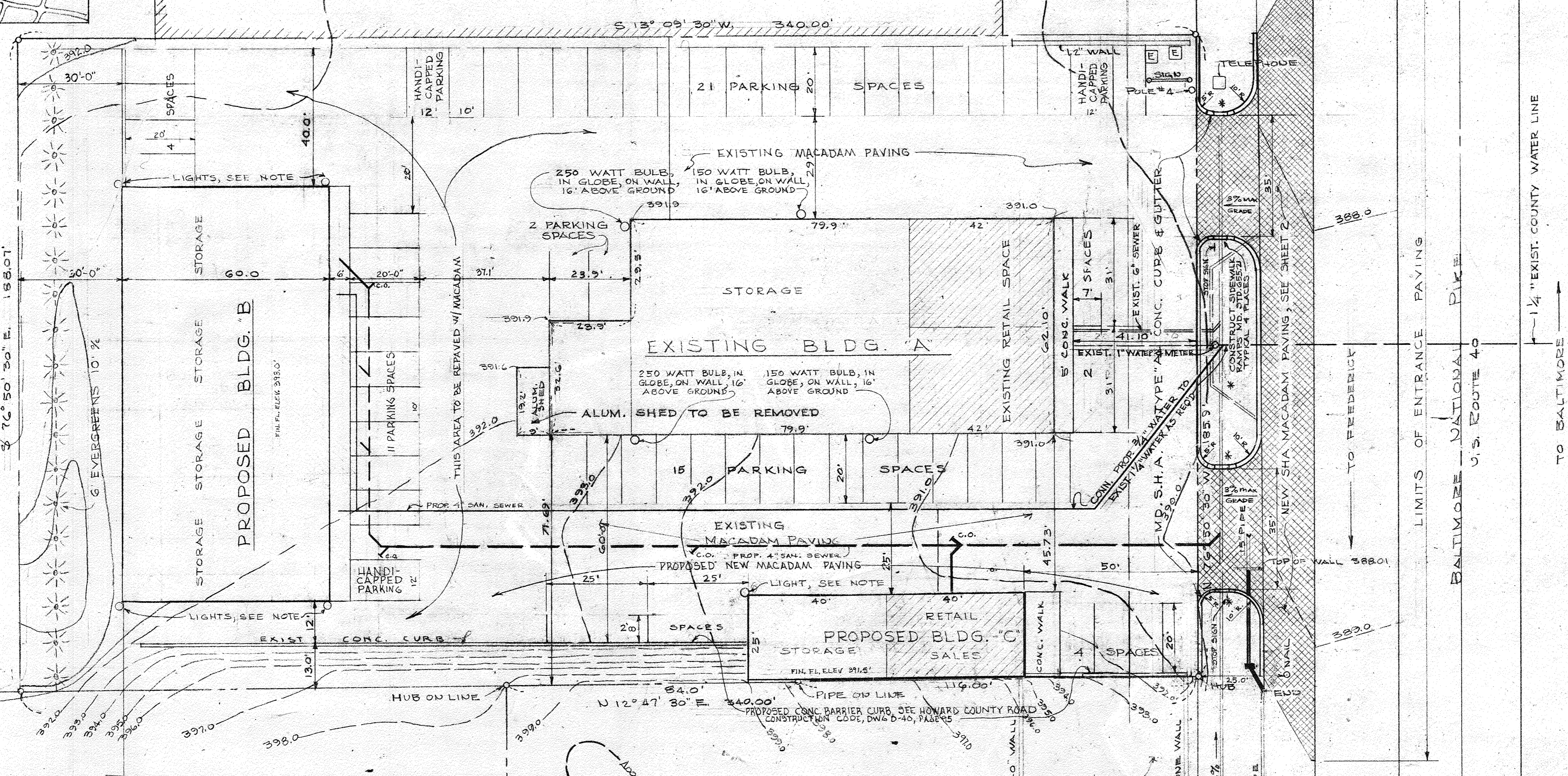


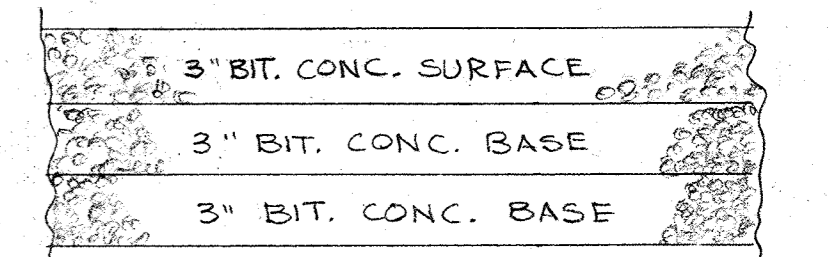
NOTE: SEE SHEET 2 FOR CURRENT CONDITION SITE PLAN. (MAY 2023)

DOCTORS' BUILDING  
Lot 5



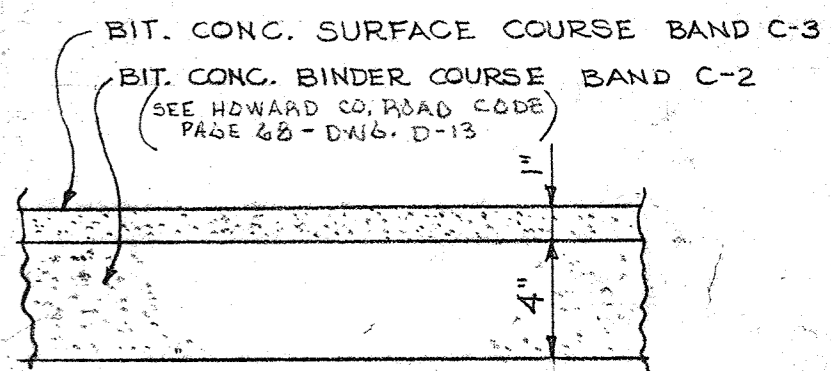
PARKING ANALYSIS				
BUILDING	OFFICE AREA	RETAIL SALES AREA	STORAGE AREA	TOTAL
EXISTING BLDG. 'A'	—	AREA 8949 S.F. REQ'D NO. SPACES 42	—	42
PROPOSED BLDG. 'B'	—	—	4 EMPLOYEES REQ'D NO. SPACES 2	2
PROPOSED BLDG. 'C'	7 EMPLOYEES REQ'D NO. SPACES 5	AREA 2000 S.F. REQ'D NO. SPACES 10	—	15
TOTAL SPACES REQ'D			59	
TOTAL SPACES FURNISHED			61	

- NOTES:
1. ALL WORK SHALL CONFORM TO THE HOWARD COUNTY ZONING REGULATIONS.
  2. ALL CONSTRUCTION MATERIALS AND DETAILS TO BE IN ACCORDANCE WITH THE HOWARD COUNTY ROAD CONSTRUCTION CODE & SPECIFICATIONS.
  3. LOCATION OF EXISTING UTILITIES ARE APPROXIMATE, CONTRACTOR SHALL NOTIFY PROPER AUTHORITIES 3 DAYS BEFORE COMMENCING EXCAVATION.
  4. ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY PLUMBING CODE.
  5. NEW EXT. LIGHTS ARE TO BE MOUNTED ON BUILDING WALLS, 15' HIGH, AND SHALL BE 360° WITH 1 FOOT CANDLE INTENSITY & CONFORM TO ANSI-A11.1-1973. ALL EXTERIOR LIGHTS SHALL BE OF A DIRECTIONAL TYPE SO AS TO ILLUMINATE THIS SITE ONLY.



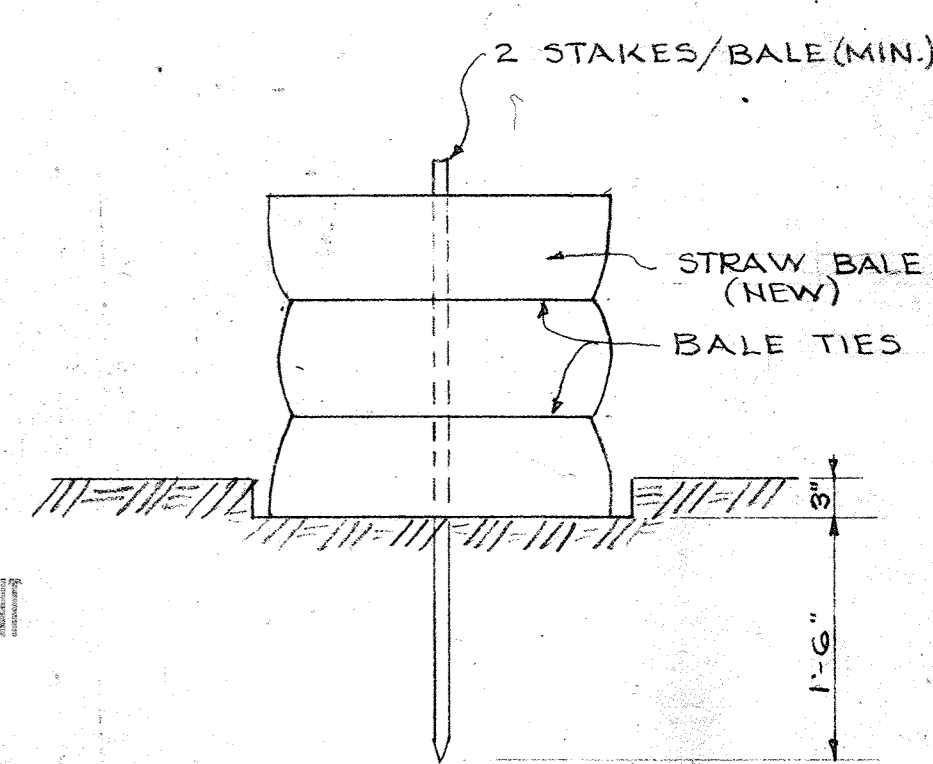
S.H.A. MACADAM SURFACING

ALL S.H.A. MACADAM SURFACING IS TO BE PLACED IN ACCORDANCE WITH S.H.A. SPECIFICATIONS



TYP. ONSITE PAVING DETAIL-NO SCALE

PAVING TO BE USED WHERE INDICATED ON THE DRAWINGS.  
BASE TO BE PRIMED IN ACCORDANCE WITH SECT. C-30-3 OF HOW. CO. ROAD CODE.  
TACK COAT IS REQ'D IN ACCORDANCE WITH SECT. C-31-4 OF HOW. CO. ROAD CODE.



STRAW BALE INSTALLATION  
NO SCALE

APPROVED FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPT.  
*John Healy* 4-26-78  
COUNTY HEALTH OFFICER DATE

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
*Thomas L. Harris* 4-27-78  
PLANNING DIRECTOR DATE

APPROVED FOR PUBLIC WATER, SEWERAGE & STORM DRAINAGE SYSTEMS & ROADS.  
*John W. Mumford* 4-27-78  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

APPROVED FOR PUBLIC WATER, SEWERAGE & STORM DRAINAGE SYSTEMS & ROADS.  
*Richard E. Sreudenberg* 4/20/78  
DIRECTOR DATE

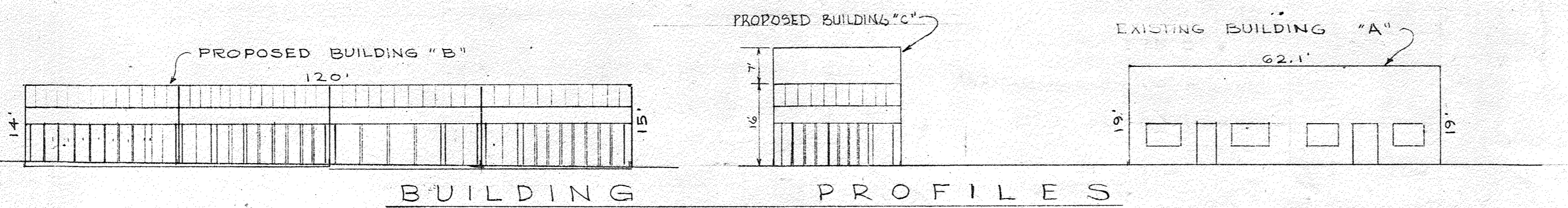
*W.O. Lohr* 4-19-78  
CHIEF BUREAU OF ENGINEERING DATE

**EROSION CONTROL**

1. THERE IS NO PROPOSED SITE GRADING.
2. THE BUILDING CONTRACTOR SHALL CREATE A STAKED STRAW BALE (SEE DETAIL) ENCLOSURE WITHIN THE PROPOSED BUILDING WALLS FOR STORAGE OF EXCAVATED MATERIAL FROM FOOTING TRENCH. THIS MATERIAL IS TO BE USED FOR FILLING WITHIN THE FOUNDATION WALLS.

**SITE ANALYSIS:**

TOTAL AREA = 63,575 S.F.  
AREA DISTURBED = 0  
AREA ROOFED & PAVED = 55,770 S.F.  
AREA REVEGETATED = 0  
AREA NOT DISTURBED = 63,575 S.F.



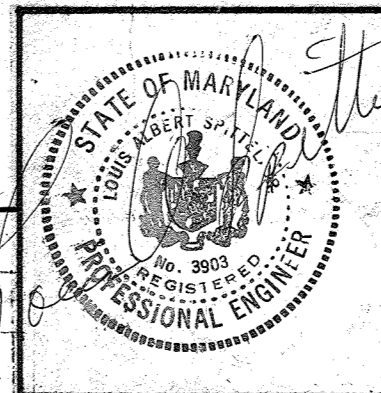
REVIEWED FOR  
**HOWARD** S.C.D.  
NAME  
AND MEETS TECHNICAL REQUIREMENTS  
*C.W. Sundt* 4/14/78  
SIGNATURE DATE  
U.S. SOIL CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
*Robert W. Ziehm* 4/14/78  
APPROVED HOWARD S.C.D. DATE

I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR SEDIMENT AND EROSION CONTROL, AND I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.  
*Alan Zgorzski* 4-7-78  
SIGNATURE OF DEVELOPER DATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
*Louis A. Spittel* 4/7/78  
SIGNATURE OF ENGINEER DATE

DATE	REVISIONS
10/9/23	ADDED SHEET 2 (CURRENT SITE PLAN)
2/1/78	RELOCATED BLDG. 'B' 10' NORTH
DATE	REVISIONS



APPROVED  
DIVISION OF LAND DEVELOPMENT  
HOWARD COUNTY, MARYLAND  
DATE 4-6-78  
*fwm*

AREA OF PROPERTY = 63,575 S.F.  
PRESENT ZONING - B-2 & R-20  
INTENDED USE OF BUILDINGS - RETAIL SALES & STORAGE

NOTE: THIS DRAWING IS A REVISION TO APPROVED SDP/77-83

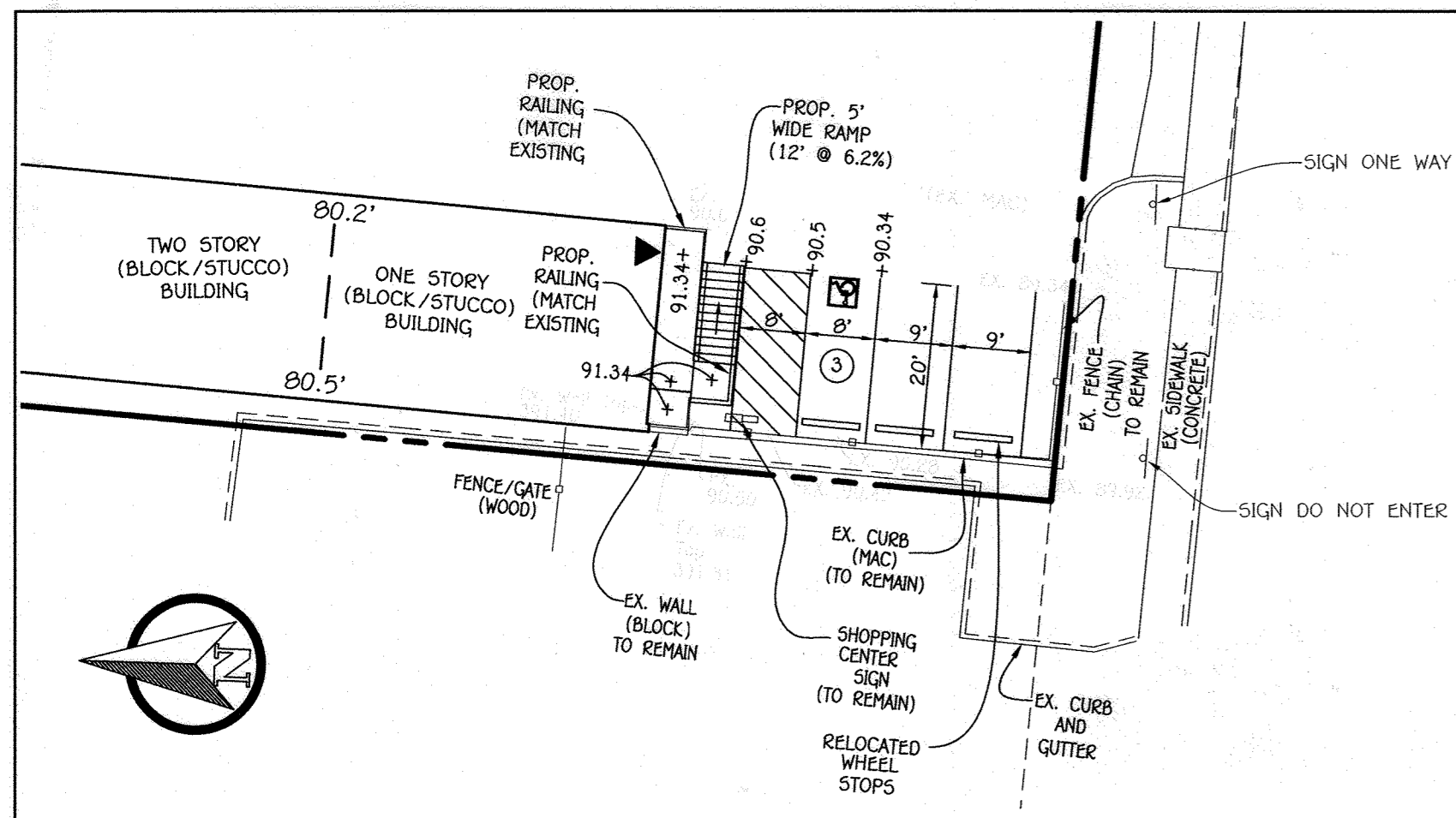
SITE PLAN PREPARED FROM SURVEY DONE BY "HUDKINS ASSOCIATES, INC." DATED OCTOBER 6, 1976

OWNER: ROBERT F. ZGORZSKI, 8631 LIBERTY ROAD, RANDLESTOWN, MARYLAND 21133 301/922-6111

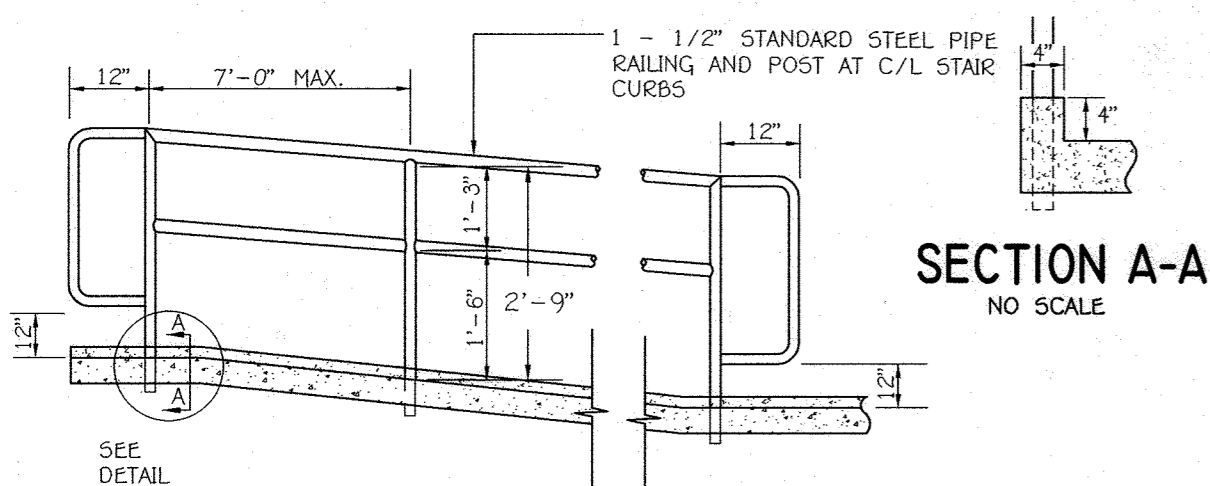
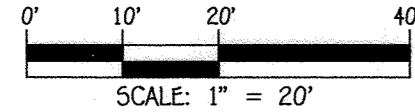
**SITE DEVELOPMENT PLAN - BUILDING ADDITIONS**  
RAMSBURG PROPERTY SUBDIVISION, LOT 6,  
P.B. 10/94, ELECTION DISTRICT - 2ND, TAX MAP 24  
HOWARD COUNTY, MARYLAND. SCALE 1"=20'

Project No.	LOUIS A. SPITTEL, Incorporated	Sheet No.	1
Date	8231 Main Street Ellicott City, Md. 21043	P. O. Box 122	of 2 Sheets
Date	MARCH 1977	301/465-2990	



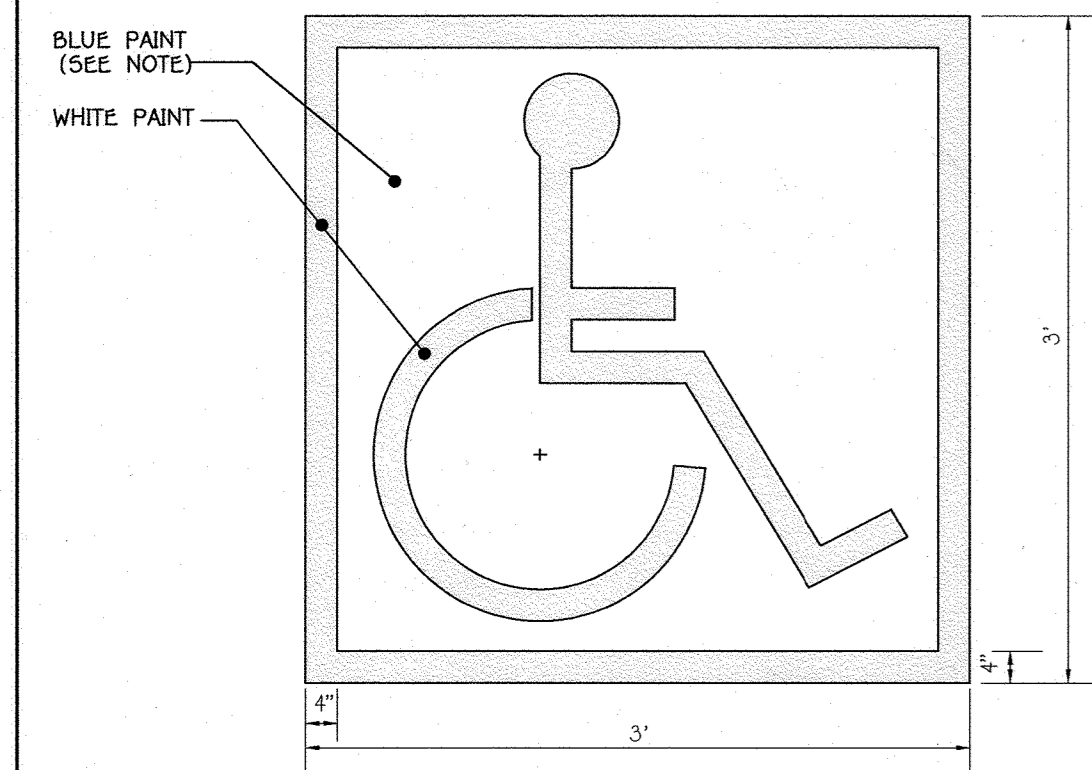


**NEW PARKING LAYOUT**



**HAND RAIL DETAIL**

NO SCALE



NOTE: SYMBOL IS REQUIRED TO CONTRAST WITH BACKGROUND (WHITE ON BLUE; COLOR NO. 105090 IN FED. STANDARD 5952-DOUBLE COAT TYP.)

**HANDICAP SPACE STENCIL LAYOUT**

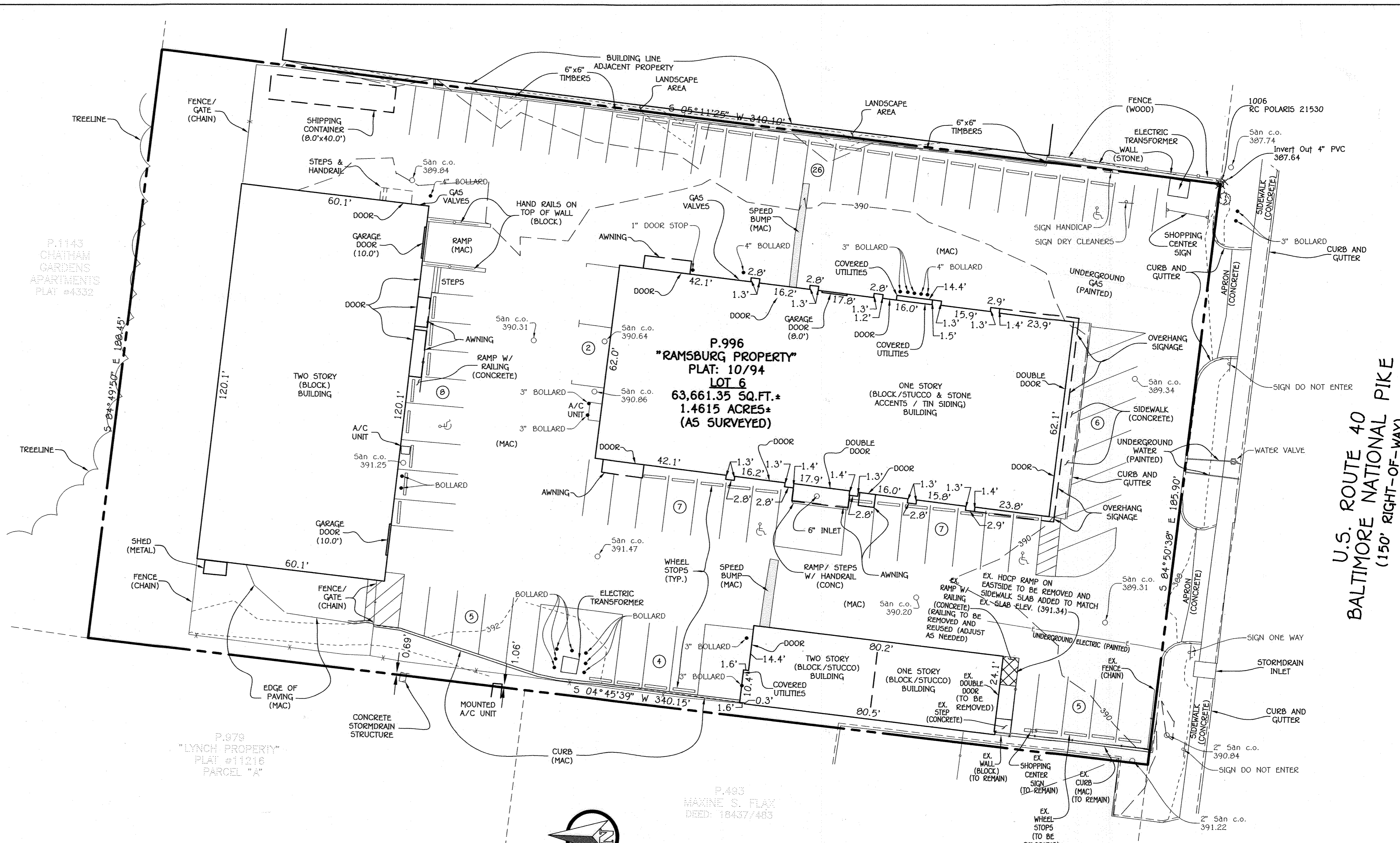
NO SCALE

**GENERAL NOTES:**

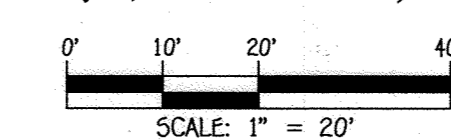
- SIGNS SHALL MEET DESIGN STANDARDS OF THE FEDERAL HIGHWAY ADMINISTRATION AND CONFORM TO THE STATE OF MARYLAND STANDARD HIGHWAY SIGN BOOKLET DETAIL R7-B.
- ONE SIGN IS REQUIRED PER SPACE PLACED AS SHOWN ON SITE IMPROVEMENT PLAN.
- SIGNS SHALL BE POLE MOUNTED WITH HOT DIPPED GALVANIZED COUNTY APPROVED PERFORATED CHANNEL POSTS W/TOP OF SIGNS 9'-1" ABOVE FINISHED GRADE OR AS INDICATED ON SITE DRAWINGS.
- SIGN SHALL BE ATTACHED TO FLANGED SIDE OF POST. POST SHALL EXTEND INTO GROUND 2'-6" MIN.
- COLORS: LEGEND AND BORDER-GREEN SYMBOL-WHITE ON BLUE BACKGROUND BACKGROUND-WHITE
- CONTRACTOR SHALL COORDINATE ARROW DIRECTION WITH LOCATION OF ADJACENT AISLE.

**HANDICAP PARKING SIGN DETAIL**

NO SCALE



**CURRENT CONDITION SITE PLAN (MAY 2023)**



**(CURRENT REQUIRED PARKING SPACES)**

Land Use	Land Use Type	Gross Area s.f.	Needs Rate	Spaces Required
Vacant (Bldg. A)	Vacant	4,000	N/A	0.0
Dentist Office (Bldg. A)	Medical	1,724	5.0/1000	8.6
Real State Office (Bldg. A)	General Office	1,900	3.3/1000	6.3
Hair Salon (Bldg. A)	Personal Service	1,519	5.0/1000	7.6
Auto Parts Store (Bldg. B)	Retail	4,800	5.0/1000	24.3
Pool Supply (Bldg. B)	Retail	2,340	5.0/1000	11.7
Vacant (Bldg. C)	Vacant	4,000	N/A	0.0
Current Total Required				59
Net Access				66
				7

**(CURRENT HOURS OF OPERATION)**

Land Use	Weekday	Saturday	Sunday
Vacant (Bldg. A)	Vacant	N/A	N/A
Dentist Office (Bldg. A)	10:20am - 5:20pm	Closed	Closed
Real State Office (Bldg. A)	9:00am - 6:00pm	On Call	Closed
Hair Salon (Bldg. A)	Monday Closed Tue - Fri 10:00am - 7:00pm	9:00am - 5:00pm	Closed
Auto Parts Store (Bldg. B)	7:00am - 6:00pm	7:30am - 5:00pm	9:00am - 5:00pm
Pool Supply (Bldg. B)	9:00am - 6:00pm	9:00am - 5:00pm	Closed
Vacant (Bldg. C)	Vacant	N/A	N/A
Maximum Hours of Operation	7:00am - 7:00pm	7:30am - 5:00pm	9:00am - 5:00pm

**PARKING NEEDS ANALYSIS SUMMARY**

**(FUTURE DEMAND FOR THE CHANGE IN USE)**

Land Use	Land Use Type	Gross Area s.f.	Needs Rate	Spaces Required
Indian Food Market (Bldg. A)	Retail General	4,000	5.0/1000	20
Bruster's Ice Cream (Bldg. C)	Restaurant Carryout	4,000	6.0/1000	24
Total New Parking Spaces				44

**(PERMITTED REDUCTION OF FUTURE DEMAND)**

	Weekday	Weekend	Night Time
Retail	20%	60%	80%
Restaurant Carryout	5%	80%	100%
Future Demand	5	31	36

**(FUTURE TOTAL DEMAND)**

	Weekday			Weekend		Night Time
	8 am-8 pm	8 am-3 pm	3 pm-5 pm	8 am-6 pm	6 pm-12 am	12am-6 am
Max Current Demand from Survey	6	30	18	16	17	5
Future Indian Food Market	4	12	12	18	20	1
Future Bruster's Ice Cream Shop	1	19	24	24	24	1
Total Future Demand	11	61	54	58	61	7

0 Parked Overnight Parts Store Delivery Vehicles

**GENERAL NOTES**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT (410) 313-1100 AT LEAST (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "HESS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TOPOGRAPHIC FEATURES ARE BASED ON A FIELD SURVEY PERFORMED BY FISHER, COLLINS AND CARTER, INC. DATED ON OR ABOUT FEBRUARY, 2023.
- PROPERTY IS SUBJECT TO A PARKING NEEDS ANALYSIS PREPARED BY HARS GROUP, DATED OCTOBER, 2023.

**(FUTURE SURPLUS PARKING)**

	Weekday			Weekend		Night Time
	8 am-8 pm	8 am-3 pm	3 pm-5 pm	8 am-6 pm	6 pm-12 am	12am-6 am
Max Current Demand from Survey	6	30	18	16	17	5
New Uses Future Demand	11	31	36	42	44	2
Total Future Demand	17	61	54	58	61	7
Surplus Spaces	49	5	12	8	5	59

0 Parked Overnight Parts Store Delivery Vehicles

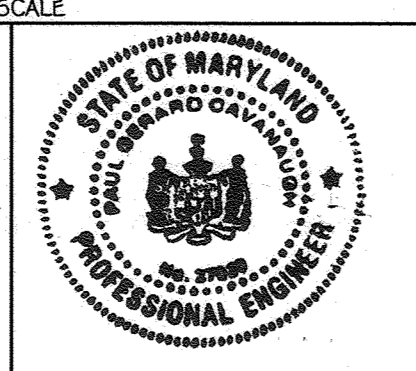
**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
 ELLSWORTH CITY, MARYLAND 21142  
 (410) 461-8955

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division *[Signature]* 11/1/23 Date

Chief, Division of Land Development *[Signature]* 11/2/23 Date

Director *[Signature]* 11/2/23 Date



**ENGINEER'S CERTIFICATE**

"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature of Engineer *[Signature]* 10/9/2023 Date

**DEVELOPER'S CERTIFICATE**

"I/we certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for (a) Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Signature of Developer *[Signature]* 10-11-23 Date

**Owner**

HILLSTONE PROPERTIES LLC  
 2997 LEVUE DRIVE  
 ODENTON, MD. 21113

NO. 10/23

REVISION DATE

1. "NEW SHEET" ADD PARKING NEEDS ANALYSIS 10/23

SUBDIVISION	SECTION/AREA	LOT Nos.
RAMSBURG PROPERTY		LOT 6

PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
P.B. 10/94	N/A	B-2	24	2nd.	601101

**CURRENT CONDITION SITE PLAN**

**RAMSBURG PROPERTY SUBDIVISION**

**LOT 6**

P.B. 10/94  
 Zoned: B-2  
 Tax Map No.: 24 Grid No.: 04 Parcel No.: 996  
 2nd. Election District Howard County, Maryland  
 Scale: As Shown  
 Date: October, 2023  
 Sheet 2 Of 2

U.S. ROUTE 40  
 BALTIMORE NATIONAL PIKE  
 (150' RIGHT-OF-WAY)