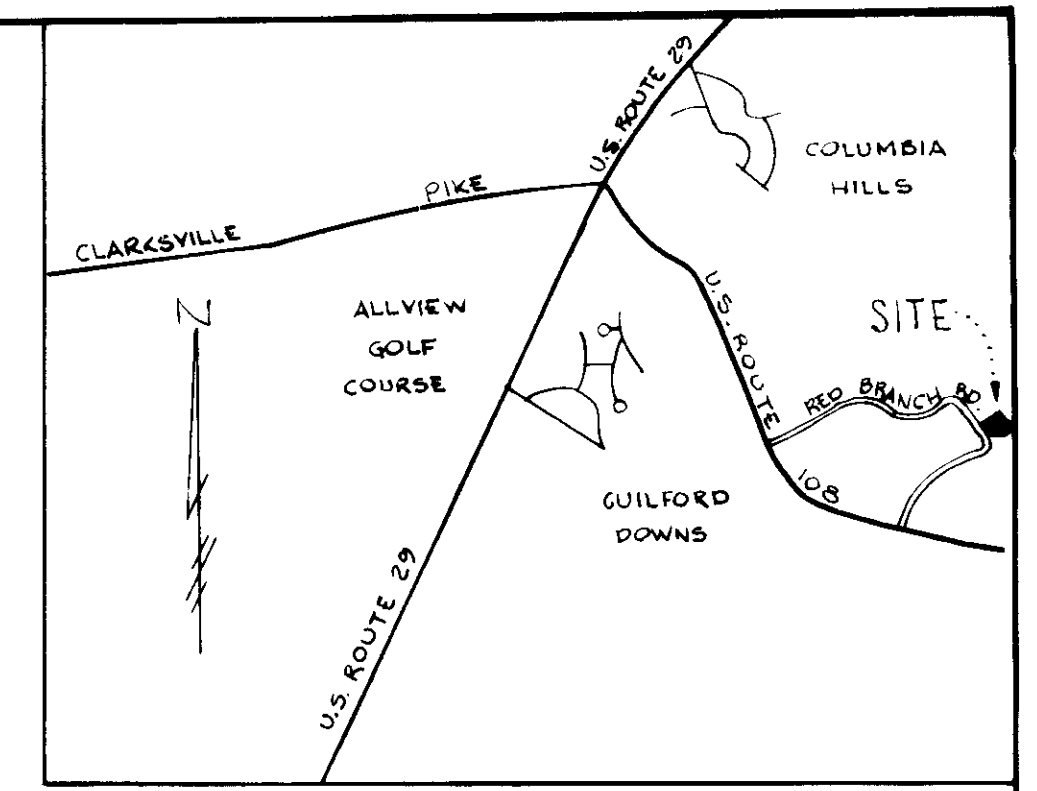
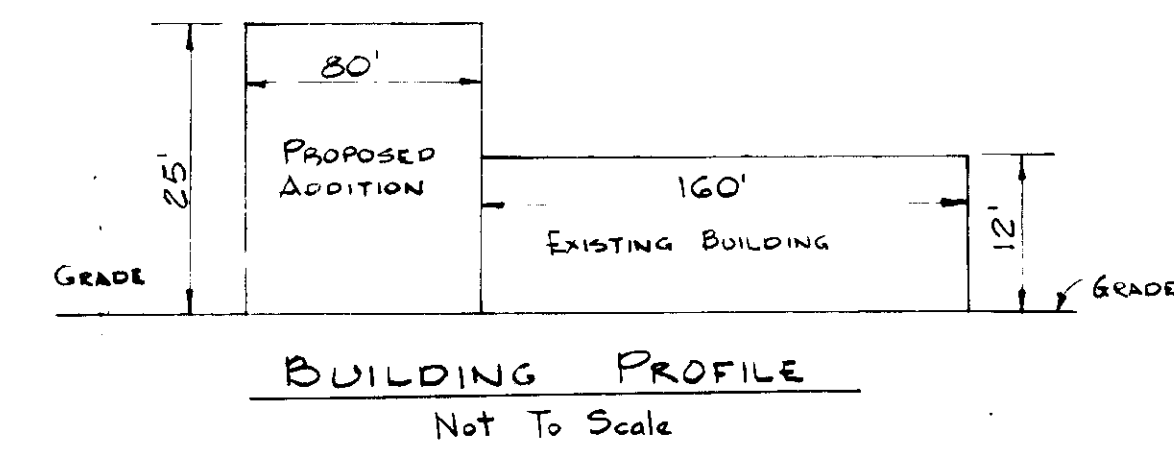


M.L. DAWSON LEE, JR. ET AL.  
514/81 & 621/634  
R-20



VICINITY MAP  
Scale: 1"=1 Mile

**LEGEND**

Existing Contours	---	350
Proposed Contours	---	350
Proposed Elevations	---	+458.2
Existing Curb	---	
Proposed Curb	---	
Proposed Paving	---	
Existing Storm Drain And Inlet	---	
Existing Sanitary Sewer And Manhole	---	
Existing Water Main	---	
Proposed Concrete Walk	---	
Straw Bale Dike	---	SBD

**NOTES**

- Existing topography, elevations and utilities shown were not obtained from field survey data. Contractor shall verify all such data to his own satisfaction. Topography, elevations and utilities shown were taken from the following drawings:
  - Topographic Survey, Lots 30 & 31, Red Branch Road, dated April 16, 1973 and prepared by M.E. Hudkins and Associates.
  - Property Survey - Lots 29, 30 & 31 dated Sept. 25, 1968 and prepared by Howard Research and Development Corporation.
  - Water and Sewer Mains - Contract No. 228 W&S dated April 3, 1968 prepared by Whitman Bequard and Associates.
  - Storm Drains - Dwg. No. SDP-110C dated May 15, 1973 prepared by Ewell, Bomhardt & Associates.
- Neither the accuracy nor the completeness of existing underground obstructions shown is guaranteed and Contractor must verify all such obstructions to his own satisfaction.
- Stabilization of Disturbed Area: After grading is complete all areas not paved shall be stabilized as follows:
  - Apply 10-10-10 fertilizer (1,000 lbs. per acre).
  - Apply ground architectural limestone or equivalent at 1 ton per acre.
  - Incorporate lime and fertilizer by discing.
  - Plant the area to the following seed mixture:
    - 50% Kentucky Blue Grass
    - 50% Creeping Red Fescue at 3 lb. per 1,000 sq. ft.
  - Mulch after seeding with 1/2 ton weed free grain straw per acre.
  - Tie down by spraying on liquid or emulsified asphalt.
- Temporary Seeding to be same as Permanent Seeding.
- All sediment control measures to be installed & stabilized prior to grading.
- No sediment control measures to be removed without prior approval of Howard Soil Conservation District.

**CONSTRUCTION SEQUENCE**

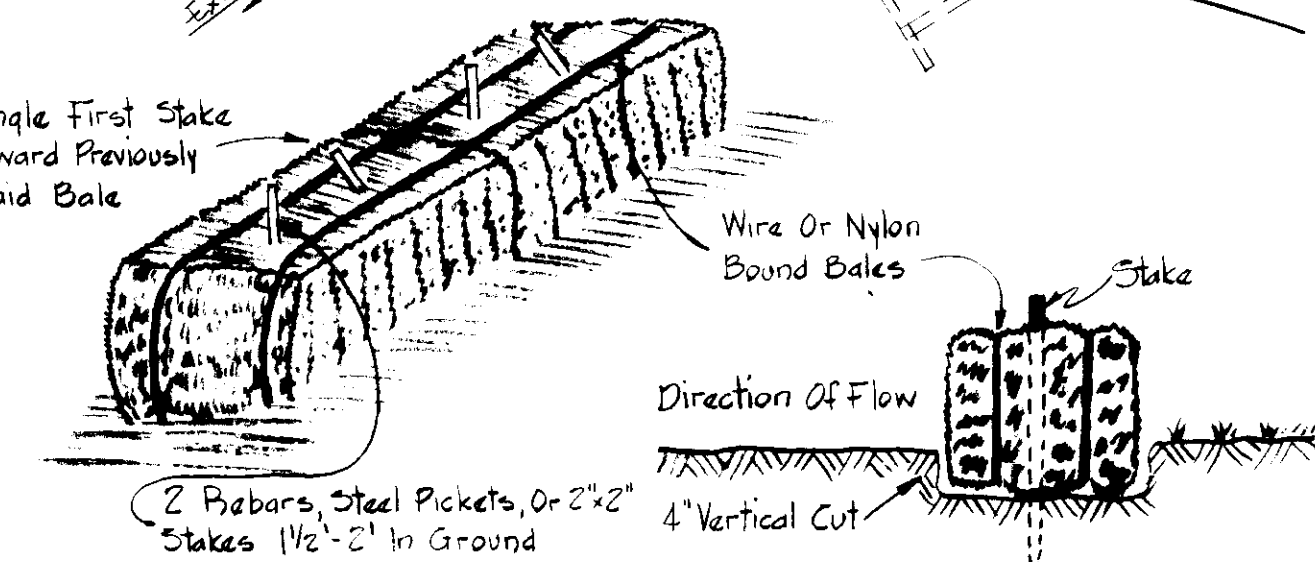
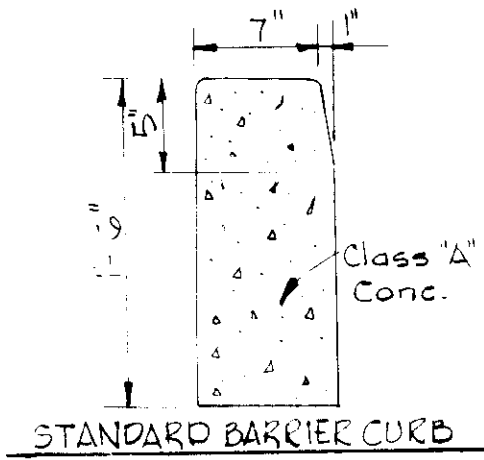
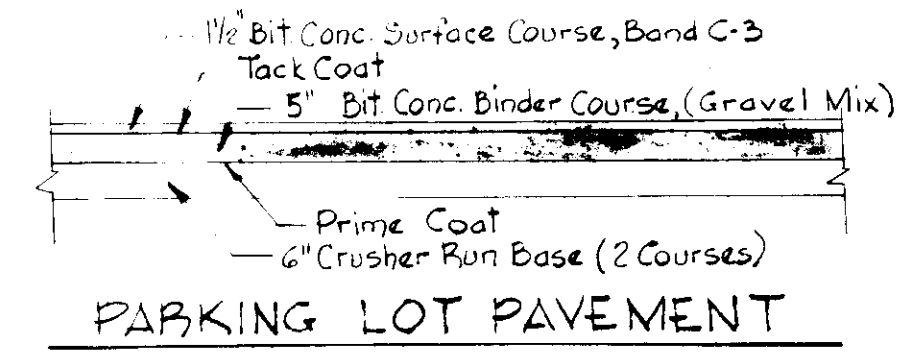
- Obtain Grading Permit
- Notify Howard County Office of Inspection and Permits At Least 72 Hours Prior To Construction (992-2436)
- Install Sediment Control Measures.
- Clear And Grub Site And Stockpile Topsoil. Place No. 2 Stone On Areas To Be Paved.
- After Building Construction, Pave Parking Areas.
- Grade And Stabilize Site
- Remove Temporary Sediment Control Measures After Obtaining Permission From Sediment Control Inspector.

**SITE ANALYSIS**

- Total Area Of Site = 1.736 Ac±
- Total Area Disturbed = 0.36 Ac±
- Total Area Impervious = 0.27 Ac±
- Total Area Revegetated = 0.11 Ac±
- Total Area Natural = 0

**SITE INFORMATION**

- Max. Height of Building 25'
- Total Area of Site 1.736 Acres±
- Plat Reference Book 15 Folio B
- Deed Reference 62B/33
- Tax Map/Parcel 30/269
- Final Development Plan Phase No. 25
- Zoning: New Town Industrial
- Proposed Improvement - 16,000 s.f. Addition
- Total Parking Required 30 spaces
- Total Parking Provided 33 spaces
- Total Employees (Lab) 20
- Total Area of Building: Lab 22,000 s.f., Office 8,000 s.f.
- Percent of Site Covered 29
- Original Site Plan SDP-110C (1973)



DETAIL STRAW BALE DIKE  
NTS

- NOTES:**
- All material and construction shall be in accordance with Howard County Road Construction Code and Std Specifications.
  - Base will be primed in accordance with Section C-30-3 as provided in the Howard County Road Construction Code and Std Specifications.
  - Tack Coat is required in accordance with Section C-31-4 of the Howard County Road Construction Code and Std Specifications.

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS	
<i>Robert F. Poremski</i> U.S. SOIL CONSERVATION SERVICE	7-7-78 DATE
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.	
APPROVED: <i>Robert W. Zilman</i> HOWARD SOIL CONSERVATION DISTRICT	7-7-78 DATE
BY THE ENGINEER I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.	
<i>Robert F. Poremski</i> ROBERT F. POREMSKI	5/5/78 DATE
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT	
<i>James A. Baker</i> COUNTY HEALTH OFFICER	7-19-78 DATE
APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING	
<i>John A. Davis</i> PLANNING DIRECTOR	7/21/78 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT	
APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEM AND ROADS HOWARD COUNTY DEPT. OF PUBLIC WORKS	
<i>Richard E. Breidenberger</i> DIRECTOR	7/17/78 DATE
<i>Robert F. Poremski</i> CHIEF, BUREAU OF ENGINEERING	7-17-78 DATE
BY THE DEVELOPER I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR EROSION AND SEDIMENT CONTROL, AND I ALSO AUTHORIZE PERIODIC ON-SITE ARE FIELD INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE PROVIDED HEREIN. THIS DEVELOPMENT PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT.	
<i>Robert F. Poremski</i> DEVELOPER - BOTTLER EMORY ASSOCIATES	7-17-78 DATE
PROPOSED OFFICE & LABORATORY FOR ARCTEC, INC.	DWG. NO. SDP 78-112C
Office And Lab Building Addition To Approved SDP78-110C	
OAKLAND RIDGE INDUSTRIAL PARK SECTION 2 LOT 93 ELECTION DISTRICT 2 HOWARD CO., MD.	DATE MAY 3 1978
SCALE: 1"=20'	SHEET 1 OF 1

OWNER  
BOTTLER EMORY ASSOCIATES  
P.O. BOX 125  
GLEN ARM, MARYLAND 21057

DEVELOPMENT ENGINEERS  
CIVIL ENGINEERS  
342 OLD JOPPA ROAD  
FALLSTON, MARYLAND 21047  
879-3253