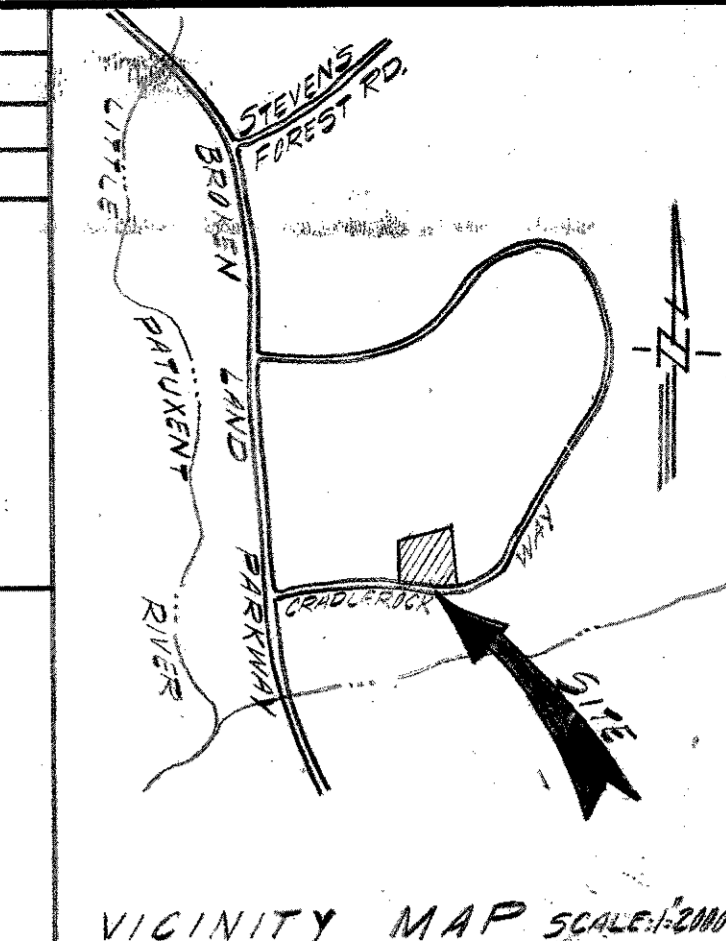


DATE	NO.	REVISION
10-31-11	6	ADD BUILDING ADDITION
11-14-17	7	PUMP & TANK PLAN



**LEGEND**

	EXISTING CONTOURS
	PROPOSED CONTOURS
	PROP. BITUMINOUS PAVING
	PROP. BITUMINOUS APRON
	PROP. CONCRETE PAVING
	PROP. CONCRETE CURB
	PROP. BITUMINOUS CURB
	PROP. 4" CONC. WALK

**Note**  
See Electrical Plans for light base boundaries.

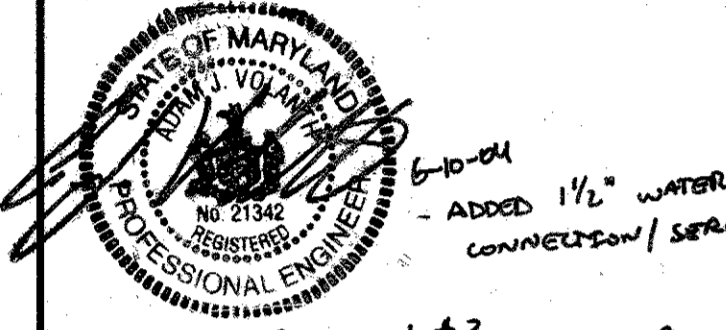
**REVISION 4/14/05**  
1) REVISED BLDG. ADDITION. REMOVED CAR WASH BLDG. AND RECONFIGURED EX. BLDG.  
2) SHOW GRASS AREA TO REMAIN. REMOVE FUTURE UTILITIES.  
3) REVISED SITE ANALYSIS AND PARKING CALCULATION.  
4) ALL SITE IMPROVEMENTS EXIST UNLESS NOTED.  
5) THIS PLAN REDUCES BUILDING COVERAGE ON SITE.

BY: WHITNEY, BAILEY, COX & MAGNANI, LLC  
849 FAIRMOUNT AVE. SUITE 100  
BALTIMORE, MD. 21086  
**SITE ANALYSIS**  
(410) 512-4500

**PARCEL A-1 SECT. 1 AREA 3 VILLAGE OF OWEN BROWN PLAT 3718**  
TAX MAP 30  
TOTAL LOT AREA = 1,440 AC.  
ZONING - NEW JONAH EMPLOYMENT CENTER - COMMERCIAL  
BUILDING COVERAGE - 20%  
GREEN SPACE - 5.75%  
PARKING - 20 SPACES PER 1,000 SF OF GROUND AREA

STEP OR SLOPE BOTTOM TO MEET PROPOSED GRADES

**WALL DETAIL**  
SCALE: 1" = 10"



**GENERAL NOTES**

- CONTRACTOR TO NOTIFY THE UTILITY COMPANIES AT LEAST THREE (3) DAYS BEFORE STARTING WORK SHOWN ON THESE PLANS.
- INSTALLATION OF TRAFFIC CONTROL DEVICES, MARKING, AND SIGNING SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES 1971 EDITION.
- ALL REINFORCED CONCRETE SHALL HAVE A MINIMUM 28 DAYS STRENGTH OF 3500 PSI.
- ALL DISTURBED SOLE AREA TO BE STABILIZED AS SOON AS GRADING IS COMPLETED.
- ANY DAMAGE TO PUBLIC RIGHT-OF-WAYS OR PAVING WILL BE CORRECTED AT THE DEVELOPER'S EXPENSE.

**Parking Required:**

- Gasoline Service Station with service bays = 3 Spaces
  - Three (3) spaces per service bay = 18 spaces
  - Two (2) spaces per 1,000 sq ft of Convenience Store floor area = 4.5 spaces ≈ 5 Spaces
- Total Required: TWENTY-SIX (26)

**Parking Provided:**

THIRTY (30) spaces including two (2) Handicap spaces

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT.  
6-5-78  
DATE

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING.  
6-7-78  
DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.  
6-6-78  
DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.  
6/1/78  
DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.  
6-1-78  
DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.  
6-1-78  
DATE

**BENCH MARK SCHEDULE**  
B.M. #1 X CUT ON CONCRETE CURB ELEV. = 320.05  
B.M. #2 X CUT ON CONCRETE CURB ELEV. = 321.08

- NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY ROAD CONSTRUCTION CODE AND STANDARD SPECIFICATIONS.
  - STORM WATER MANAGEMENT FOR THIS SITE IS CONTROLLED BY EXISTING LAKE ELKHORN.
  - PROPOSED BUILDING TO BE CONSTRUCTED IN PARCEL A-1. PROPOSED PRIVATE DRIVE TO BE CONSTRUCTED ON PARCEL B-2. PROPOSED TEMPORARY SEDIMENT TRAP TO BE CONSTRUCTED ON PARCEL C-1. SEE PROPERTY OUTLINE, SHEET 20F3.
  - EXISTING TREES SHOWN TO REMAIN.
  - FOR BITUMINOUS PAVING SECTIONS SEE SHEET 20F3.
  - ALL EXTERIOR LIGHTING TO BE DIRECTED INWARD.

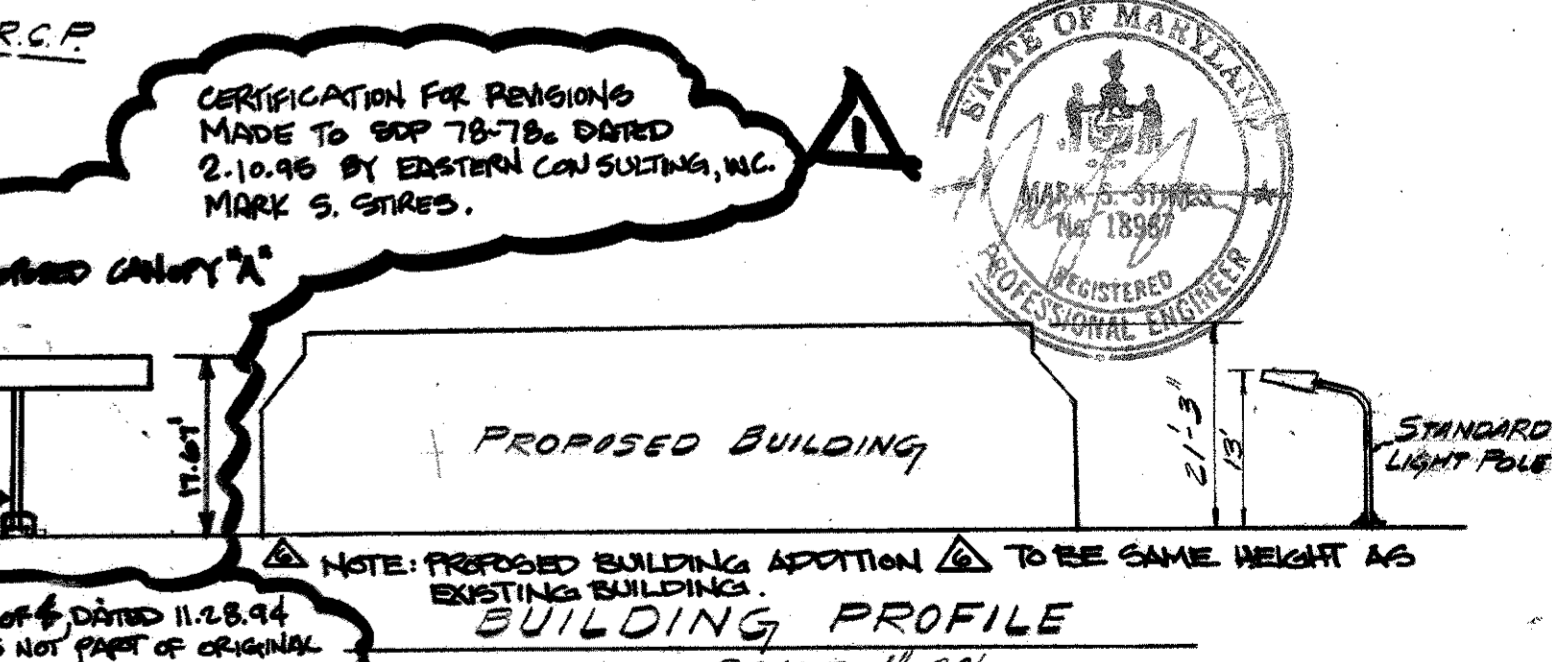
PLANNING BOARD APPROVAL IS NOT REQUIRED FOR THIS REDLINE REVISION BECAUSE NO ADDITIONAL TANKS OR PUMPS ARE PROPOSED.

OWNER: HOWARD RESEARCH AND DEVELOPMENT CORP.  
CONTRACT PURCHASER/DEVELOPER:  
MOBIL OIL CORPORATION  
NORTH AMERICAN DIVISION  
EASTERN REGION P.O. BOX 830  
VALLEY FARGE, PA. 19482

**SCOPE NOTES:**

- THE APPLICANT HEREBY SUBMITS PUMP AND TANK PLANS FOR THE SUBJECT SERVICE STATION CONSTRUCTION.
- REMOVE AND REINSTALL 6 NEW DISPENSERS (3 TO BUILDING DISPENSERS & 3 TO BLDG.) DOUBLE ADED DIESEL DISPENSER AND NEW ELECTRICAL CONDUITS ASSOCIATED W/HAZARDOUS ARE PROPOSED.
- REMOVE AND REINSTALL PRODUCT LINE.
- REMOVE AND REINSTALL NEW UNDERGROUND STORAGE TANKS (QTY) 15,000 GALLON TANK (QTY) 12,000 GALLON TANK (DIESEL)

**MACRIS - FOWLER ASSOCIATES**  
CIVIL - STRUCTURAL ENGINEERS; SURVEYORS; PLANNERS  
27 W. JEFFERSON ST. ROCKVILLE, MD. 20850  
(301) 340-8705 (301) 702-3858

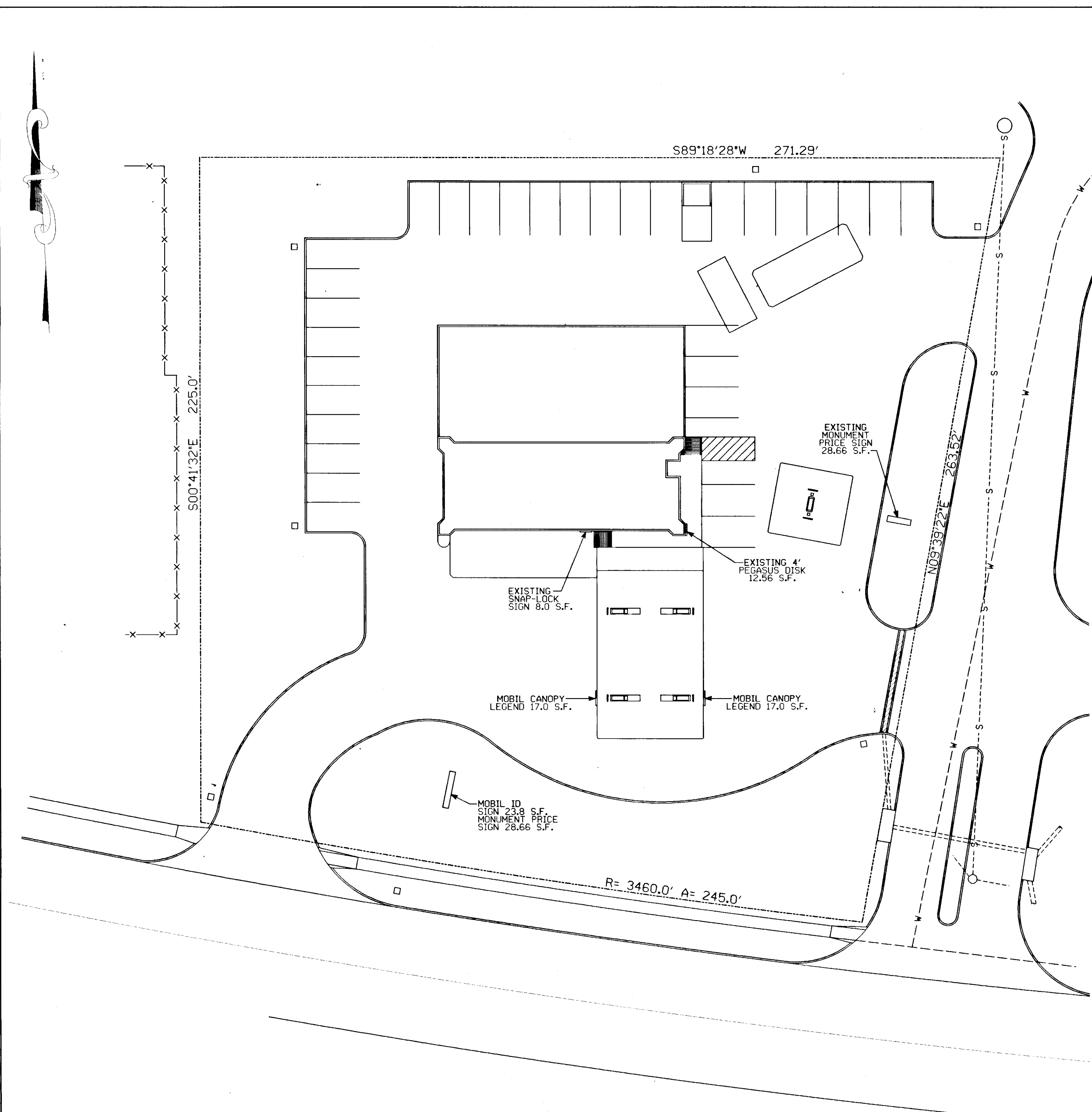


NO.	REVISIONS	DATE	BY	CHKD.	MF
1	REMOVE EX. CANOPIES AND REPLACE W/ NEW. REPLACE CONC. ISLAND LIGHTS.	2/28/81	MMG		

**APPROVED**  
PLANNING BOARD OF HOWARD COUNTY  
DATE: 4-26-78  
LWM

**Mobil Oil Corporation**  
NORTH AMERICAN DIVISION  
EASTERN REGION  
VALLEY FARGE, PA 19482  
SITE DEVELOPMENT PLAN  
VILLAGE OF OWEN BROWN  
SECTION 1 AREA 3 PARCEL A-1 PLAT 3718  
9TH ELECTION DISTRICT  
COLUMBIA, MARYLAND  
DRAWN: D.C.  
CHECKED: J.G.G.  
SCALE: 1" = 20"  
DATE: NOV. 77





SIGNAGE PLAN  
SCALE: 1" = 20'-0"

MOBIL OIL CORPORATION STANDARD "GS" SIGNAGE

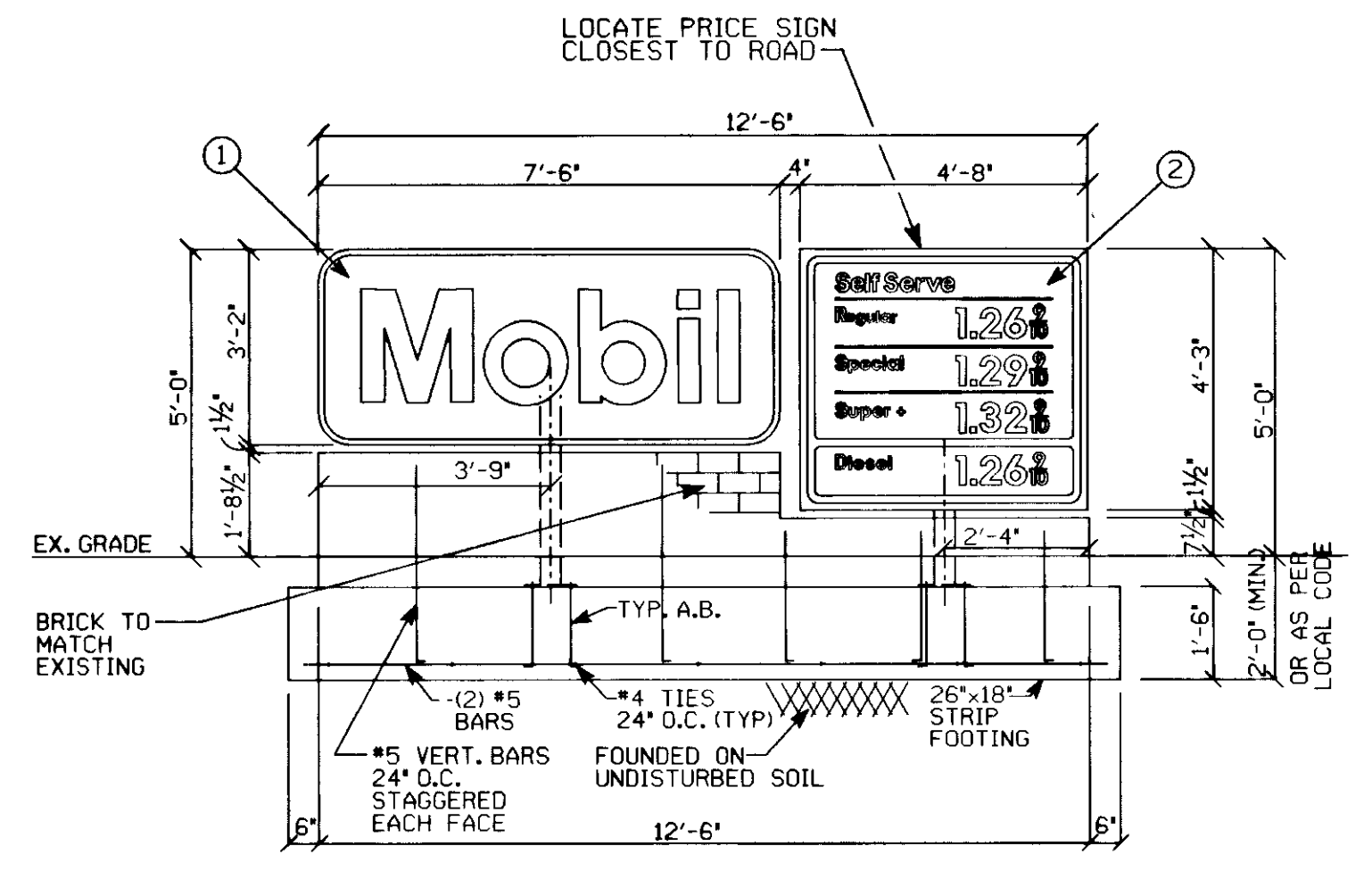
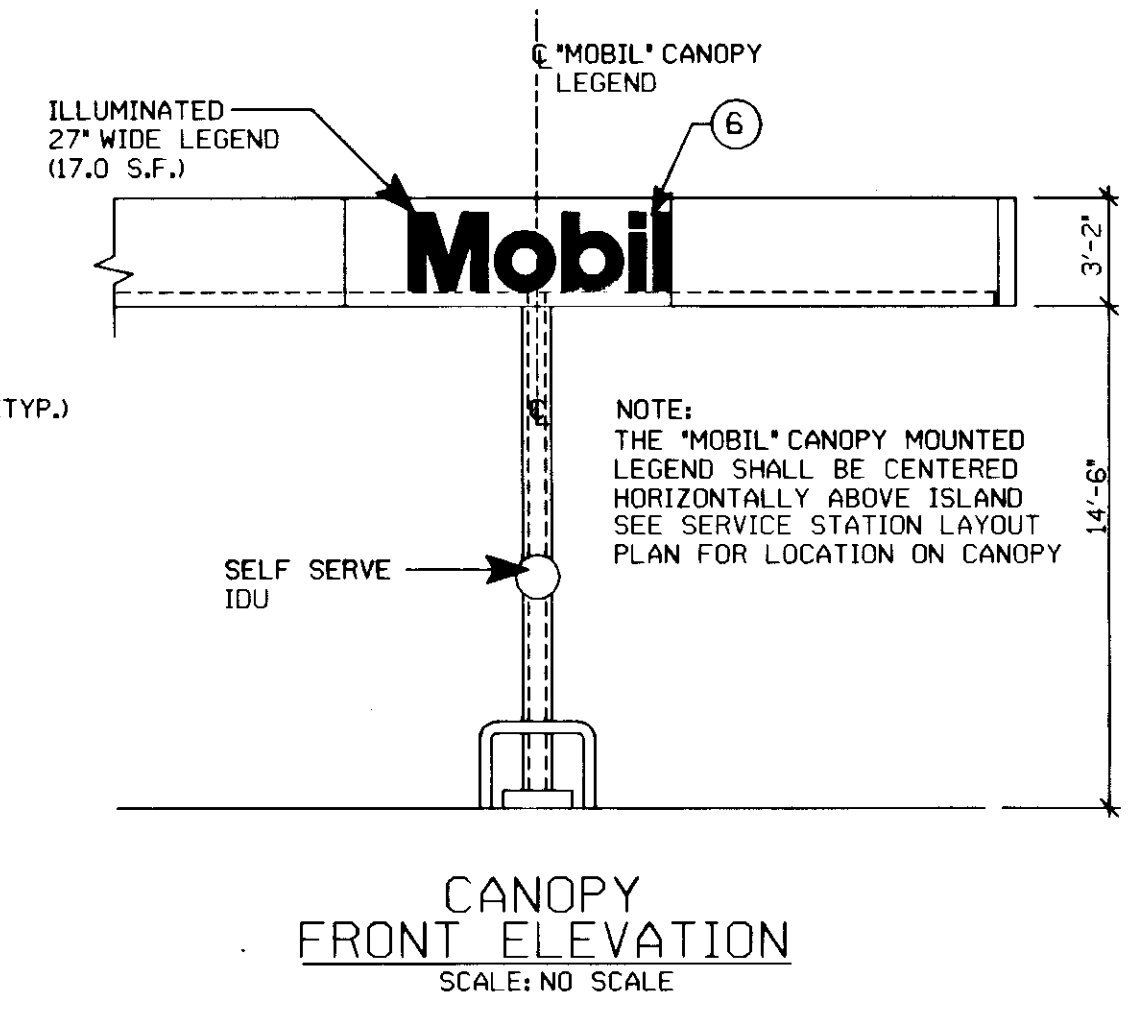
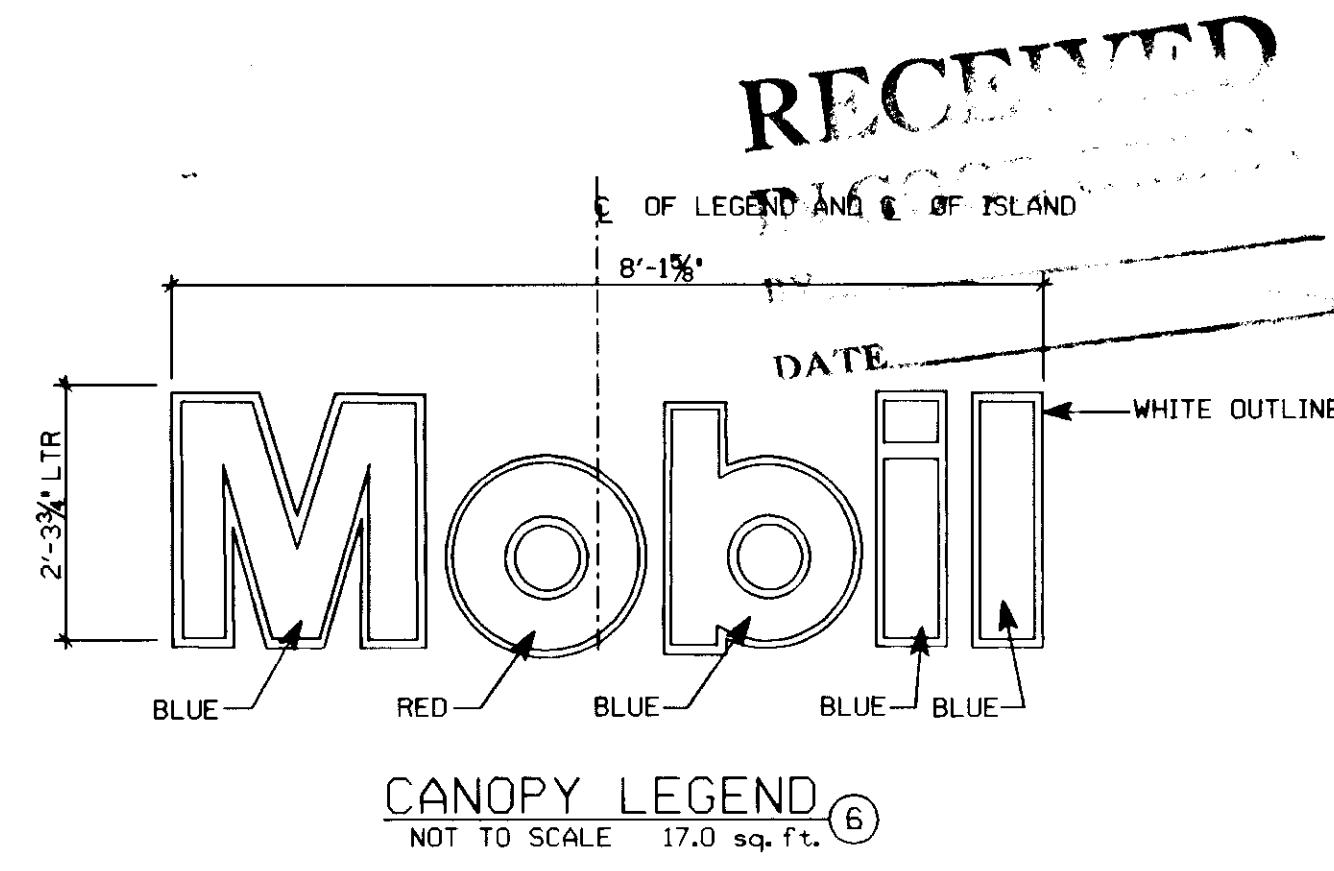
REF #	REFERENCE	LOCATION	AREA PER FACE (S.F.)	QTY.	TOT. AREA (S.F.)	COMMENTS
1	**FREESTANDING SIGNAGE**					
2	MOBIL MONUMENT ID SIGN	ALONG CRADLEROCK WAY	23.80	1 SIDE	23.80	ILLUMINATED
3	MOBIL MONUMENT PRICE SIGN	ALONG CRADLEROCK WAY	19.80	1 SIDE	19.80	ILLUMINATED
	EX. MOBIL MONUMENT ID SIGN	ALONG ACCESS ROAD	28.66	1 SIDE	28.66	ILLUMINATED
	** SUB-TOTAL **				52.46	
	** BUILDING MOUNTED SIGNAGE **					
4	FOR MOBIL GS BUILDING					
5	EX. 4' DIA. PEGASUS DISK	RIGHT SIDE OF BUILDING	12.56	1	12.56	ILLUMINATED
6	SNAP-LOCK SIGNS	FRONT OF BUILDING	8.0	2	16.0	NON-ILLUMINATED
	** SUB-TOTAL **				28.56	
	FOR CANOPY					
6	"MOBIL" CANOPY LEGEND	CANOPY FASCIA	17.0	2	34.0	ILLUMINATED
	** SUB-TOTAL **				34.0	
					GRAND TOTAL	115.02 < 201 S.F. (MAX. ALLOWED)

COMPUTATIONS/REQUIREMENTS PER "HOWARD COUNTY, MARYLAND - 'THE SIGN CODE' SUBTITLE 5" PRICE SIGN NOT COMPUTED INTO MAXIMUM ALLOWABLE SIGN AREA (SECT. 3.501.C.2.C)

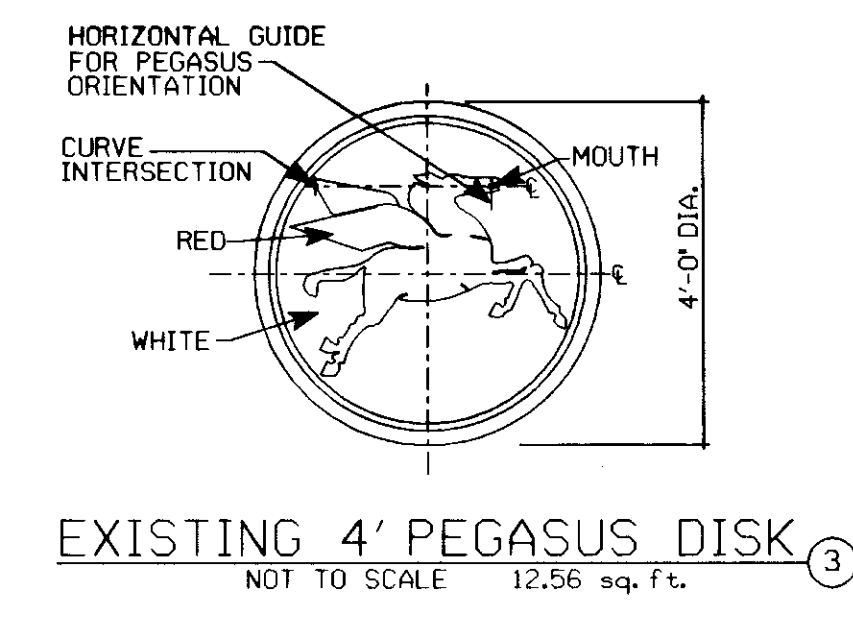
TOTAL SIGN AREA = 2 SQ. FT. / 1 LINEAL FOOT OF BUILDING FRONTAGE = 84' x 2 168 SQ. FT.  
1 SQ. FT. / 1 LINEAL FOOT OF BUILDING (SIDE) FRONTAGE = 33' x 1 33 SQ. FT.  
(SECT. 3.501.C.2.C) 201 SQ. FT. TOTAL SIGN AREA ALLOWED

FREESTANDING SIGN MAX AREA ALLOWED: 1 SQ. FT. FOR EACH 1 FT. THE SIGN IS SET BACK FROM THE ROAD RIGHT-OF-WAY. FRONT = 24' x 1' = 24 SQ. FT. MAX. ALLOWED 23.8 SQ. FT. PROPOSED SIGN AREA (INCLUDE IN TOTAL SIGN AREA ALLOWED)

THE MAXIMUM ALLOWABLE AREA FOR A FREESTANDING SIGN SHALL BE 1 SQUARE FOOT FOR EACH 1 FOOT THE SIGN IS SET BACK FROM THE ROAD RIGHT-OF-WAY.



MONUMENT SIGN  
SCALE: 3/8" = 1'-0"  
① 7'-6" ID SIGN = 23.8 S.F./SIDE  
② TYPE "B" PRICE SIGN = 19.8 S.F./SIDE



EXISTING 4' PEGASUS DISK  
NOT TO SCALE 12.56 sq. ft.



SUPPLEMENTAL DRAWING TO SDP 78-78C  
AMENDED 01/95 MARK S. STIRES

MARK S. STIRES P.E.	EASTERN CONSULTING INC.
15 Douglas Court	Sterling, Va. 20166
PHONE: 703-984-8358 FAX: 703-984-8358	
PROFESSIONAL ENGINEER MARYLAND LICENSE No. 18987	CIVIL & CONSULTING ENGINEERS ENVIRONMENTAL & SITE PLAN
PROJECT MANAGERS PERMIT EXPEDITORS	
MOBIL SERVICE STATION 7248 CRADLEROCK WAY COLUMBIA, MARYLAND	Proj. No. S530228 SS 16-J-90

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DATE: 11/28/94

REVISIONS:

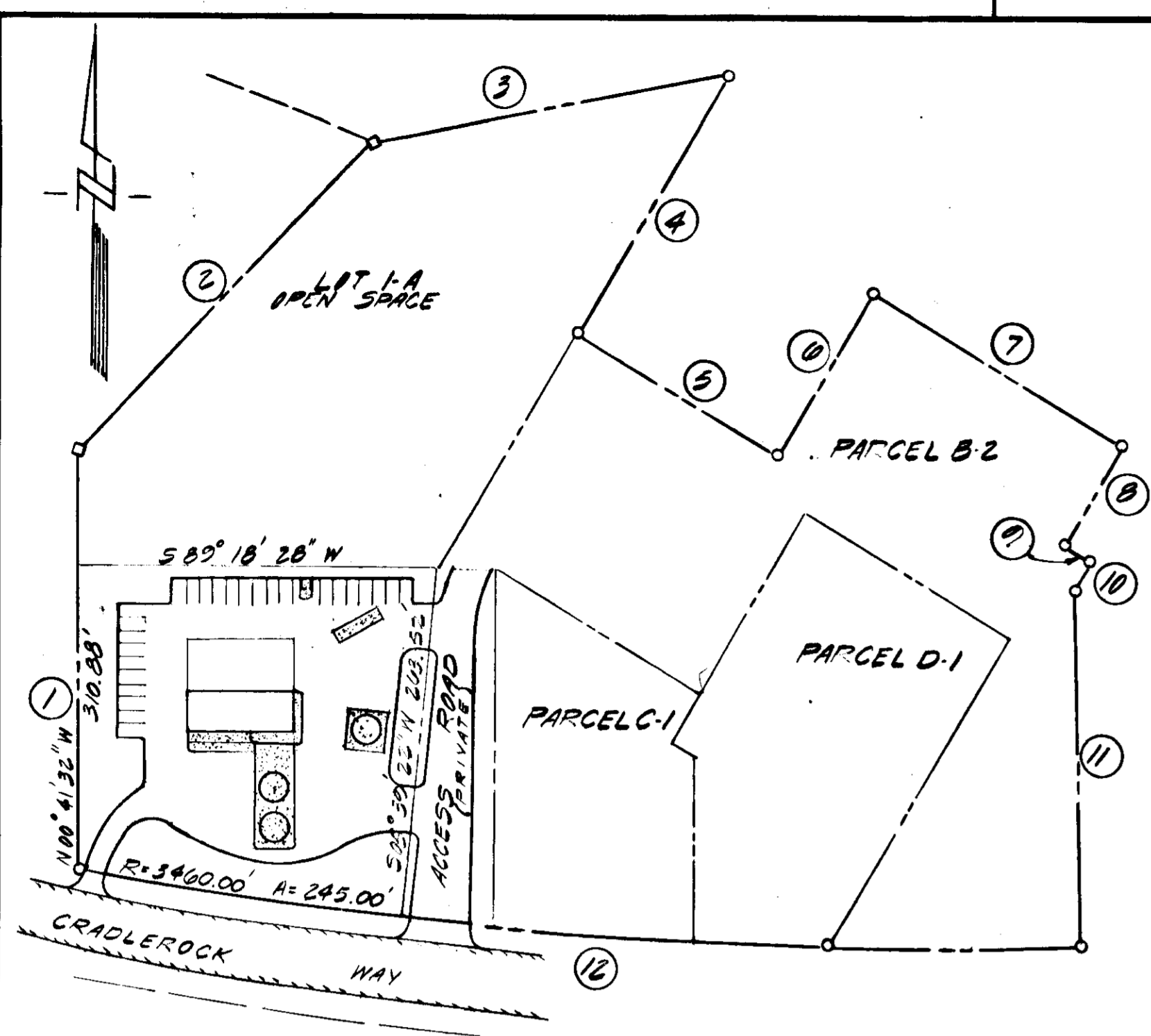
DRAWN: KFF  
CHECKED: BJ  
SCALE: AS NOTED  
DATE: 11/28/94

PROPOSED SIGNAGE PLAN & ELEVATIONS

Mobil Oil Corporation  
U.S. Marketing & Refining Division  
Marketing Operations Engineering Department  
Fairfax, Virginia 22037

DRAWING NUMBER: S530228SS  
SHEET NUMBER: 1A of 4

DESIGN FILE NAME: S930228SG.DGN



**PROPERTY BOUNDARY OUTLINE**

1	N 00° 41' 32" W	310.88	7	N 50° 20' 23" W	220.90
2	N 43° 34' 11" E	318.52	8	S 30° 30' 37" W	85.00
3	N 79° 04' 10" E	272.88	9	S 50° 20' 23" E	20.00
4	S 30° 30' 37" W	223.20	10	S 30° 30' 37" W	23.85
5	N 59° 25' 23" W	175.00	11	S 02° 50' 05" E	200.15
6	S 30° 30' 37" W	140.00	12	R=3460.00	A=701.87

**PROPERTY OUTLINE**  
SCALE: 1"=100'

**STRUCTURE SCHEDULE**

NO	TYPE	ELEVATION	REMARKS	INV IN	INV OUT
I-1	A-18 W=2'-0"	322.24	HOWARD CO. STD. DWG. 0-4-A PG. 119-A	316.14	315.64
I-2	A-18 W=2'-0"	322.24	HOWARD CO. STD. DWG. 0-4-A PG. 119-A	319.90	318.60
I-3	SPECIAL STRUCTURE	324.00	SEE DETAIL THIS SHEET	323.33	321.67

**PIPE SCHEDULE**

SIZE	TYPE	LENGTH
12"	R.C.P. CL-II	27'
15"	R.C.P. CL-II	45'
18"	R.C.P. CL-II	33'

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT.

*John Bracken* COUNTY HEALTH OFFICER 6-5-78 DATE

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING

*James D. Harris Jr.* PLANNING DIRECTOR 6-7-78 DATE

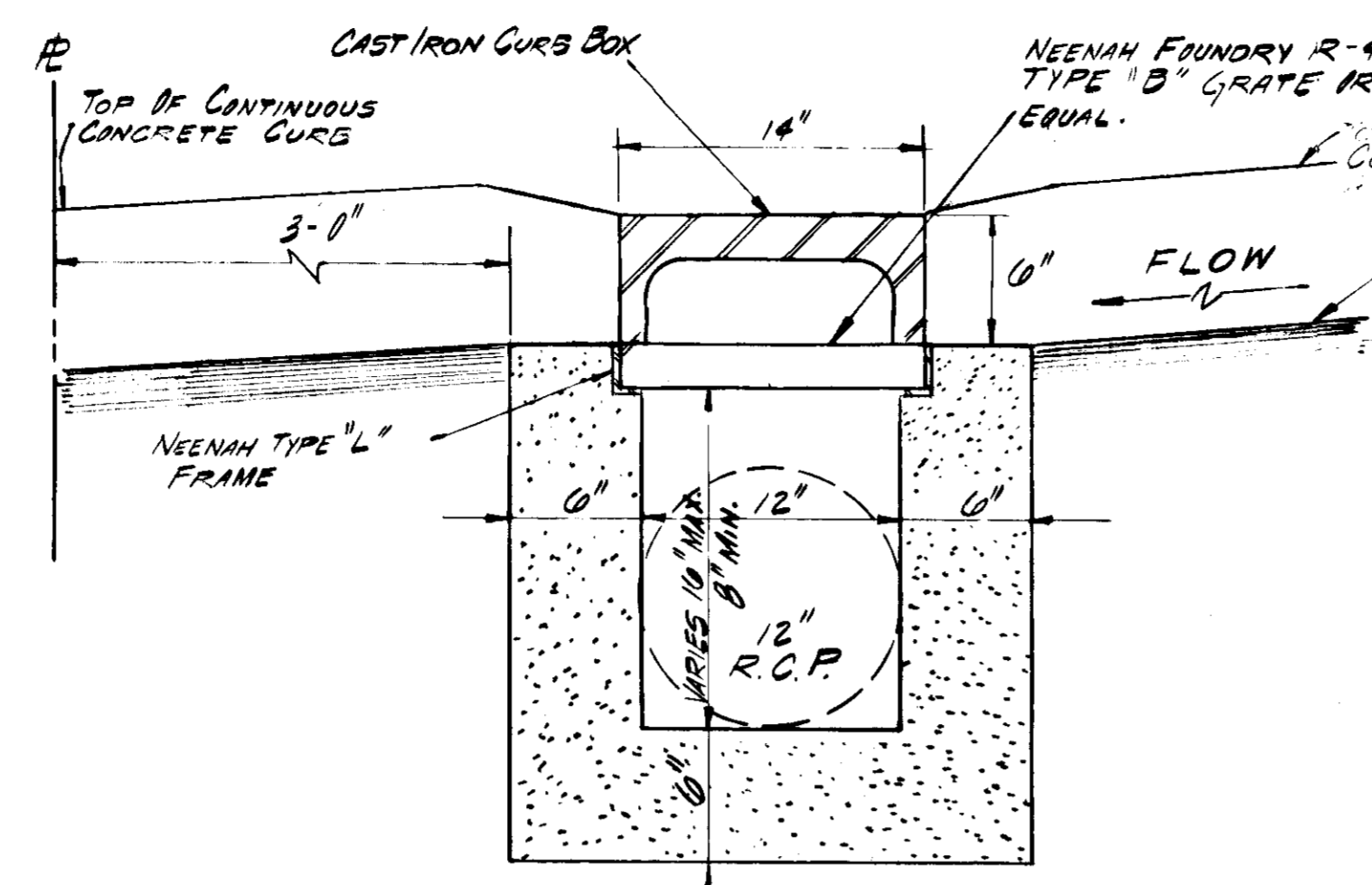
*Paul W. Muehlen* CHIEF DIVISION OF LAND DEVELOPMENT 6-6-78 DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

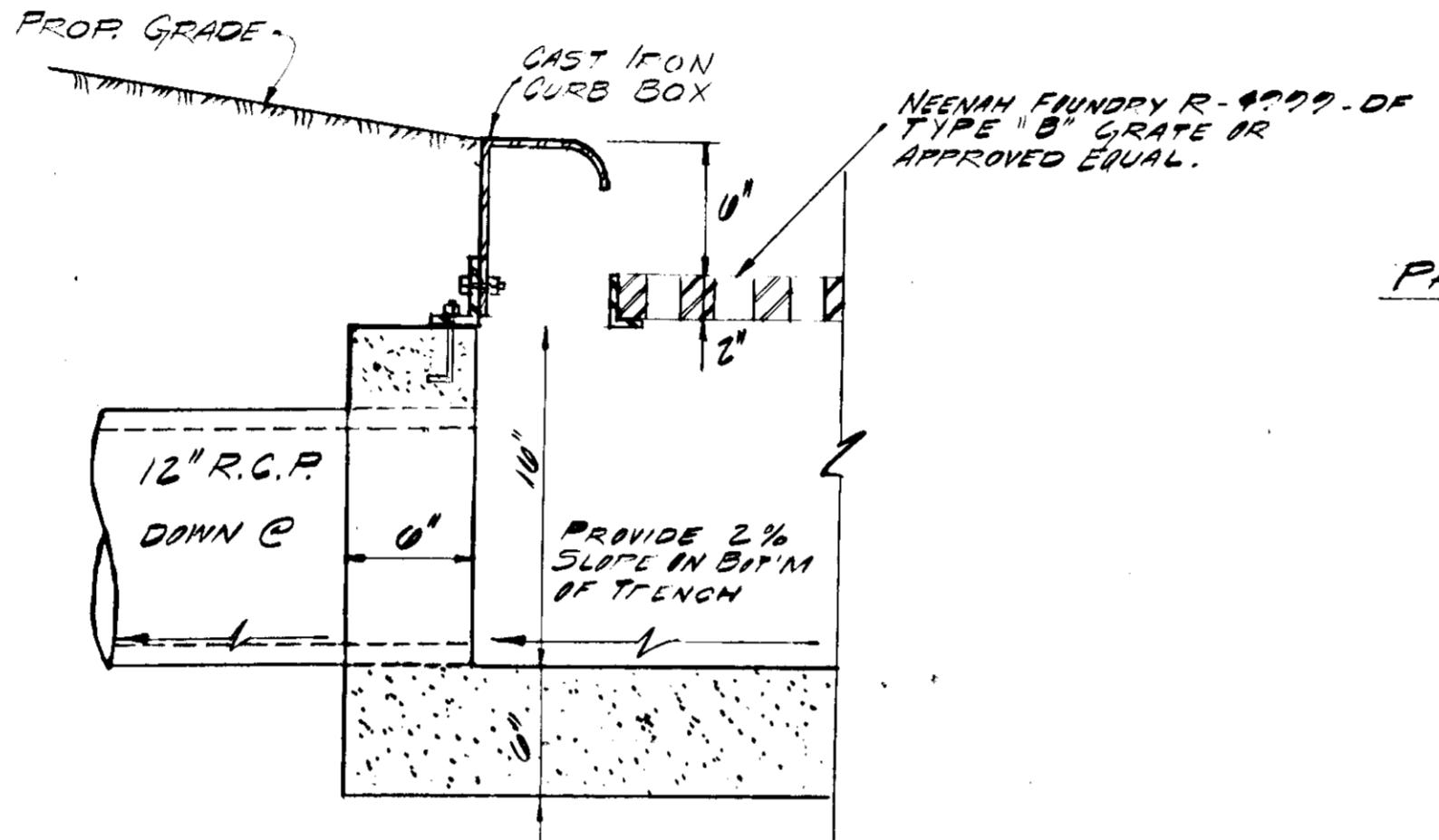
*Richard E. Freudenberger* DIRECTOR 6/1/78 DATE

*W.O. Lathrop* CHIEF BUREAU OF ENGINEERING 6-1-78 DATE

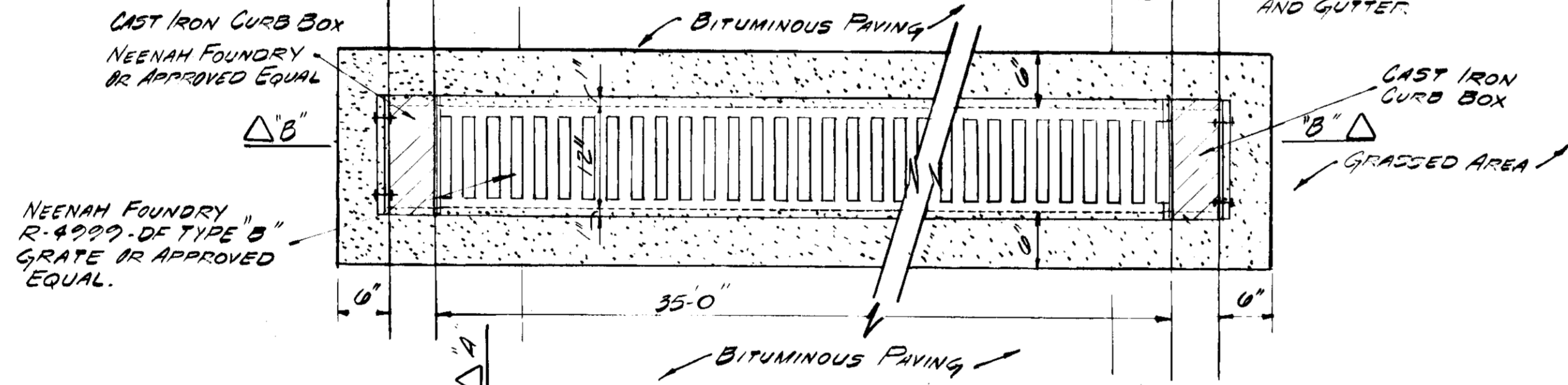
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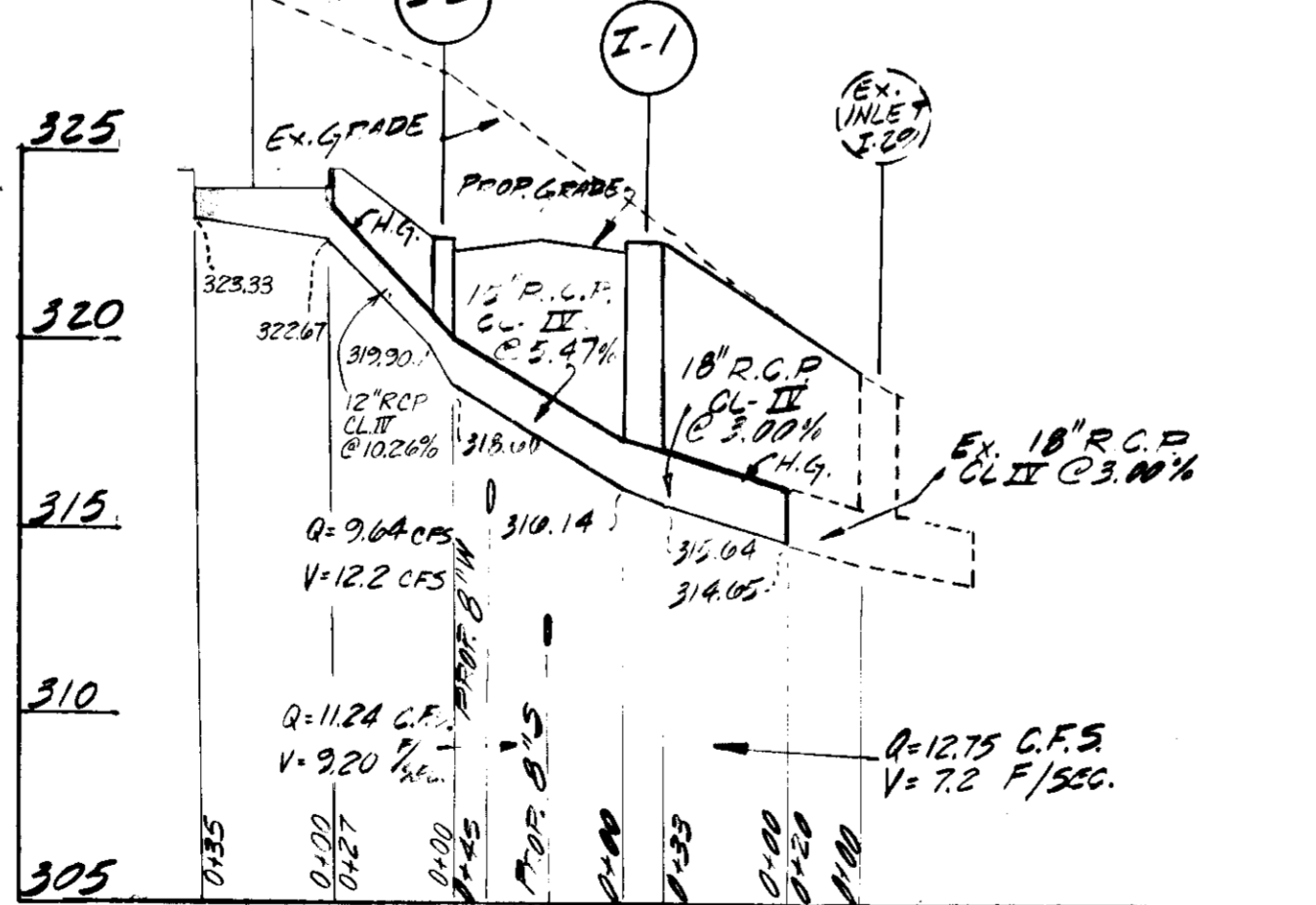
**SECTION A-A**  
SCALE: 1/2"=1'-0"



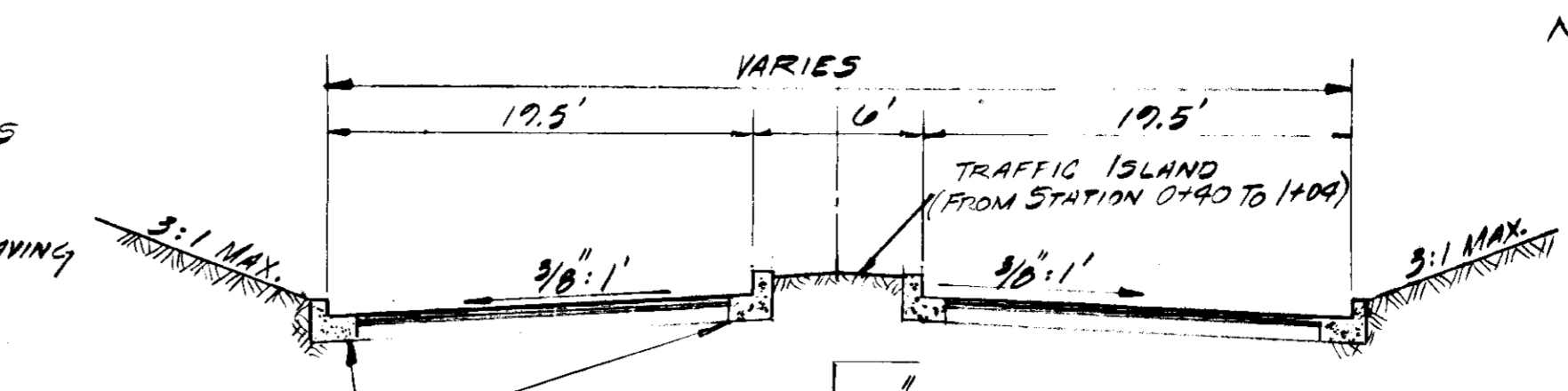
**SECTION B-B**  
SCALE: 1/2"=1'-0"



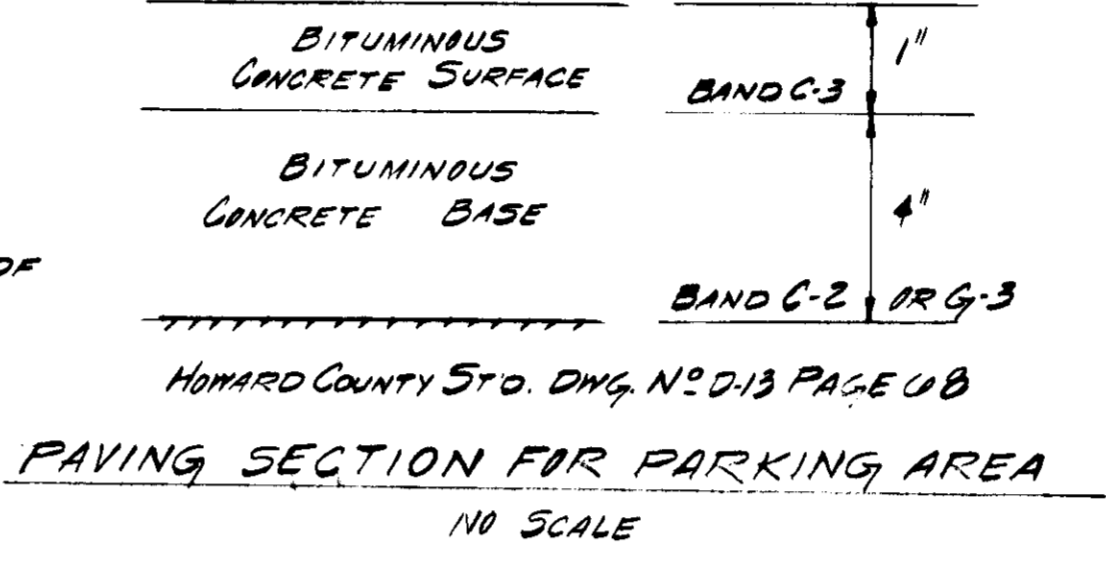
**PLAN VIEW STRUCTURE I-3**  
SCALE: 1"=1'-0"



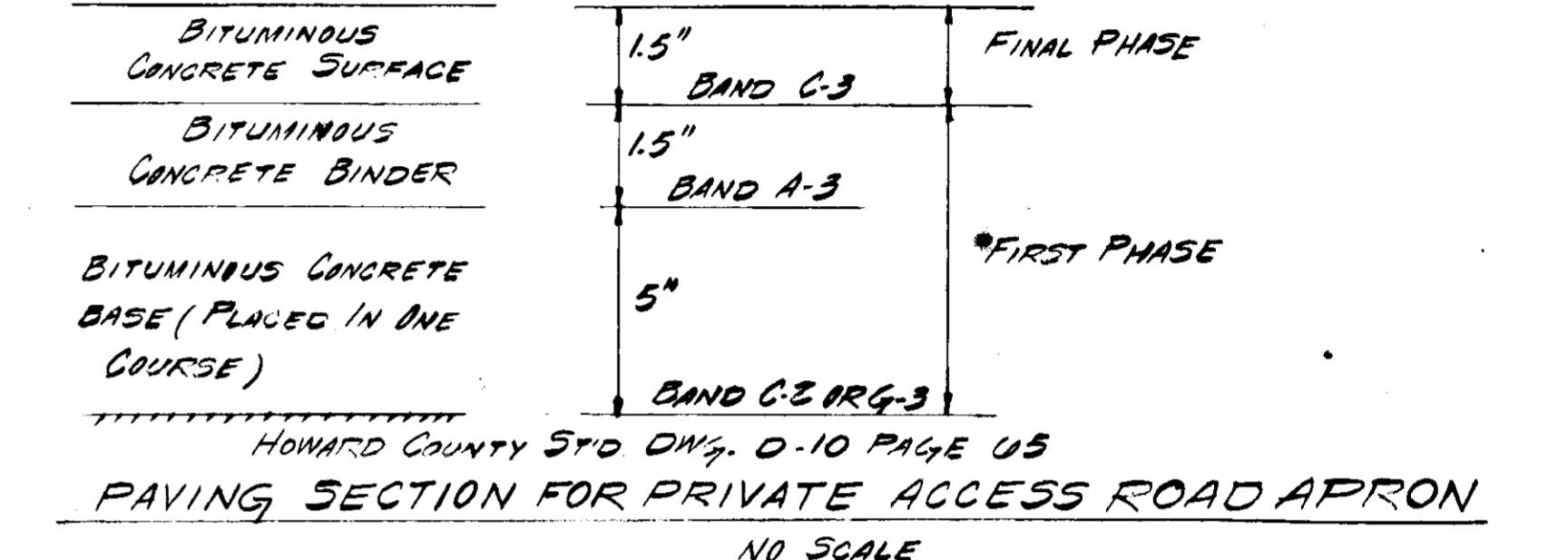
**STORM DRAIN PROFILE**  
SCALE: 1"=5'-0" VERT.  
1"=50' HORIZ.



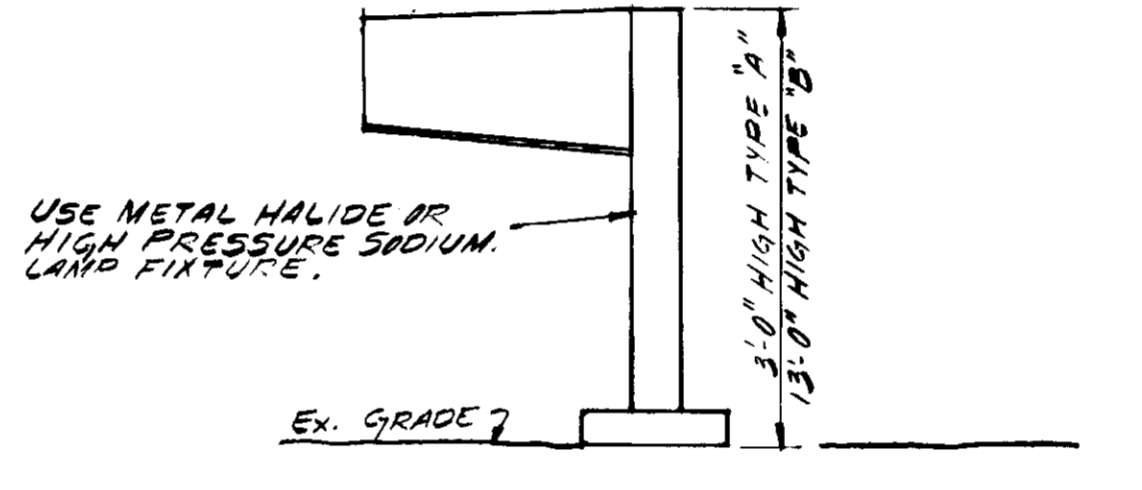
**TYPICAL SECTION PRIVATE ACCESS ROAD**  
NO SCALE



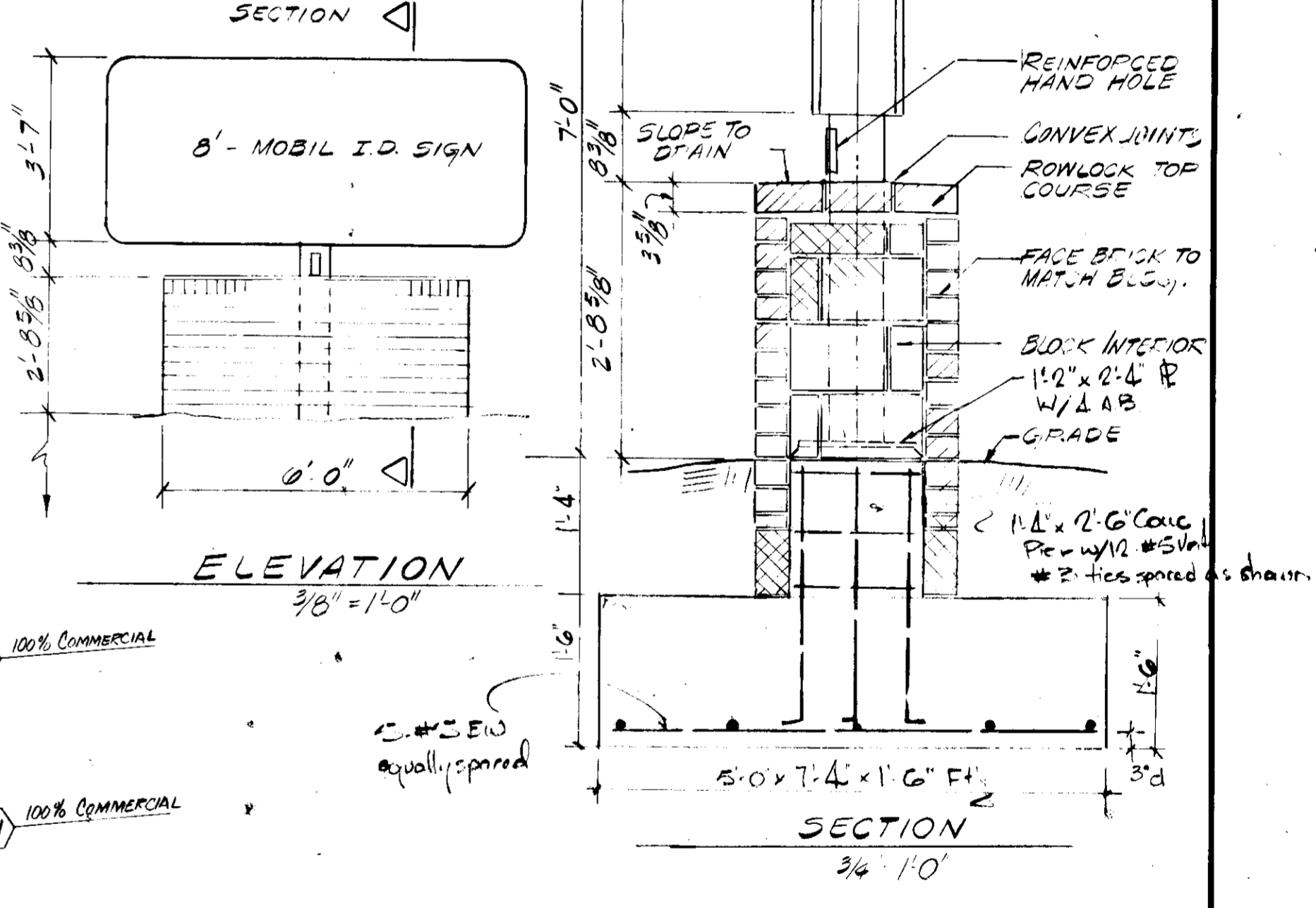
**PAVING SECTION FOR PARKING AREA**  
NO SCALE



**PAVING SECTION FOR PRIVATE ACCESS ROAD APRON**  
NO SCALE

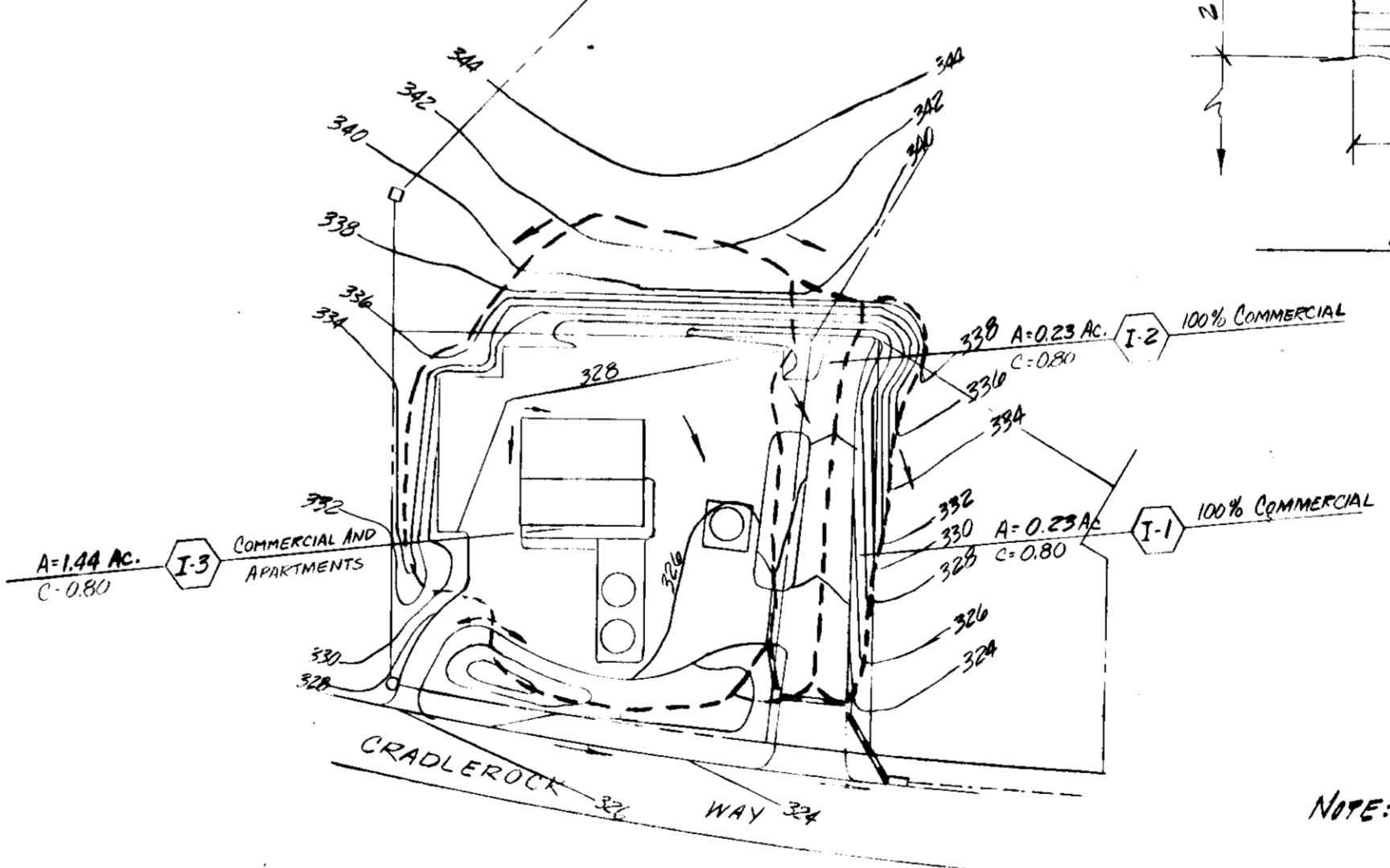


**TYPICAL LIGHTING DETAIL**  
NO SCALE



**ELEVATION**  
3/8"=1'-0"

**SECTION**  
3/8"=1'-0"



**DRAINAGE AREA MAP**  
SCALE: 1"=100'

**MAGRIS - FOWLER ASSOCIATES**  
CIVIL-STRUCTURAL ENGINEERS SURVEYORS, PLANNERS  
27 W. JEFFERSON ST. ROCKVILLE MD. 20850  
(301) 344-8705 (301) 702-3858



NOTE: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY ROAD CONSTRUCTION CODE AND STANDARD SPECIFICATIONS.

NO.	REVISIONS	DATE	BY	CHK.	MF

**APPROVED**  
PLANNING BOARD OF HOWARD COUNTY  
DATE 4-26-78

**Mobil Oil Corporation**  
NORTH AMERICAN DIVISION  
EASTERN REGION  
VALLEY FORGE, PA 19482

SITE DEVELOPMENT PLAN  
VILLAGE OF OWEN BROWN  
SECTION-1 APPLICANT'S PART 1717378  
4TH ELECTION DISTRICT  
COLUMBIA, MARYLAND

DRAWN	D.G.	DRAWING NUMBER	REV.
CHECKED	L.C.G.	SHEET NUMBER	
SCALE	AS NOTED		
DATE	NOV. 77		

2 of 4



**SOIL EROSION AND SEDIMENT CONTROL NOTES**

- 1) ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED PRIOR TO ANY GRADING OF THE SITE.
- 2) ALL SEDIMENT CONTROL MEASURES ARE TO REMAIN IN PLACE UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE BUREAU OF INSPECTIONS AND PERMITS, PHONE 792-2435.
- 3) NOTIFY THE HOWARD SOIL CONSERVATION DISTRICT AT LEAST 24 HOURS BEFORE STARTING ANY WORK, PHONE 465-3180.
- 4) CONTINUED INSPECTION AND MAINTENANCE WILL BE THE RESPONSIBILITY OF THE DEVELOPER.
- 5) ALL SEDIMENT CONTROL MEASURES SHALL CONFORM TO THE STD'S AND SPECS IN "URBANIZING AREAS" AND AS SHOWN AND DETAILED ON THIS PLAN.
- 6) SEED OR SOIL ALL EXPOSED SOIL IN GRASS AREAS WITHIN 72 HRS. OF GRADING TO FINISHED GRADE IN ACCORDANCE WITH H.S.C.D. STANDARDS AND SPECIFICATIONS AND THESE NOTES. LAY BASE COURSE IN PAVED AREAS OR PROTECT WITH BITUMINOUS MULCH OR OTHER METHODS APPROVED BY THE ENGINEER WITHIN 72 HOURS OF FINE GRADING.
- 7) TEMPORARY SEEDING  
 GROUND LIMESTONE - 3500 LBS./AC. WORK INTO TOP 3" OF SOIL  
 FERTILIZER - 1300 LBS./AC. 10-10-10  
 MULCH - 3000 LBS./AC. STRAW (WHEAT PREFERRED)  
 SEED - 40 LBS./AC. RYE GRASS  
 BINDER - ASPHALT SPRAY OF MULCH @ RATE OF 1 GAL. PER 1000 SQ. FT.  
 ALTERNATE - HYDROSEED FERTILIZER, SEED AND MULCH
- 8) PERMANENT SEEDING  
 GROUND LIMESTONE - 2000 LBS./AC. WORK INTO TOP 3" OF SOIL  
 FERTILIZER - 1300 LBS./AC. 10-10-10  
 SEED - 90% KENTUCKY 31 TALL FESCUE  
 8% RYE GRASS  
 2% MEXION BLUEGRASS  
 SEEDING RATE - 150 LBS./AC.  
 BINDER - HYDROSEED FERTILIZER, SEED. USE STRAW MULCH WITH ASPHALT BINDER
- 9) FOR ALL SLOPES STEEPER THAN 3:1 USE CROWN VETCH @ 15 LBS./AC. AND KENTUCKY 31 @ 40 LBS./AC.

**SODDING NOTES**

- 1) APPLY 10-10-10 FERTILIZER @ 1000 LBS./AC. (25 LBS./1000 SQ. FT.)
- 2) APPLY GROUND AGRICULTURAL LIMESTONE @ 2000 LBS./AC. 50 LBS./1000 SQ. FT.
- 3) INCORPORATE BOTH LIME AND FERTILIZER INTO SOIL BY DISKING. FIRM UP AFTER INCORPORATION.
- 4) LAY SOOD TO A TIGHT FIT ROLL TO ENSURE CONTACT WITH UNDERLYING SOIL. WATER AS NECESSARY FOR FIRST TWO WEEKS (IN SUMMER) TO ENSURE ESTABLISHMENT.

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS  
 C. Wayne Ray 5-23-78  
 U.S. SOIL CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

APPROVED FOR EROSION CONTROL  
 SIGNATURE DATE  
 HOWARD SOIL CONSERVATION DISTRICT

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
 SIGNATURE DATE  
 PLANNING DIRECTOR

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS AND PUBLIC WORKS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS AND PUBLIC WORKS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

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APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS AND PUBLIC WORKS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

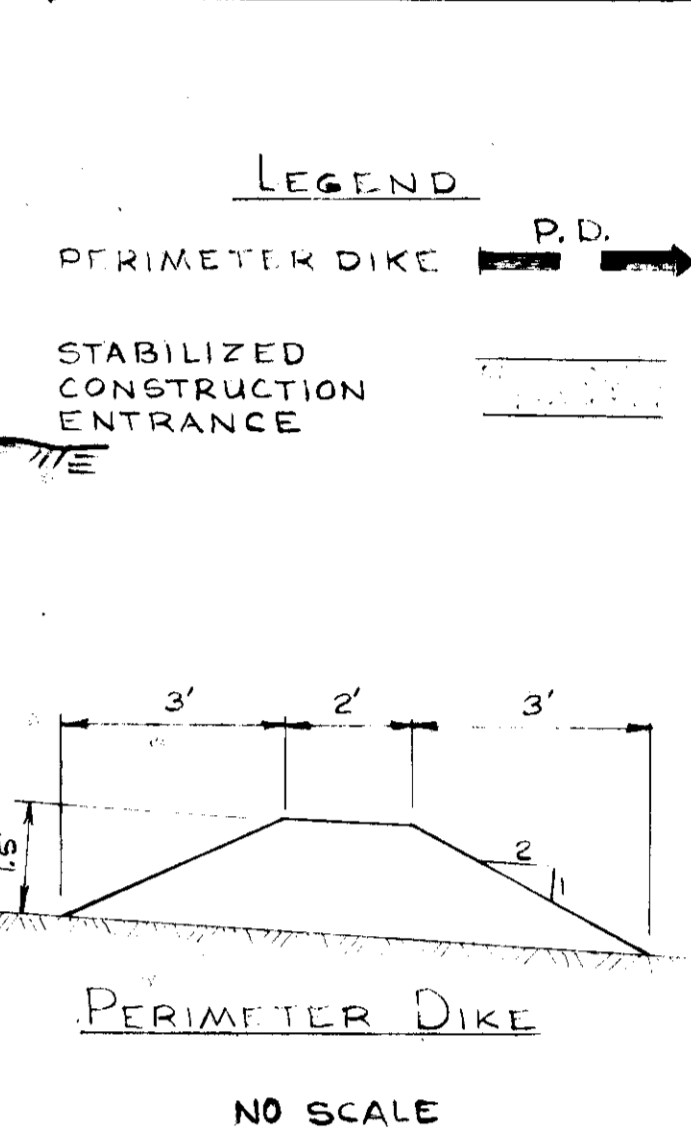
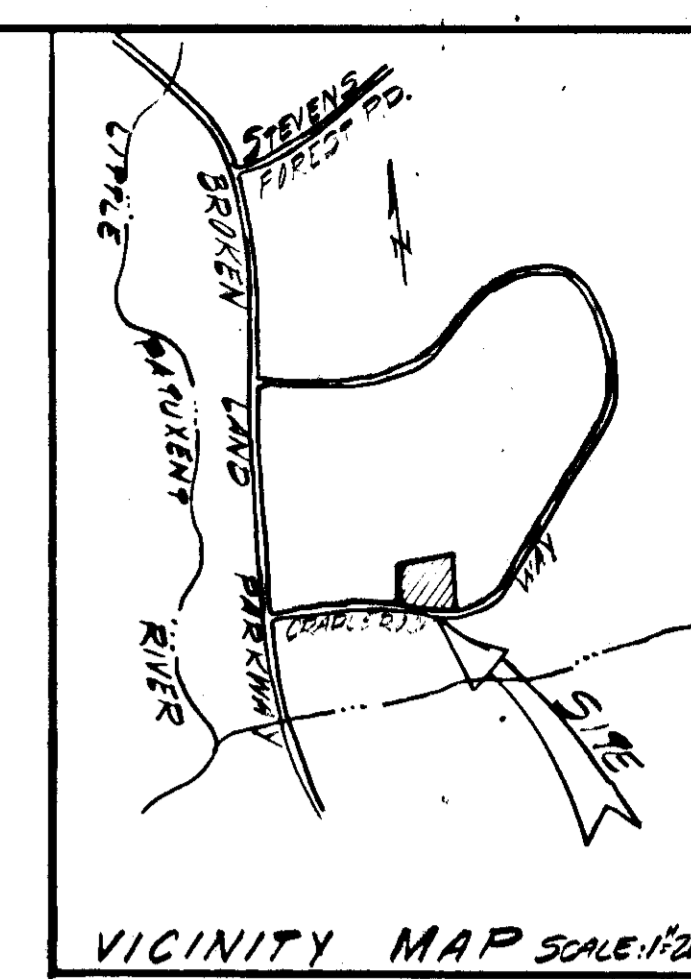
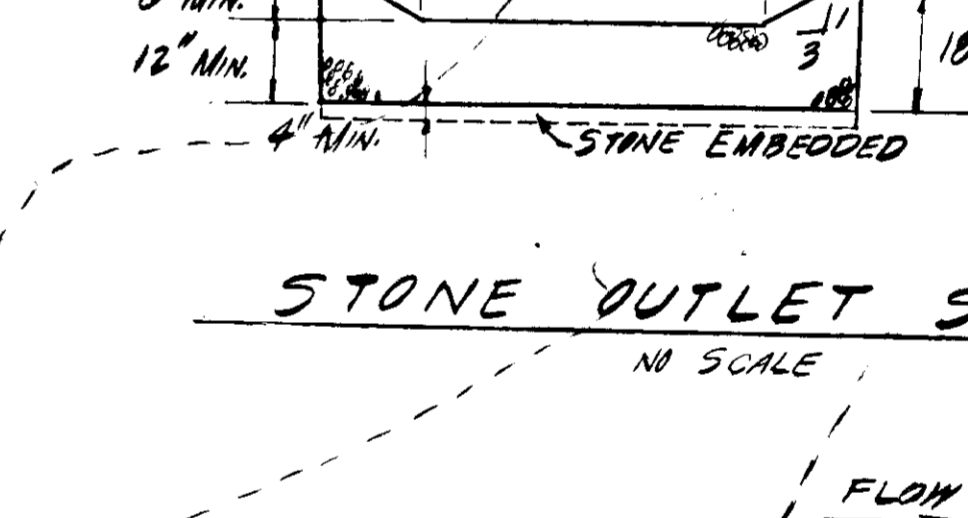
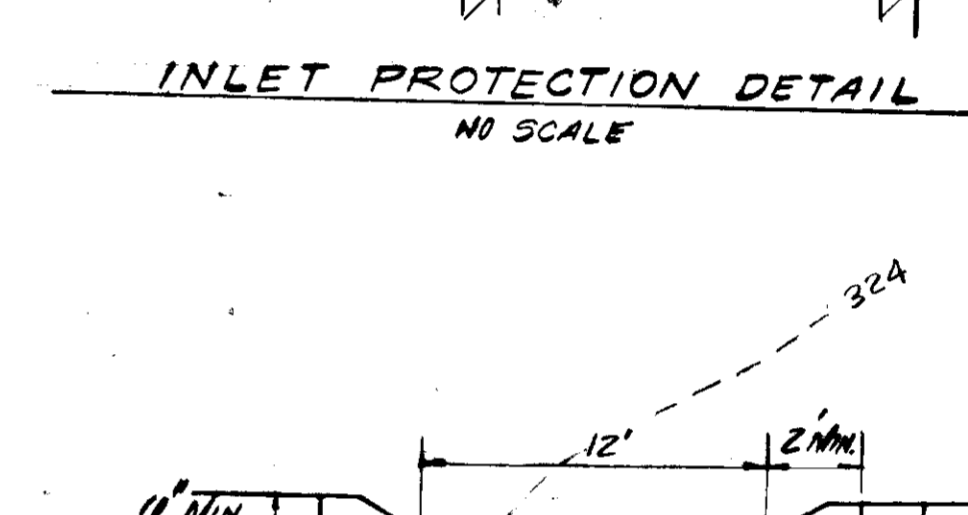
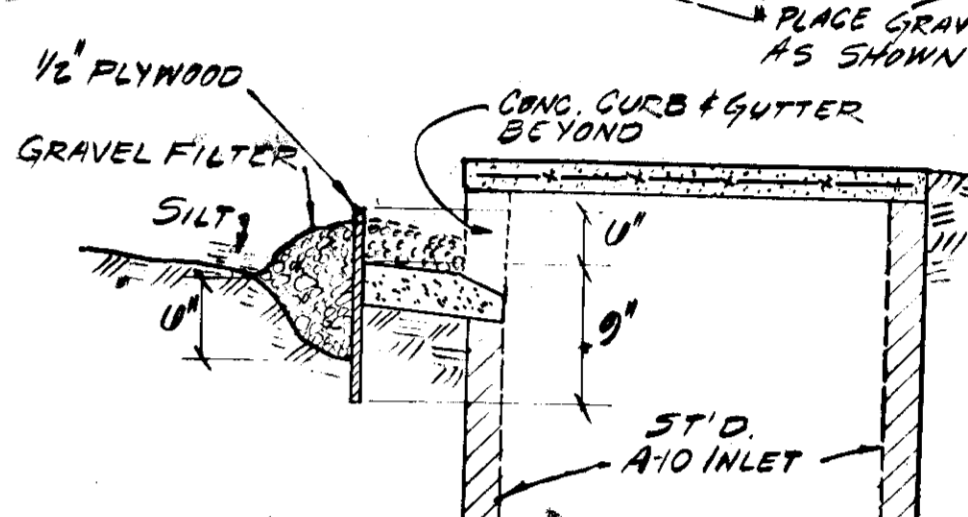
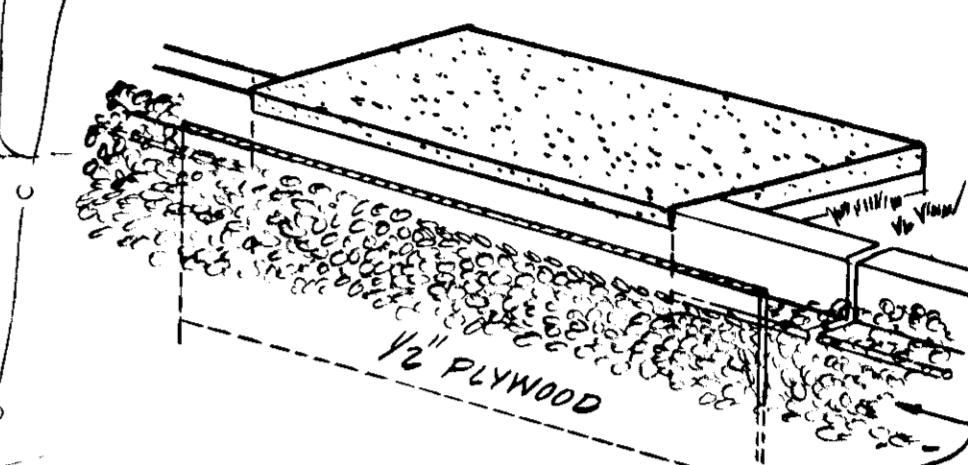
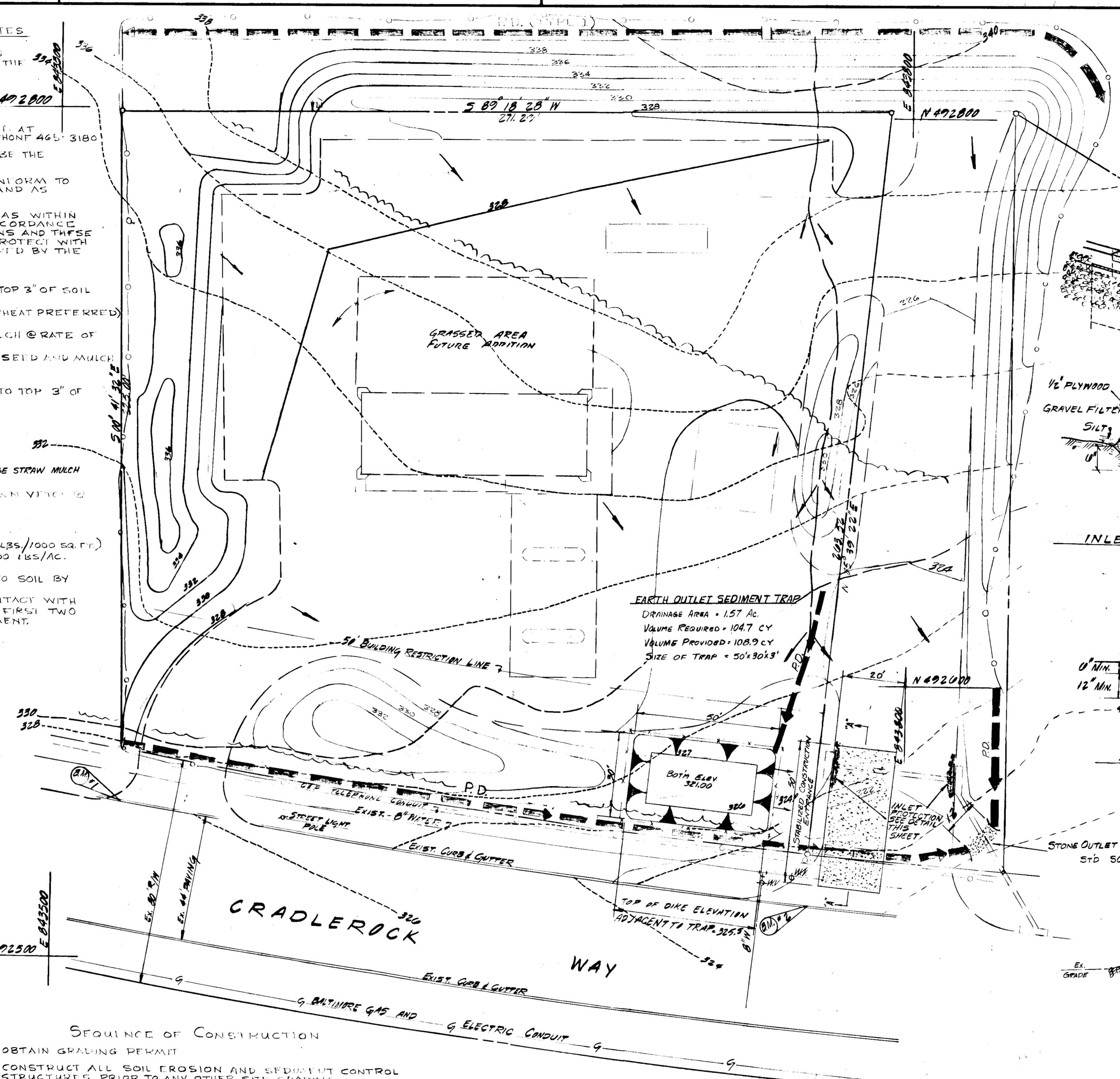
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS AND PUBLIC WORKS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

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APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS AND PUBLIC WORKS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

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APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS AND PUBLIC WORKS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS



**SEQUENCE OF CONSTRUCTION**

- 1) OBTAIN GRADING PERMIT
- 2) CONSTRUCT ALL SOIL EROSION AND SEDIMENT CONTROL STRUCTURES PRIOR TO ANY OTHER SITE GRADING.
- 3) PROCEED WITH SITE GRADING AND BUILDING CONSTRUCTION
- 4) AS VARIOUS AREAS ARE BROUGHT TO FINAL GRADE, PLACE TOP SOIL, SEED, SOIL GRASS, AND MULCH. ALL IN CONFORMANCE WITH THESE PLANS AND THE CONSTRUCTION AND SEDIMENT CONTROL NOTES.
- 5) UPON COMPLETION OF FINE GRADING AND STABILIZATION OF SITE, ALL SEDIMENT CONTROL STRUCTURES SHALL BE MOVED.
- 6) AT THE END OF THE LIFE OF ANY UNDESIGNED STORM DRAIN SHALL BE BLOCKED WITH PLYWOOD OR OTHER APPROVED MATERIAL.

**ENGINEER'S CERTIFICATION**

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE OF ENGINEER DATE 1-31-78

**DEVELOPER'S CERTIFICATION**

I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THIS PLAN AND DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND ALSO AUTHORITY PERTAINING TO SITE INSPECTION BY HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. ANY DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE OF DEVELOPER DATE 02/04/78



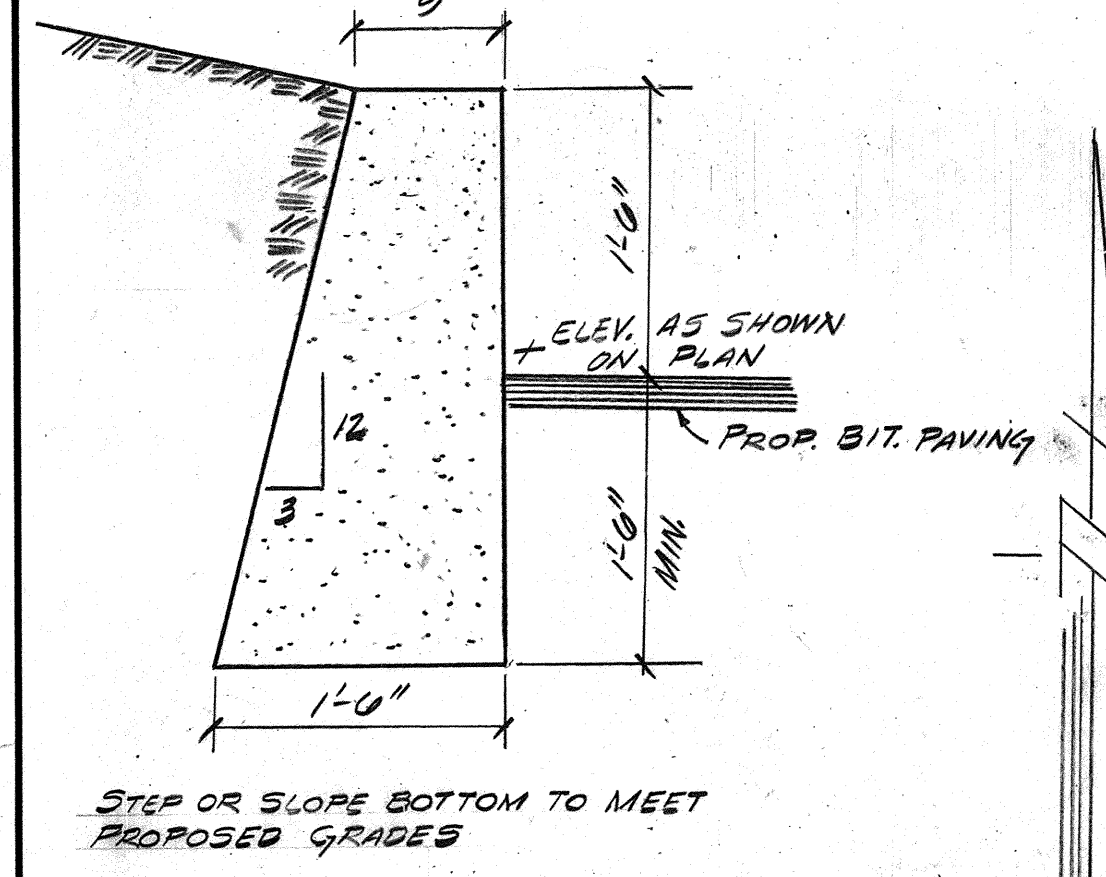
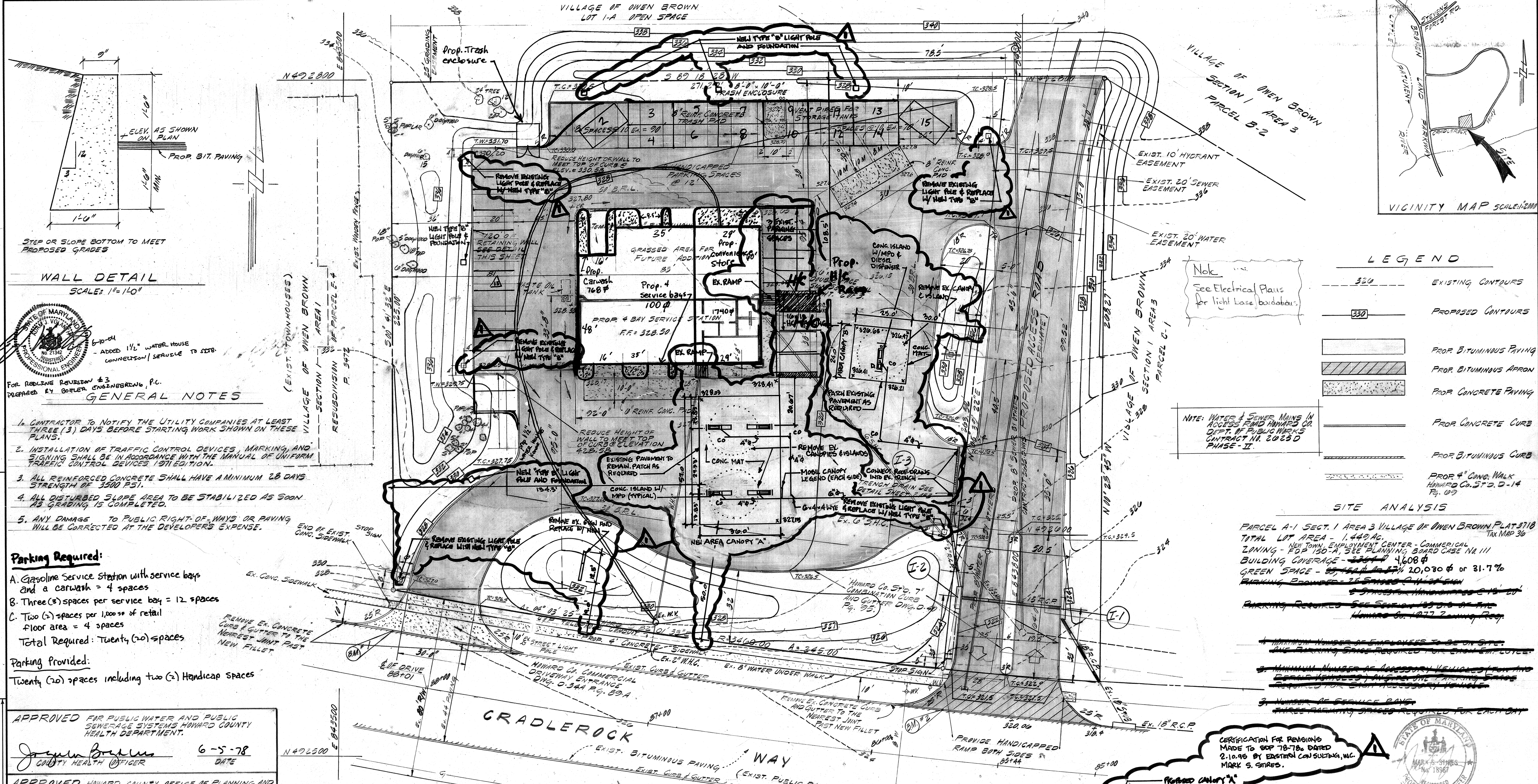
**MACRIS - FOWLER ASSOCIATES**  
 CIVIL-STRUCTURAL ENGINEERS; SURVEYORS; PLANNERS  
 27 W. JEFFERSON ST. ROCKVILLE, MD 20850  
 (301) 340-8705 (301) 762-3858

NO.	REVISIONS	DATE	BY	CHKD.	MP
<b>APPROVED</b>					
PLANNING BOARD OF HOWARD COUNTY					
DATE 4-26-78					
DRAWN: D.C. CHECKED: J.C.G. SCALE: 1"=20' DATE: NOV 77					
<b>Mobil Oil Corporation</b>					
NORTH AMERICAN DIVISION EASTERN REGION VALLEY FORGE, PA 19482					
SECTION 7 AREA-B PARCEL A1 PLAT 3718 6TH ELECTION DISTRICT COLUMBIA, MARYLAND					
DRAWING NUMBER		REV.			
SHEET NUMBER		3 OF 4			

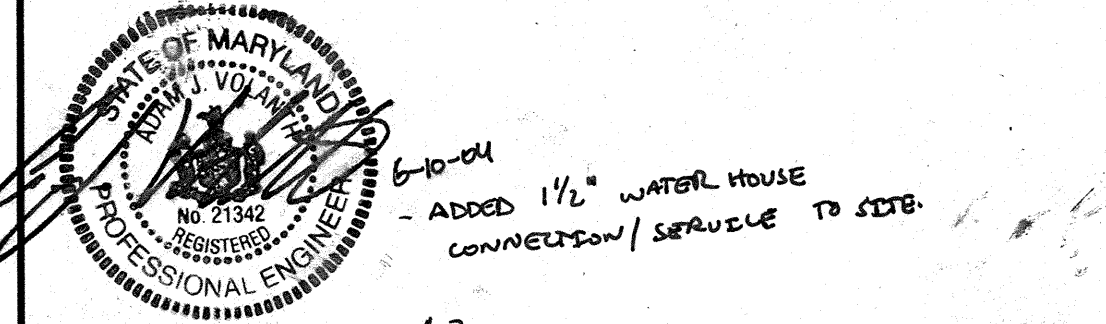








WALL DETAIL  
SCALE: 1/4" = 1'-0"



For Redline Revision #3  
Prepared by Bohler Engineering, P.C.

**GENERAL NOTES**

1. CONTRACTOR TO NOTIFY THE UTILITY COMPANIES AT LEAST THREE (3) DAYS BEFORE STARTING WORK SHOWN ON THESE PLANS.
2. INSTALLATION OF TRAFFIC CONTROL DEVICES, MARKING, AND SIGNING SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, 19TH EDITION.
3. ALL REINFORCED CONCRETE SHALL HAVE A MINIMUM 28 DAYS STRENGTH OF 3500 PSI.
4. ALL DISTURBED SLOPE AREA TO BE STABILIZED AS SOON AS GRADING IS COMPLETED.
5. ANY DAMAGE TO PUBLIC RIGHT-OF-WAYS OR PAVING WILL BE CORRECTED AT THE DEVELOPER'S EXPENSE.

**Parking Required:**

- A. Gasoline Service Station with service bays and a carwash = 4 spaces
  - B. Three (3) spaces per service bay = 12 spaces
  - C. Two (2) spaces per 1,000 sq ft of retail floor area = 4 spaces
- Total Required: Twenty (20) spaces

**Parking Provided:**

Twenty (20) spaces including two (2) Handicap spaces

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT.

*Jaclyn Bowers* 6-5-78  
COUNTY HEALTH OFFICER DATE

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

*Donald A. Davis* 6-7-78  
PLANNING DIRECTOR DATE

*John W. Messerman* 6-6-78  
CHIEF DIVISION OF LAND DEVELOPMENT DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

*Richard E. Srukenberg* 6/1/78  
DIRECTOR DATE

*W.O. Lambert* 6-1-78  
CHIEF BUREAU OF ENGINEERING DATE

**BENCH MARK SCHEDULE**

- B.M. #1 X CUT ON CONCRETE CURB ELEV. = 320.05
- B.M. #2 X CUT ON CONCRETE CURB ELEV. = 321.08

THIS DRAWING IS THE PROPERTY OF MOBIL OIL CORPORATION. IT CONTAINS INFORMATION REGARDED AS CONFIDENTIAL BY MOBIL OIL. THIS DRAWING AND THE INFORMATION THEREON IS NOT TO BE USED OR DISCLOSED TO OTHERS EXCEPT WITH WRITTEN MOBIL OIL AUTHORIZATION. THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED WITHOUT PERMISSION AND IS TO BE RETURNED TO MOBIL OIL WITH ANY COPIES (PARTIAL OR COMPLETE) ON DEMAND.

- NOTES**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY ROAD CONSTRUCTION CODE AND STANDARD SPECIFICATIONS.
  2. STORM WATER MANAGEMENT FOR THIS SITE IS CONTROLLED BY EXISTING LAKE ELKHORN.
  3. PROPOSED BUILDING TO BE CONSTRUCTED ON PARCEL A-1. PROPOSED PRIVATE DRIVE TO BE CONSTRUCTED ON PARCEL B-2. PROPOSED TEMPORARY SEDIMENT TRAP TO BE CONSTRUCTED ON PARCEL C-1. SEE PROPERTY OUTLINE, SHEET 2 OF 3.
  4. EXISTING TREES SHOWN TO REMAIN.
  5. FOR BITUMINOUS PAVING SECTIONS SEE SHEET 2 OF 3.
  6. ALL EXTERIOR LIGHTING TO BE DIRECTED INWARD.

**PLAN**  
SCALE: 1" = 20'

TOPOGRAPHIC SURVEY WAS FURNISHED BY MOBIL OIL CORPORATION



OWNER: HOWARD RESEARCH AND DEVELOPMENT CORP.  
CONTRACT PURCHASER/DEVELOPER:  
MOBIL OIL CORPORATION  
NORTH AMERICAN DIVISION  
EASTERN REGION P.O. BOX 830  
VALLEY FORGE, PA. 19482

**MACRIS - FOWLER ASSOCIATES**  
CIVIL - STRUCTURAL ENGINEERS, SURVEYORS, PLANNERS  
27 W. JEFFERSON ST. ROCKVILLE, MD. 20850  
(301) 340-8705 (301) 702-3858

Note: See Electrical Plans for light base locations.

NOTE: WATER & SEWER MAINS IN ACCESS ROAD HOWARD CO. DEPT. OF PUBLIC WORKS CONTRACT NO. 2023 D PHASE - II.

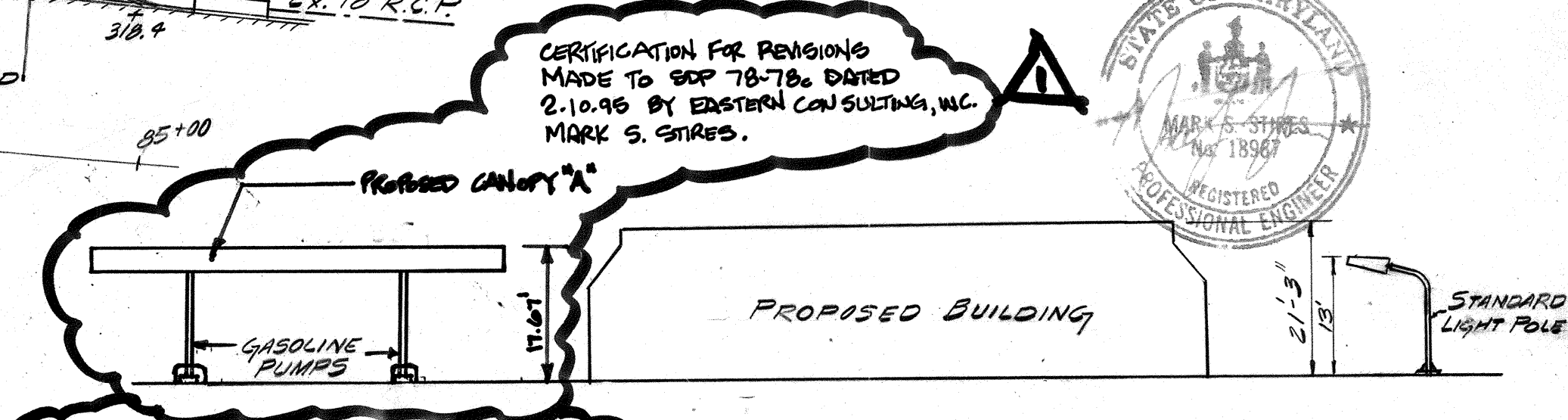
**LEGEND**

---	EXISTING CONTOURS
- - -	PROPOSED CONTOURS
▨	PROP. BITUMINOUS PAVING
▩	PROP. BITUMINOUS APRON
▧	PROP. CONCRETE PAVING
▬	PROP. CONCRETE CURB
▬	PROP. BITUMINOUS CURB
▬	PROP. 4" CONC. WALK

PROF. S. STRES.  
NO. 18967  
REGISTERED PROFESSIONAL ENGINEER

**SITE ANALYSIS**

PARCEL A-1 SECT. 1 AREA 3 VILLAGE OF OWEN BROWN PLAT 3718  
TOTAL LOT AREA - 1,440 AC. TAX MAP 36  
NEW TOWN EMPLOYMENT CENTER - COMMERCIAL ZONING - FGP 150-A. SEE PLANNING BOARD CASE NA 111  
BUILDING COVERAGE - 33% @ 4608 sq ft  
GREEN SPACE - 55% @ 7920 sq ft or 31.7%  
PARKING PROVIDED - 20 SPACES  
PARKING REQUIRED - SEE GENERAL NOTES



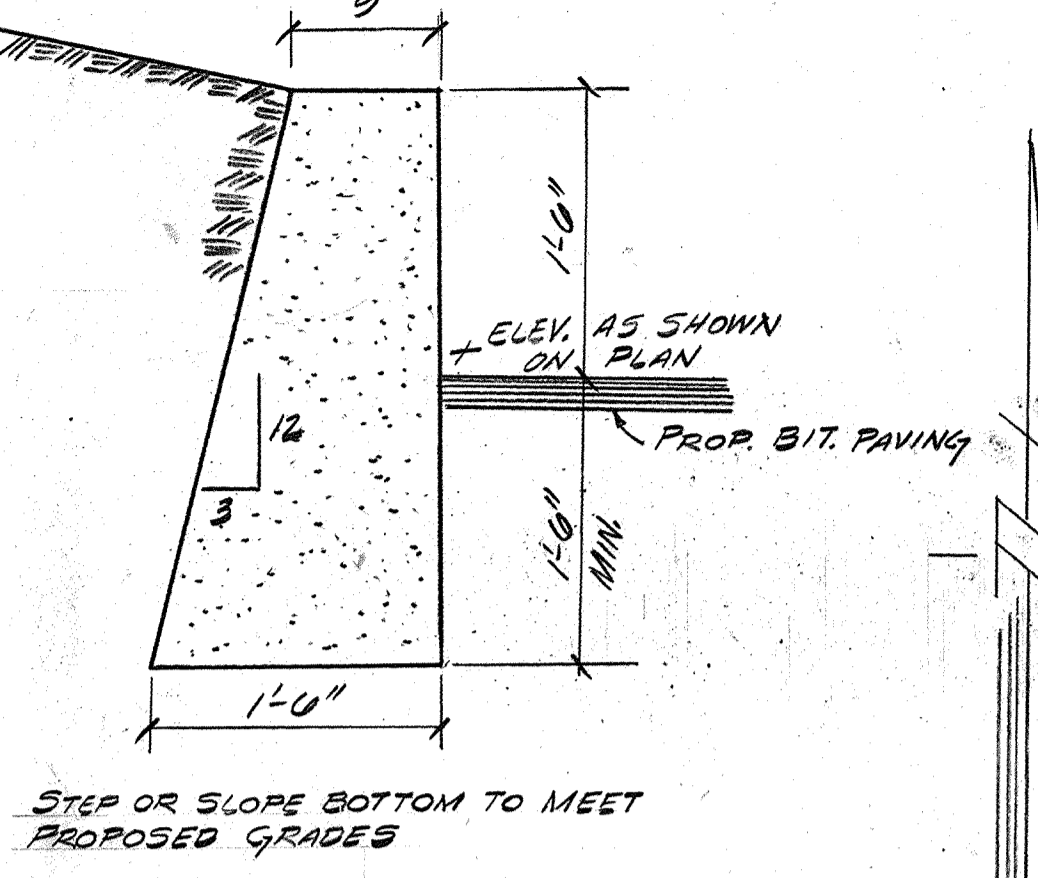
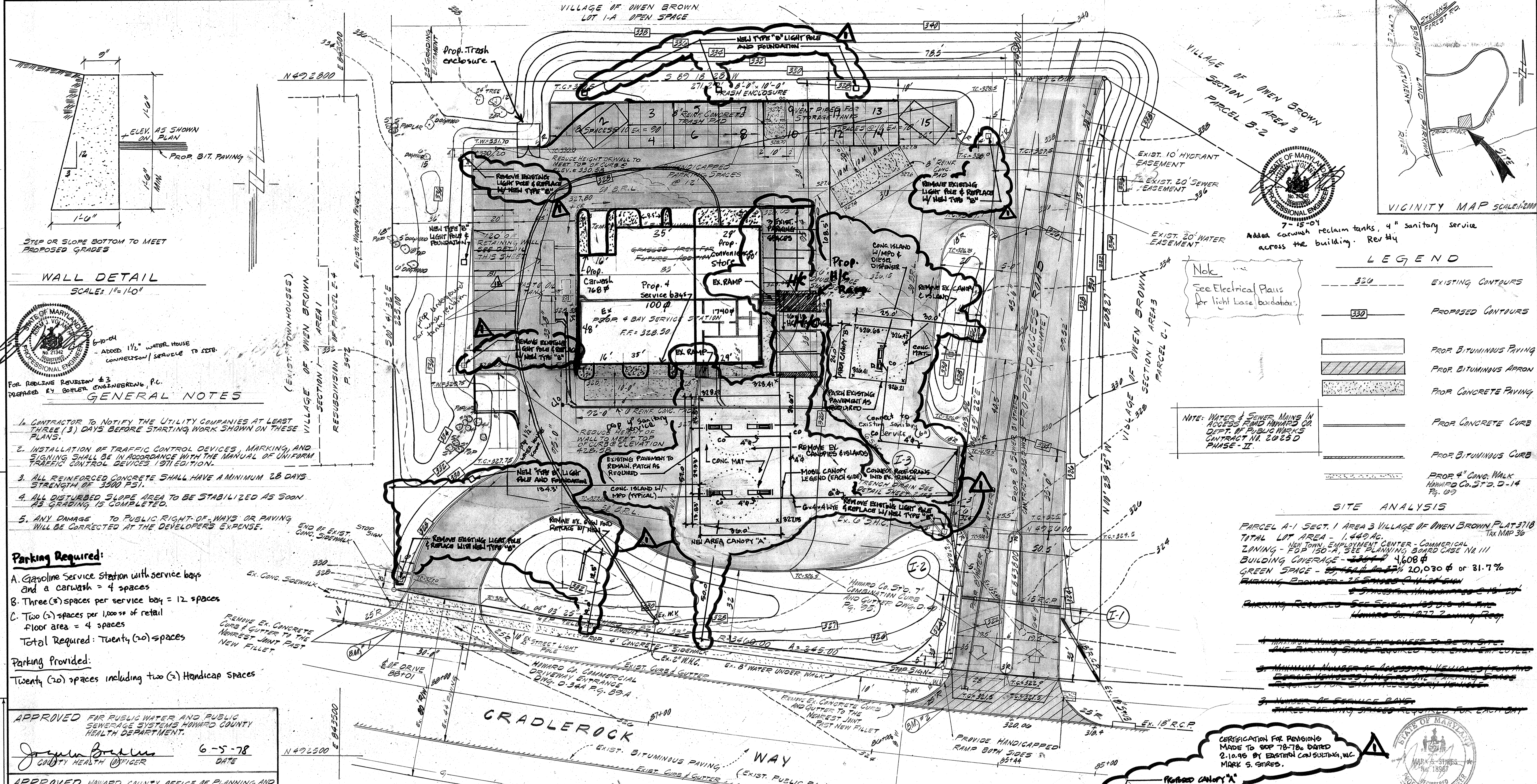
**BUILDING PROFILE**  
SCALE: 1/4" = 20'

NO.	REVISIONS	DATE	BY	CHKD.	MF
1	REMOVE EX. CANOPIES AND REPLACE W/ NEW. REPLACE CONC. ISLAND LIGHTS.	2/11/97	BJ	MS	
<p><b>APPROVED</b> PLANNING BOARD OF HOWARD COUNTY DATE: 4-26-78 <i>(Signature)</i></p>					
<p>Expand existing building and reconstruct parking area to provide the required parking</p>					

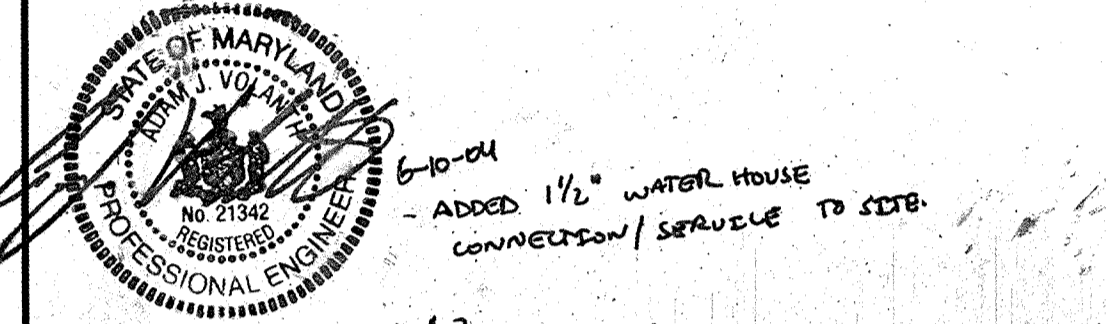
<b>Mobil Oil Corporation</b>		
NORTH AMERICAN DIVISION EASTERN REGION VALLEY FORGE, PA. 19482		
SITE DEVELOPMENT PLAN VILLAGE OF OWEN BROWN SECTION 1 AREA 3 PARCEL A1 PLAT 3718 6TH ELECTION DISTRICT		
COLUMBIA, MARYLAND	DRAWN	REV.
D.C.	DRAWING NUMBER	
CHECKED	SHEET NUMBER	
SCALE	1 OF 4	
DATE		

For redline revision No. 2  
Prepared by Bohler Engineering, P.C.





WALL DETAIL  
SCALE: 1"=1'-0"



For Redline Revision #3  
Prepared by Bohler Engineering, P.C.

GENERAL NOTES

1. CONTRACTOR TO NOTIFY THE UTILITY COMPANIES AT LEAST THREE (3) DAYS BEFORE STARTING WORK SHOWN ON THESE PLANS.
2. INSTALLATION OF TRAFFIC CONTROL DEVICES, MARKING, AND SIGNING SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES 1971 EDITION.
3. ALL REINFORCED CONCRETE SHALL HAVE A MINIMUM 28 DAYS STRENGTH OF 3500 P.S.I.
4. ALL DISTURBED SLOPE AREA TO BE STABILIZED AS SOON AS GRADING IS COMPLETED.
5. ANY DAMAGE TO PUBLIC RIGHT-OF-WAYS OR PAVING WILL BE CORRECTED AT THE DEVELOPER'S EXPENSE.

Parking Required:

- A. Gasoline Service Station with service bays and a carwash = 4 spaces
  - B. Three (3) spaces per service bay = 12 spaces
  - C. Two (2) spaces per 1,000 sq ft of retail floor area = 4 spaces
- Total Required: Twenty (20) spaces

Parking Provided:

Twenty (20) spaces including two (2) Handicap spaces

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT.

*John J. Brown* 6-5-78  
COUNTY HEALTH OFFICER DATE

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

*Thomas J. Davis* 6-7-78  
PLANNING DIRECTOR DATE

*John W. Whelan* 6-6-78  
CHIEF DIVISION OF LAND DEVELOPMENT DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

*Richard E. Brudenberg* 6/1/78  
DIRECTOR DATE

*W.O. Lambert* 6-1-78  
CHIEF BUREAU OF ENGINEERING DATE

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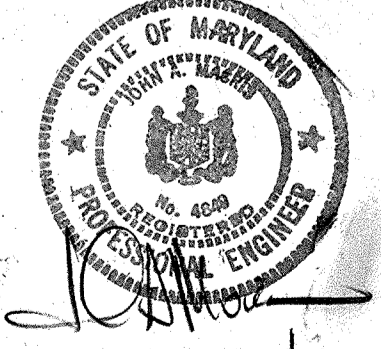
- NOTES
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY ROAD CONSTRUCTION CODE AND STANDARD SPECIFICATIONS.
  2. STORM WATER MANAGEMENT FOR THIS SITE IS CONTROLLED BY EXISTING LAKE ELKHORN.
  3. PROPOSED BUILDING TO BE CONSTRUCTED ON PARCEL A-1. PROPOSED PRIVATE DRIVE TO BE CONSTRUCTED ON PARCEL B-2. PROPOSED TEMPORARY SEDIMENT TRAP TO BE CONSTRUCTED ON PARCEL C-1. SEE PROPERTY OUTLINE, SHEET 2 OF 3.
  - \* EXISTING TREES SHOWN TO REMAIN.
  5. FOR BITUMINOUS PAVING SECTIONS SEE SHEET 2 OF 3.
  6. ALL EXTERIOR LIGHTING TO BE DIRECTED INWARD.

BENCH MARK SCHEDULE

B.M. #1 X CUT ON CONCRETE CURB ELEV. = 320.05
B.M. #2 X CUT ON CONCRETE CURB ELEV. = 321.08

PLAN  
SCALE: 1"=20'

TOPOGRAPHIC SURVEY WAS FURNISHED BY MOBIL OIL CORPORATION



OWNER: HOWARD RESEARCH AND DEVELOPMENT CORP.  
CONTRACT PURCHASER/DEVELOPER:  
MOBIL OIL CORPORATION  
NORTH AMERICAN DIVISION  
EASTERN REGION P.O. BOX 830  
VALLEY FORGE, PA. 19482

MAGRIS - FOWLER ASSOCIATES  
CIVIL - STRUCTURAL ENGINEERS; SURVEYORS; PLANNERS  
27 W. JEFFERSON ST. ROCKVILLE, MD. 20850  
(301) 340-8705 (301) 762-3828

NO.	REVISIONS	DATE	BY	CHKD.	MF
1	REMOVE EX. CANOPIES AND REPLACE W/ NEW. REPLACE CONC. ISLAND LIGHTS.	2/10/84	BJ	MS	
<p>APPROVED PLANNING BOARD OF HOWARD COUNTY DATE: 4-26-78 <i>LDM</i></p>					
2	Expand existing building and reconstruct parking area to provide the required parking	11/05	AM	MG	

**Mobil Oil Corporation**  
NORTH AMERICAN DIVISION  
EASTERN REGION  
VALLEY FORGE, PA 19482

SITE DEVELOPMENT PLAN  
VILLAGE OF OWEN BROWN  
SECTION 1 AREA 3 PARCEL A-1 PLAT 3718  
0TH ELECTION DISTRICT

COLUMBIA, MARYLAND

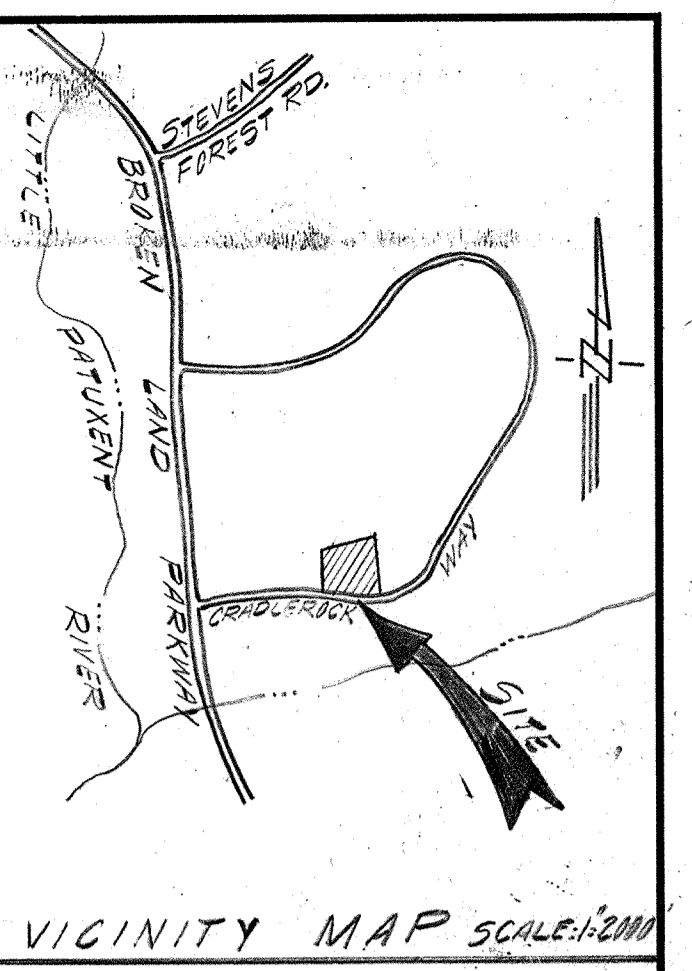
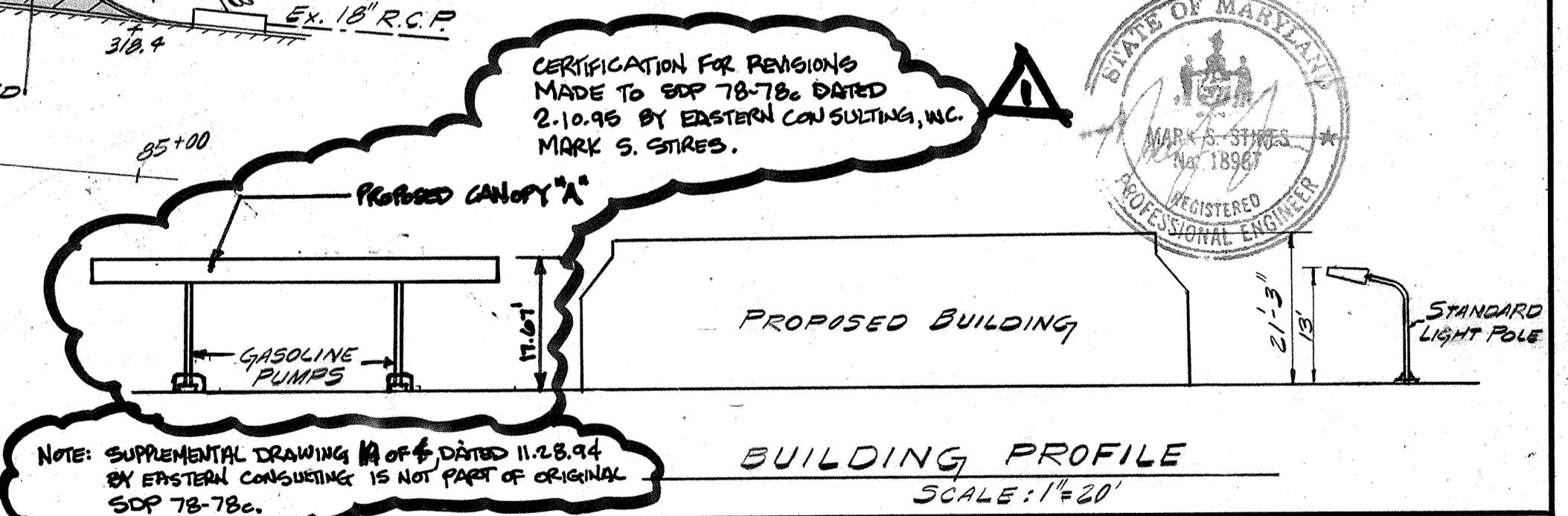
DRAWN: D.C.	DRAWING NUMBER:	REV.:
CHECKED: J.C.G.	SHEET NUMBER:	1
SCALE: 1"=20'	DATE: NOV. 77	1 OF 4

LEGEND

- 320 --- EXISTING CONTOURS
- 330 --- PROPOSED CONTOURS
- PROP. BITUMINOUS PAVING
- PROP. BITUMINOUS APRON
- PROP. CONCRETE PAVING
- PROP. CONCRETE CURB
- PROP. BITUMINOUS CURB
- PROP. 4" CONC. WALK

NOTE: WATER & SEWER MAINS IN ACCESS ROAD HOWARD CO. DEPT. OF PUBLIC WORKS CONTRACT NO. 2023 D PHASE - II.

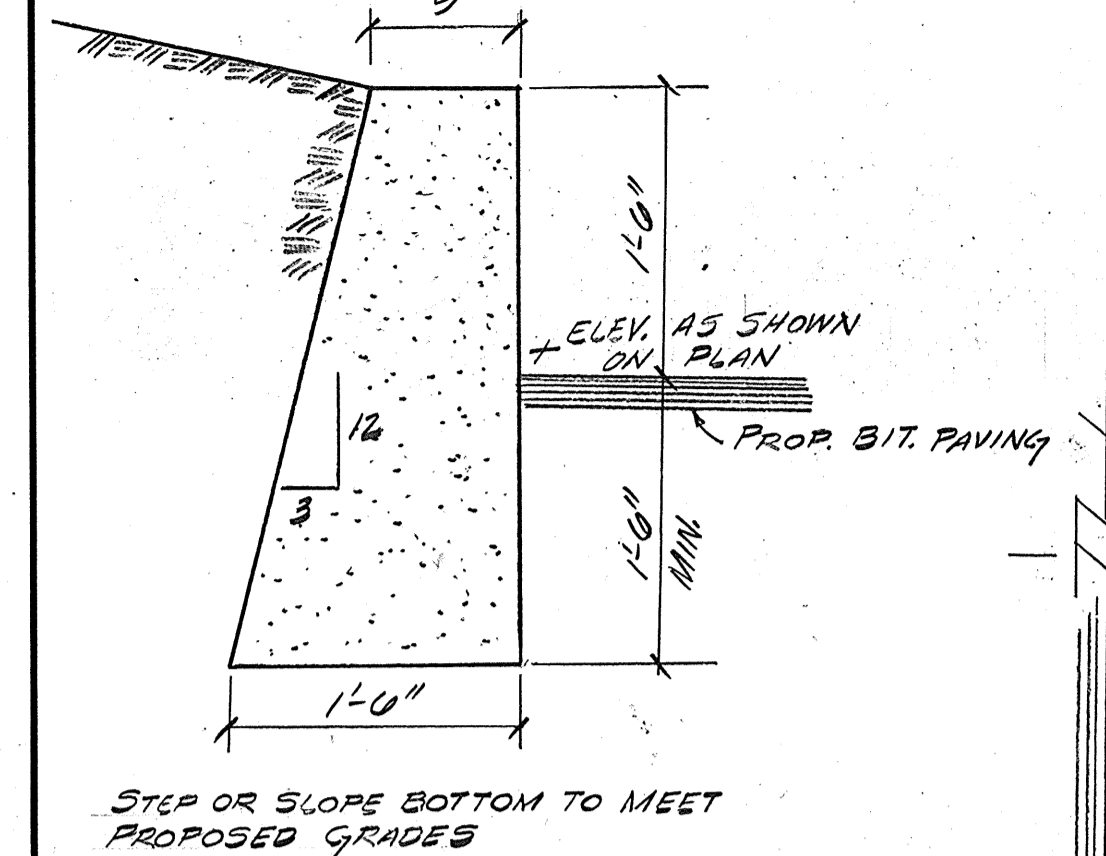
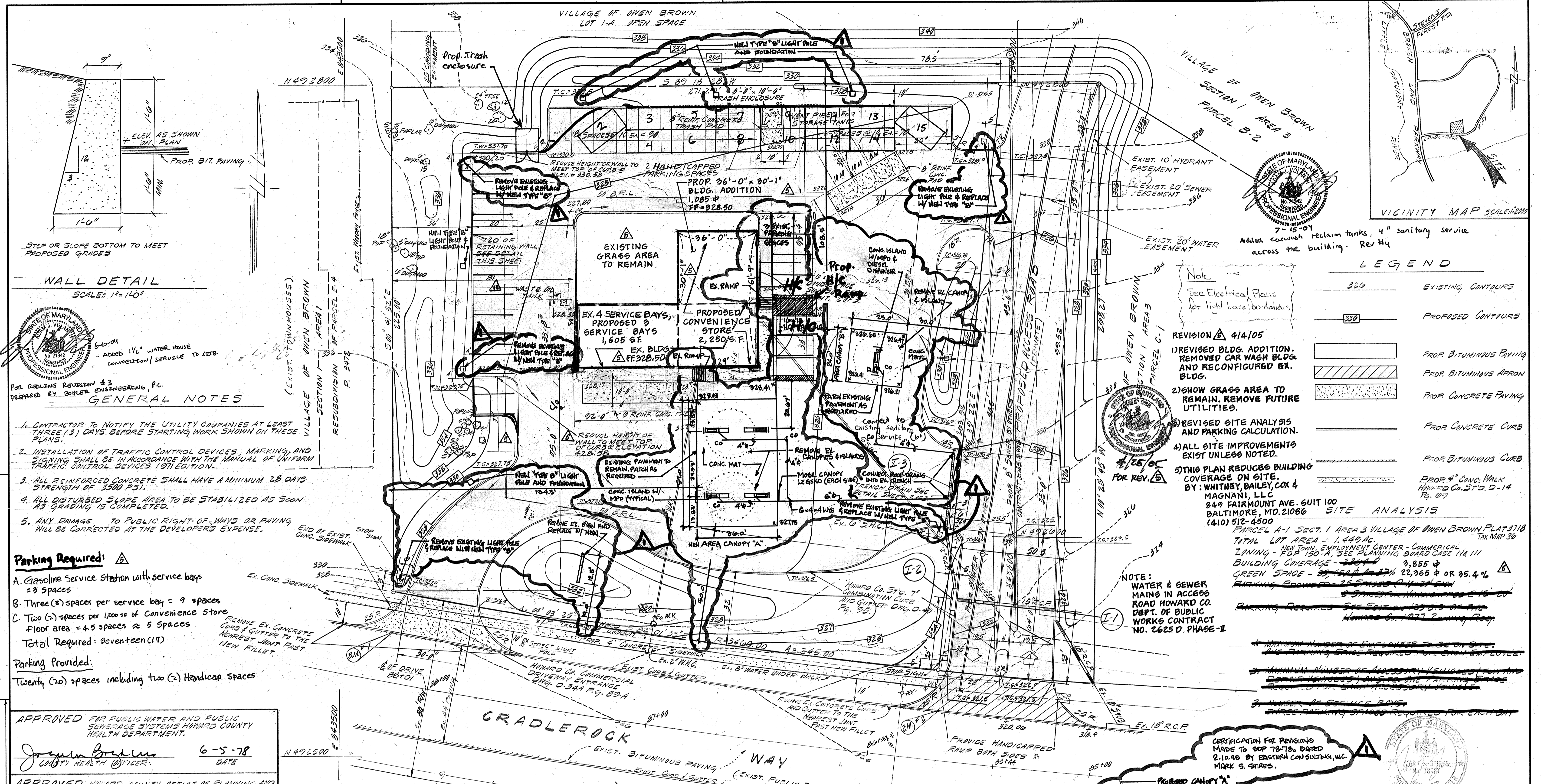
SITE ANALYSIS  
PARCEL A-1 SECT. 1 AREA 3 VILLAGE OF OWEN BROWN PLAT 3718 TAX MAP 36  
TOTAL LOT AREA - 1,440 AC.  
NEW TOWN EMPLOYMENT CENTER - COMMERCIAL ZONING - FOP 150 A, SEE PLANNING BOARD CASE NO. 111  
BUILDING COVERAGE - 33% = 4,608 sq ft  
GREEN SPACE - 55% = 792,000 sq ft or 31.7%  
PARKING REQUIRED - 20 SPACES  
PARKING PROVIDED - 20 SPACES



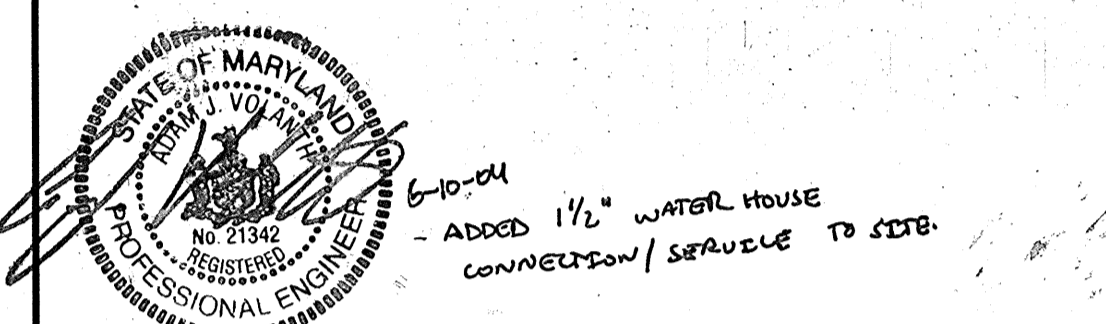
7-15-04  
Add carwash reclaim tanks, 4" sanitary service across the building. Rev #4

For redline revision No. 2  
Prepared by Bohler Engineering, P.C.





WALL DETAIL  
SCALE: 1"=10"



FOR REDLINE REVISION 43  
PREPARED BY: BOWLER ENGINEERING, P.C.  
**GENERAL NOTES**

1. CONTRACTOR TO NOTIFY THE UTILITY COMPANIES AT LEAST THREE (3) DAYS BEFORE STARTING WORK SHOWN ON THESE PLANS.
2. INSTALLATION OF TRAFFIC CONTROL DEVICES, MARKING, AND SIGNING SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES 1971 EDITION.
3. ALL REINFORCED CONCRETE SHALL HAVE A MINIMUM 28 DAYS STRENGTH OF 3000 PSI.
4. ALL DISTURBED SLOPE AREA TO BE STABILIZED AS SOON AS GRADING IS COMPLETED.
5. ANY DAMAGE TO PUBLIC RIGHT-OF-WAYS OR PAVING WILL BE CORRECTED AT THE DEVELOPER'S EXPENSE.

- Parking Required:**
- A. Gasoline Service Station with service bays = 9 spaces
  - B. Three (3) spaces per service bay = 9 spaces
  - C. Two (2) spaces per 1,000 sq. ft. of Convenience Store floor area = 4.5 spaces ≈ 5 Spaces
- Total Required: seventeen (17)
- Parking Provided:**  
Twenty (20) spaces including two (2) Handicap spaces

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT.

*John Brown* 6-5-78  
COUNTY HEALTH OFFICER DATE

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

*Donald L. Davis* 6-7-78  
PLANNING DIRECTOR DATE

*John W. Messelman* 6-6-78  
CHIEF DIVISION OF LAND DEVELOPMENT DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

*Richard E. Freudenberg* 6/1/78  
DIRECTOR DATE

*W.O. Lambert* 6-1-78  
CHIEF BUREAU OF ENGINEERING DATE

THIS DRAWING IS THE PROPERTY OF MOBIL OIL CORPORATION. IT CONTAINS INFORMATION REGARDED AS CONFIDENTIAL BY MOBIL OIL. THIS DRAWING AND THE INFORMATION THEREON IS NOT TO BE USED OR DISCLOSED TO OTHERS EXCEPT WITH WRITTEN MOBIL OIL AUTHORIZATION. THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED WITHOUT PERMISSION AND IS TO BE RETURNED TO MOBIL OIL WITH ANY COPIES (PARTIAL OR COMPLETE) ON DEMAND.

**BENCH MARK SCHEDULE**

B.M. #1 X CUT ON CONCRETE CURB ELEV. = 320.05
B.M. #2 X CUT ON CONCRETE CURB ELEV. = 321.08

- NOTES**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY ROAD CONSTRUCTION CODE AND STANDARD SPECIFICATIONS.
  2. STORM WATER MANAGEMENT FOR THIS SITE IS CONTROLLED BY EXISTING LAKE ELKHORN.
  3. PROPOSED BUILDING TO BE CONSTRUCTED ON PARCEL A-1 PROPOSED PRIVATE DRIVE TO BE CONSTRUCTED ON PARCEL B-2 PROPOSED TEMPORARY SEDIMENT TRAP TO BE CONSTRUCTED ON PARCEL C-1. SEE PROPERTY OUTLINE, SHEET 2 OF 3.
  4. EXISTING TREES SHOWN TO REMAIN.
  5. FOR BITUMINOUS PAVING SECTIONS SEE SHEET 2 OF 3.
  6. ALL EXTERIOR LIGHTING TO BE DIRECTED INWARD.

PLAN  
SCALE: 1"=20'

TOPOGRAPHIC SURVEY WAS FURNISHED BY MOBIL OIL CORPORATION



For redline revision No. 2  
Prepared by Bowler Engineering, P.C.

**LEGEND**

- 320 --- EXISTING CONTOURS
- 330 --- PROPOSED CONTOURS
- [Pattern] --- PROP. BITUMINOUS PAVING
- [Pattern] --- PROP. BITUMINOUS APRON
- [Pattern] --- PROP. CONCRETE PAVING
- [Pattern] --- PROP. CONCRETE CURB
- [Pattern] --- PROP. BITUMINOUS CURB
- [Pattern] --- PROP. 4" CONC. WALK

**REVISION 414105**

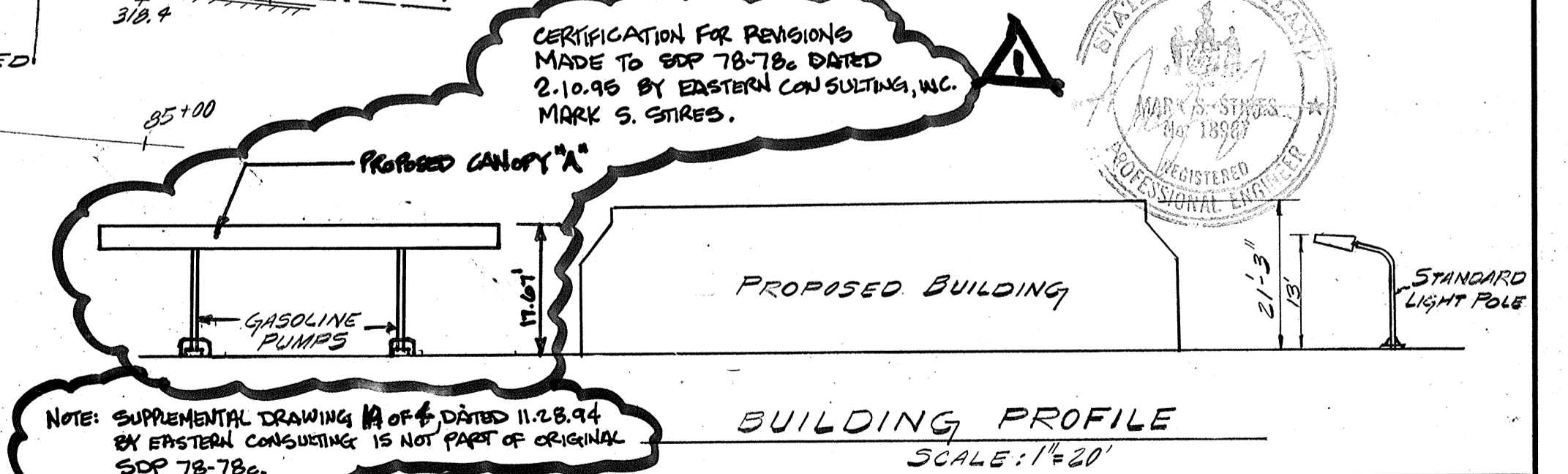
- 1) REVISED BLDG. ADDITION. REMOVED CAR WASH BLDG. AND RECONFIGURED EX. BLDG.
- 2) SHOW GRASS AREA TO REMAIN. REMOVE FUTURE UTILITIES.
- 3) REVISED SITE ANALYSIS AND PARKING CALCULATION.
- 4) ALL SITE IMPROVEMENTS EXIST UNLESS NOTED.
- 5) THIS PLAN REDUCES BUILDING COVERAGE ON SITE.

BY: WHITNEY, BAILEY, COX & MAGNANI, L.L.C.  
849 FAIRMOUNT AVE. SUIT 100  
BALTIMORE, MD. 21086  
(410) 512-4500

**SITE ANALYSIS**

PARCEL A-1 SECT. 1 AREA 3 VILLAGE OF OWEN BROWN PLAT 3718  
TAX MAP 36  
TOTAL LOT AREA = 1.449 AC.  
NEW TOWN EMPLOYMENT CENTER - COMMERCIAL ZONING - FDP 130-A, SEE PLANNING BOARD CASE NO. 111  
BUILDING COVERAGE = 22.64% 9,855 sq. ft.  
GREEN SPACE = 57.45% 82,745 sq. ft. OR 35.4%  
PARKING PROVIDED = 20 SPACES (17 REQUIRED)

**NOTE:** WATER & SEWER MAINS IN ACCESS ROAD HOWARD CO. DEPT. OF PUBLIC WORKS CONTRACT NO. 2625 D PHASE-I



**MOBIL OIL CORPORATION**

NORTH AMERICAN DIVISION  
EASTERN REGION  
VALLEY FORGE, PA 19482

**APPROVED**  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE: 4-26-78  
BY: [Signature]

**REVISIONS**

NO.	REVISIONS	DATE	BY	CHKD.	MF
1	REMOVE EX. CANOPIES AND REPLACE W/ NEW. REPLACE CONC. ISLAND LIGHTS.	2/10/78	BJ	MG	

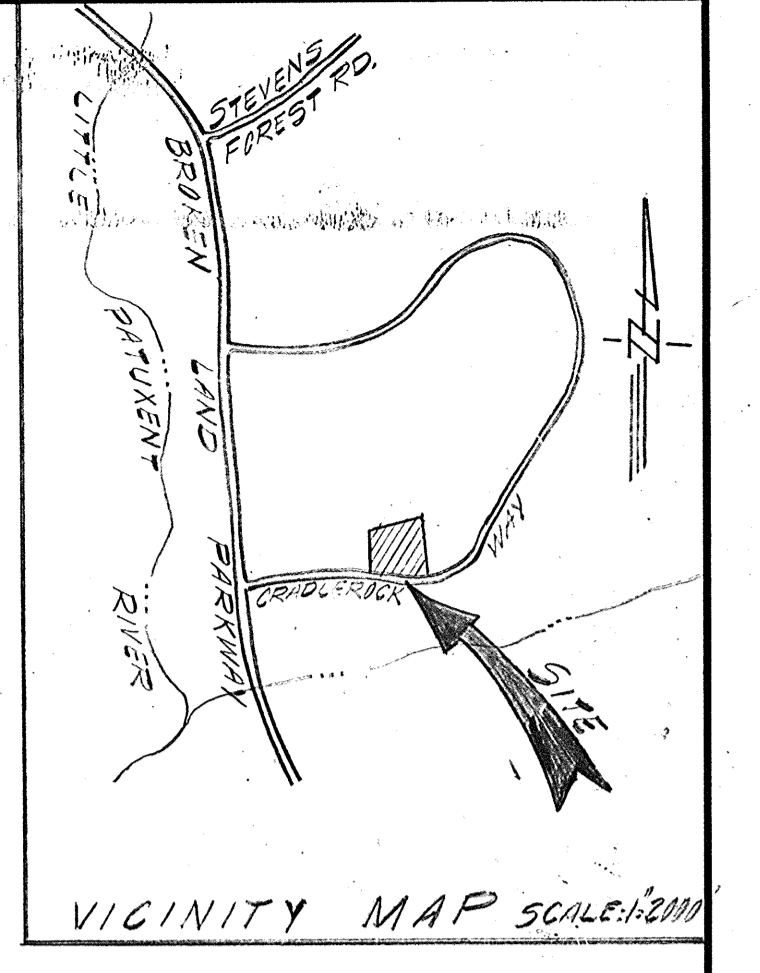
**MOBIL OIL CORPORATION**

COLUMBIA, MARYLAND

DRAWN: D.C.	DRAWING NUMBER:	REV.:
CHECKED: J.C.G.	SHEET NUMBER:	1
SCALE: 1"=20'	DATE: NOV. 77	1 OF 4

OWNER: HOWARD RESEARCH AND DEVELOPMENT CORP.  
CONTRACT PURCHASER/DEVELOPER:  
MOBIL OIL CORPORATION  
NORTH AMERICAN DIVISION  
EASTERN REGION P.O. BOX 830  
VALLEY FORGE, PA. 19482

**MACRIS - FOWLER ASSOCIATES**  
CIVIL - STRUCTURAL ENGINEERS, SURVEYORS, PLANNERS  
27 W. JEFFERSON ST. ROCKVILLE, MD. 20850  
(301) 340-8705 (301) 762-3858



Added curbside reclaim tanks, 4" sanitary service across the building. Rev H4

**LEGEND**

- 320 --- EXISTING CONTOURS
- 330 --- PROPOSED CONTOURS
- [Pattern] --- PROP. BITUMINOUS PAVING
- [Pattern] --- PROP. BITUMINOUS APRON
- [Pattern] --- PROP. CONCRETE PAVING
- [Pattern] --- PROP. CONCRETE CURB
- [Pattern] --- PROP. BITUMINOUS CURB
- [Pattern] --- PROP. 4" CONC. WALK

**REVISION 414105**

- 1) REVISED BLDG. ADDITION. REMOVED CAR WASH BLDG. AND RECONFIGURED EX. BLDG.
- 2) SHOW GRASS AREA TO REMAIN. REMOVE FUTURE UTILITIES.
- 3) REVISED SITE ANALYSIS AND PARKING CALCULATION.
- 4) ALL SITE IMPROVEMENTS EXIST UNLESS NOTED.
- 5) THIS PLAN REDUCES BUILDING COVERAGE ON SITE.

BY: WHITNEY, BAILEY, COX & MAGNANI, L.L.C.  
849 FAIRMOUNT AVE. SUIT 100  
BALTIMORE, MD. 21086  
(410) 512-4500

**SITE ANALYSIS**

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PARKING PROVIDED = 20 SPACES (17 REQUIRED)

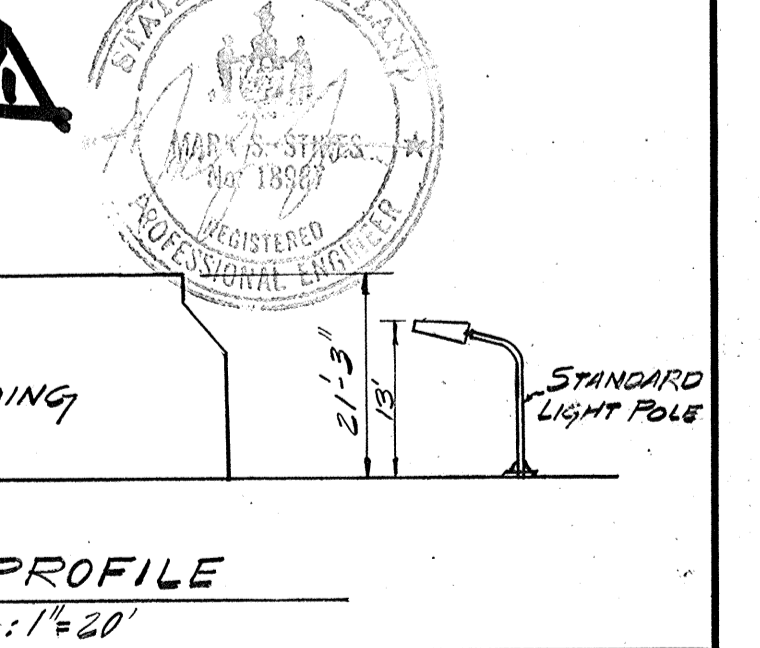
**NOTE:** WATER & SEWER MAINS IN ACCESS ROAD HOWARD CO. DEPT. OF PUBLIC WORKS CONTRACT NO. 2625 D PHASE-I

**NOTE:** SUPPLEMENTAL DRAWING #1 OF 6 DATED 11.28.94 BY EPSTEIN CONSULTING IS NOT PART OF ORIGINAL SDP 78-78c.

**MINIMUM NUMBER OF EMPLOYEES TO BE ON SITE**  
ONE PARKING SPACE REQUIRED FOR EACH EMPLOYEE.

**MINIMUM NUMBER OF ACCESSORY UTILITIES FOR AND**  
CROSSING UTILITIES) AND ONE PARKING SPACE REQUIRED FOR EACH ACCESSORY UTILITY.

**NUMBER OF SERVICE BAYS**  
THREE PARKING SPACES REQUIRED FOR EACH BAY



**MOBIL OIL CORPORATION**

NORTH AMERICAN DIVISION  
EASTERN REGION  
VALLEY FORGE, PA 19482

**APPROVED**  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE: 4-26-78  
BY: [Signature]

**REVISIONS**

NO.	REVISIONS	DATE	BY	CHKD.	MF
1	REMOVE EX. CANOPIES AND REPLACE W/ NEW. REPLACE CONC. ISLAND LIGHTS.	2/10/78	BJ	MG	

**MOBIL OIL CORPORATION**

COLUMBIA, MARYLAND

DRAWN: D.C.	DRAWING NUMBER:	REV.:
CHECKED: J.C.G.	SHEET NUMBER:	1
SCALE: 1"=20'	DATE: NOV. 77	1 OF 4

OWNER: HOWARD RESEARCH AND DEVELOPMENT CORP.  
CONTRACT PURCHASER/DEVELOPER:  
MOBIL OIL CORPORATION  
NORTH AMERICAN DIVISION  
EASTERN REGION P.O. BOX 830  
VALLEY FORGE, PA. 19482

**MACRIS - FOWLER ASSOCIATES**  
CIVIL - STRUCTURAL ENGINEERS, SURVEYORS, PLANNERS  
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