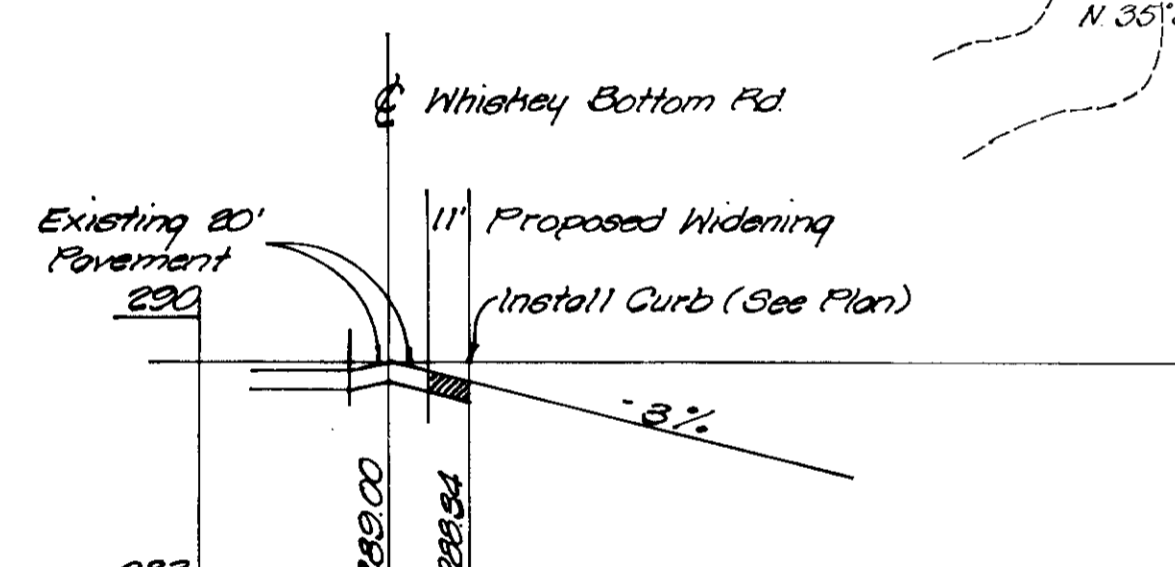
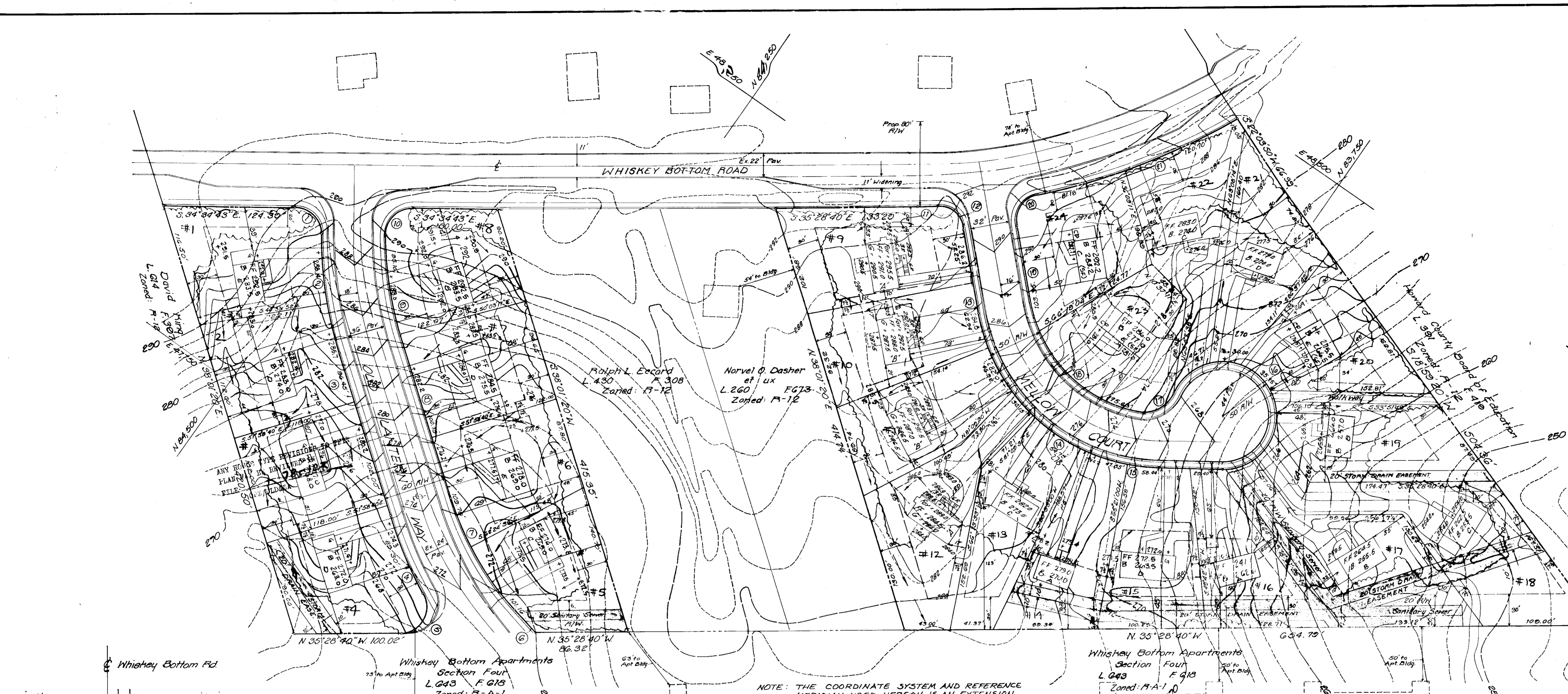


VICINITY MAP
Scale 1"=2000'



Intersection Detail Whiskey Bottom Rd
and Mellon Court
Horiz. 1"=50' Vert 1"=5'

| Bearings and Distances | | | | | |
|------------------------|--------|--------------|----|--------|--------------|
| No | Dist | Bearing | No | Dist | Bearing |
| 1 | 30.27 | S 10°25'17"W | 12 | 35.80 | S 03°32'25"W |
| 2 | 118.38 | N 46°43'18"E | 13 | 81.50 | S 45°00'00"W |
| 3 | 140.93 | N 38°01'20"E | 14 | 240.89 | N 05°44'05"E |
| 4 | 78.75 | N 31°13'37"E | 15 | 50.70 | N 35°51'49"W |
| 5 | 52.80 | S 04°28'37"W | 16 | 215.00 | N 22°33'08"E |
| 6 | 20.58 | N 12°31'20"E | 17 | 99.02 | N 23°12'04"W |
| 7 | 121.05 | N 25°16'20"E | 18 | 153.52 | N 05°46'54"E |
| 8 | 160.98 | N 38°01'20"E | 19 | 75.84 | N 45°00'00"E |
| 9 | 95.03 | N 46°43'18"E | 20 | 30.72 | N 80°22'15"E |
| 10 | 30.27 | S 70°34'43"E | 21 | 201.88 | N 55°41'38"W |
| 11 | 18.20 | S 36°21'57"E | | | |

SITE ANALYSIS:

Area of Parcel - 8.5311 Ac.
371614.71 #
Present Zoning - R-12
Number of Lots - 24 lots

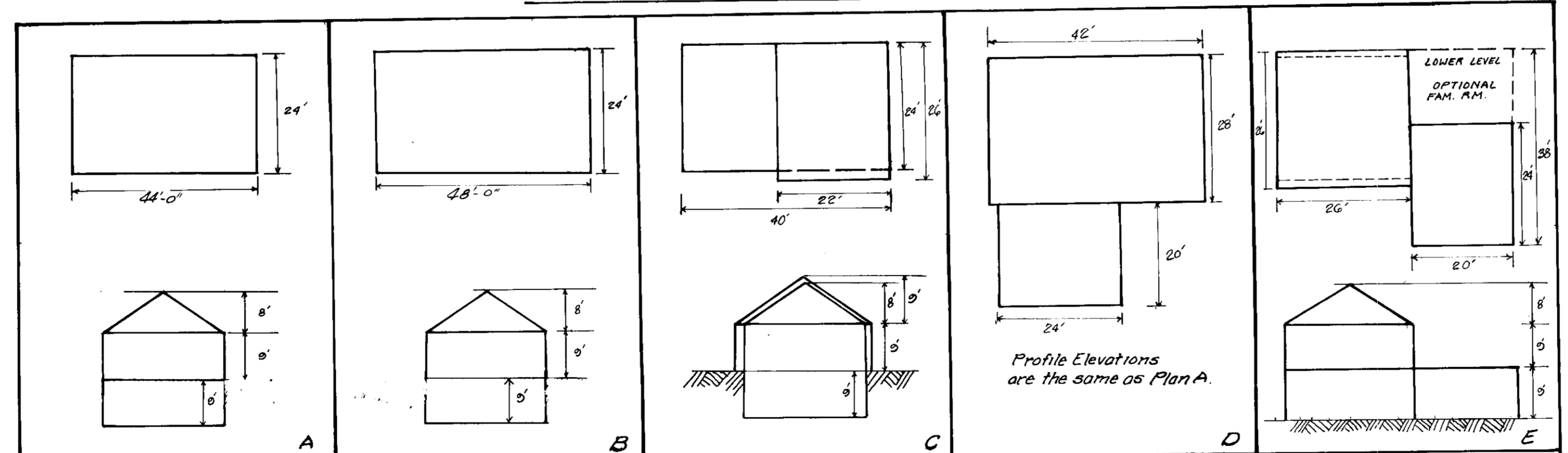
NOTE:

For the location, dimension, invert elevations, type, class and size of proposed and existing water, sewerage, and storm drain facilities, as well as cross section profiles and hydraulic data, refer to the construction plans for Whiskey Bottom North Storm Drainage Plan & Profile (SHEET 5 OF 7) Water Main & Sanitary Sewer Plan (DRAWING # 1 OF 2) Water Main & Sanitary Sewer Plan (DRAWING # 2 OF 2)

For soil erosion and sediment control plan and profile refer to the construction plans for Whiskey Bottom North Grading & Sediment Control Plan (SHEET 2 OF 7) Sediment Control Details (SHEET 3 OF 7)

NOTE: THE COORDINATE SYSTEM AND REFERENCE MERIDIAN USED HEREON IS AN EXTENSION OF THE DATUM OF "WHISKEY BOTTOM APARTMENTS" AS SHOWN ON PLAT RECORDED IN LIBER 643 AT FOLIO 618.

HOUSE DIMENSIONS AND SCHEMATIC PROFILES



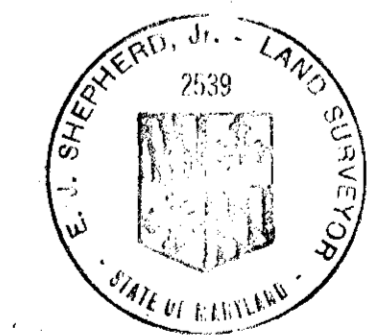
GENERAL NOTES

TOTAL AREA 8.5311 AC
PUBLIC WATER & SEWER TO BE UTILIZED
WATER & SEWER CONTRACT NO. 2752-D
ANY DAMAGE TO THE COUNTY OWNED RIGHT OF WAY OR PAVING WILL BE CORRECTED AT DEVELOPER'S EXPENSE
ALL STREETS WILL BE PUBLIC AND ALL DRIVEWAYS OUTSIDE OF PUBLIC R/W'S WILL BE PRIVATE

PRESENT OWNER:
I-95 ENTERPRISES, INC.
1720 WISCONSIN AVE. N.W.
WASHINGTON, D.C. 20007

DEVELOPER:
THE HOLLADAY CORPORATION
1720 WISCONSIN AVE. N.W.
WASHINGTON, D.C. 20007

PROJECT ENGINEER:
IPDS LTD.
802 SLIGO AVENUE
SILVER SPRING, MD. 20910



8-18-78
E. J. Shephard, Jr.
JUNE 7, 1978

APPROVED: For Public Water, Public Sewerage and Storm Drainage Systems and Roads
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DATE: 6-14-79

APPROVED: For Public Water and Public Sewerage Systems
HOWARD COUNTY HEALTH DEPARTMENT
DATE: 6-14-79

APPROVED: Howard County Office of Planning and Zoning
DATE: 6-14-79

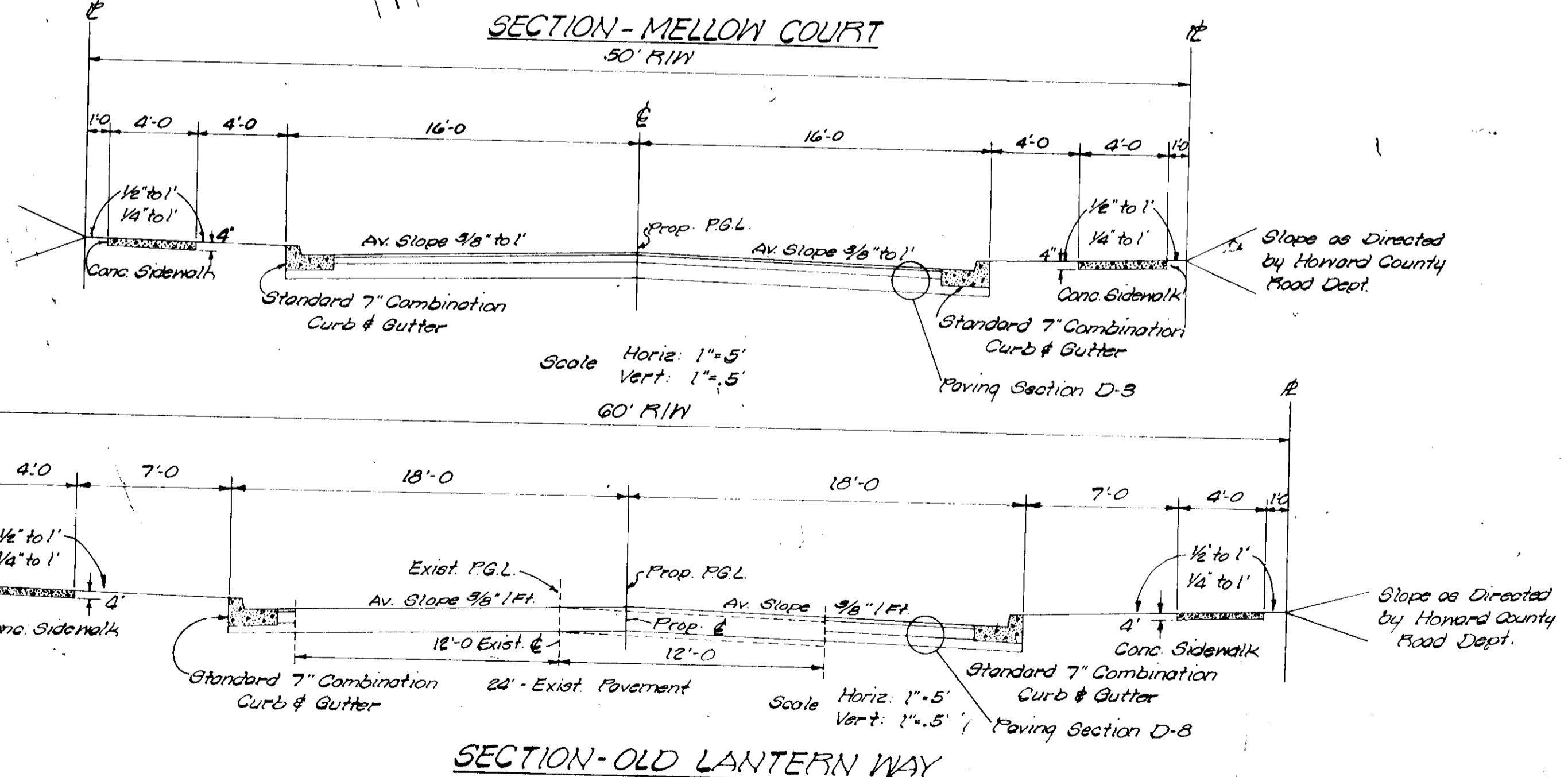
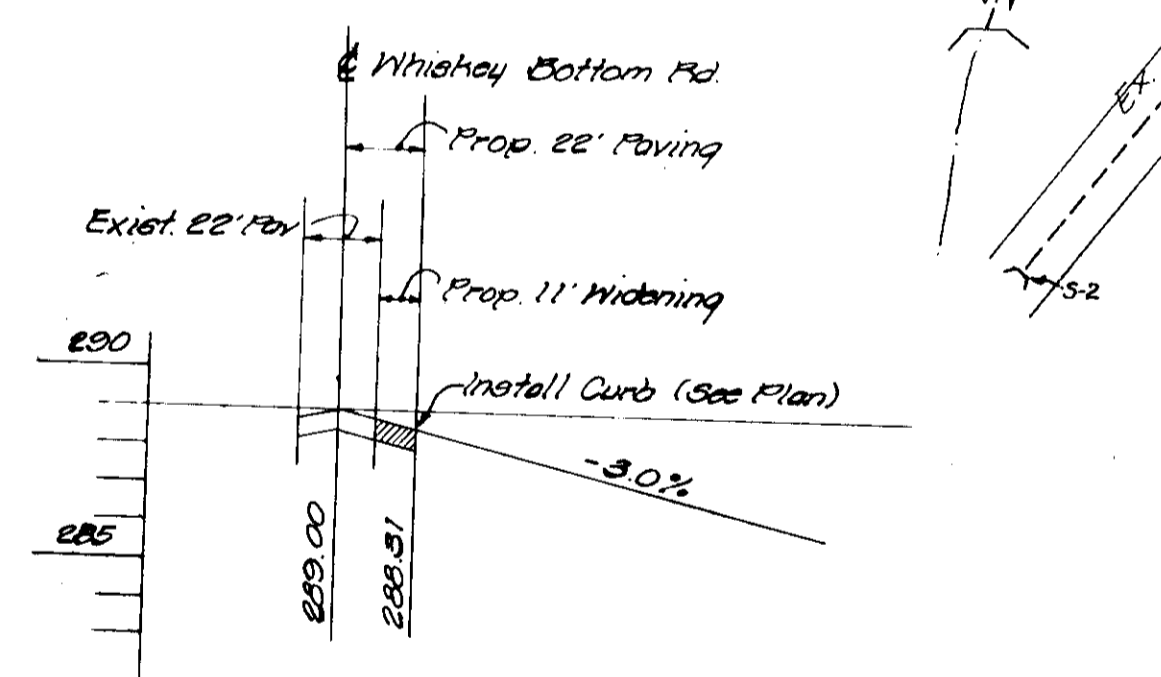
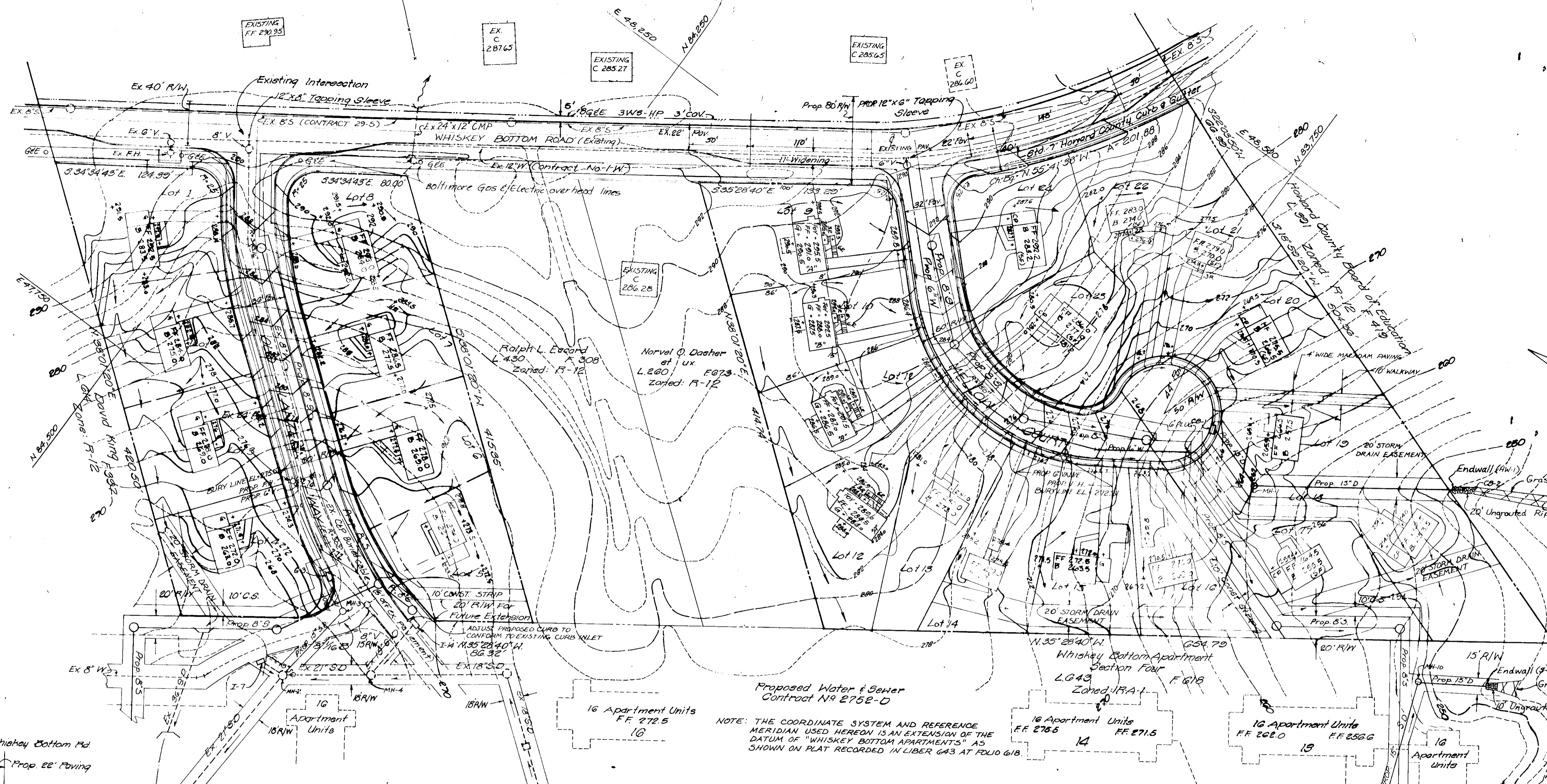
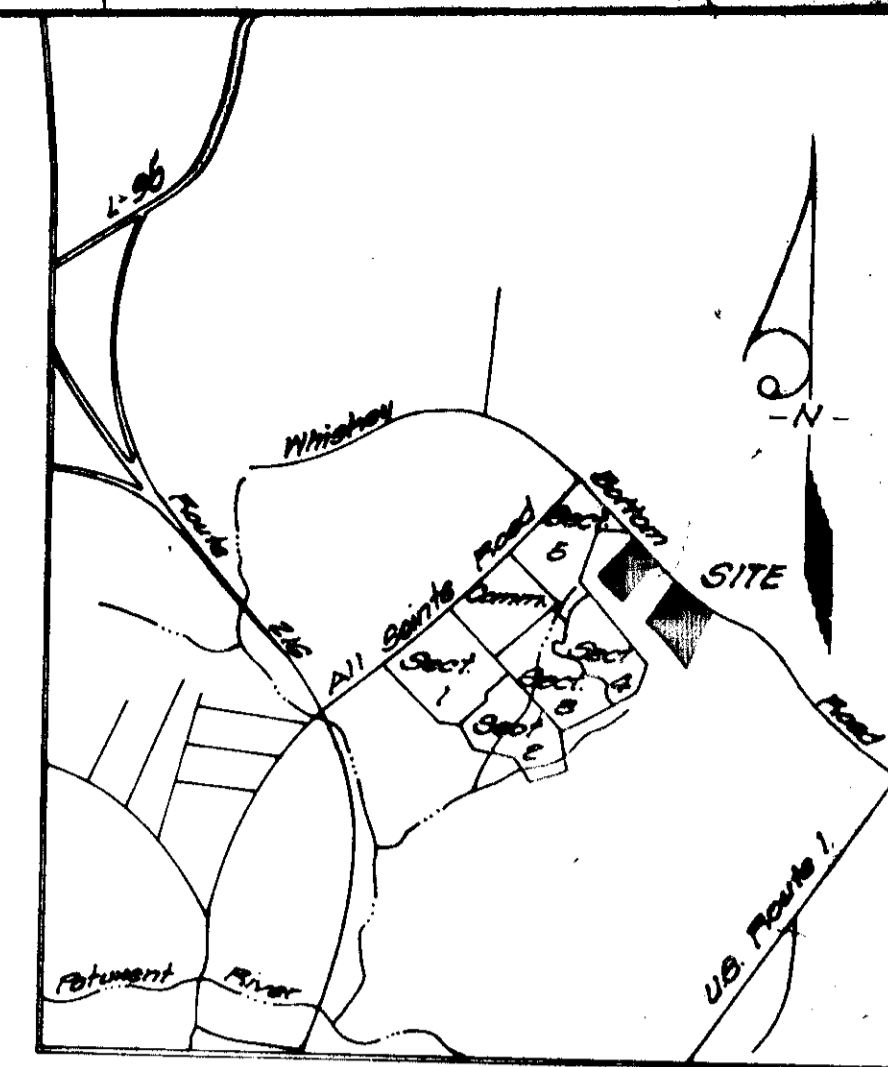
WHISKEY BOTTOM NORTH LOTS 1-24
I-95 ENTERPRISES, a Maryland Limited Partnership
L 562 FG73 F-78-113 Tax Map #47 Parcel #
ELECTION DISTRICT NO. 6
HOWARD COUNTY, MARYLAND

SITE DEVELOPMENT PLAN
PB. No. 4291-95

SCALE
1"=50'
DATE
REVISED 6-14-79

The Interprofessional (301) 585-5676
PLANNING & DESIGN STUDIO, LTD.
Engineers • Architects • Surveyors
Planners & Landscape Architects
802 SLIGO AVENUE, SILVER SPRING, MD 20910

SHEET 1 OF 4



| Bearings and Distances | | | | | |
|------------------------|--------|-------------|----------------|--------|-------------|
| N ^o | Dist. | Bearing | N ^o | Dist. | Bearing |
| 1 | 39.27 | S10°25'17"W | 11 | 18.90 | S86°21'57"E |
| 2 | 113.82 | N46°48'18"E | 12 | 35.80 | S03°58'28"W |
| 3 | 160.83 | N36°01'20"E | 13 | 81.50 | S45°00'00"W |
| 4 | 78.75 | N31°13'57"E | 14 | 84.083 | N05°44'05"E |
| 5 | 52.20 | S84°28'37"W | 15 | 39.70 | N35°21'40"W |
| 6 | 28.58 | N12°31'20"E | 16 | 215.00 | N22°33'08"E |
| 7 | 121.05 | N25°18'20"E | 17 | 39.82 | N03°12'04"W |
| 8 | 160.95 | N30°01'20"E | 18 | 153.52 | N03°48'34"E |
| 9 | 95.00 | N46°48'18"E | 19 | 75.84 | N45°00'00"E |
| 10 | 39.27 | S10°25'17"E | 20 | 38.78 | N80°28'16"E |

GENERAL NOTES:

TOTAL AREA 8.5311 Ac

PUBLIC WATER & SEWER TO BE UTILIZED

ALL MATERIAL AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY ROAD CONSTRUCTION CODE AND SPECIFICATIONS

ANY DAMAGE TO THE COUNTY OWNED RIGHT OF WAY OR PAVING WILL BE CORRECTED AT DEVELOPER'S EXPENSE

ALL STREETS WILL BE PUBLIC AND ALL DRIVEWAYS OUTSIDE OF PUBLIC R/W'S WILL BE PRIVATE

SITE ANALYSIS:

Area of Parcel 8.5311 Ac
Present Zoning R-12
Number of Lots 24 lots

PRESENT OWNER:
I-95 ENTERPRISES, INC.
1720 WISCONSIN AVE N.W.
WASHINGTON, D.C. 20007

DEVELOPER:
THE HOLLADAY CORPORATION
1720 WISCONSIN AVE N.W.
WASHINGTON, D.C. 20007

PROJECT ENGINEER:
I.P.D.S. LTD
802 SLIGO AVENUE
SILVER SPRING, MD. 20910

APPROVED For Public Water, Public Sewerage and Storm Drainage Systems and Roads
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
6-17-79

APPROVED For Public Water and Sewerage Systems
HOWARD COUNTY HEALTH DEPARTMENT
6-17-79

APPROVED: Howard County Office of Planning and Zoning
6-17-79

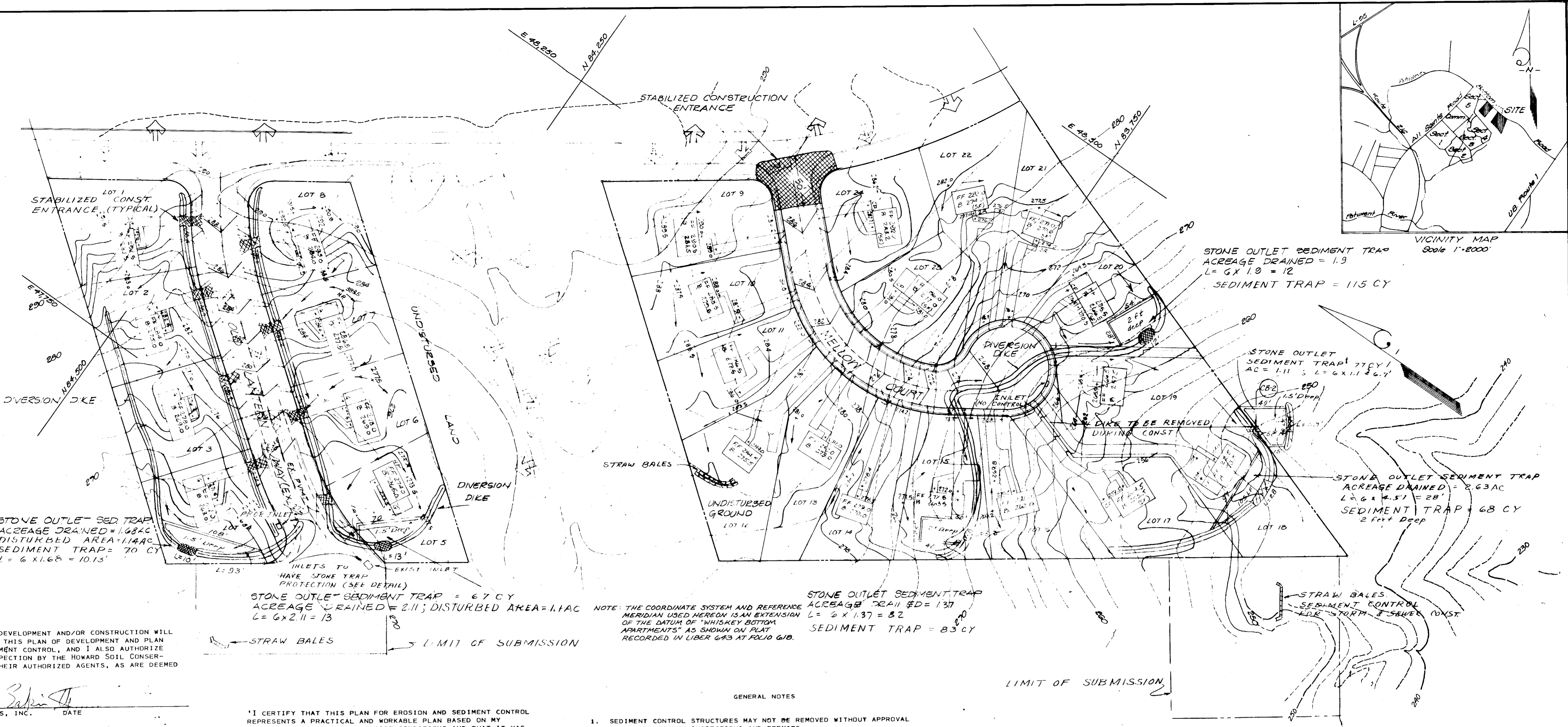
WHISKEY BOTTOM NORTH LOTS #1-24
I-95 ENTERPRISES, a Maryland Limited Partnership
L582 FG29 F78-113 Tax Map #47 Parcel #
ELECTION DISTRICT NO. 6
HOWARD COUNTY, MARYLAND

SITE DEVELOPMENT PLAN
PB No. 4291-95

SCALE 1"=50'
DATE
REVISIONS

The Interprofessional
PLANNING & DESIGN STUDIO, LTD.
Engineers • Architects • Surveyors
Planners • Landscape Architects
802 SLIGO AVENUE, SILVER SPRING, MD 20910
(301) 585-5676

SHEET 2 OF 4



STONE OUTLET SED. TRAP
ACREAGE DRAINED = 1.68 AC
DISTURBED AREA = 1.44 AC
SEDIMENT TRAP = 70 CY
L = 6 x 1.68 = 10.1'

STONE OUTLET SEDIMENT TRAP = 67 CY
ACREAGE DRAINED = 2.11; DISTURBED AREA = 1.1 AC
L = 6 x 2.11 = 13

STONE OUTLET SEDIMENT TRAP
ACREAGE DRAINED = 1.37
L = 6 x 1.37 = 8.2
SEDIMENT TRAP = 83 CY

STONE OUTLET SEDIMENT TRAP
ACREAGE DRAINED = 1.9
L = 6 x 1.9 = 12
SEDIMENT TRAP = 115 CY

STONE OUTLET SEDIMENT TRAP
ACREAGE DRAINED = 2.63 AC
L = 6 x 2.63 = 15.8
SEDIMENT TRAP = 68 CY
2 feet Deep

"I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL, AND I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."

L. T. Cohn III
L.T. Cohn III
DATE

DEVELOPER'S CERTIFICATION (FOR STREETS)

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND SEDIMENT CONTROL. ALL SURFACE RUN-OFF AND POTENTIAL SEDIMENT WILL BE DIRECTED TO PLANNED SEDIMENT CONTROL DEVICES AND RETAINED ON THE CONSTRUCTION SITE.

L. T. Cohn III
L.T. Cohn III
DATE

DESIGN CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS," DATED JULY, 1975.

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE "HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS INTERIM STORM DRAIN DESIGN CRITERIA."
SEEDING AREA 270,000 SF
PERVIOUS AREA 280,844 SF; IMPERVIOUS AREA 35,531 SF
TOTAL AREA TO BE DISTURBED 376,434 SQ. FT.
EXCAVATION 8+26 CY
FILL 7,753 CY

NOTE: IMPROVEMENT TO BE STREET GRADING AND LOT IMPROVEMENTS.

Wesley A. Strauts
Wesley A. Strauts P.E.
REGISTRATION NO. 10475
DATE 8/24/78

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Wesley A. Strauts
SIGNATURE OF ENGINEER
Wesley A. Strauts Reg. # 10475
DATE 8/24/78

SEQUENCE OF CONSTRUCTION

1. CONSTRUCT SEDIMENT CONTROL DEVICES FOR STREETS . . . 1.5 WEEKS
2. GRADE STREETS . . . 1.5 WEEKS
3. BUILD STORM DRAIN SYSTEM, ETC. . . 4.0 WEEKS
4. PAVE STREET AND CONSTRUCT SHOULDERS, DRAINAGE DITCHES . . . 4.0 WEEKS
5. FINISH GRADE LOTS AND APPLY SEED AND MULCH, SOO OR GROUND COVER ON EXPOSED AREAS, PAVE DRIVEWAYS, AND DRIVEWAY CULVERTS . . . 1.0 WEEKS
6. AS LOTS ARE SOLD WAIT 6 WEEKS OR LONGER AS NECESSARY FOR SEEDING AREAS TO STABILIZE . . . 6.0 WEEKS
7. REMOVE SEDIMENT CONTROL DEVICES AND REPAIR AND PATCH DISTURBED AREAS OF LAWNS AND GROUND COVER . . . 1.0 WEEKS

TOTAL 19 WEEKS

NOTE: THE COORDINATE SYSTEM AND REFERENCE MERIDIAN USED HEREON IS AN EXTENSION OF THE DATUM OF "WHISKEY BOTTOM APARTMENTS" AS SHOWN ON PLAT RECORDED IN LIBER 643 AT FOLIO 618.

GENERAL NOTES

1. SEDIMENT CONTROL STRUCTURES MAY NOT BE REMOVED WITHOUT APPROVAL OF HOWARD COUNTY INSPECTIONS AND PERMITS.
2. THE BUILDER MUST OBTAIN A GRADING PERMIT PRIOR TO BEGINNING GRADING.

REVIEWED FOR HOWARD COUNTY S.C.D.
AND MEETS TECHNICAL REQUIREMENTS
C. Wayne Rysate
SIGNATURE
DATE 5/25/79
U.S. SOIL CONSERVATION SERVICE

THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
APPROVED *Wesley A. Strauts* DATE 8/25/78
HOWARD S.C.D.

PUBLIC WATER & SEWER TO BE UTILIZED
WATER & SEWER CONTRACT NO. 2752-D

ALL STREETS WILL BE PUBLIC AND ALL DRIVEWAYS OUTSIDE OF PUBLIC R/W'S WILL BE PRIVATE

PRESENT OWNER
I-95 ENTERPRISES, INC.
1720 WISCONSIN AVE N.W.
WASHINGTON, D.C. 20007

DEVELOPER
THE HOLLADAY CORPORATION
1720 WISCONSIN AVE N.W.
WASHINGTON, D.C. 20007

PROJECT ENGINEER
I-PDS LTD
802 SLIGO AVENUE
SILVER SPRING, MD 20910

APPROVED
DIVISION OF LAND DEVELOPMENT
HOWARD COUNTY, MARYLAND
DATE 8-18-78

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Drainage Systems and Storm
Director
Wesley A. Strauts
DATE 6-17-79

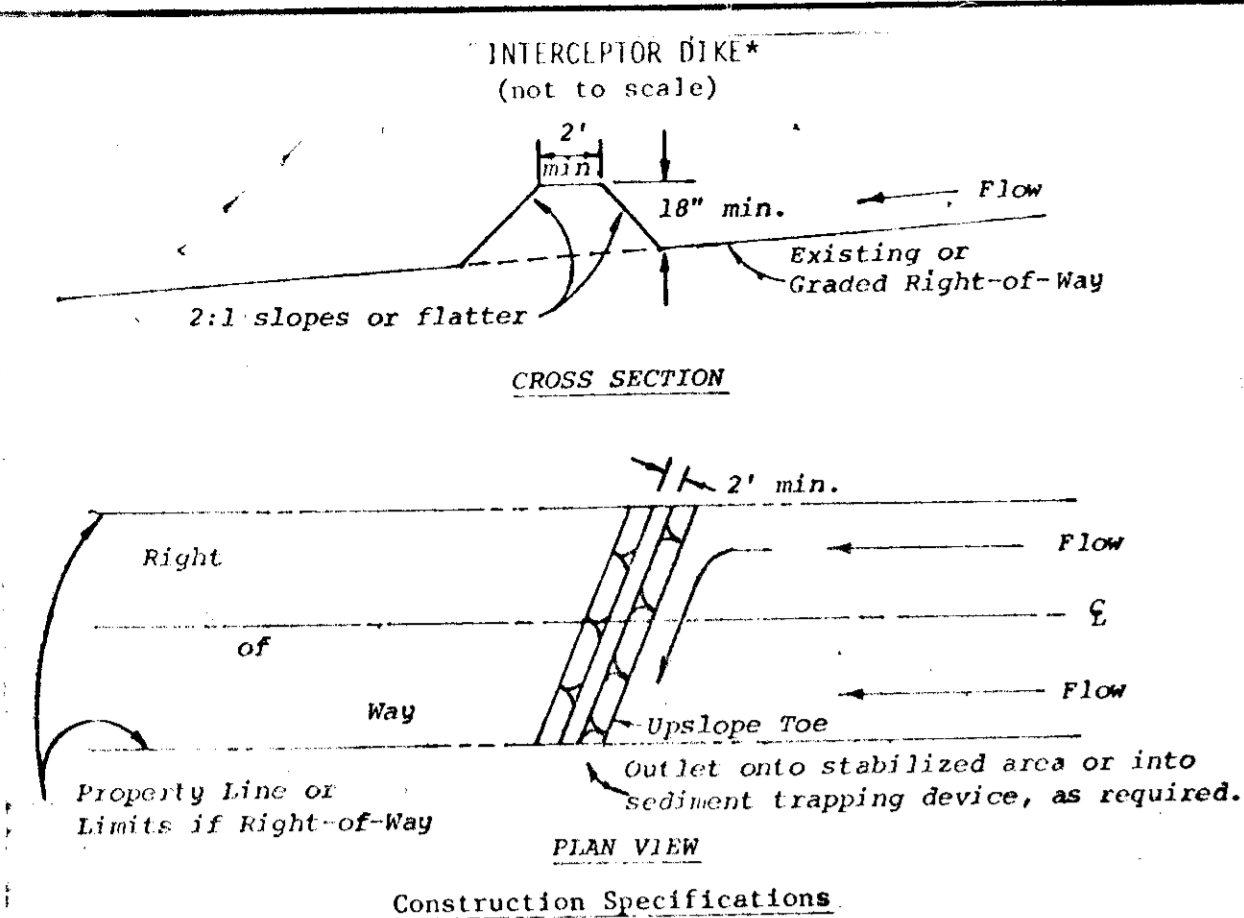
HOWARD COUNTY HEALTH DEPARTMENT
Systems
Director
Joyce M. Brown
DATE 6-19-79

HOWARD COUNTY DEPARTMENT OF LAND DEVELOPMENT
Director
Wesley A. Strauts
DATE 8-18-78

WHISKEY BOTTOM NORTH LOTS #1-24
I-95 ENTERPRISES, a Maryland Limited Partnership
L502 F-673 F-73-113 Tax Map #47 Parcel #
ELECTION DISTRICT NO. 6
HOWARD COUNTY, MARYLAND

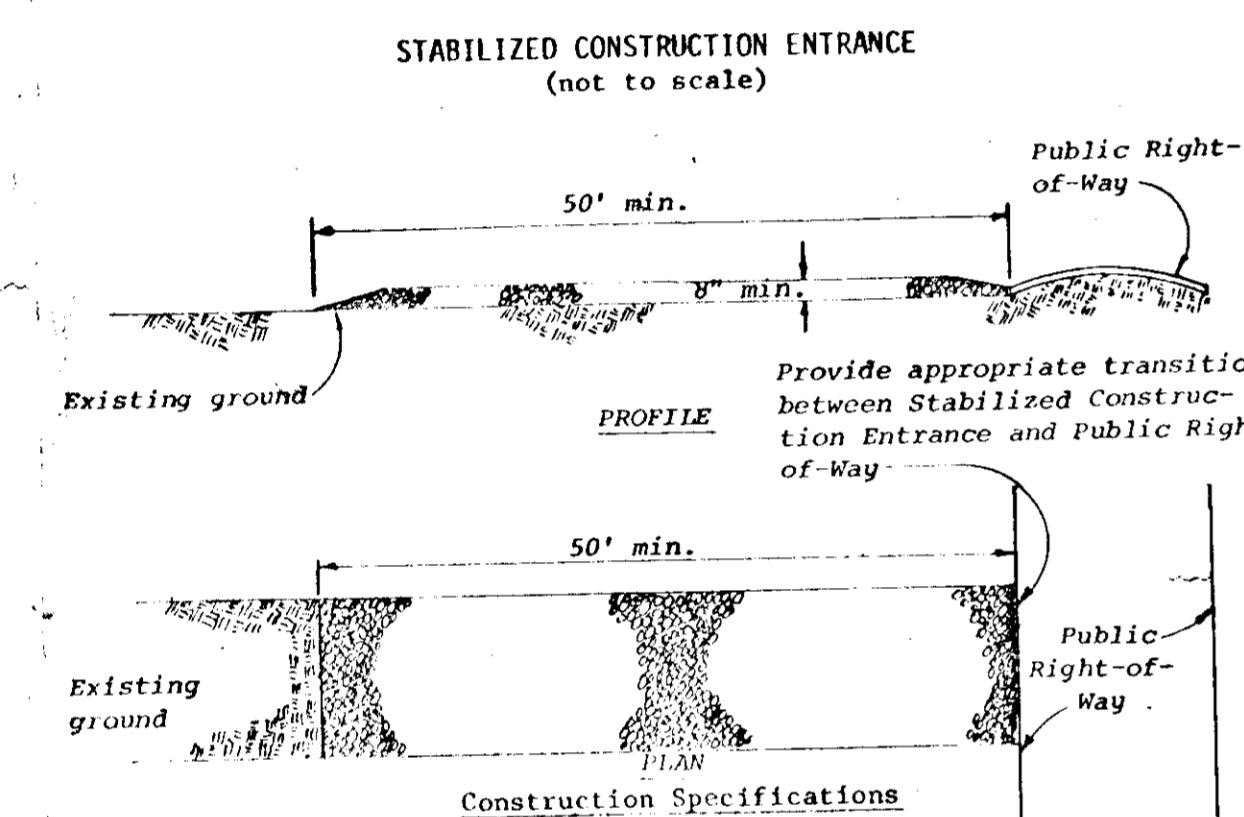
GRADING & SEDIMENT CONTROL PLAN
PB No. 4291-95

SCALE 1"=50'
DATE
PLANNING & DESIGN STUDIO, LTD.
802 SLIGO AVENUE, SILVER SPRING, MD 20910

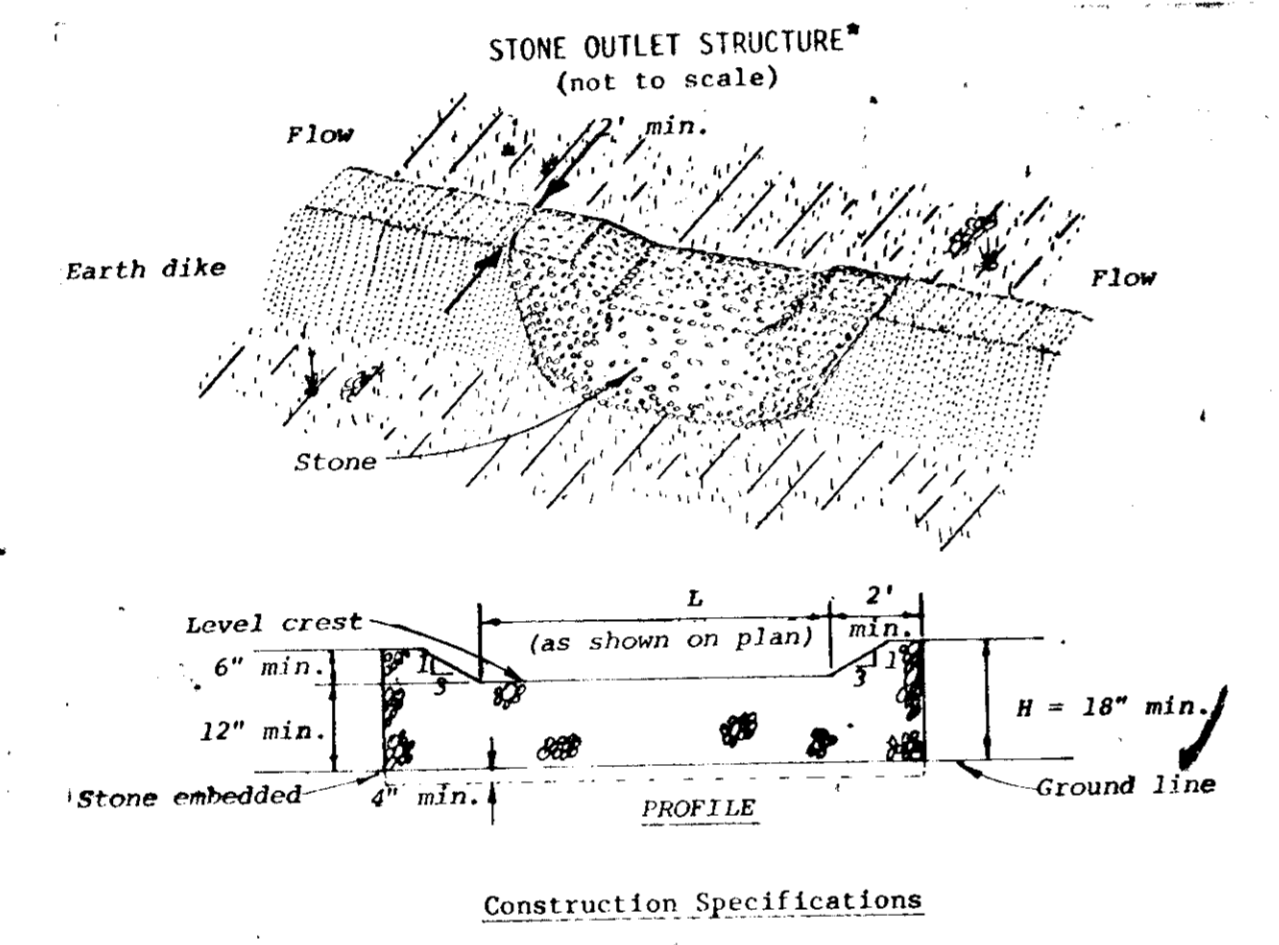


- Construction Specifications**
- All dikes shall be machine compacted.
 - All interceptor dikes shall have positive drainage to an outlet.
 - Top width may be wider and side slopes may be flatter if desired to facilitate crossing by construction traffic.
 - Field location should be adjusted as needed to utilize a stabilized safe outlet.
 - Interceptor dikes shall have an outlet that functions with a minimum of erosion. Runoff shall be conveyed to a sediment trapping device such as a sediment trap or sediment basin when either the interceptor dike channel or the drainage area above the dike are not adequately stabilized.
 - Stabilization, as specified by the plans, shall be: (1) in accordance with Standard and Specifications for Grassed Waterway, and the area to be stabilized shall be the channel (flow area); or (2) the flow area shall be lined with stone that meets MSHA size No. 2 or AASHTO size No. 2 or 24 which is placed in a 3 inch thick layer and pressed into the soil. The area covered by the stone shall be as shown on Standard Drawing DD-1.
 - Periodic inspection and required maintenance must be provided.
- Standard Symbol ID
- * Drainage area less than 5 acres.

- Construction Specifications**
- Bales shall be placed in a row with ends tightly abutting the adjacent bales.
 - Each bale shall be embedded in the soil a minimum of 4" on one side.
 - Bales shall be securely anchored in place by stakes or re-bars driven through the bales. The first stake in each bale shall be angled toward previously laid bale to force bales together.
 - Inspection shall be frequent and repair or replacement shall be made promptly as needed.
 - Bales shall be removed when they have served their usefulness so as not to block or impede storm flow or drainage.
- Standard Symbol SBD
- * Drainage area less than 1/2 acre.



- Construction Specifications**
- Stone size - Use MSHA size No. 2 (2-1/2" to 1") or AASHTO designation M43, size No. 2 (2-1/2" to 1-1/2"). Use crushed stone.
 - Length - As effective, but not less than 50 feet.
 - Thickness - Not less than eight (8) inches.
 - Width - Not less than full width of all points of ingress or egress.
 - Washing - When necessary, wheels shall be cleaned to remove sediment prior to entrance onto public right-of-way. When washing is required, it shall be done on an area stabilized with crushed stone which drains into an approved sediment trap or sediment basin. All sediment shall be prevented from entering any storm drain, ditch, or watercourse through use of sand bags, gravel, boards or other approved methods.
 - Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
- Standard Symbol SCE



- Construction Specifications**
- The stone shall be crushed stone. Gravel may be used if crushed stone is not available. The stone shall meet MSHA Size No. 2 or AASHTO designation M43 Size No. 2 or 24.
 - The crest of the stone dike shall be at least six inches lower than the lowest elevation of the top of the earth dike and shall be level.
 - The stone outlet structure shall be embedded into the soil a minimum of four inches.
 - The minimum length, in feet, of the crest of the stone outlet structure shall be equal to six times the number of acres of contributing drainage area.
 - The stone outlet structure shall be inspected after each rain, and the stone shall be replaced when the structure ceases to function as intended due to silt accumulation among the stone, washout, construction traffic damage, etc.
- Standard Symbol SOS
- * Drainage area less than 5 acres

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL, AND I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

1-95 ENTERPRISES, INC. - L.T. EARIN, III DATE
DEVELOPER'S CERTIFICATION (FOR STREETS)

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND SEDIMENT CONTROL, ALL SURFACE RUN-OFF AND INTERVENING SEDIMENT WILL BE DIRECTED TO PLANNED SEDIMENT CONTROL DEVICES AND RETAINED ON THE CONSTRUCTION SITE.

1-95 ENTERPRISES - L.T. EARIN, III DATE

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Wesley A. Staats DATE 8/24/79
WESLEY A. STAATS REG# 10475

DESIGN CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS," DATED JULY, 1975.

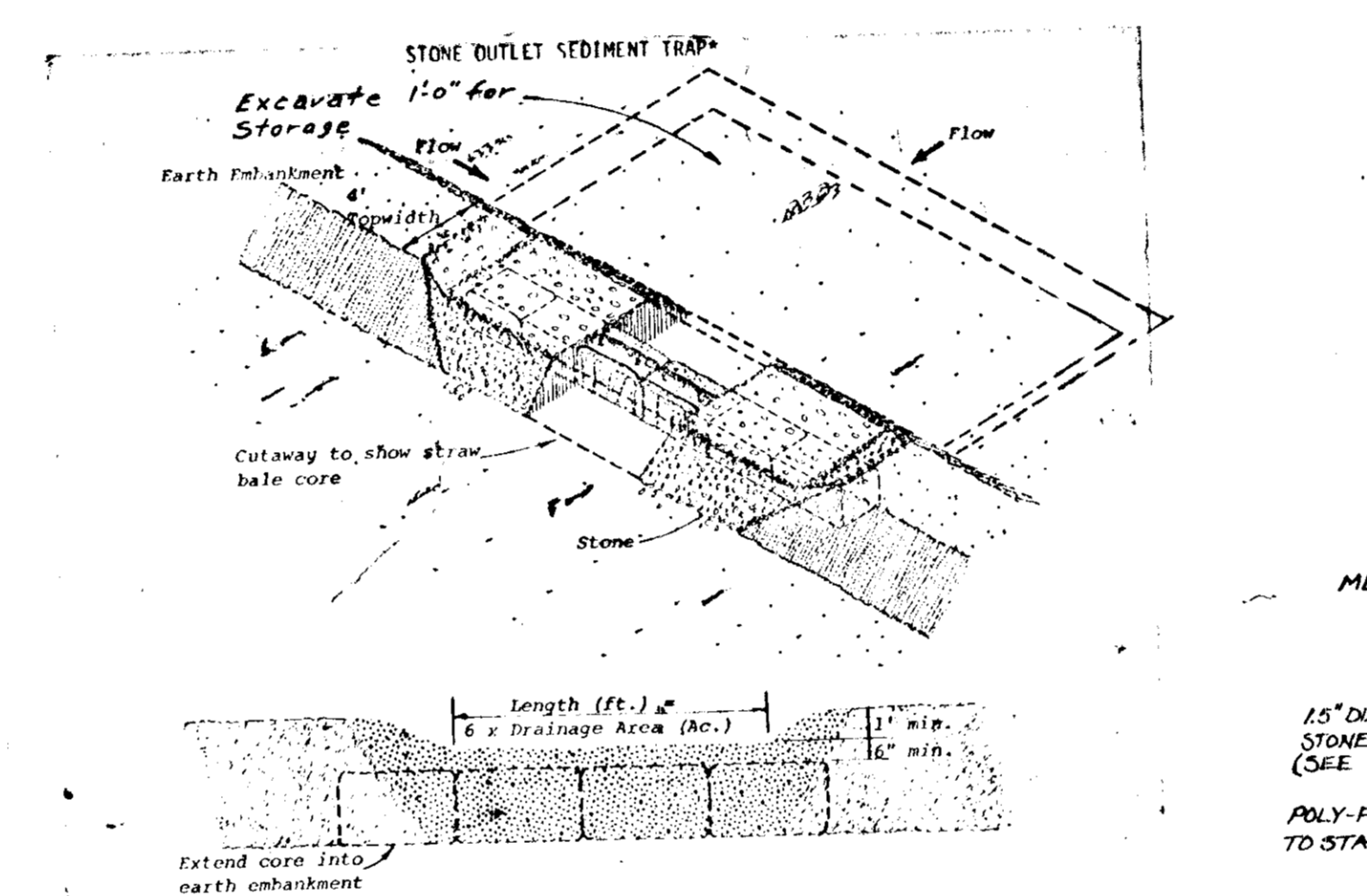
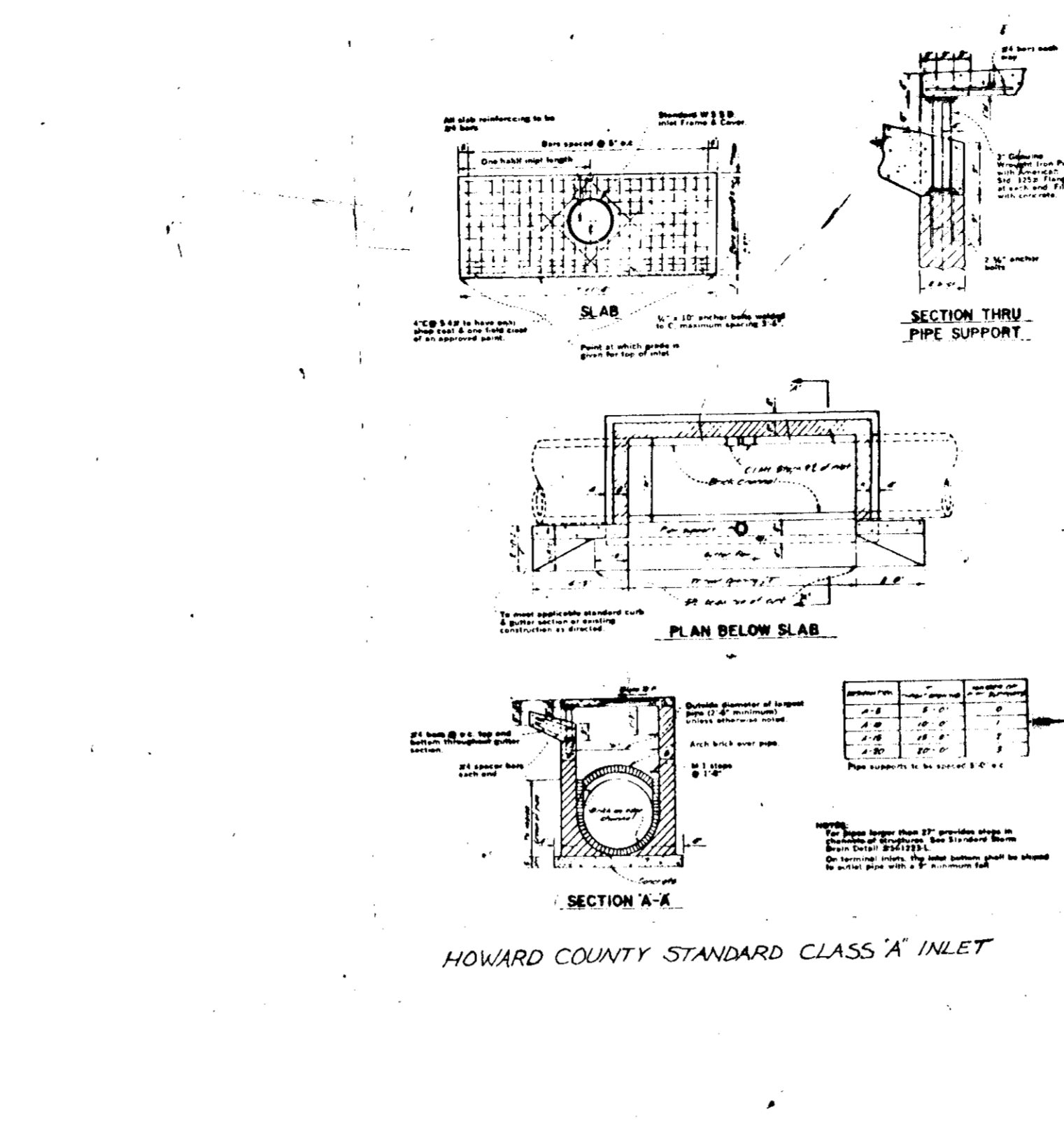
I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS INTERIM STORM DRAIN DESIGN CRITERIA"

SEEDING AREA 270,000 sq ft
PERVIOUS AREA 280,844 sq ft
IMPERVIOUS AREA 93,501 sq ft

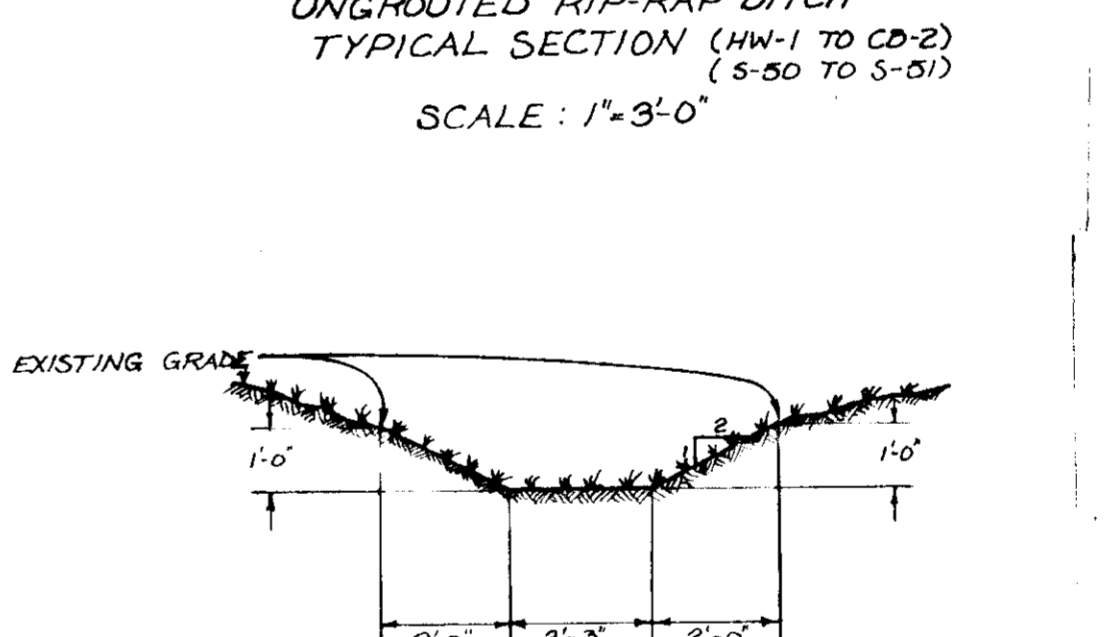
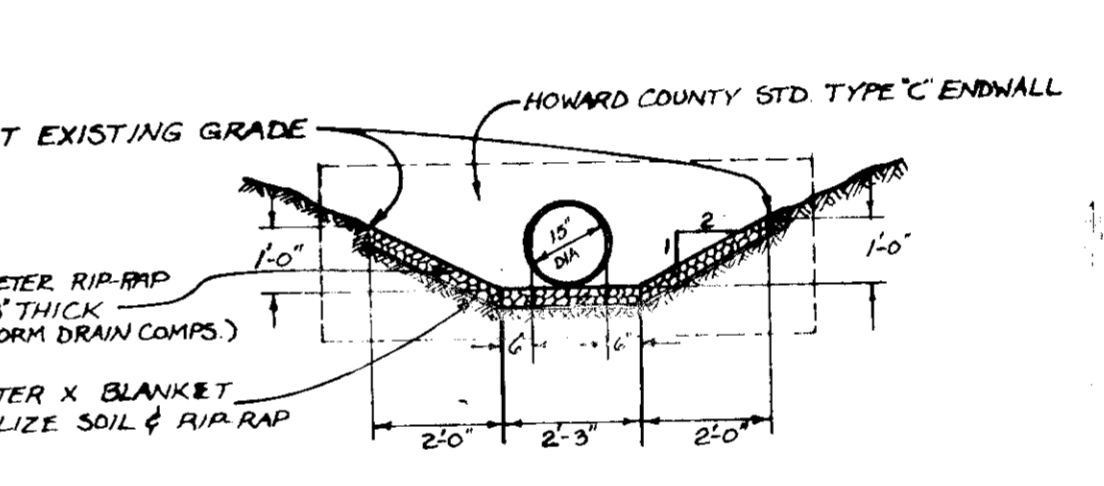
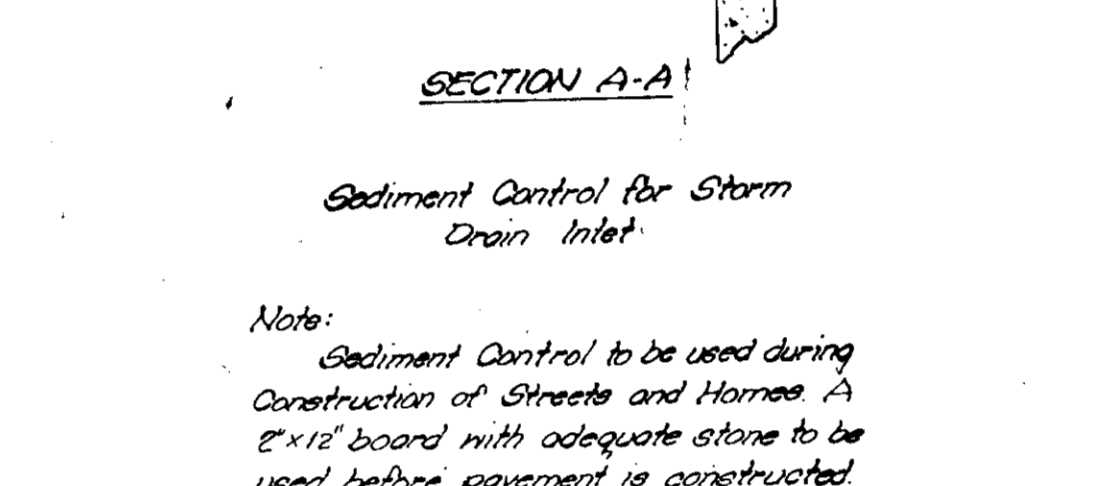
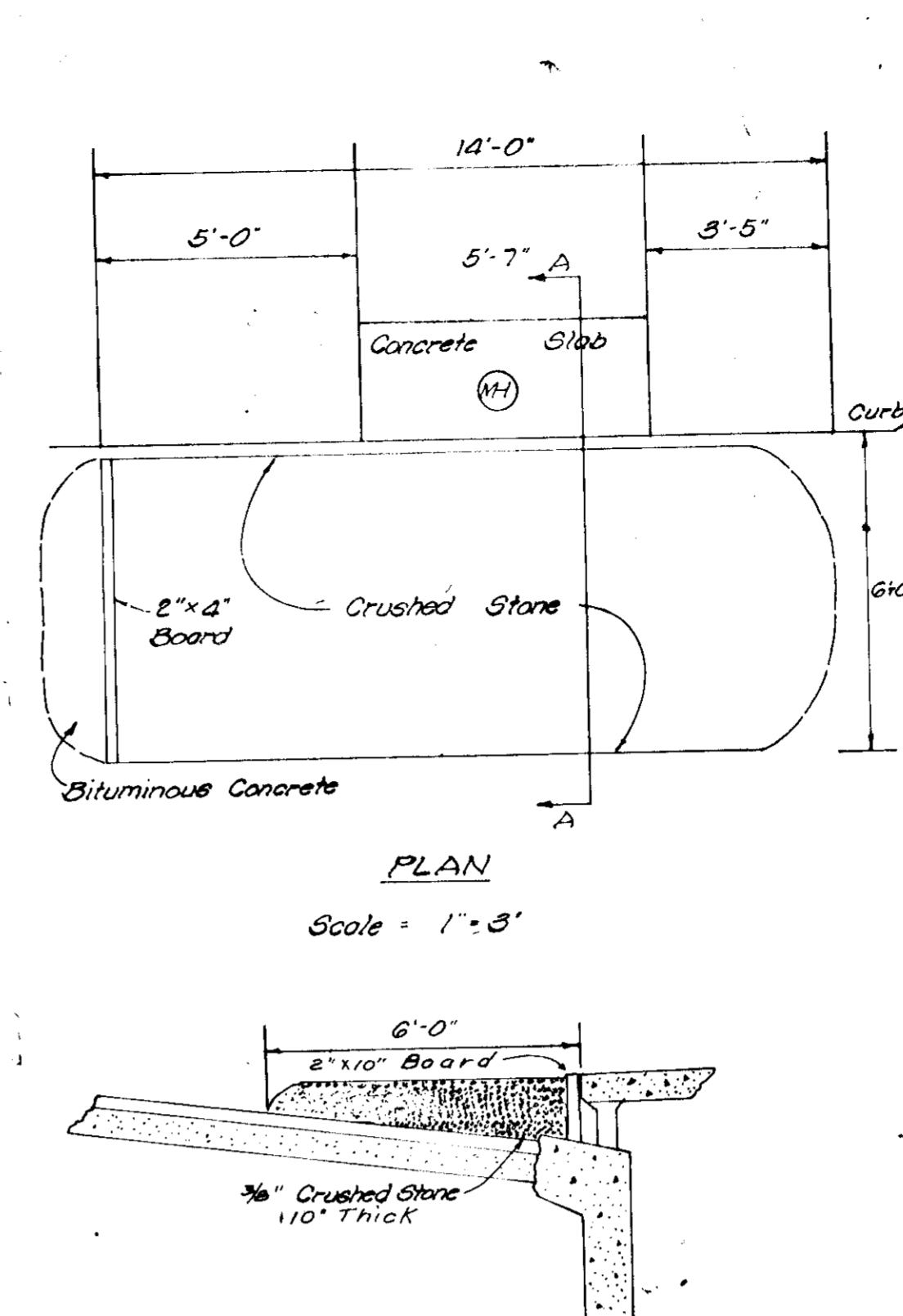
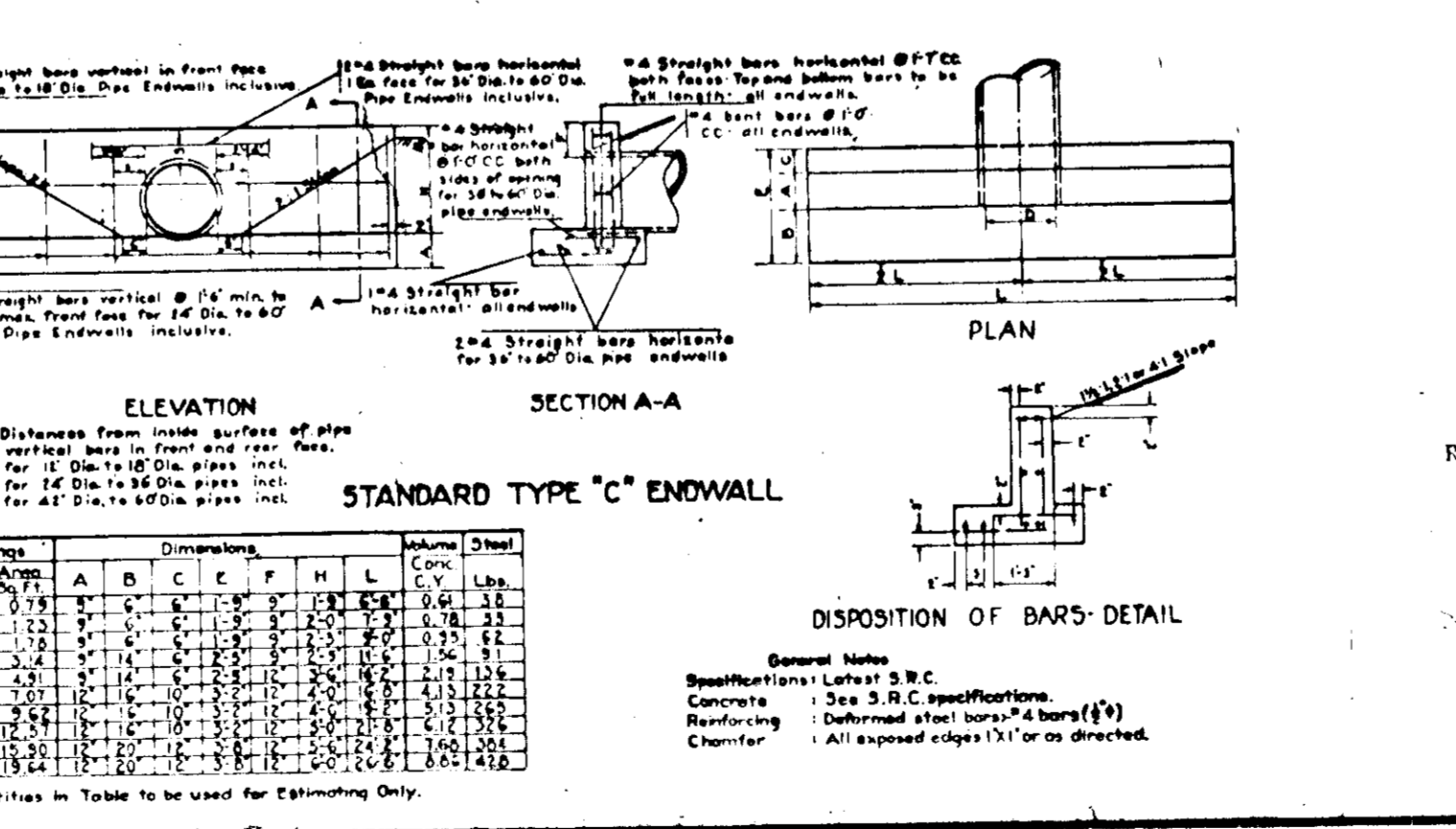
TOTAL AREA TO BE DISTURBED 376,434 sq ft
EXCAVATION 6499 cu yd
FILL 7763 cu yd

NOTE: IMPROVEMENT TO BE STREET GRADING AND LOT IMPROVEMENT

Wesley A. Staats DATE 8/24/79
WESLEY A. STAATS REG# 10475



- Construction Specifications**
- Area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The pool area shall be cleared.
 - The fill material for the embankment shall be free of roots or other woody vegetation as well as over sized stones, rocks, organic material or other objectionable material. The embankment shall be compacted by traversing with equipment while it is being constructed.
 - Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to 1/2 the design depth of the trap. Removed sediment shall be deposited in a suitable area and in such a manner that it will not erode.
 - The structure shall be inspected after each rain and repairs made as needed.
 - Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
 - The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.
 - All cut and fill slopes shall be 2:1 or flatter.
 - The crushed stone used in the outlet shall meet AASHTO designation M43, Size No. 2 or 24 or its equivalent such as MSHA No. 2. Gravel, meeting the above gradation, may be used if crushed stone is not available. Crusher run is not acceptable.



- GENERAL NOTES FOR STORM DRAIN CONSTRUCTION**
- ALL STORM DRAINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE GENERAL SPECIFICATIONS OF THE MARYLAND STATE HIGHWAY ADMINISTRATION AND HOWARD COUNTY.
 - TYPES OF STRUCTURES REFER TO THE STANDARD STORM DRAINAGE DETAILS OF THE MARYLAND STATE HIGHWAY ADMINISTRATION AND HOWARD COUNTY, UNLESS OTHERWISE NOTED.
 - WHERE THE DROP ON THE MAIN LINE THROUGH A STRUCTURE CAN BE ACCOMMODATED BY AN INVERT SLOPE OF 1/2: 1 OR FLATTER, A ROUNDED CHANNEL LINED WITH SEWER BRICK ON EDGE SHALL BE BUILT TO THE CROWN OF THE PIPE.
 - INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATIONS OF THE MAINS BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS, WELL IN ADVANCE OF TRENCHING. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR SIX (6) INCHES, WHICHEVER IS LESS, CONTACT

- GENERAL NOTES FOR PAVING CONSTRUCTION**
- ALL WORK IN PUBLIC RIGHT-OF-WAYS TO BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE GENERAL SPECIFICATIONS OF THE MARYLAND STATE HIGHWAY ADMINISTRATION AND THE HOWARD COUNTY ROAD CONSTRUCTION CODE AND STANDARD SPECIFICATIONS.
 - NO WORK IN PUBLIC RIGHT-OF-WAYS SHALL BEGIN UNTIL ALL APPROPRIATE PERMITS HAVE BEEN OBTAINED.
 - ALL UNPAVED AREAS WITHIN RIGHT-OF-WAYS AND ALL BACKSLOPES SHALL BE SEEDED AND MULCHED.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL SEEDED AND MULCHED AREAS UNTIL STREETS HAVE BEEN ACCEPTED BY HOWARD COUNTY.
 - ALL AREAS MUST BE STABILIZED PRIOR TO PLACING BASE COURSE. MELLOW COURT WILL NOT BE PAVED UNTIL THE ENTIRE AREA IS STABILIZED.
- SEEDING NOTES**
- EXCEPT WHERE OTHERWISE SHOWN ALL DISTURBED EARTH SHALL BE SEEDED AND MULCHED AS DIRECTED BELOW.
 - DISCING OR HARROWING SHALL BE DONE ON CONTOUR.
 - SEEDBED PREPARATION - APPLY 46 LBS. PER 1,000 SQ. FT. LIME AND 11.5 OF 10-10-10 FERTILIZER OR EQUIVALENT PER 1,000 SQ. FT. THOROUGHLY MIX INTO SOIL TO A DEPTH OF 3".
 - SEEDING - USE KENTUCKY 31 - TALL FESCUE AT THE RATE OF 3 LBS. PER 1,000 SQ. FT.
 - MULCHING - USE CLEAN, UNWEATHERED, UNCHOPPED SMALL GRAIN STRAW AT THE RATE OF 1 1/2 TO 2 TONS PER ACRE.
 - CERTIFIED SOD TO BE USED WHERE AND WHEN APPROVED BY THE ENGINEER.
 - TEMPORARY SEEDING TO BE DONE DURING CONSTRUCTION. HOWARD SOIL CONSERVATION DISTRICT STANDARD SPECIFICATIONS TO APPLY.

- GENERAL NOTES FOR SEDIMENT CONTROL**
- GRASSED DITCHES BELOW OUTFALLS TO BE STABILIZED AS SOON AS STORM DRAIN CONSTRUCTION IS COMPLETE.
 - SEDIMENT CONTROL STRUCTURES TO BE MAINTAINED THROUGHOUT CONSTRUCTION OF SUBDIVISION. BUILDER MUST PERFORM DAILY INSPECTION OF ALL SEDIMENT CONTROL.
 - HOWARD COUNTY BUREAU OF INSPECTIONS AND PERMITS SHALL BE NOTIFIED 48 HOURS PRIOR TO GRADING STREET. (ITEM 2 OF SEQUENCE OF CONSTRUCTION)
 - STORM DRAINAGE NOT TO BE CONSTRUCTED DURING GRADING.
- GENERAL NOTES**
- SEDIMENT CONTROL STRUCTURES MAY NOT BE REMOVED WITHOUT APPROVAL OF HOWARD COUNTY INSPECTIONS AND PERMITS.
 - THE BUILDER MUST OBTAIN A GRADING PERMIT PRIOR TO BEGINNING GRADING.

PRESENT OWNER:
1-95 ENTERPRISES, INC.
1720 WISCONSIN AVE. N.W.
WASHINGTON, D.C. 20007

DEVELOPER:
THE HOLLADAY CORPORATION
1720 WISCONSIN AVE. N.W.
WASHINGTON, D.C.

PROJECT ENGINEER:
IPDS LTD

Reviewed for Howard S.C.D.
Name
and meets Technical Requirements
Signature C. Wayne Ray Date 5/25/79
U. S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
Approved Ches Egan Date 5-25-79
Howard, S.C.D.

APPROVED: For Public Water, Public Sewerage and Storm Drainage Systems and Roads
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Director Wesley A. Staats DATE 6-19-79

APPROVED: For Public Water and Storm Drainage Systems
HOWARD COUNTY HEALTH DEPARTMENT
Director Joyce Boydler DATE 6-19-79

APPROVED: Howard County Office of Planning and Zoning
PLANNING DIVISION
DATE 6-19-79

WHISKEY BOTTOM NORTH LOTS #1-24
1-95 ENTERPRISES, a Maryland Limited Partnership
L 502 F 673 F-78-113 Tax Map #47 Parcel #
ELECTION DISTRICT NO. 6
HOWARD COUNTY, MARYLAND

SEDIMENT CONTROL DETAILS
P.B. No. 4291-95

SCALL AS SHOWN DATE
The undersigned is a Professional Engineer in the State of Maryland.
PLANNING & DESIGN STUDIO, LTD.
Engineers, Architects, Surveyors
Planners & Landscape Architects
802 SILVER AVENUE, SILVER SPRING, MD 20910
SDP-78-122