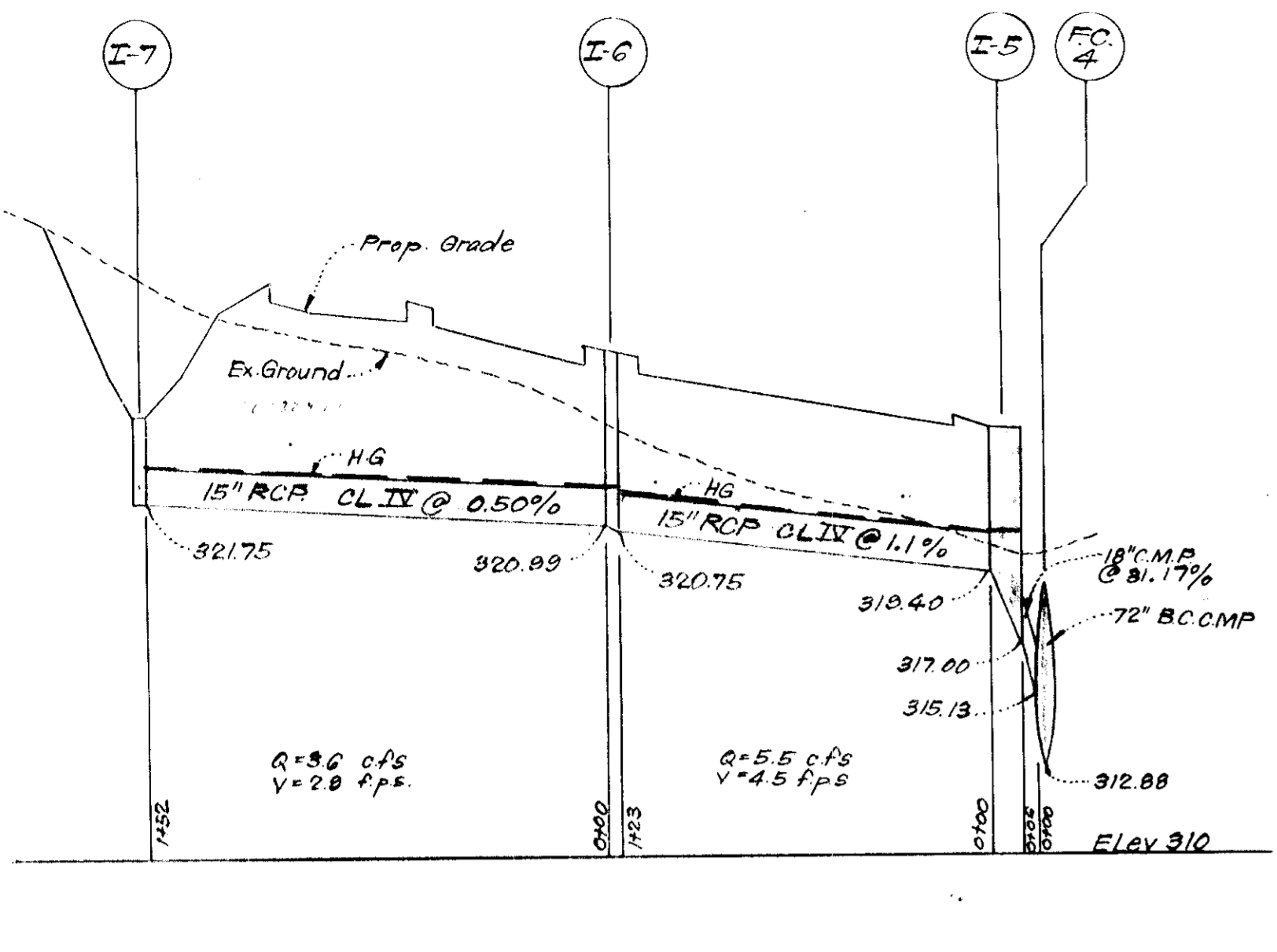
APPROVED
PLANNING BOARD
OF HOWARD COUNTY
8-30-78

SDP-79-19

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,
HOWARD COUNTY HEALTH DEPARTMENT
John Ogden 10-3-78
COUNTY HEALTH OFFICER DATE
APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING
John H. Hanson 10-5-78
PLANNING DIRECTOR DATE
John W. Musselman 10-1-78
CHIEF DIVISION OF LAND DEVELOPMENT DATE
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE,
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Richard E. Freudenberger 10-2-78
DIRECTOR DATE
W.O. Selted 10-2-78
CHIEF BUREAU OF ENGINEERING DATE

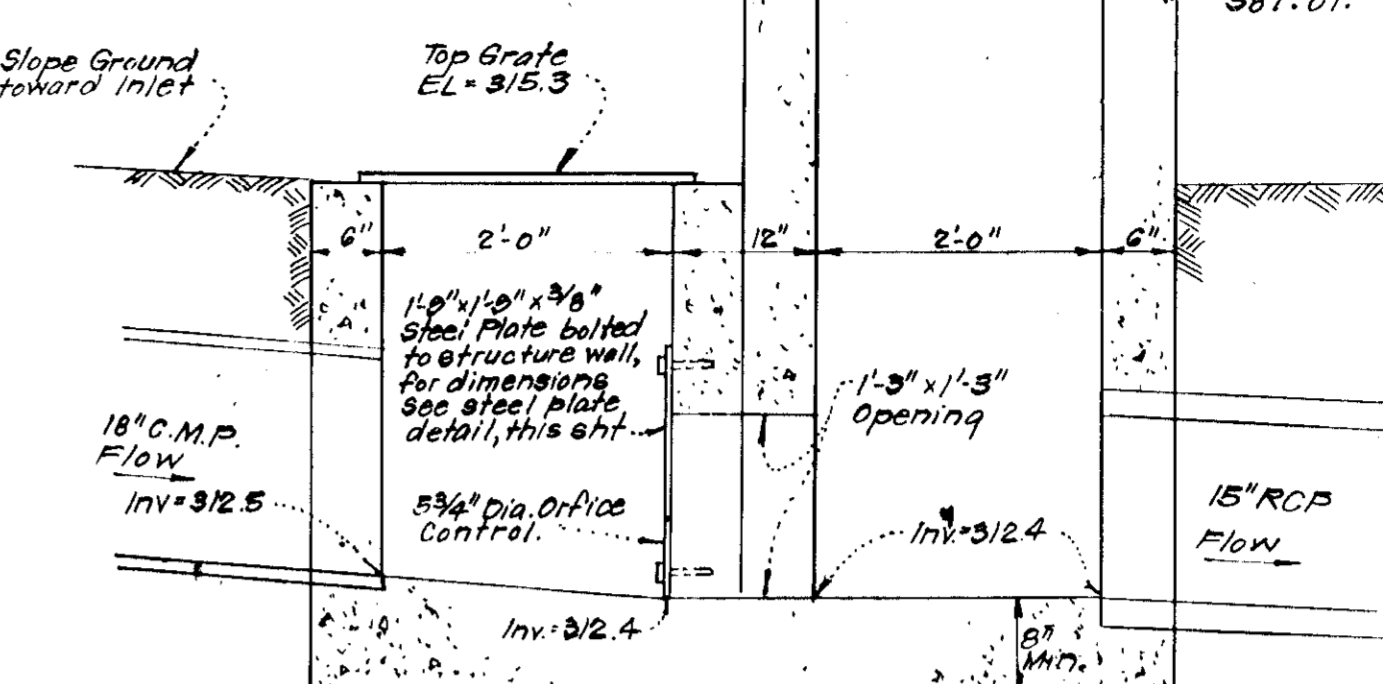
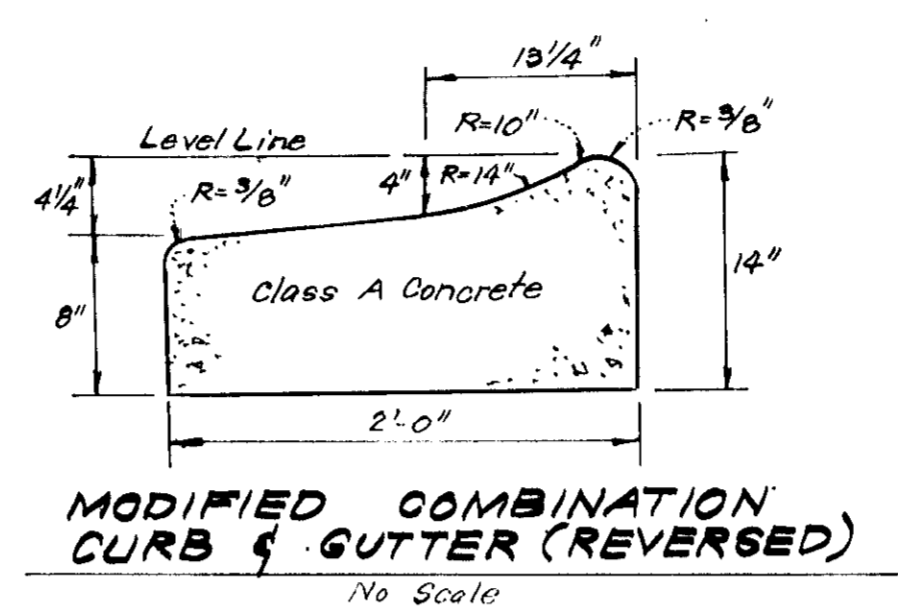
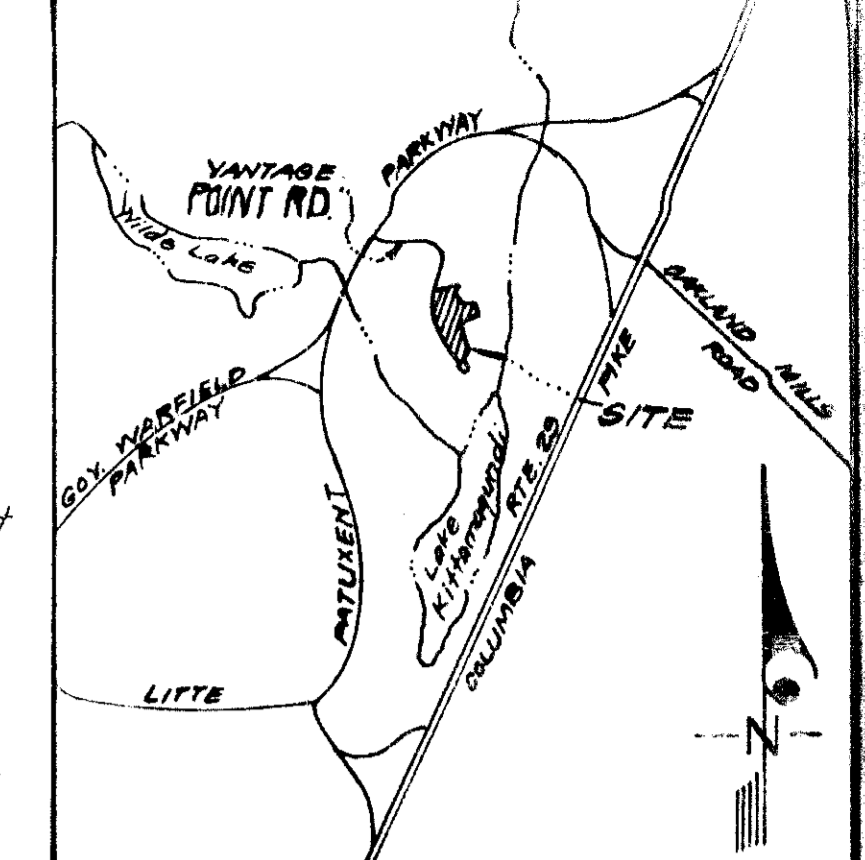
CLARK • FINEROCK & SACKETT ENGINEERS • PLANNERS • SURVEYORS 11315 LOKWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 593 3400		
DESIGNED W.H.T.	SITE DEVELOPMENT PLAN LOT D-4 A RESUBDIVISION OF D-1 COLUMBIA TOWN 7 CENTER SECTION 7 AREA 7 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1"=30'
DRAWN K.I.W.		DRAWING 1 of 5
CHECKED W.H.T.	FOR: CONTEMPO HOMES, INC. (owner) 10025 Rev. Warfield Parkway, Suite 407 Columbia, Maryland 21044	JOB NO.
DATE July 1978		FILE NO. 19.55-X

SDP-79-19c See Also: HC 2204 304 45-180

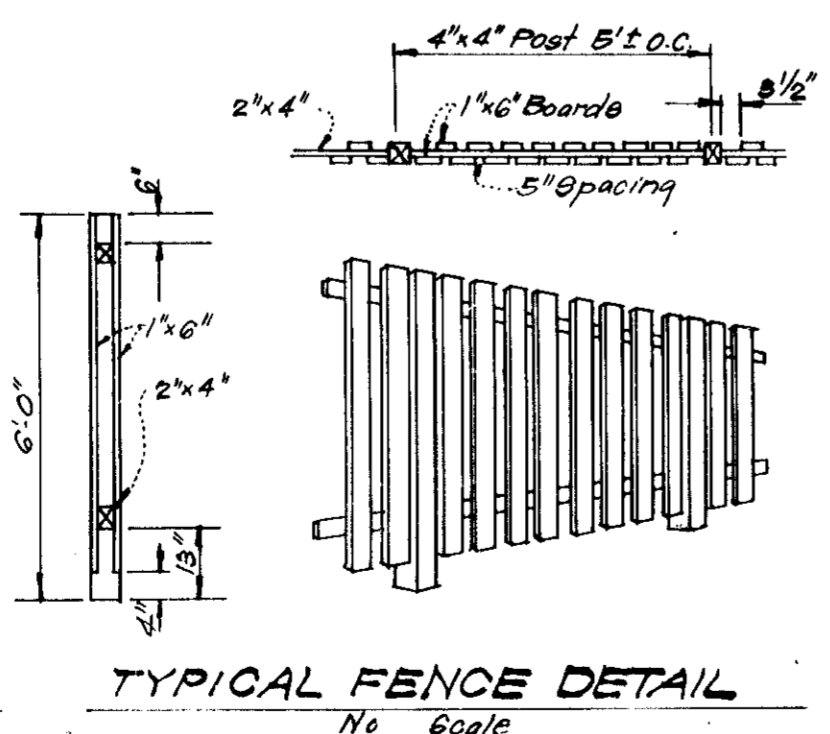
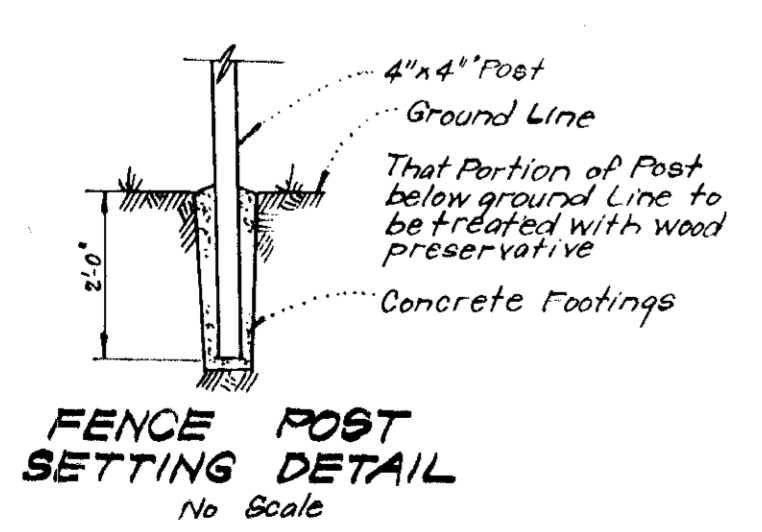
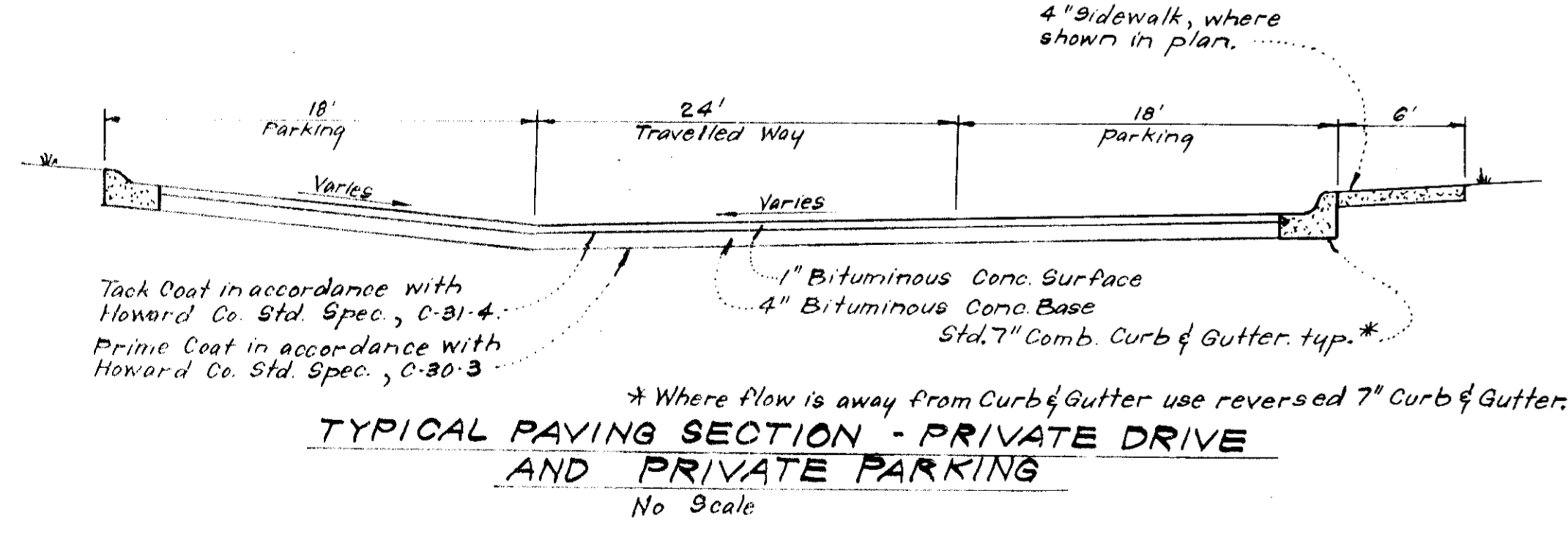
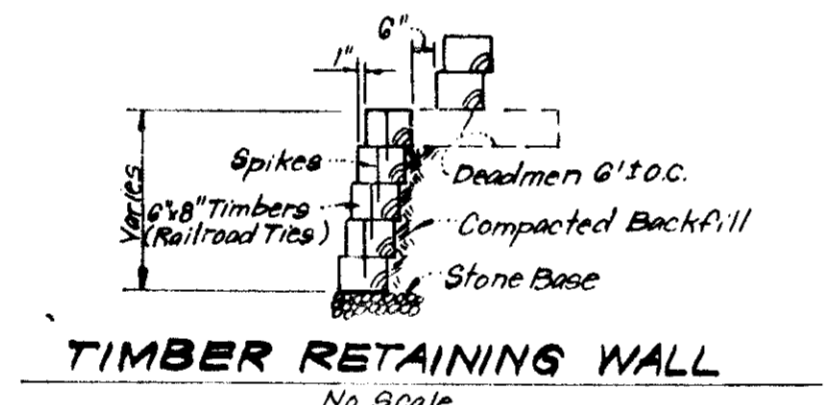
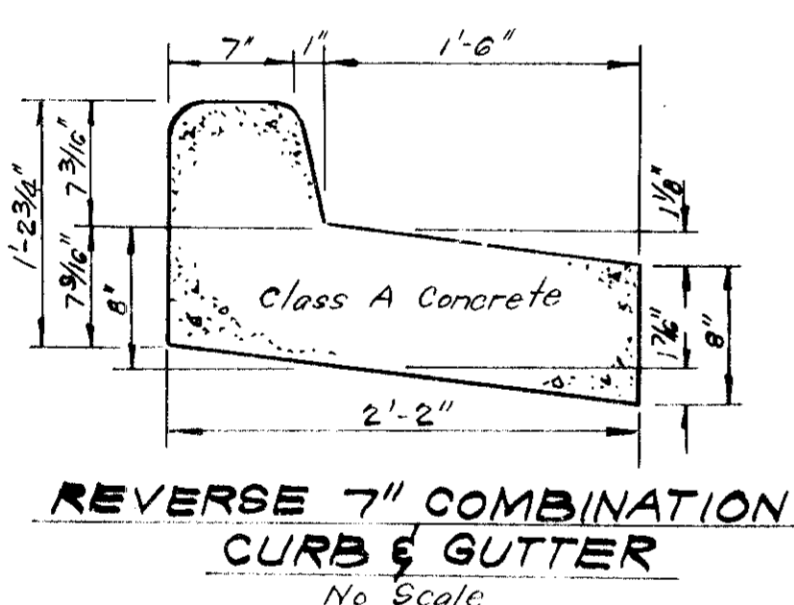
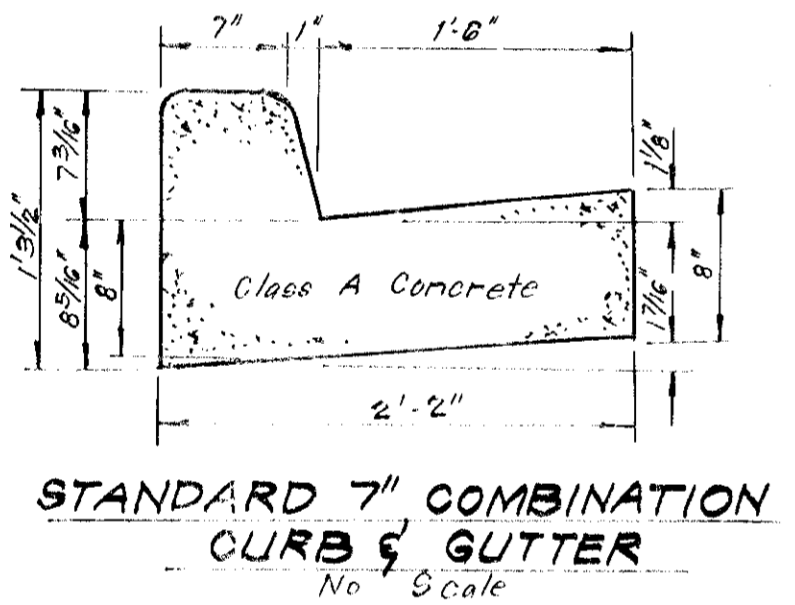
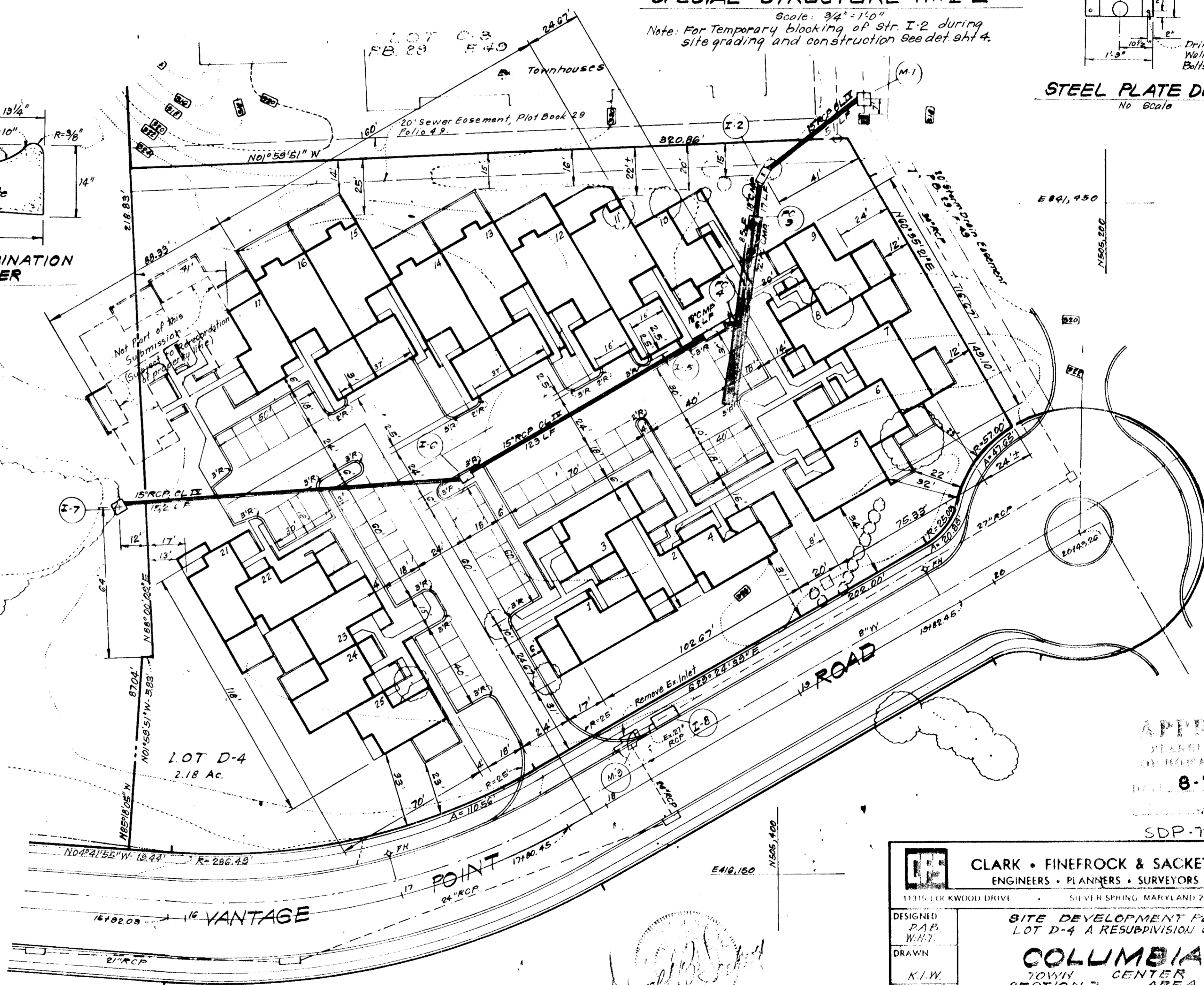
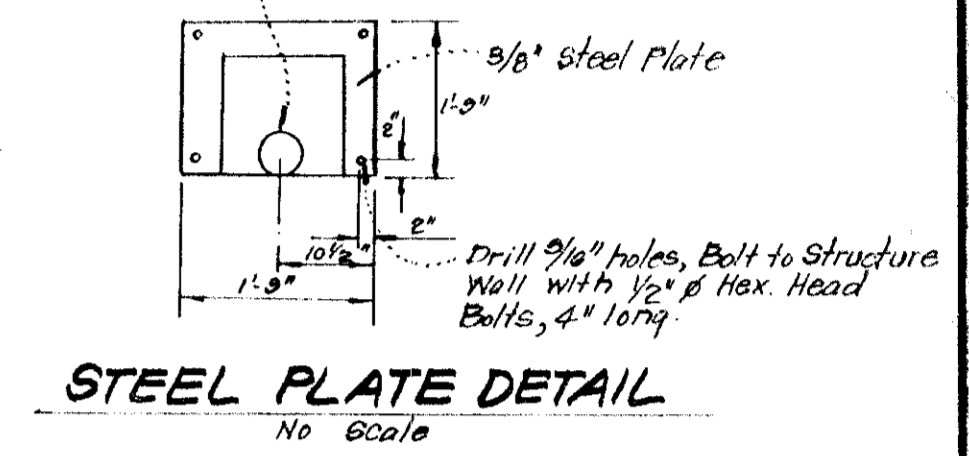
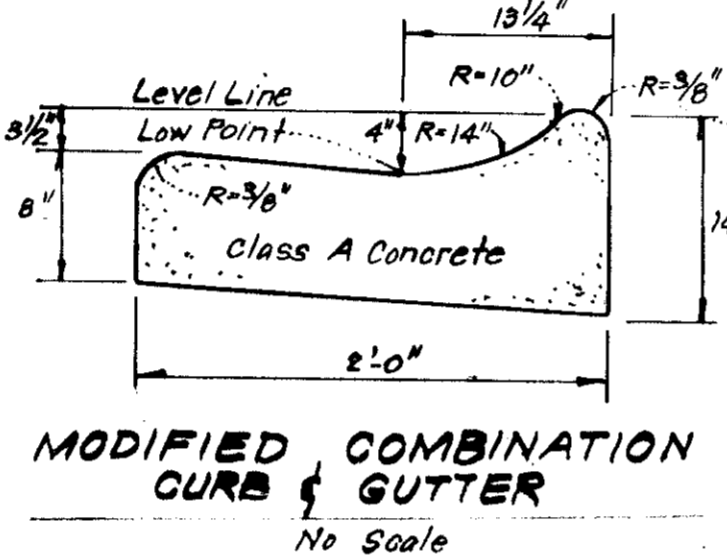
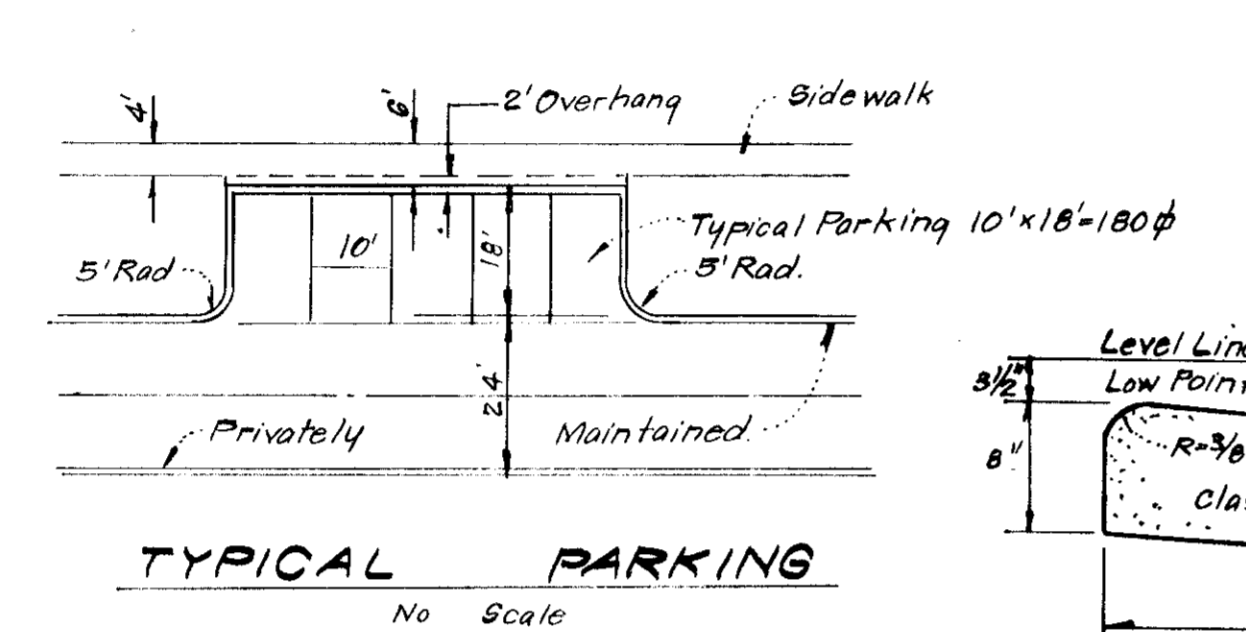
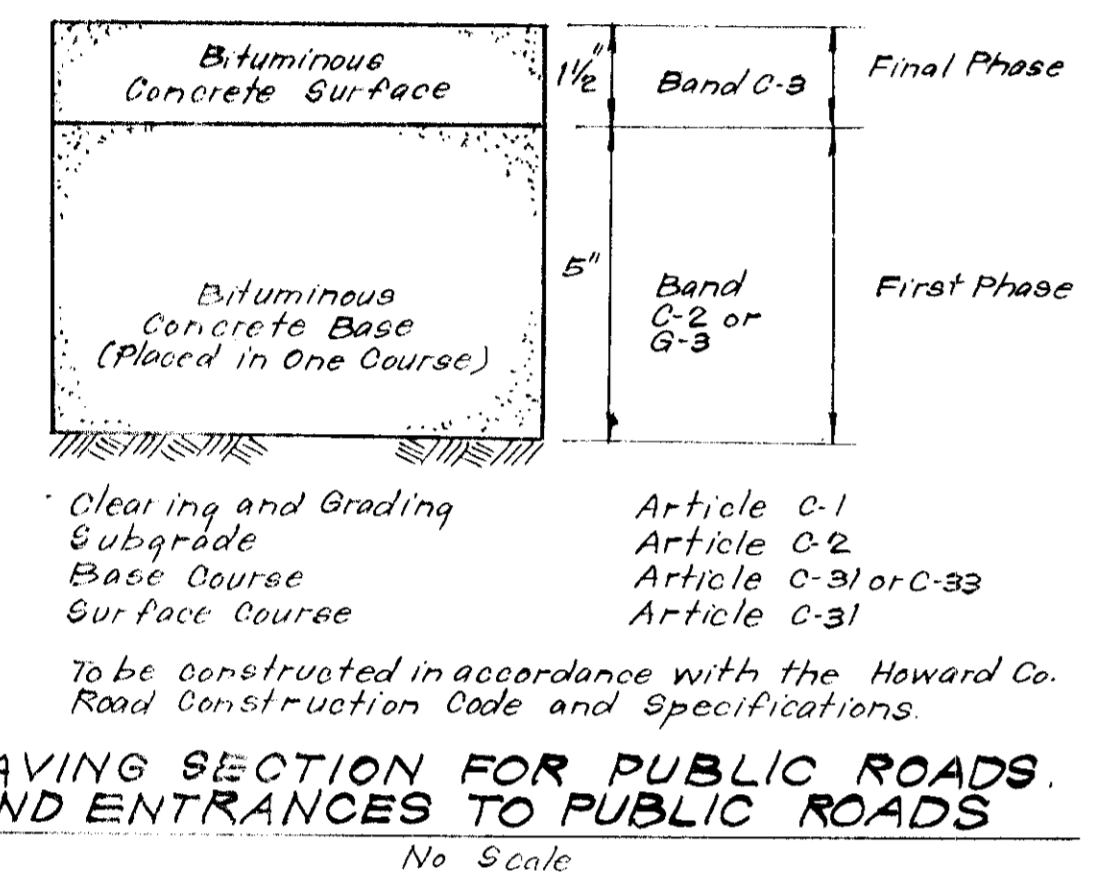


STRUCTURE SCHEDULE						
No.	TYPE	INV. IN	INV. OUT	TOP ELEVATION	REMARKS	LOCATION
M-1	B. Manhole	312.00	311.13	316.19	How. Co. Std. Fig. 3.03	48" 59" See Plan
I-2	Special Structure	312.50	312.40	315.50	See det., this sheet	See Plan
FC-3	Field Connection	312.70	312.70		Connect into Brick Bulkhead	See Plan
FC-4	Field Connection	315.13	315.13		How. Co. Std. Fig. 3.23	See Plan
I-5	A-10 Inlet	313.40	317.00	324.10	How. Co. Std. Fig. 4.02	W=21.6" See Plan
I-6	A-5 Inlet	320.89	320.75	326.80	How. Co. Std. Fig. 4.01	21.6" 19" See Plan
I-7	D Inlet	321.75	321.75	326.53	How. Co. Std. Fig. 4.11	See Plan
I-8	A-10 Inlet	Ex.	Ex.	Meet Ex. Curb	How. Co. Std. Fig. 4.02	W=51.4" See Plan
M-3	Band Structure	Ex.	Ex.	Meet Ex. Paving	How. Co. Std. Fig. 3.11	Use Pipe # 30" See Plan

PIPE SCHEDULE		
SIZE	TYPE	LT.
15"	RCP CLASSIX	326 LF
18"	C.M.P. (12 gage)	23 LF
72"	B.C. C.M.P. (16 gage)	85 LF



STORM DRAINAGE PROFILES
Scale: Horiz. 1" = 50'
Vert. 1" = 5'



APPROVED
PLANNING BOARD
BY HOWARD COUNTY
DATE 8-30-78
SDP-79-19

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,
HOWARD COUNTY HEALTH DEPARTMENT
DATE 10-3-78
APPROVED FOR HOWARD COUNTY OFFICE OF PLANNING & ZONING
DATE 10-16-78
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE,
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DATE 10/2/78
CHIEF BUREAU OF ENGINEERING

CLARK • FINECROCK & SACKETT
ENGINEERS • PLANNERS • SURVEYORS
11315 LEE WOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 563 3400
DESIGNED BY P.A.B. W.H.T.
DRAWN BY K.T.W.
CHECKED BY P.A.B. W.H.T.
DATE July, 1978
SITE DEVELOPMENT PLAN
LOT D-4 A RESUBDIVISION OF D-1
COLUMBIA
TOWN CENTER
SECTION 7 AREA 7
6TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
FOR: CONTEMPO HOMES, INC.
10655 Gov. Warfield Parkway Suite 402
Columbia, Maryland 21044
SCALE 1" = 30'
DRAWING 2 of 5
JOB NO.
FILE NO. 13.E-1-X
SDP-79-19

DEVELOPER'S CERTIFICATE

I certify that all development and/or construction will be done according to this plan of development and plan for Erosion and Sediment Control, and I authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents as are deemed necessary. Deviation from this plan will not be made unless authorized by the Howard Soil Conservation District.

Christopher O. Stubbs
Signature
Christopher O. Stubbs
7-21-78
Date

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

G. Nelson Clark
Signature
G. Nelson Clark
7-21-78
Date

Reviewed for... Howard... S.C.D.
Name
and meets Technical Requirements
C. Wayne Ray 9-19-78
Signature Date
U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

UES EAP
Approved
7-18-78
Date

SEDIMENT TRAP NO. 1
Drainage Area: 2.3 Acres
Storage Required: 2.3 x 1800 = 4140 c.f.
Storage Provided: 4428 c.f.
Bottom Elevation: 316.00
Top of Outlet: 318.10
See Blocking Detail for Str. I-2 Sheet 4.

LEGEND:

- 1 Contour Interval 2 FT.
- 2 Exist. Contour 310
- 3 Prop. Contour 310
- 4 Spot Elevation +105
- 5 Direction of Drainage
- 6 Prop. Storm Drain
- 7 Ex. Storm Drain
- 8 Diversion Dike
- 9 Straw Bale Dike or Silt Fence
- 10 Stone Filter Inlet Protection
- 11 Stabilized Construction Entrance

VICINITY MAP
Scale: 1"=2000'

PARCEL 15th
TOWN CENTER
PB 25 F 3



APPROVED
PLANNING BOARD
OF HOWARD COUNTY
8-30-78
SDP-79-19

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,
HOWARD COUNTY HEALTH DEPARTMENT
Joyce [Signature]
DATE 10-3-78
APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING
PLANNING DIRECTOR DATE
CHIEF DIVISION OF LAND DEVELOPMENT DATE
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE,
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Richard E. Freudenberger
DATE 10/2/78
DIRECTOR
CHIEF BUREAU OF ENGINEERING DATE



G. Nelson Clark
7-21-78

CLARK • FINEFROCK & SACKETT ENGINEERS • PLANNERS • SURVEYORS 1135 LOCKWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 593 3400	
DESIGNED <i>CAB</i> W.H.T.	SCALE 1"=30'
DRAWN <i>CAB</i> W.H.T.	DRAWING 3 of 5
CHECKED <i>CAB</i> W.H.T.	JOB NO.
DATE July 1978	FILE NO. 13555-X

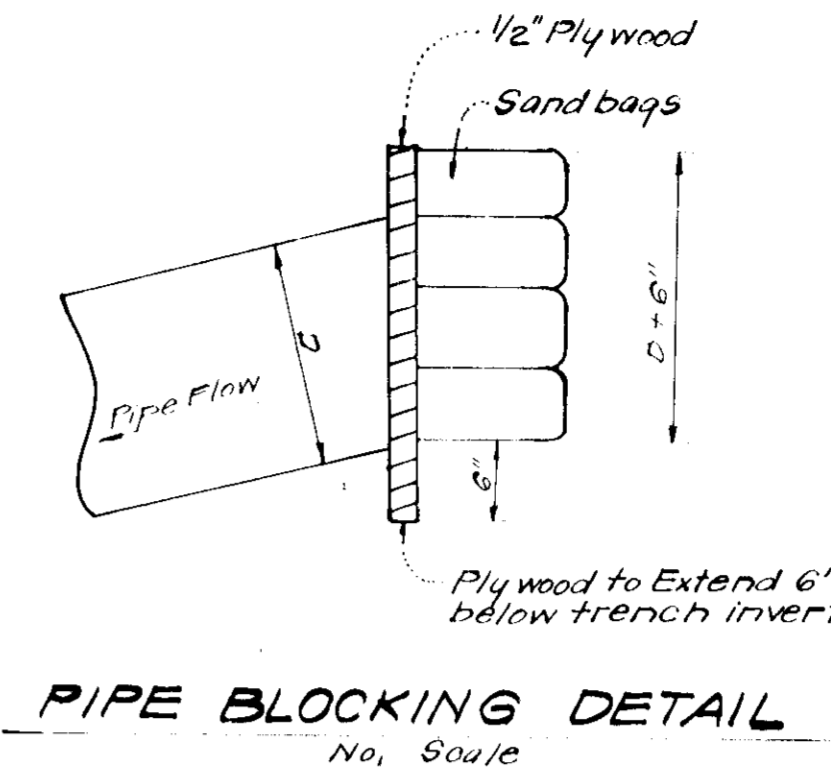
**SITE DEVELOPMENT PLAN
SEDIMENT & EROSION CONTROL PLAN &
DRAINAGE AREA MAP
LOT D-4 A RESUBDIVISION OF D-1
COLUMBIA
TOWN CENTER AREA 7
SECTION 7
5th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
FOR: CONTEMPO HOMES INC.
10025 Gov. Warfield Parkway, Suite 407
Columbia, Maryland 21044**

SDP-79-19c See Also: HC-220g-064

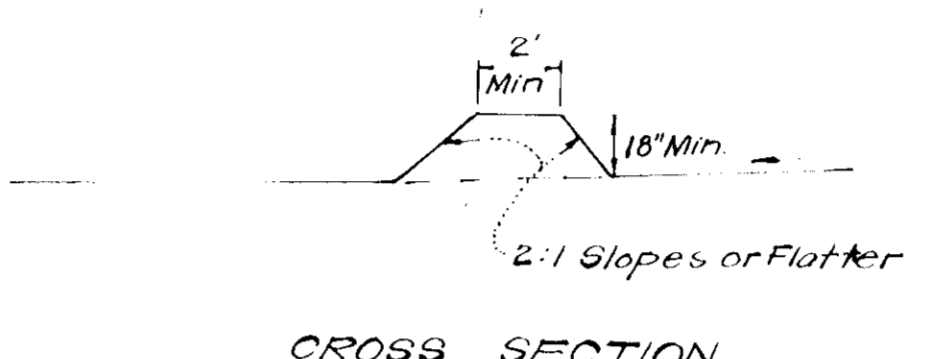
GENERAL NOTES

- Grading Permits shall be obtained prior to installation of sediment control & grading.
- All Sediment and Erosion Control Measures will be installed and stabilized according to this plan prior to any other grading, clearing or disturbance of the existing surface of the site. See Note #6 for stabilization except that the seed mixture will be annual rye applied at a rate of 1.4 lbs/1000 sq. ft.
- Notify the Bureau of Inspections and Permits at least 24 hours before starting any work.
- All Sediment Control Practices to conform to the "Standards and Specifications for Soil Erosion and Sediment Control in Developing Areas" and shall be adjusted to meet actual field conditions.
- Stabilization of Disturbed Ground to be done as soon after construction as possible.
- All Grading shall be treated in accordance with the following Specifications:
 - Seed - certified 85% germination applied at the rate of 3 lbs/1000 sq. ft. mixture - 40% Kentucky Blue, 20% Chewings Fescue, 20% Kentucky 31, and 20% annual rye.
 - Fertilizer - 10-10-10 applied at the rate of 23 lbs/1000 sq. ft. Ground Agricultural Lime or Dolomitic Lime applied at the rate of 40 lbs/1000 sq. ft.
 - Mulch - Weed free grain straw applied at the rate of 70 lbs/1000 sq. ft. Mulch shall be secured to the ground by any approved method i.e. asphalt tacks, chemical binder, wood chips, etc.
- All Structural Sediment Control Measures are to remain in place until permission for their removal has been obtained from the Bureau of Inspections and Permits.
- On Site Inspection and Maintenance of all Sediment Control Measures including clean out of sediment traps and dikes, and proper establishment of all planned vegetative measures will be the responsibility of the Developer or his representative on the site, on a continuing day to day basis.
- Protection of stabilized area from sediment runoff shall be provided by the use of an approved Sediment Control Device, i.e. straw bale, diversion dike, etc.
- The Contractor shall keep all public roads free of sediment deposits left from traffic leaving construction site.
- Stabilized Construction Entrances shall be placed at all construction entrances.
- SITE ANALYSIS:**

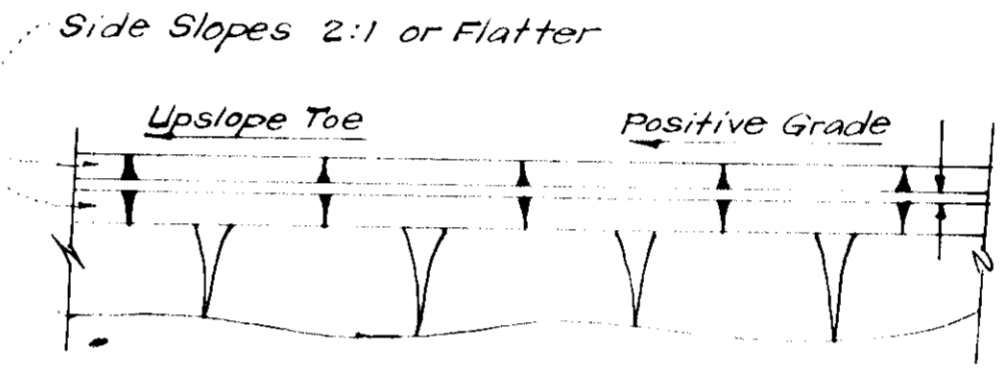
a. Total Area =	2.18	Acres
b. Area to be Roofed =	0.53	Acres
c. Area to be Paved =	0.52	Acres
d. Area to be Seeded =	1.13	Acres
e. Area Undisturbed =	0	Acres
- It will be the developers responsibility to provide additional sediment & erosion control devices to protect stabilized areas during construction.
- CONSTRUCTION SEQUENCE:**
 - Install Sediment & Erosion Control Devices and stabilize Diversion Dikes.
 - Grade Site to provide positive drainage to Sediment & Erosion Control Devices and to properly construct storm drainage.
 - Install S.F.I.P.'s and S.B.D.'s/S.F.'s at storm drain inlets I-7, I-6 & I-5. Block Inlet I-2 as per detail this sheet.
 - Excavate for Foundations and install remaining utilities.
 - Erect Houses and install paving & sidewalks.
 - Fine Grade and stabilize in accordance with note #6.



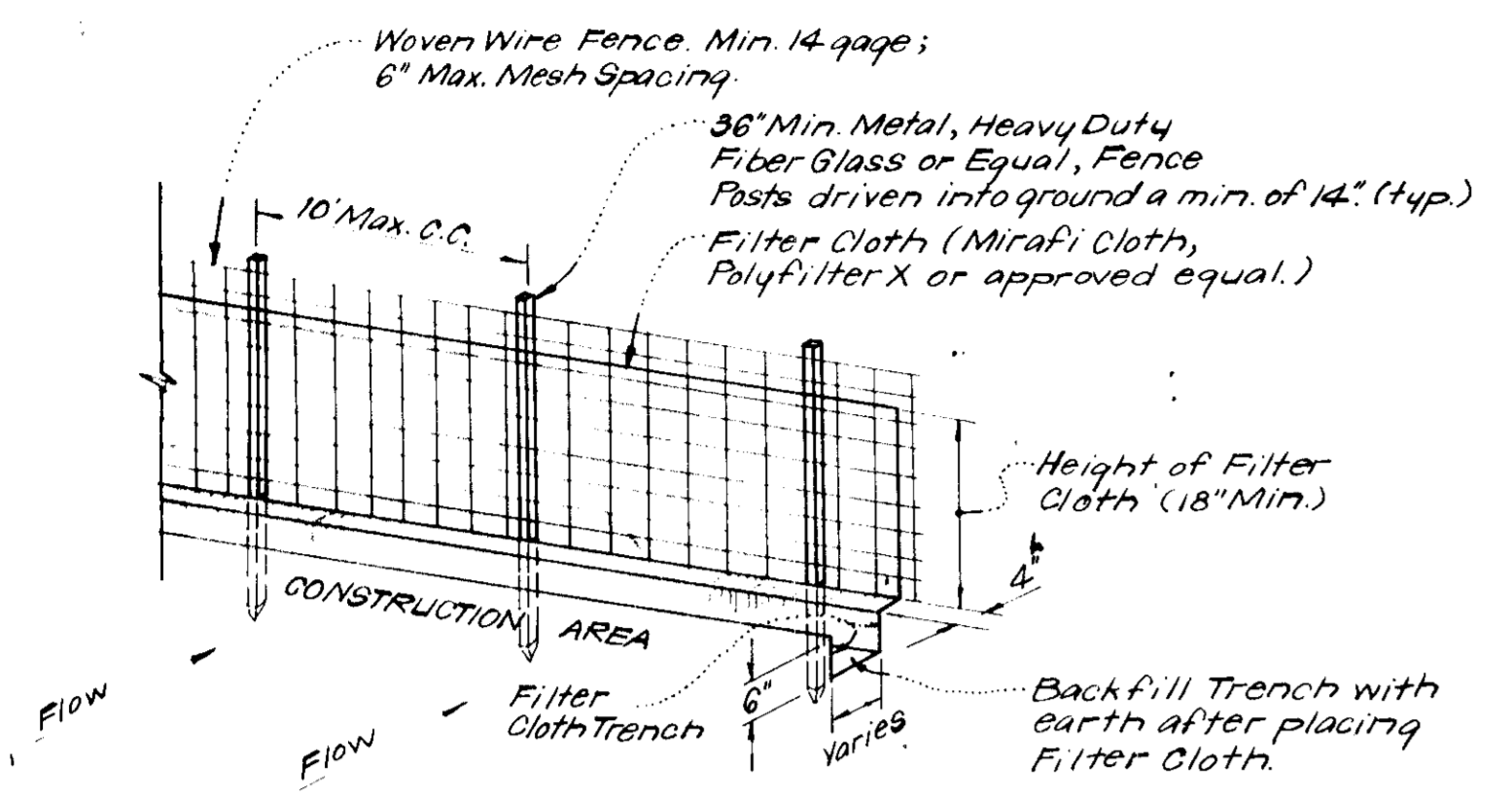
PIPE BLOCKING DETAIL
No Scale



CROSS SECTION

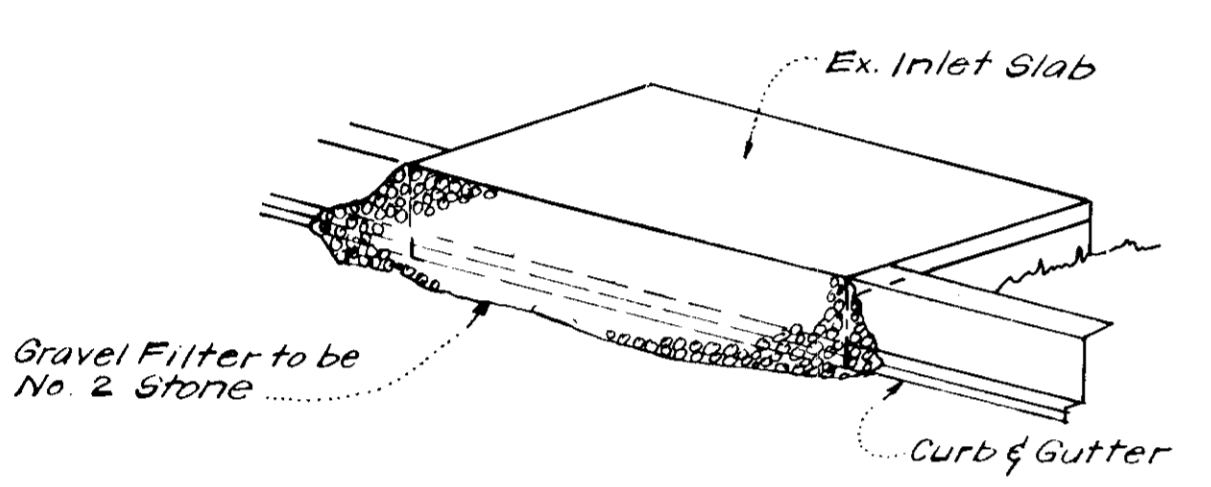


PLAN VIEW
DIVERSION DIKE (D.D.)
No Scale

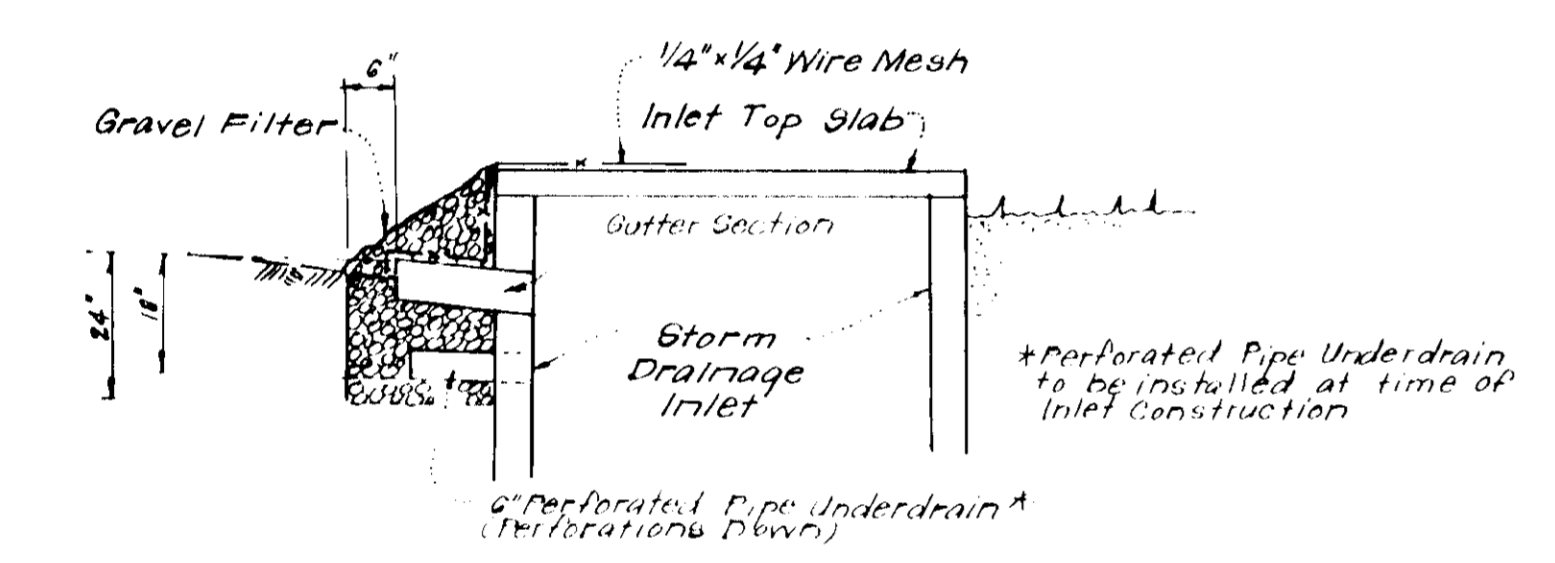


NOTES:
1. Woven Wire Fence to be fastened securely to fence posts by use of wire ties.
2. Filter Cloth to be fastened securely to woven wire fence by use of wire ties spaced every 24" x 24".

SILT FENCE DETAIL (S.F.)
No Scale

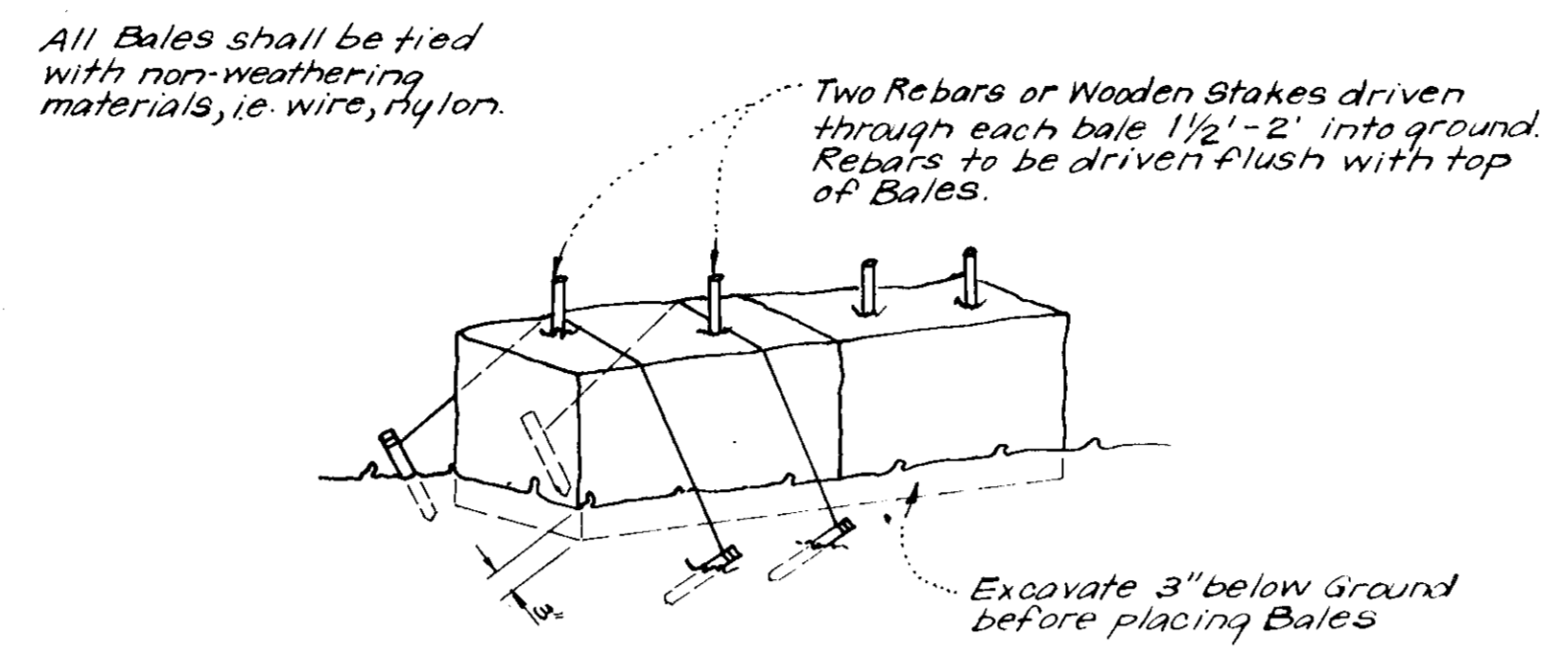


ISOMETRIC VIEW



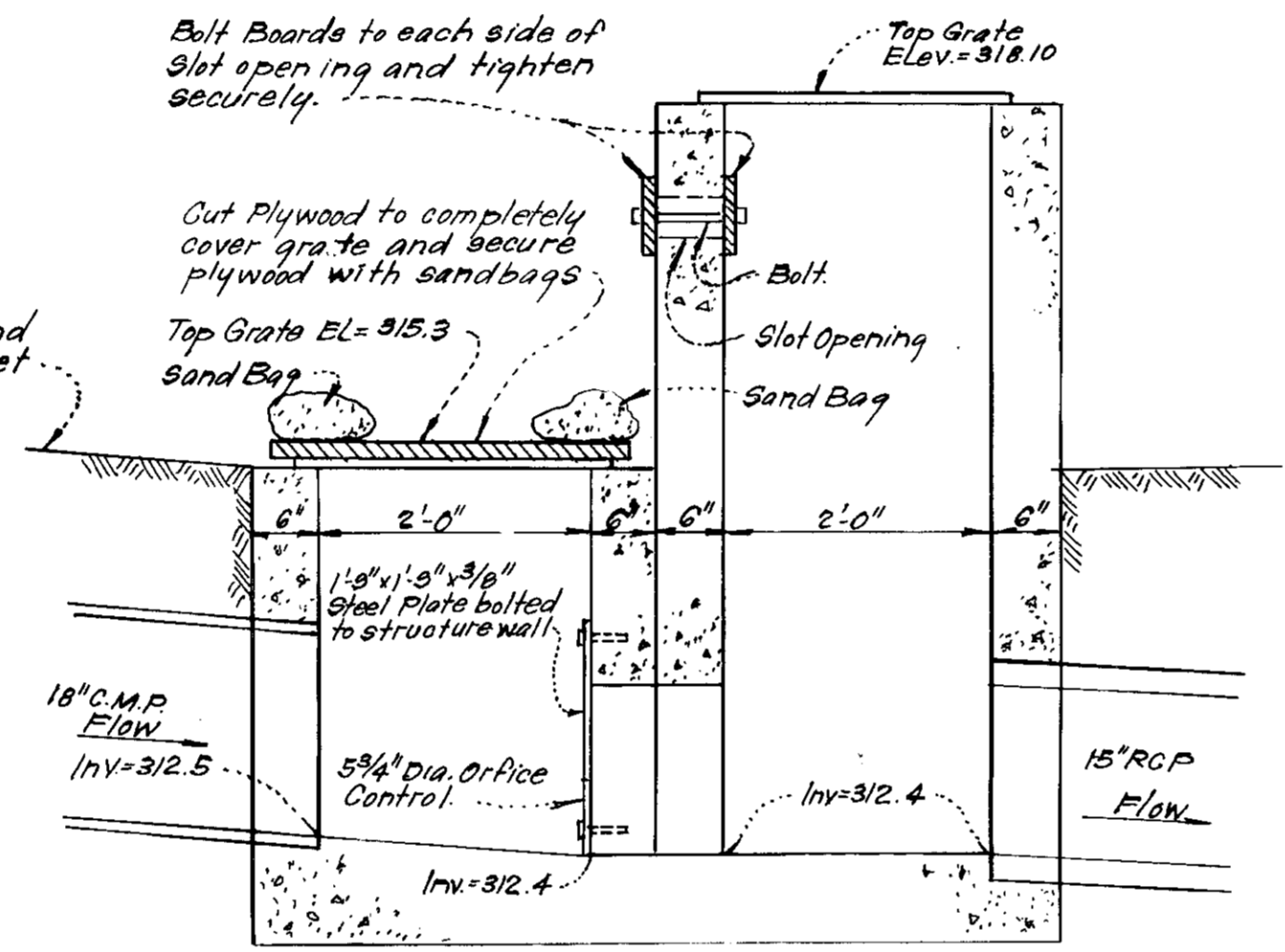
SECTION VIEW

STONE FILTER INLET PROTECTION DETAIL (S.F.I.P.)
No Scale

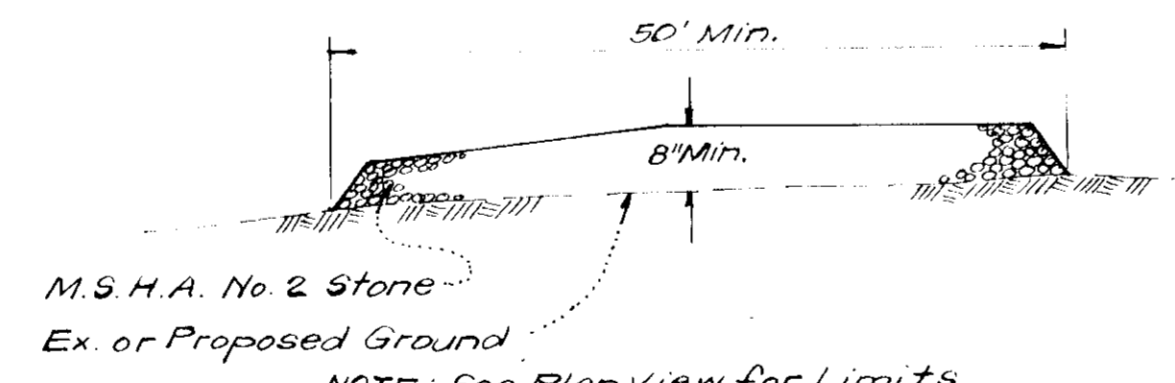


NOTE:
1. In lieu of the use of rebar each Straw Bale may be fastened to ground with pegs (4 per bale and wire or nylon as shown above).

TYPICAL STRAW BALE DETAIL (S.B.D.)
No Scale



SECTION
BLOCKING DETAIL FOR STRUCTURE I-2
No Scale



SECTION VIEW
STABILIZED CONSTRUCTION ENTRANCE
No Scale

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,
HOWARD COUNTY HEALTH DEPARTMENT
[Signature] 10-3-78
COUNTY HEALTH OFFICE DATE

APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING
PLANNING DIRECTOR DATE 10-11-78
CHIEF DIVISION OF LAND DEVELOPMENT DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE,
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Richard E. Breidenhage 10/21/78
DIRECTOR DATE

CHIEF BUREAU OF ENGINEERING DATE

Reviewed for *[Signature]* S.C.D.
Name
and meets Technical Requirements
[Signature] 9-18-78
Signature Date
U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED
FOR SOIL EROSION AND SEDIMENT
CONTROL BY THE HOWARD SOIL
CONSERVATION DISTRICT.

[Signature] 9-18-78
Approved Date

DEVELOPER'S CERTIFICATE
I certify that all development and/or construction
will be done according to this plan of development
and plan for Erosion and Sediment Control, and I do
authorize periodic on-site inspection by the Howard
Soil Conservation District or their authorized agents
as are deemed necessary. Deviation from this plan
will not be made unless authorized by the Howard
Soil Conservation District.

[Signature] 7-21-78
Signature Date
Christopher O. Stubbs

ENGINEER'S CERTIFICATE
I hereby certify that this plan for Erosion and
Sediment Control represents a practical and workable
plan based on my personal knowledge of the site
conditions and that it was prepared in accordance
with the requirements of the Howard Soil Conserva-
tion District.

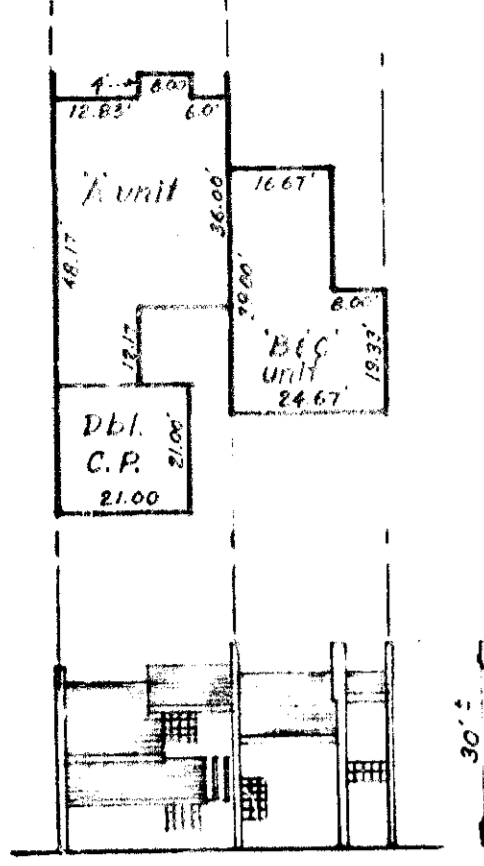
[Signature] 7-21-78
Date
G. Nelson Clark

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
8-30-78

CLARK • FINEPROCK & SACKETT ENGINEERS • PLANNERS • SURVEYORS 11155 LOCKWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 593-3400		
DESIGNED J.L.S.	SITE DEVELOPMENT PLAN SEDIMENT & EROSION CONTROL DETAILS LOT D-4 A RESUBDIVISION OF D-1	SCALE As Shown
DRAWN K.I.W.	COLUMBIA	DRAWING 4 of 5
CHECKED D.A.B.	TOWN CENTER SECTION 7 AREA 7 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	JOB NO.
DATE July, 1978	FOR: CONTEMPO HOMES, INC. 10025 Gov. Warfield Park way Suite 407 Columbia, Maryland 21044	FILE NO. 1355-X

SDP-79-19

SDP-79-19



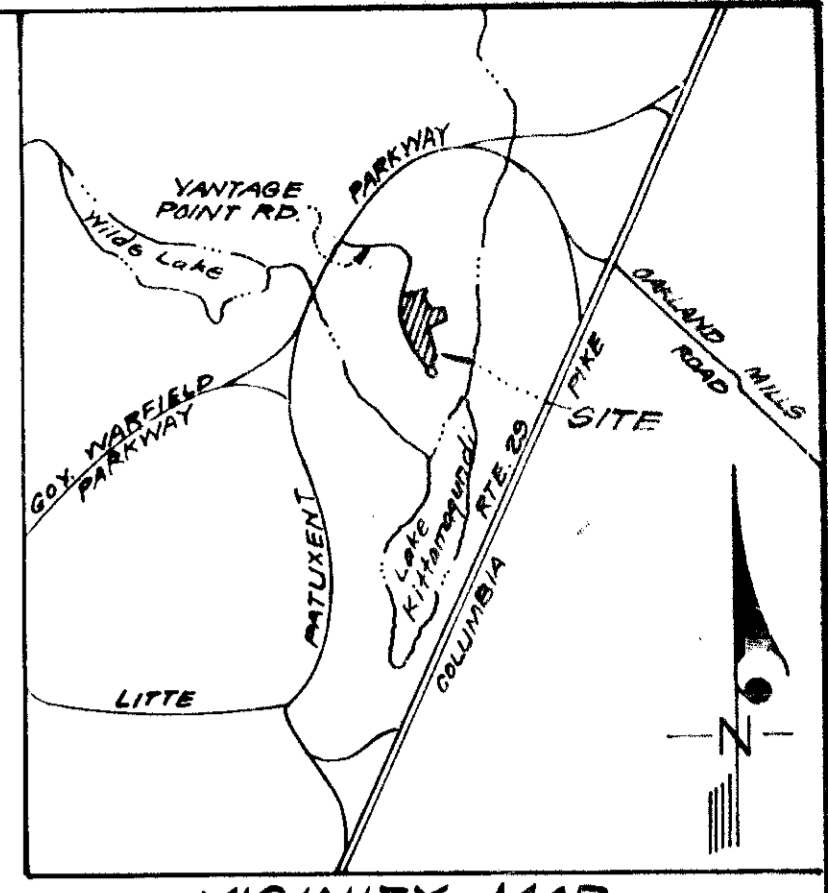
TYPICAL BUILDING ELEVATION
NO SCALE

PARCEL 'B'
TOWN CENTER
RB 23 F 3

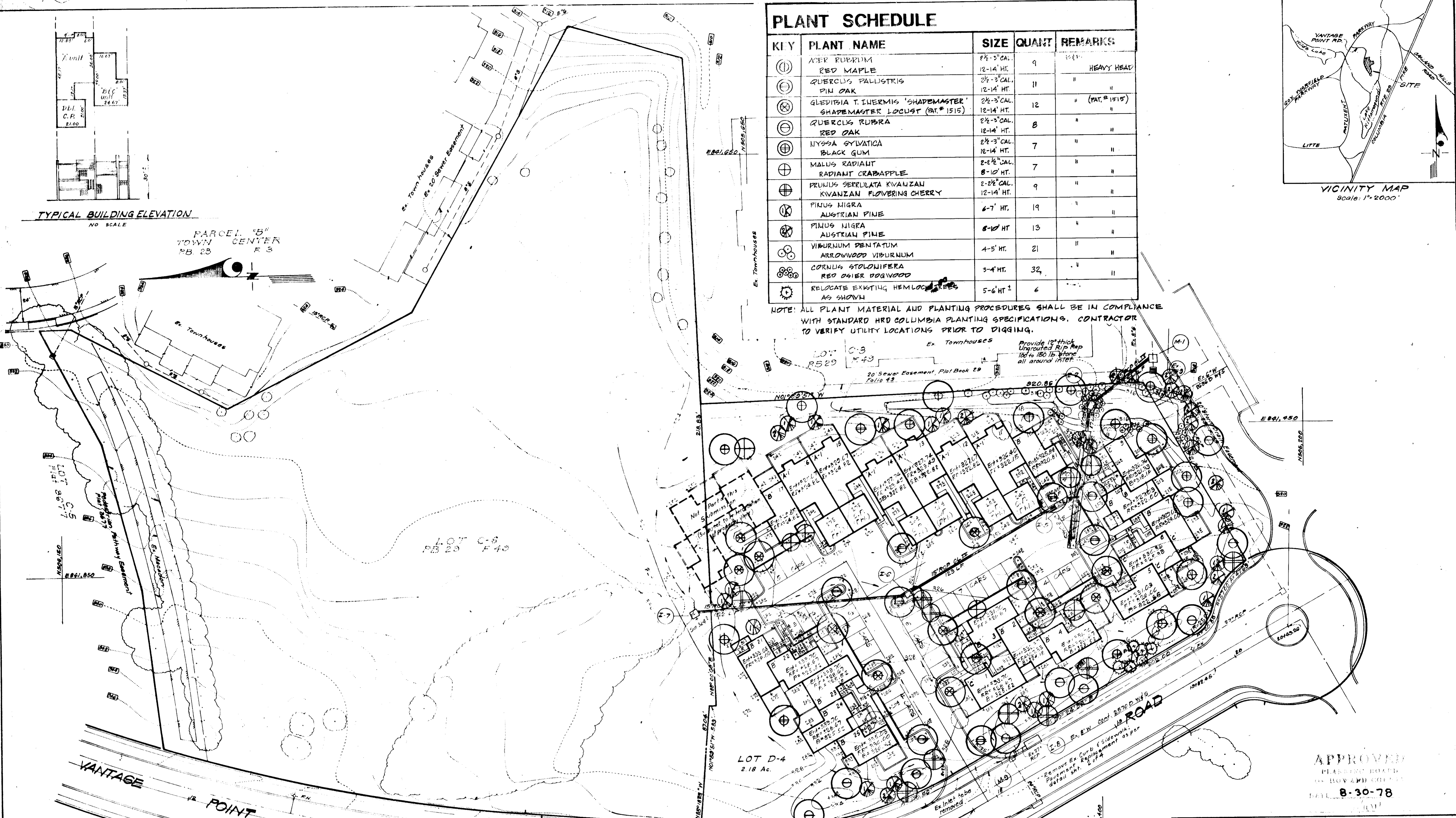
PLANT SCHEDULE

KEY	PLANT NAME	SIZE	QUANT	REMARKS
⊕	ACER RUBRUM RED MAPLE	2 1/2-3" CAL. 12-14' HT.	9	HEAVY HEAD
⊙	QUERCUS PALUSTRIS PIN OAK	2 1/2-3" CAL. 12-14' HT.	11	"
⊗	GLEPHTIA T. IHERMIS 'SHAPMASTER' SHAPMASTER LOCUST (PAT. # 1515)	2 1/2-3" CAL. 12-14' HT.	12	(PAT. # 1515)
⊖	QUERCUS RUBRA RED OAK	2 1/2-3" CAL. 12-14' HT.	8	"
⊕	NYSSA SYLVATICA BLACK GUM	2 1/2-3" CAL. 12-14' HT.	7	"
⊕	MALUS RADIANT RADIANT CRABAPPLE	2-2 1/2" CAL. 8-10' HT.	7	"
⊕	PRUNUS SERULATA KVANZAN KVANZAN FLOWERING CHERRY	2-2 1/2" CAL. 12-14' HT.	9	"
⊗	PINUS NIGRA AUSTRIAN PINE	6-7' HT.	19	"
⊗	PINUS NIGRA AUSTRIAN PINE	8-10' HT.	13	"
⊕	VIBURNUM DENTATUM ARROWWOOD VIBURNUM	4-5' HT.	21	"
⊕	CORNUS STOLONIFERA RED OAKIER DOGWOOD	3-4' HT.	32	"
⊕	RELOCATE EXISTING HEMLOCK TREES AS SHOWN	5-6' HT ±	6	"

NOTE: ALL PLANT MATERIAL AND PLANTING PROCEDURES SHALL BE IN COMPLIANCE WITH STANDARD HCD COLUMBIA PLANTING SPECIFICATIONS. CONTRACTOR TO VERIFY UTILITY LOCATIONS PRIOR TO DIGGING.



VICINITY MAP
Scale: 1"=2000'



APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,
HOWARD COUNTY HEALTH DEPARTMENT
Joyce Bayless 10-3-78
DATE
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE,
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Richard E. Brudenbake 10/2/78
DATE

APPROVED FOR PLANNING AND ZONING
HOWARD COUNTY OFFICE OF PLANNING & ZONING
DATE
APPROVED FOR PLANNING AND ZONING
HOWARD COUNTY OFFICE OF PLANNING & ZONING
DATE

APPROVED
PLANNING BOARD
BY BOARD ACTION
DATE 8-30-78

CLARK • FINEPROCK & SACKETT
ENGINEERS • PLANNERS • SURVEYORS
11315 LOKWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 580-4000

DESIGNED	LANDSCAPE PLANTING PLAN	SCALE
W.H.T.	LOT D-4 A RESUBDIVISION OF D-1	1"=30'
DRAWN	COLUMBIA	DRAWING
K.I.W.	TOWN 7 CENTER	5 of 5
CHECKED	SECTION 7 AREA 7	JOB NO.
W.H.T.	6TH ELECTION DISTRICT	
DATE	HOWARD COUNTY, MARYLAND	
July 1978	FOR: CONTEMPO HOMES, INC. (owner)	FILE NO.
	10025 Goy-Warfield Parkway, Suite 407	LS-120
	Columbia, Maryland 21044	

SDP-79-19-see also HC 8204 8-2
1555-R