

LEGEND

- 1 Contour Interval
- 2 Existing Contour
- 3 Proposed Contour
- 4 Spot Elevation
- 5 Direction of Drainage
- 6 Truncated Retaining Wall
- 7 Walk-Out Basement
- 8 8" x 12" Comb Curb Gutter
- 9 Reverse 7" Comb Curb Gutter

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER
 DATE 6-12-78

APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING
 PLANNING DIRECTOR
 DATE 6-15-78

CHIEF DIVISION OF LAND DEVELOPMENT
 DATE 6-15-78

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR
 DATE 6-16-78

CHIEF BUREAU OF ENGINEERING
 DATE 6-17-78

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE 2-15-78

NOTE: For WATER AND SEWER
 All Single Family Attached Units will be served with individual Water & Sewer House Connections as shown on the approved Water & Sewer Plan Contract No. 2790D W/S

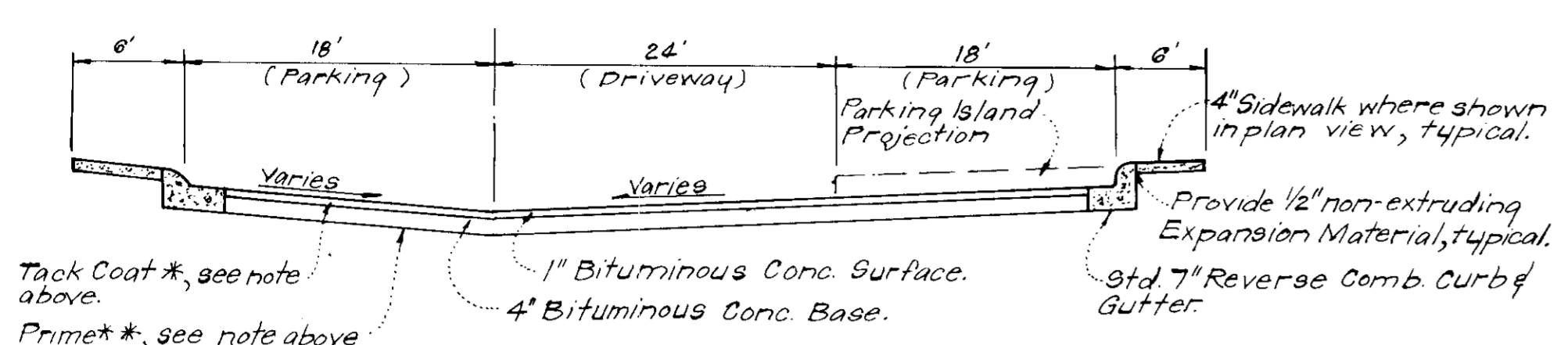


E. N. Clark
 4-21-78

CLARK • FINEROCK & SACKETT ENGINEERS • PLANNERS • SURVEYORS 11315 LOCKWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 593 3400		
DESIGNED D.A.B.	SITE DEVELOPMENT PLAN PARCEL "B" COLUMBIA VILLAGE OF LONGREACH SECTION "I" AREA 4 6 TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'
DRAWN K.I.W.		DRAWING 10471
CHECKED R.J.S.		JOB NO.
DATE Dec, 1977		FILE NO. 1908-X
FOR: CAPITAL HOMES, INC. 1133 15 TH STREET, N.W. WASHINGTON, D.C. 20005		

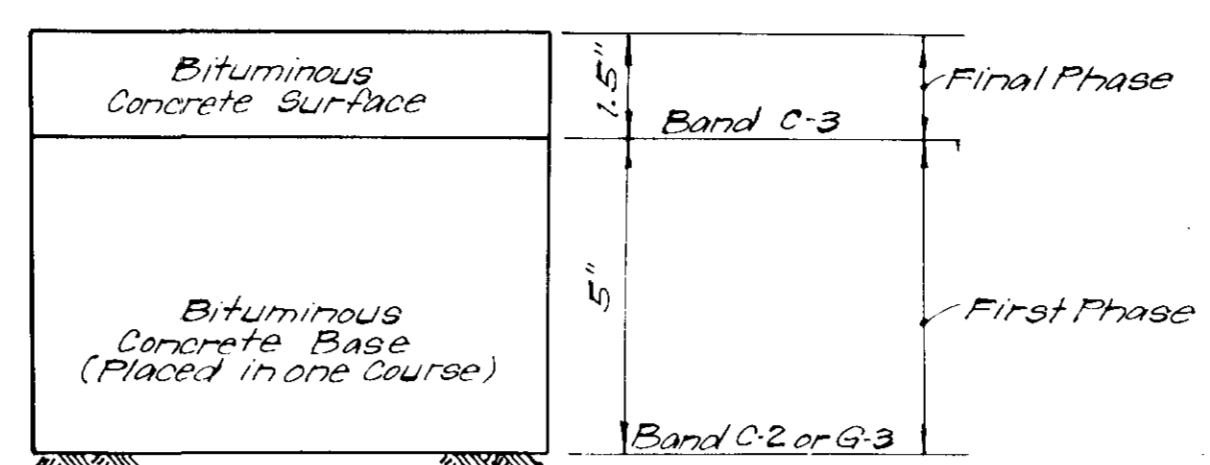
SDP-78-70c See Also: HC-142 1272-3E

* Tack Coat 5' Base Course in accordance with Howard County Std. Specs. Section C-31-4.
 ** Prime Coat & Subbase in accordance with Howard County Std. Specs. Section C-30-3



Tack Coat *, see note above.
 Prime **, see note above.
 NOTE: Where direction of flow is toward the curb 7" Combination Curb & Gutter shall be used instead of 7" Reverse Comb. Curb & Gutter.

TYPICAL PAVING SECTION PRIVATE DRIVE AND PARKING
 NO SCALE

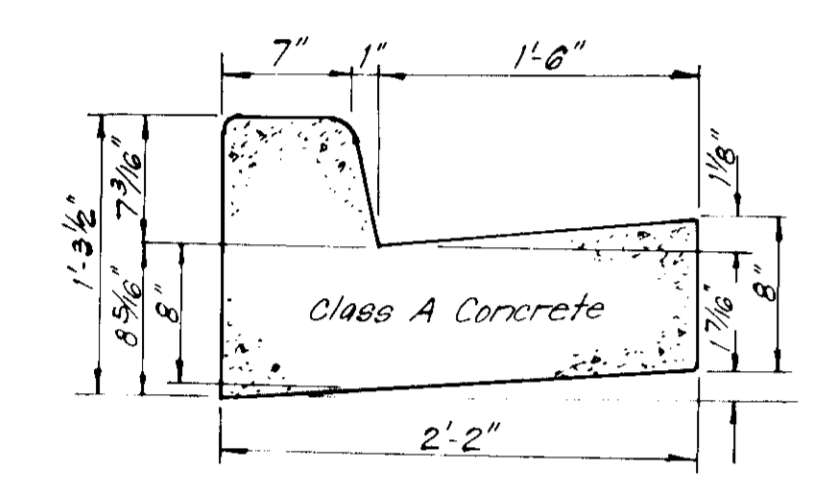


Clearing & Grading Article C-1
 Subgrade Article C-2
 Base Course Article C-31 or C-33
 Surface Course Article C-31

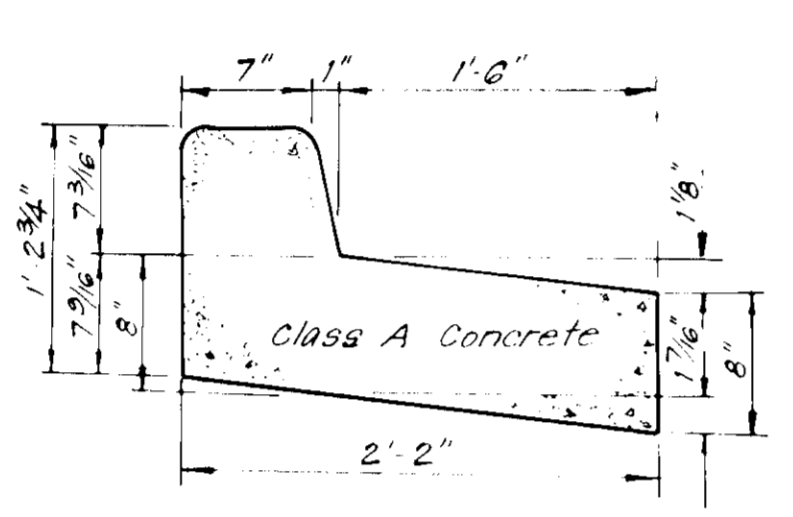
To be constructed in accordance with the Howard County Road Construction Code and Specifications
PAVEMENT REPLACEMENT FOR ENTRANCES INTO PUBLIC ROADS

GENERAL NOTES

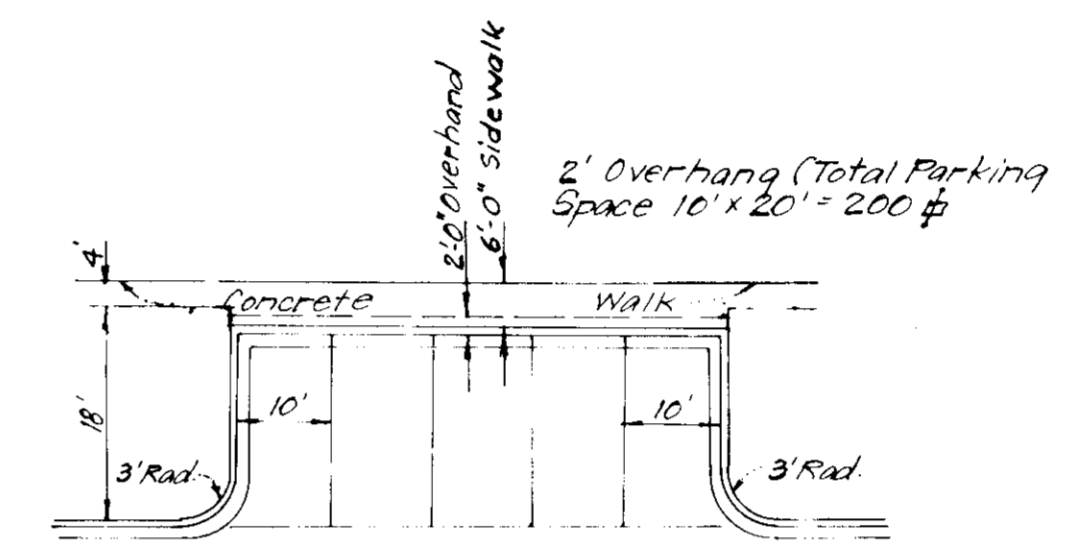
- Installation of traffic control devices, markings and signing shall be in accordance with the Manual of Uniform Traffic Control Devices, latest edition.
- All parking spaces and traveled ways to be privately owned and maintained.
- This plan is subject to the criteria set forth in Final Development Plan Phase 103 as recorded in Plat Book 20, Folios 42, thru 44.
- All coordinates are based on Maryland State Grid System. Elevations are based on the U.S. Coast and Geodetic Survey Mean Sea Level Datum of 1929.
- The area covered in this submission is located on Tax Map No. 38.
- Public Water & Sewer to be utilized.
- Plat reference: Plat Book 21, Folio 24.
- Roof Storm Water carried in downspouts will be handled by one of the following methods:
 (a) Downspout to splash block and discharged to ground having good percolation.
 (b) Downspouts piped to curb.
 (c) Downspouts connected to Storm Drains.
- The Developer agrees to work with the Dept. of Licenses & Inspections to resolve any problems caused by Roof Water Discharge.
- Construction will be in accordance with the Howard County Road Construction Code and Standard Specifications.
- Concept Plan was approved by the Howard County Planning Board September 28, 1977.
- Standard 7" Combination Curb & Gutter shown thus:
- Reverse 7" Combination Curb & Gutter shown thus:
- Design Speed: 20 M.P.H.



STANDARD 7" COMBINATION CURB & GUTTER
 No Scale



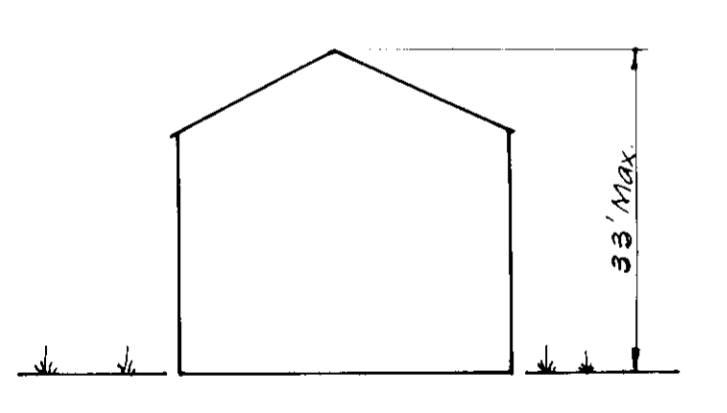
REVERSE 7" COMBINATION CURB & GUTTER
 No Scale



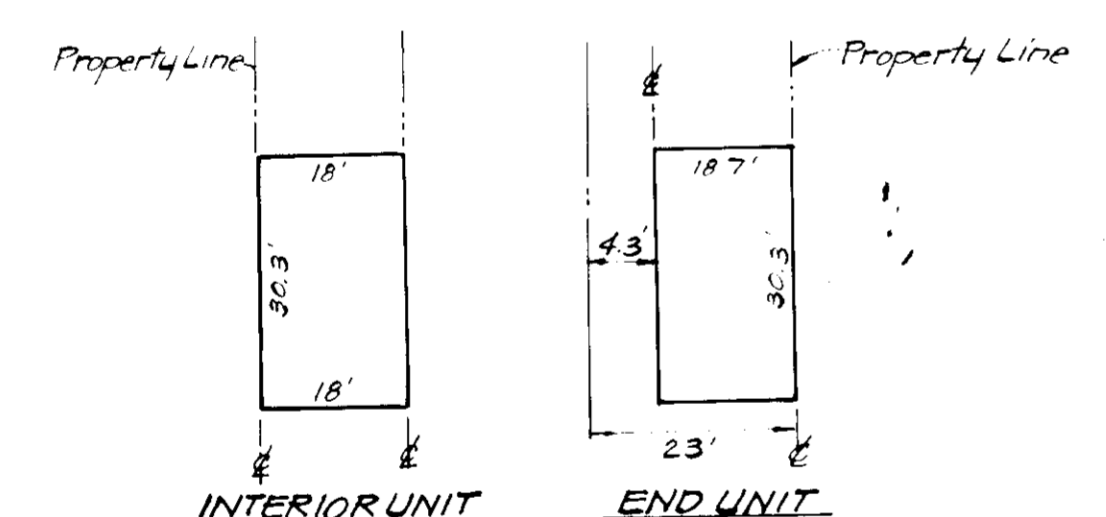
TYPICAL 90° PARKING
 No Scale

SITE ANALYSIS

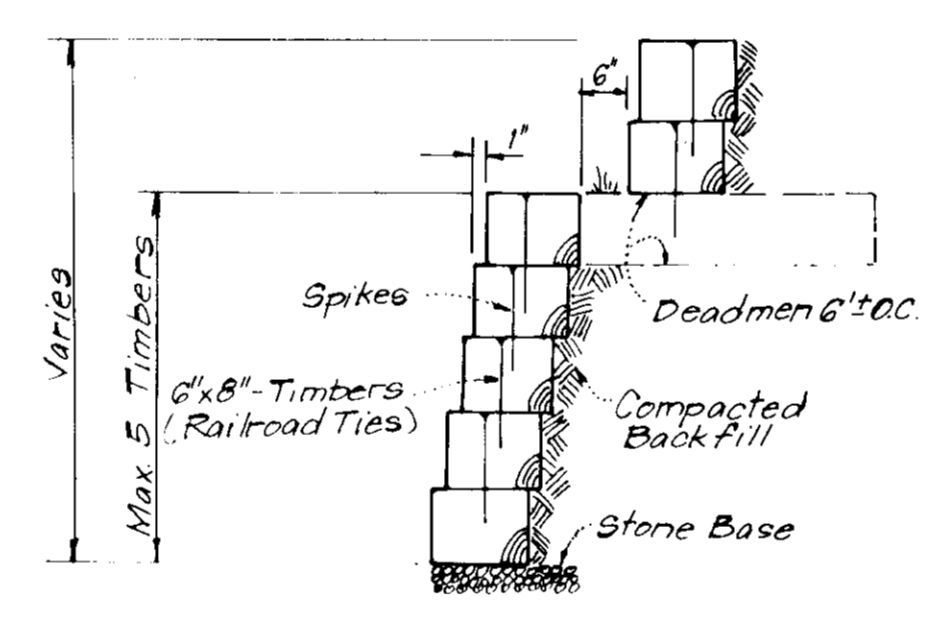
- Zoning: New Town Apartments
- Area: 8.091 Acres
- Maximum No. of Units Permitted: 110
- Number of Units Shown: 92
- Parking Spaces Required: 184
- Parking Spaces Provided: 184
- Density: 11.4 Units/Acre
- Max. Allowable Building Coverage: 35%
- Prop. Building Coverage: 14%



TYPICAL BUILDING ELEVATION
 No Scale



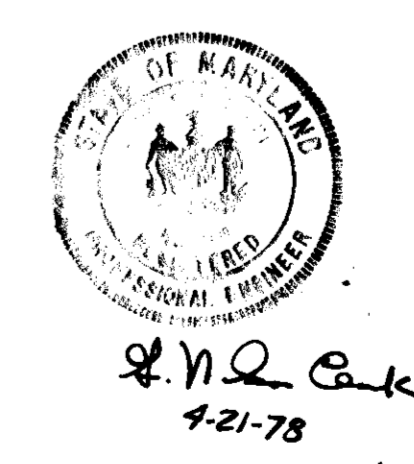
TYPICAL BUILDING DIMENSIONS
 No Scale



TIMBER RETAINING WALL
 No Scale

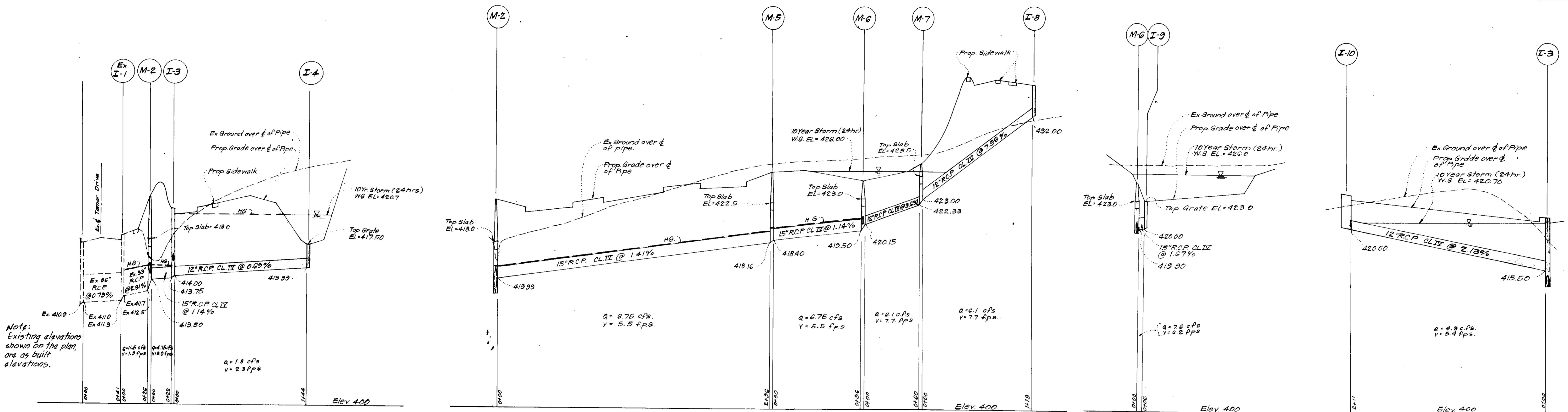
APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE 2-15-78
 cyw/jr

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 [Signature] 6-12-78
 HEALTH OFFICER DATE
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
 [Signature] 6-11-78
 PLANNING DIRECTOR DATE
 CHIEF DIVISION OF LAND DEVELOPMENT DATE
 APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 [Signature] 6-6-78
 DIRECTOR DATE
 CHIEF BUREAU OF ENGINEERING DATE



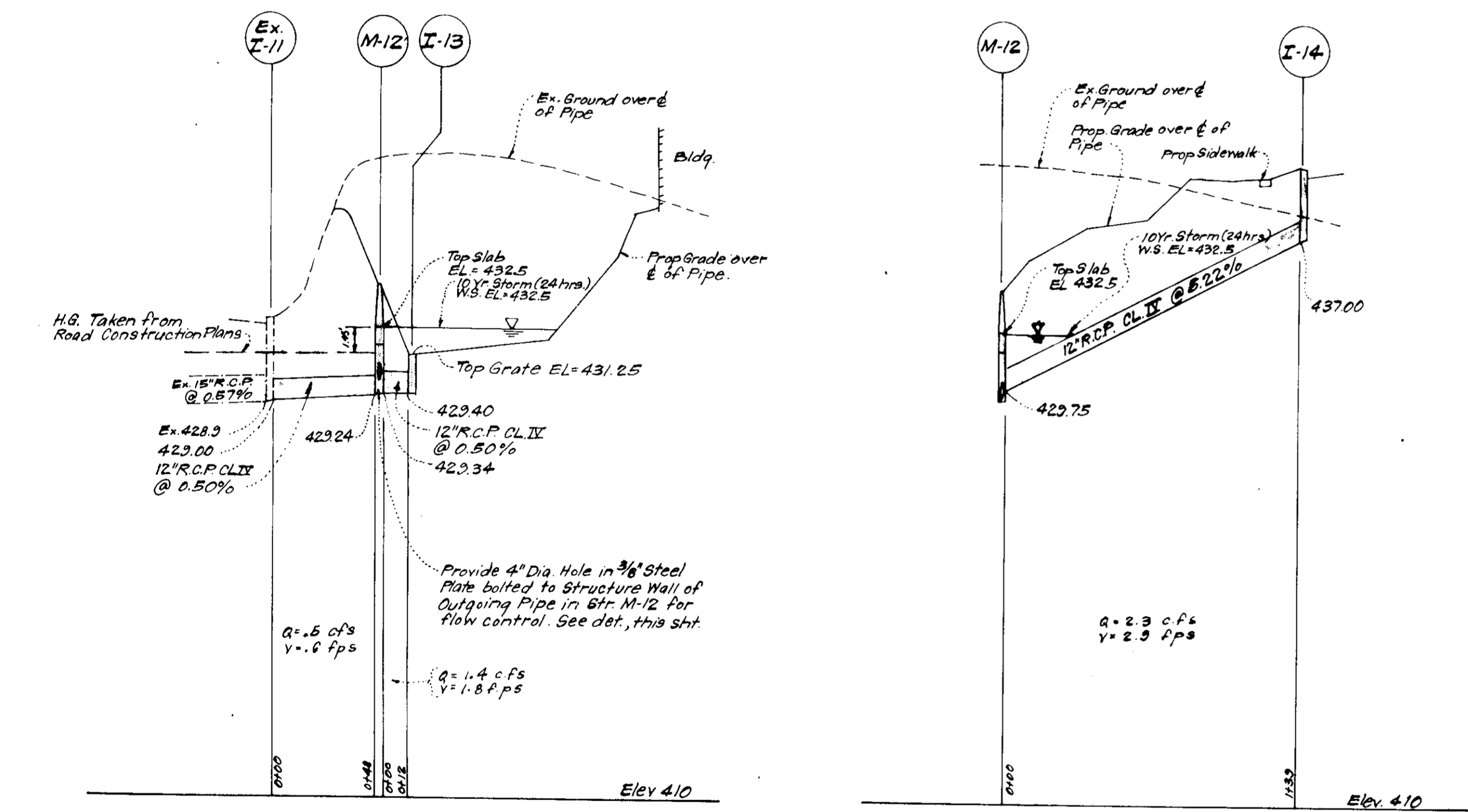
CLARK • FINEFROCK & SACKETT
 ENGINEERS • PLANNERS • SURVEYORS
 11315 LOCKWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 593 3400

DESIGNED D.A.B.	SITE DEVELOPMENT PLAN PARCEL "B" STORM DRAINAGE & PAVING PLAN - DETAILS COLUMBIA VILLAGE OF LONGREACH SECTION 1 AREA 4 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND FOR: CAPITAL HOMES, INC. 1133 15th Street NW Washington D.C. 20005	SCALE As Shown
DRAWN K.I.W.		DRAWING 2 of 7
CHECKED R.J.S.		JOB NO.
DATE Dec, 1977		FILE NO. 1908-X



Note:
Existing elevations
shown on the plan,
are as built
elevations.

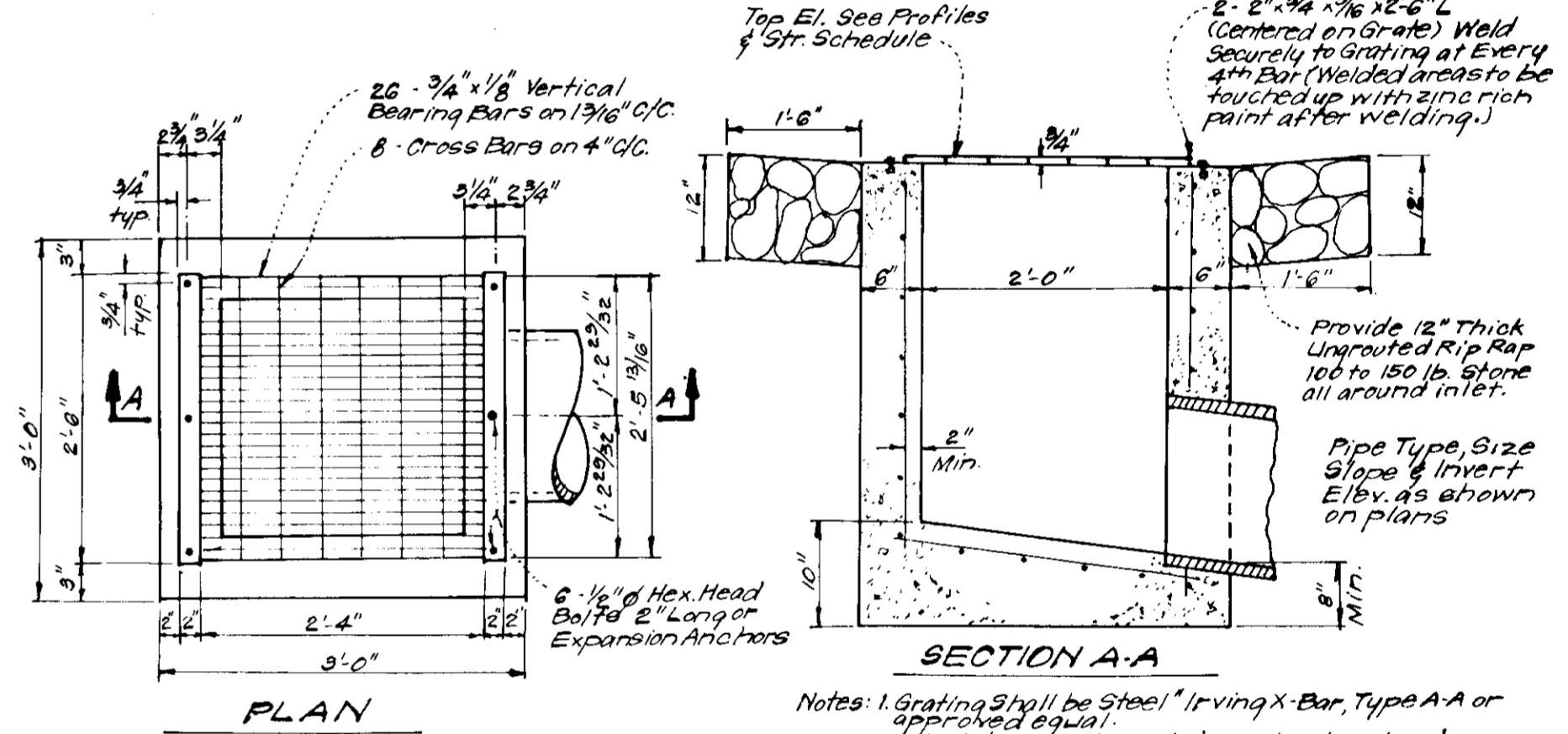
PROFILE
SCALE: Horiz: 1"=50'
VERT: 1"=5'



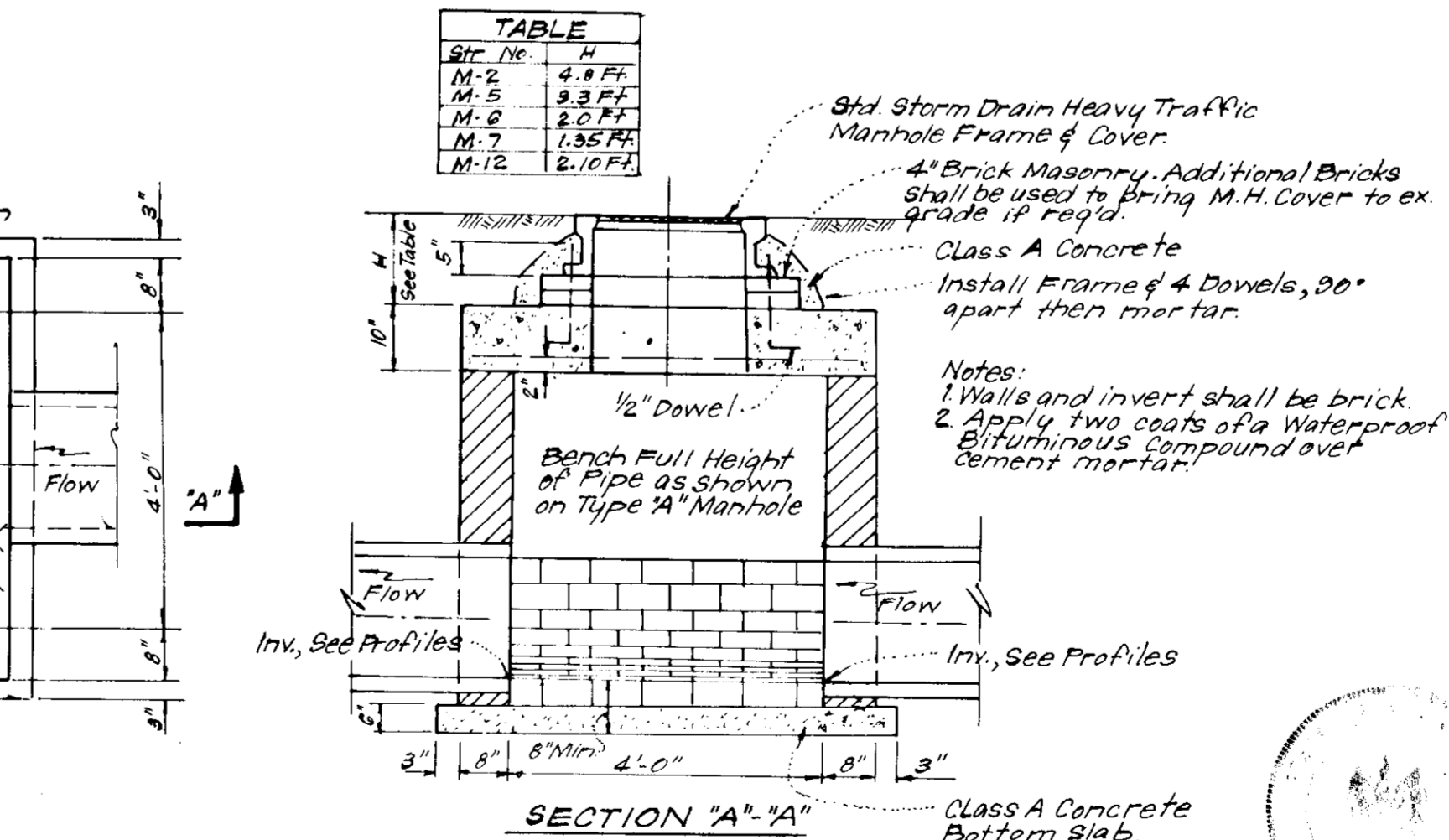
PROFILE
SCALE: Horiz: 1"=50'
VERT: 1"=5'

STRUCTURE SCHEDULE							
No.	TYPE	IN	OUT	Top Elevation		REMARKS	LOCATION
				Upper	Lower		
M-2	B Manhole (Mod)	418.80	412.50	422.80		See Detail, this sheet	See Plan
I-3	A-10 Inlet	418.80	413.75	421.30	421.30	Howard Co Std D-64-A, pg 110-A W=2'-6"	See Plan
I-4	Yard Inlet	413.90	413.90	417.50		See Detail, this sheet	See Plan
M-5	B Manhole	418.40	418.16	425.80		See Detail, this sheet	See Plan
M-7	B Manhole	423.10	422.95	426.85		See Detail, this sheet	See Plan
I-8	A-10 Inlet	432.00	432.00	435.30	435.90	Howard Co Std D-64-A, pg 110-A W=2'-6"	See Plan
I-9	Yard Inlet	420.00	420.00	423.00		See Detail, this sheet	See Plan
I-10	A-10 Inlet	420.00	420.00	424.00	423.80	Howard Co Std D-64-A, pg 110-A W=2'-6"	See Plan
M-12	B Manhole	423.40	423.40	434.60		See Detail, this sheet	See Plan
I-14	A-10 Inlet	437.00	437.00	440.70	440.30	See Detail, this sheet	See Plan

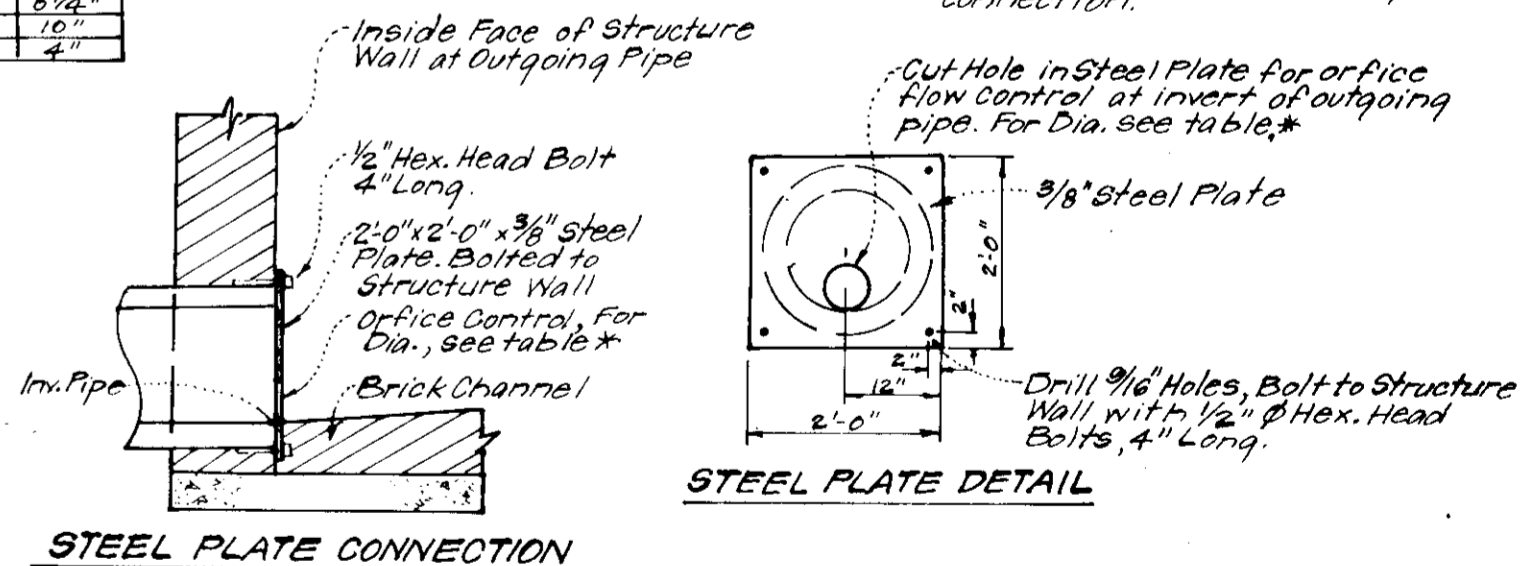
PIPE SCHEDULE			
SIZE	TYPE	LENGTH	
12"	RCP CL IV	733 LF	
15"	RCP CL IV	420 LF	



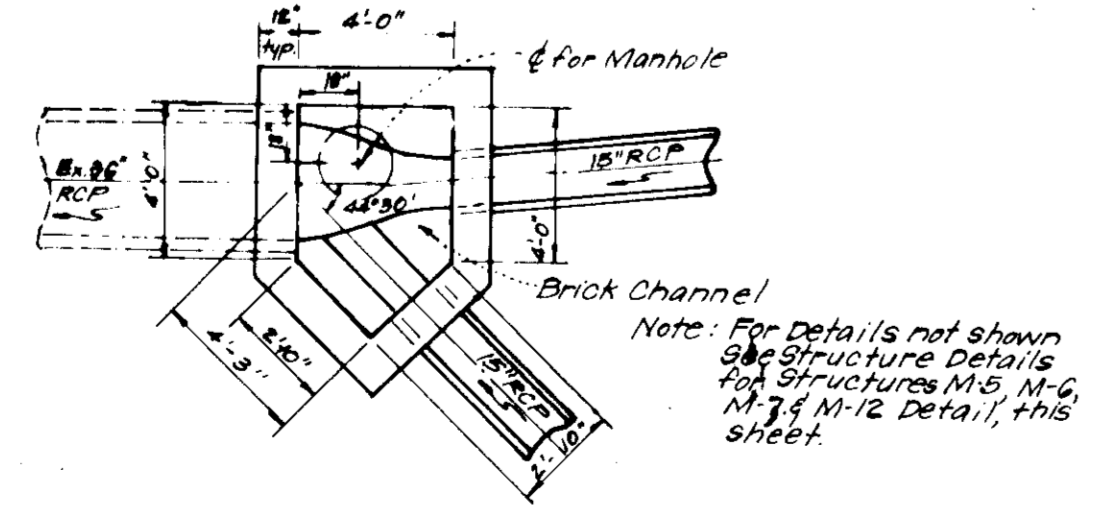
YARD INLET STR. No's. I-4, I-9, I-13 DETAIL
No Scale



STRUCTURE No's. M-5, M-6, M-7 & M-12 DETAIL
No Scale



FLOW CONTROL DETAIL
STRUCTURE No's. I-3, M-6 & M-12
No Scale



MODIFIED B-MANHOLE
STRUCTURE No. M-2
No Scale

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,
HOWARD COUNTY HEALTH DEPARTMENT
DATE: 6-12-78
APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING
PLANNING DIRECTOR: DATE: 6/17/78
CHIEF DIVISION OF LAND DEVELOPMENT: DATE: 6/17/78
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE,
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DIRECTOR: Richard E. Freudenberger DATE: 6/17/78
CHIEF BUREAU OF ENGINEERING: DATE: 6/17/78

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: 2-15-78
4-21-78

CLARK • FINEFROCK & SACKETT
ENGINEERS • PLANNERS • SURVEYORS
11315 LOCKWOOD DRIVE SUIVER SPRING MARYLAND 20904 (301) 593 3400

DESIGNED D.A.B.	SITE DEVELOPMENT PLAN	SCALE As Shown
DRAWN K.I.W.	STORM DRAINAGE & PAVING PLAN - DETAIL	DRAWING 3 of 7
CHECKED R.J.S.	COLUMBIA VILLAGE OF LONGREACH SECTION 1 AREA 4 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	JOB NO.
DATE Dec, 1977	FOR: CAPITAL HOMES, INC. 1133 15th Street N.W. Washington D.C. 20005	FILE NO. 1308-X

S.D.P. 78-10-C See Also 1272-5E HC-144



APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE 2-15-78
 JLN

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD CO HEALTH DEPARTMENT
Joseph L. D... 6-12-77
 COUNTY HEALTH OFFICER DATE

APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING
... 6-14-78
 PLANNING DIRECTOR DATE

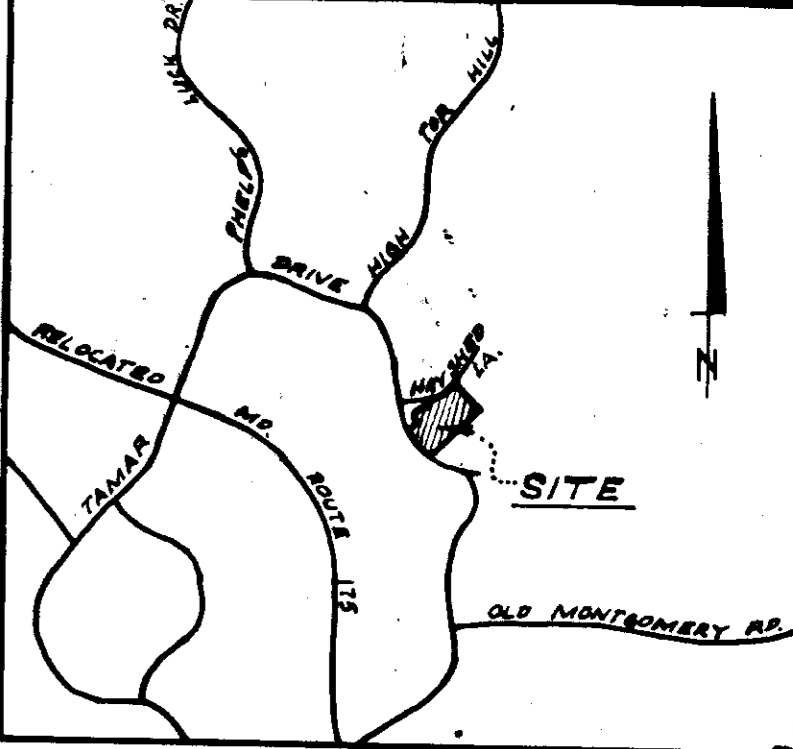
CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPT. OF PUBLIC WORKS
Richard E. ... 6/6/78
 DIRECTOR DATE

... 6-5-77
 CHIEF BUREAU OF ENGINEERING DATE

CLARK · FINECROCK & SACKETT ENGINEERS · PLANNERS · SURVEYORS 11315 LOCKWOOD DRIVE SILVER SPRING, MARYLAND 301 593-3400		
DESIGNED	COLUMBIA VILLAGE OF LONGREACH SECTION 1 AREA 4 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND FOR: CAPITAL HOMES, INC. 1133 15th Street, N.W. Washington D.C. 20005	SCALE
DRAWN		1"=30'
CHECKED		DRAWING
DATE		4 of 7
Dec, 1977		FILE NO.
		1308-X





VICINITY MAP
SCALE 1" = 2000'

- LEGEND**
- 1. Contour Interval
 - 2. Existing Contour
 - 3. Proposed Contour
 - 4. Spot Elevation
 - 5. Direction of Drainage
 - 6. Timber Retaining Wall
 - 7. Walk-Out Basement
 - 8. Diversion Dike
 - 9. Silt Fence
 - 10. Stabilized Construction Entrance
 - 11. Stone Filter Inlet Protection

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER
 DATE 6-11-78

APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING
 PLANNING DIRECTOR
 DATE 6-14-78

CHIEF DIVISION OF LAND DEVELOPMENT
 DATE 6-12-78

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR
 DATE 6-6-78

CHIEF BUREAU OF ENGINEERING
 DATE 6-5-78

DEVELOPER'S CERTIFICATE

I certify that all development and/or construction will be done according to this plan of development and plan for Erosion and Sediment Control, and I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents as are deemed necessary. Deviation from this plan will not be made unless authorized by the Howard Soil Conservation District.

Richard A. Palmer 12/19/77
 Signature Date

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

G. Nelson Clark 12-2-77
 Signature Date

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY

DATE 2-15-78

Reviewed for HOWARD S.C.D. Name and meets Technical Requirements
C. Wayne Kay 5-23-78
 Signature Date
 U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

NES FARR Approved 5-21-78
 Signature Date



CLARK • FINEROCK & SACKETT
 ENGINEERS • PLANNERS • SURVEYORS
 11315 LUCKWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 593-3400

DESIGNED: D.A.B. SITE DEVELOPMENT PLAN
 DRAWN: K.I.W. SEDIMENT & EROSION CONTROL PLAN
 CHECKED: R.J.S. PARCEL "B"
 DATE: Dec. 1977

COLUMBIA
 VILLAGE OF LONGREACH
 SECTION 1 AREA 4
 6th ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

FOR: CAPITAL HOMES, INC.
 1133 13th Street, N.W.
 Washington, D.C. 20005

SCALE 1" = 30'
 DRAWING 5 of 7
 JOB NO.
 FILE NO. 1272-9E

GENERAL NOTES

- All Sediment and Erosion Control Measures will be installed and stabilized according to this plan prior to any other grading, clearing or disturbance of the existing surface of the site. See Note #5 for stabilization except that the seed mixture will be annual rye applied at a rate of 1.4 lbs/1000 sq. ft.
- Notify the Bureau of Inspections and Permits at least 24 hours before starting any work.
- All Sediment Control Practices to conform to the "Standards and Specifications for Soil Erosion and Sediment Control in Developing Areas" and shall be adjusted to meet actual field conditions.
- Stabilization of Disturbed Ground to be done as soon after construction as possible.
- All Grading shall be treated in accordance with the following Specifications:
 - Seed - certified 85% germination applied at the rate of 3 lbs/1000 sq. ft. mixture - 40% Kentucky Blue, 20% Chewy Fescue, 20% Kentucky 31, and 20% annual rye.
 - Fertilizer - 10-10-10 applied at the rate of 23 lbs/1000 sq. ft. Ground Agricultural Lime or Dolomitic Lime applied at the rate of 46 lbs/1000 sq. ft.
 - Mulch - Weed free grain straw applied at the rate of 70 lbs/1000 sq. ft. Mulch shall be secured to the ground by any approved method i.e. asphalt tacks, chemical binder, wood chips, etc.
- All Structural Sediment Control Measures are to remain in place until permission for their removal has been obtained from the Bureau of Inspections and Permits.
- On Site Inspection and Maintenance of all Sediment Control Measures including clean out of sediment traps and dikes, and proper establishment of all planned vegetative measures will be the responsibility of the Developer or his representative on the site, on a continuing day to day basis.
- Protection of stabilized area from sediment runoff shall be provided by the use of an approved sediment Control Device, i.e. straw bale, diversion dike, etc.
- The Contractor shall keep all public roads free of sediment deposits left from traffic leaving construction site.
- Stabilized Construction Entrances shall be constructed at all construction entrances.
- SITE ANALYSIS:**
 - Total Area = 8.09 Acres
 - Area to be Roofed = 1.13 Acres
 - Area to be Paved = 3.80 Acres
 - Area to be Seeded = 3.16 Acres
 - Area Undisturbed = 0 Acres
- CONSTRUCTION SEQUENCE**

PHASE I

 - Construct Storm Drainage Str. M-2 to Str. I-4.
 - Construct Sediment Trap ST-2 at Str. M-2.
 - Install Diversion Dike & Silt Fence along Tamar Drive and Hayshed Lane.
 - Install Stabilized Construction Entrances at Tamar Drive and Hayshed Lane.
 - Construct Sediment Trap ST-4 (1) at Str. I-4.
 - Rough Grade for building footings, parking areas and road ways North of Str. I-3 and West of Str. I-13.
 - Construct Storm Drainage Str. I-3 to Str. I-10.
 - Construct Buildings, Paving and Stabilize Area.

PHASE II

 - Construct Storm Drainage Str. M-2 to Str. I-8 and M-6 to Str. I-9.
 - Construct Sediment Trap ST-4 (2) at Str. I-9.
 - Rough Grade for Building Footings, Parking Areas & Road way.
 - Construct Buildings, Paving and Stabilize area in area South of Str. I-4 and from Tamar Drive to East Property Line.

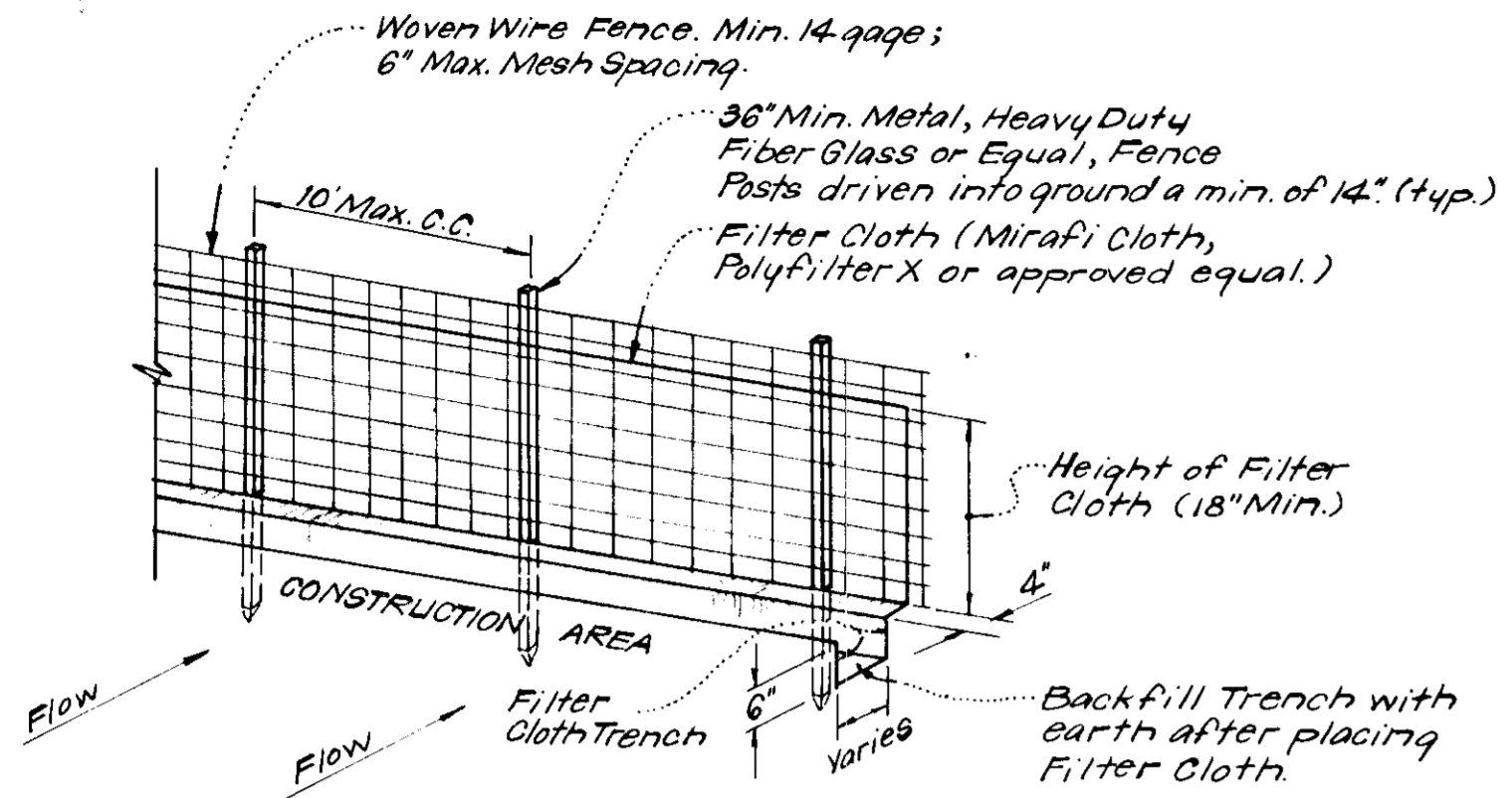
PHASE III

 - Construct Storm Drainage Str. EX-11 to Str. I-13.
 - Construct Sediment Trap ST-4 (3) at Str. I-13.
 - Rough Grade for Building Footings, Parking Areas and Road way.
 - Construct Storm Drainage Str. M-12 to I-14.
 - Construct Buildings, Paving and Stabilize Area in the remaining project.
- Sediment Control Devices to be Removed and areas stabilized only after area draining to these devices have been stabilized.
- Phases may be changed as long as the intended Sediment Control Devices are installed.
- Provide Stone Filter Inlet Protection. See detail this sheet.
- Grading Permit shall be obtained prior to installation of Sediment Control or grading.

SEDIMENT TRAP TABLE AND DIMENSIONS

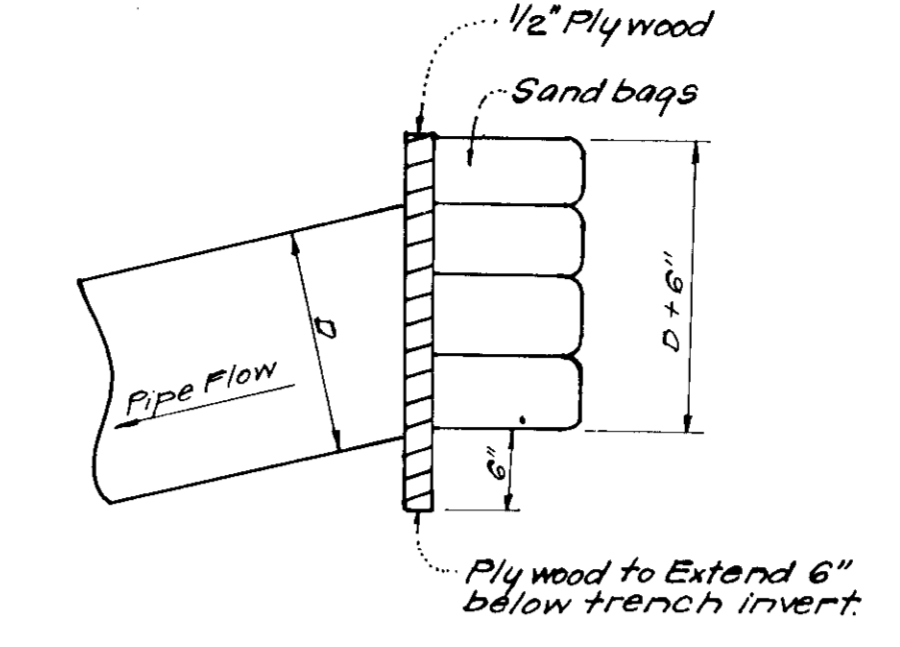
STR. No.	TYPE	PAGE No.	DWG. No.	L	W	D	BOTTOM ELEV.	D.A. Acres	REQUIRED VOLUME	PROVIDED VOLUME	TOP ELEV.	PIPE DIA.	PIPE CREST
I-4	S.I.S.T.	20.08	ST-4	24	22	25	415.00	0.9	162.8	182.0	417.50	N/A	N/A
I-9	S.I.S.T.	20.08	ST-4	22	40	3.0	420.00	4.8	86.83	93.85	423.00	N/A	N/A
I-13	S.I.S.T.	20.08	ST-4	See Plan	185		429.40	1.3	23.52	36.63	431.25	N/A	N/A
M-2	P.O.S.T.	20.06	ST-2	See Plan	35		416.50	2.9	52.50	53.20	420.00	21" C.M.P.	418.50

* See detail, this sheet.

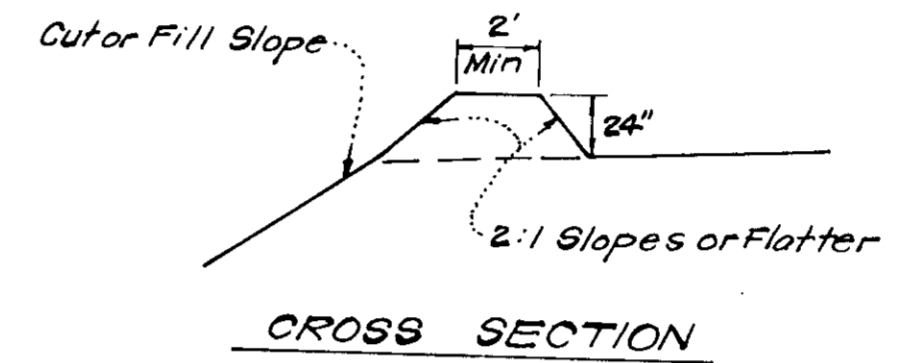


NOTES:
 1. Woven Wire Fence to be fastened securely to fence posts by use of wire ties.
 2. Filter Cloth to be fastened securely to woven wire fence by use of wire ties spaced every 24" x 24".

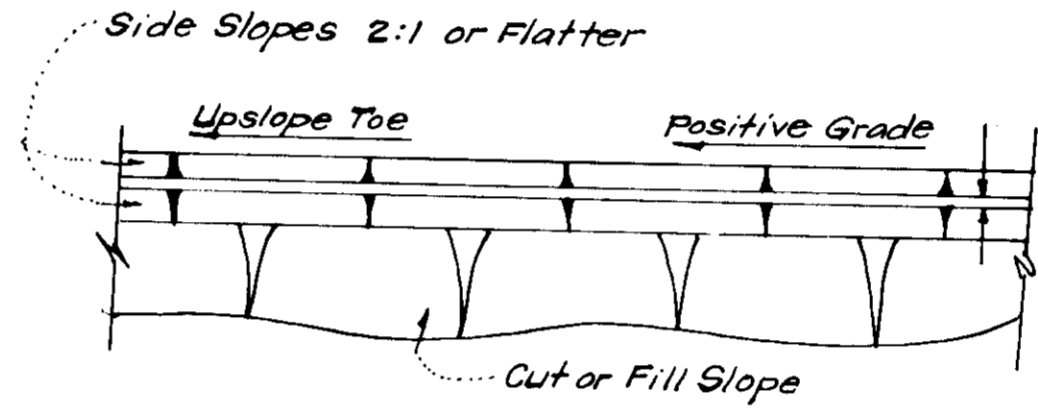
SILT FENCE DETAIL (S.F.)
 No Scale



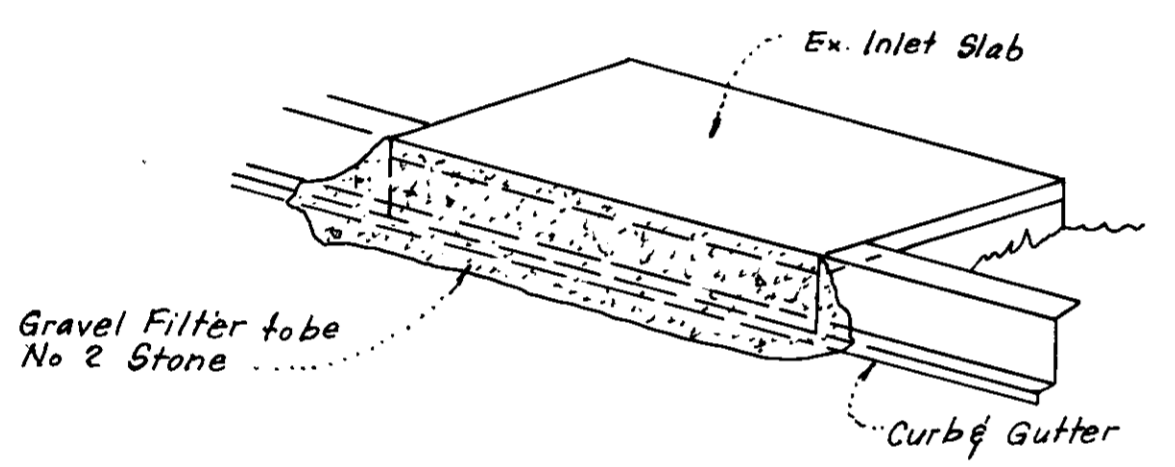
PIPE BLOCKING DETAIL
 No Scale



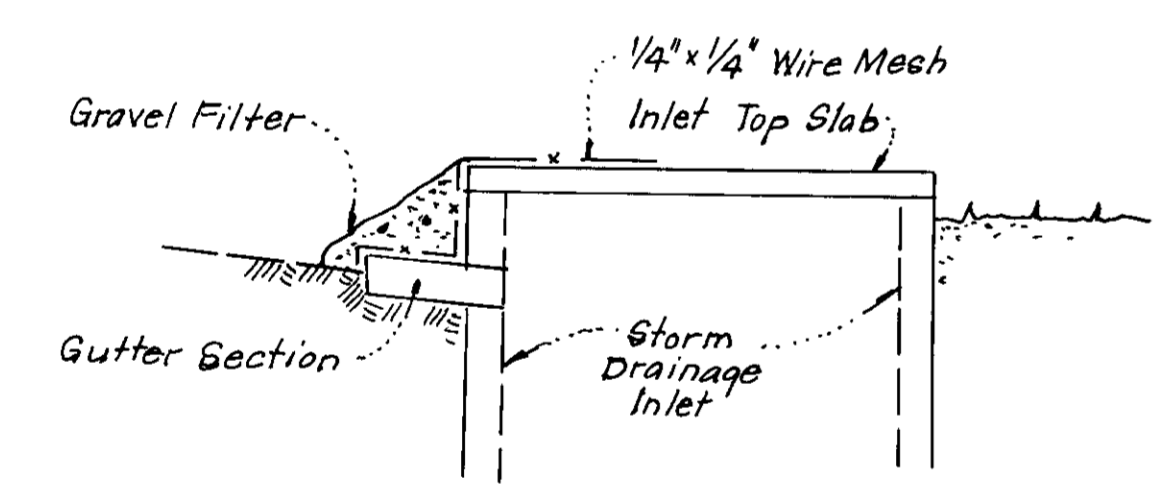
CROSS SECTION



PLAN VIEW DIVERSION DIKE (D.D.)
 No Scale

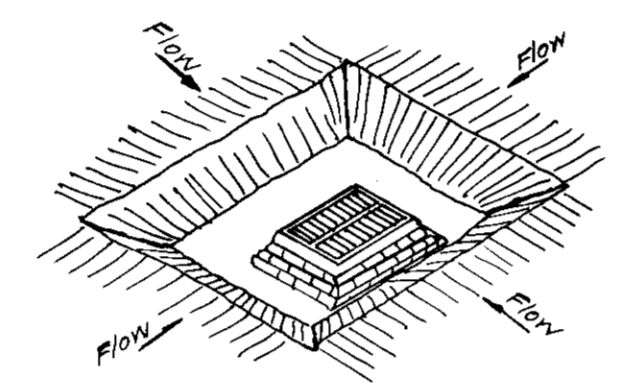


ISOMETRIC VIEW



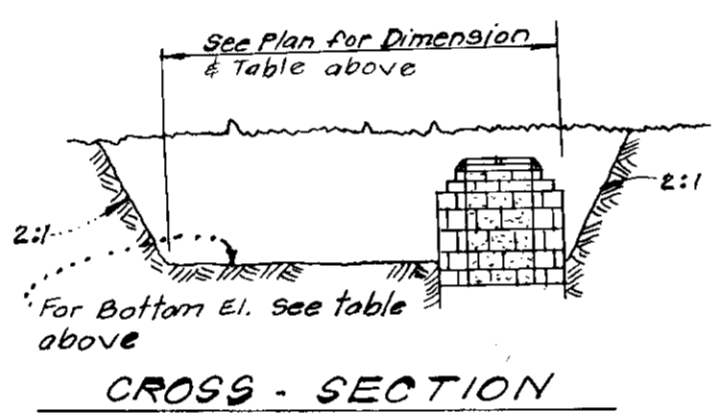
SECTION VIEW

STONE FILTER INLET PROTECTION DETAIL (S.F.I.P.)
 No Scale

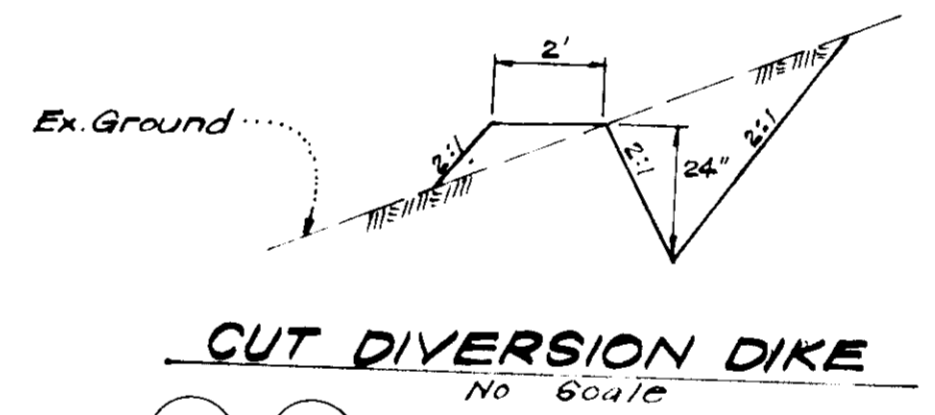


CROSS-SECTION STORM INLET SEDIMENT TRAP (S.I.S.T.)
 No Scale

Note: Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to the design depth of the trap.



SECTION VIEW STABILIZED CONSTRUCTION ENTRANCE
 No Scale



CUT DIVERSION DIKE
 No Scale

PROFILE: PIPE OUTLET SEDIMENT TRAP AT STRUCTURE M-2
 SCALE: Horiz: 1"=50' Vert: 1"=5'

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE: 2-15-78

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,
 HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER: *[Signature]* DATE: 6-12-78

APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING
 PLANNING DIRECTOR: *[Signature]* DATE: 6-12-78
 CHIEF DIVISION OF LAND DEVELOPMENT: *[Signature]* DATE: 6-12-78

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE,
 STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR: *[Signature]* DATE: 6/6/78
 CHIEF BUREAU OF ENGINEERING: *[Signature]* DATE: 6-12-78

Reviewed for HOWARD COUNTY S.C.D.
 and meets Technical Requirements
[Signature] DATE: 5-22-78
 U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED
 FOR SOIL EROSION AND SEDIMENT
 CONTROL BY THE HOWARD SOIL
 CONSERVATION DISTRICT.

DEVELOPER'S CERTIFICATE

I certify that all development and/or construction will be done according to this plan of development and plan for Erosion and Sediment Control, and I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents as are deemed necessary. Deviation from this plan will not be made unless authorized by the Howard Soil Conservation District.

[Signature] DATE: 12/19/77

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

[Signature] DATE: 12-12-77



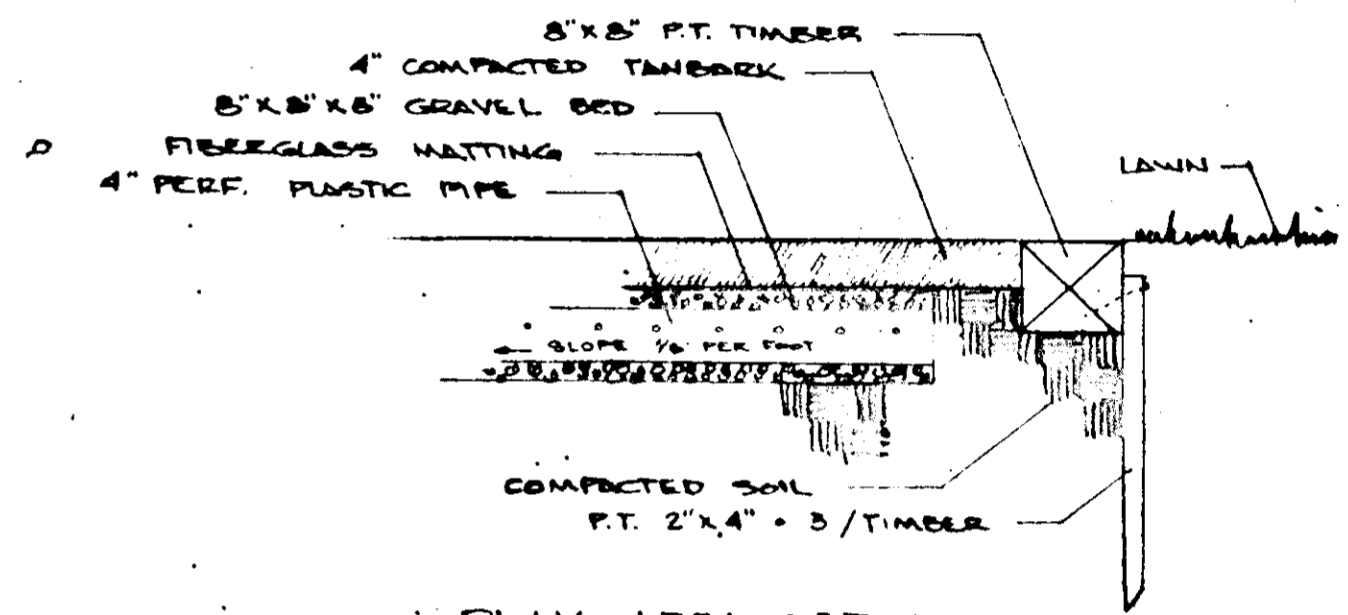
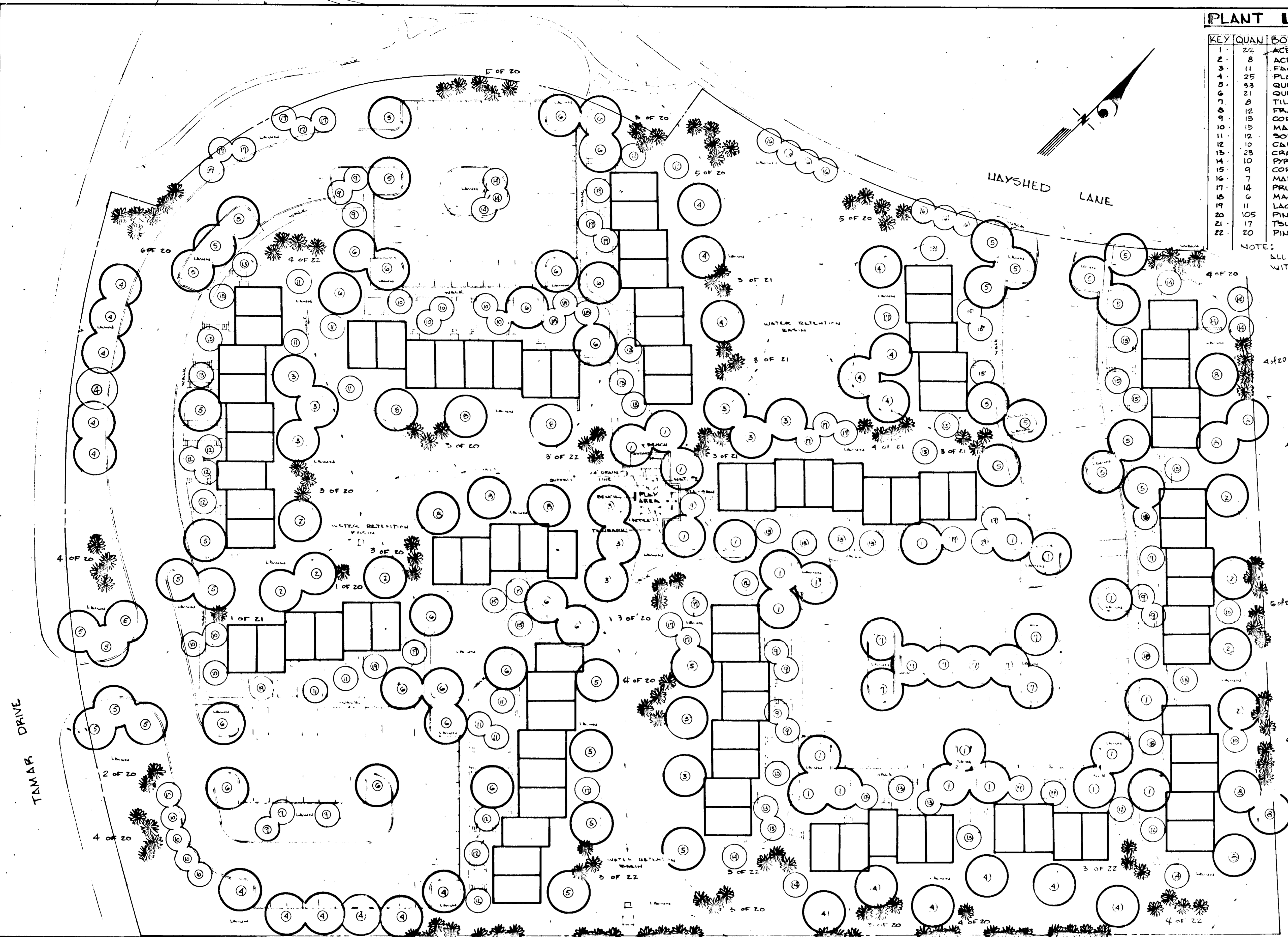
CLARK • FINEFROCK & SACKETT
 ENGINEERS • PLANNERS • SURVEYORS
 11315 LOCKWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 583-3400

DESIGNED D.A.B.	SITE DEVELOPMENT PLAN SEDIMENT & EROSION CONTROL PLAN PARCEL 123 COLUMBIA VILLAGE OF LONGREACH SECTION I AREA 4 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND FOR: CAPITAL HOMES, INC. 1133 15th Street, N.W. Washington D.C. 20005	SCALE As Shown
DRAWN K.I.W.		DRAWING 6 of 7
CHECKED R.J.S.		JOB NO.
DATE Dec, 1977		FILE NO. 1272-SE
		See Also: HC 144 1308-X

PLANT LIST

KEY	QUAN	BOTANICAL & COMMON NAME	SIZE	METHOD
1	22	ACER RUBRUM - RED MAPLE	2 1/2" - 3" CAL. 12' - 14'	B I B
2	8	ACER SACCHARUM - SUGAR MAPLE	2 1/2" - 3" CAL. 12' - 14'	B I B
3	11	FAGUS SYLVATICA - EUROPEAN BEECH	2 1/2" - 3" CAL. 12' - 14'	B I B
4	25	PLATANUS ACERIFOLIA - LONDON PLANETREE	2 1/2" - 3" CAL. 12' - 14'	B I B
5	33	QUERCUS PALUSTRIS - PIN OAK	2 1/2" - 3" CAL. 12' - 14'	B I B
6	21	QUERCUS PHELLOS - WILLOW OAK	2 1/2" - 3" CAL. 12' - 14'	B I B
7	8	TILIA CORDATA - LITTLELEAF LINDEN	2 1/2" - 3" CAL. 10' - 12'	B I B
8	12	FRAXINUS LANCEOLATA - GREEN ASH	2 1/2" - 3" CAL. 12' - 14'	B I B
9	13	CORNUS FLORIDA - WHITE DOGWOOD	2" - 2 1/2" CAL. 8' - 10'	B I B
10	15	MALUS HOPEA - HOPE CRAB	2" - 2 1/2" CAL. 8' - 10'	B I B
11	12	SOPHORA JAPONICA - SCHOLARTREE	2" - 2 1/2" CAL. 8' - 10'	B I B
12	10	CARPINUS CAROLINIANA - IRONWOOD	2" - 2 1/2" CAL. 8' - 10'	B I B
13	23	CRATAEGUS LAVALLEI - LAVALLE THORN	2" - 2 1/2" CAL. 8' - 10'	B I B
14	10	PYRUS CALLERYANA BRADFORD - BRADFORD PEAR	2" - 2 1/2" CAL. 8' - 10'	B I B
15	9	CORNUS KOUSA - CHINESE DOGWOOD	2" - 10' HVY.	B I B
16	7	MALUS FLORIBUNDA - FLOWERING CRAB	2" - 2 1/2" CAL. 7' - 8'	B I B
17	14	PRUNUS YEDOENSIS - YOSHINO CHERRY	2" - 2 1/2" CAL. 8' - 10'	B I B
18	6	MAGNOLIA STELLATA - STAR MAGNOLIA	2" - 2 1/2" CAL. 8' - 10'	B I B
19	11	LAGERSTROMIA INDICA - CROFTON MYRTLE	2" - 10' HVY.	B I B
20	105	PINUS STROBUS - WHITE PINE	2" - 2 1/2" CAL. 6' - 8'	B I B
21	17	TSUGA CANADENSIS - CANADIAN HEMLOCK	2" - 2 1/2" CAL. 6' - 8'	B I B
22	20	PINUS NIGRA - LUSTREIN PINE	2" - 2 1/2" CAL. 6' - 8'	B I B

NOTE: ALL PLANT MATERIALS AND PLANTING METHODS ARE TO BE IN ACCORDANCE WITH SUPPLEMENT #3 "TRC COLUMBIA PLANTING SPECIFICATIONS".



PLAY EQUIPMENT DATA
 EQUIPMENT BY: MIRACLE RECREATION DEPT.
 P.O. BOX 275
 GRINNELL, IOWA 50112
 1 NATUREVILLE II MODEL 144-527
 1 HORIZ. LADDER MODEL 752-516
 1 SEE-SAW MODEL 752-518
 2 BENCHES MODEL 1236-2
 ALL EQUIPMENT TO BE PERMANENTLY
 INSTALLED ACCORDING TO MANUF.
 SPECIFICATIONS.

APPROVED
 PLANNING BOARD
 SILVER SPRING, MARYLAND
 DATE: 2-15-78

NOTE: THIS PLAN PREPARED BY:
COLLINS & KRONSTADT
 SILVER SPRING, MD. 20910

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
Joseph M. Fredman 6-12-78
 HEALTH DEPARTMENT
 PLANNING DIRECTOR DATE
 DIVISION OF LAND AND DEVELOPMENT DATE
 APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Richard E. Gildenberg 6-6-78
 DIRECTOR DATE
 CIVIL ENGINEER DATE

Donald P. Sackett

CLARK • FINEFROCK & SACKETT ENGINEERS • PLANNERS • SURVEYORS 11111 LOCKWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 593-3400		
DESIGNED See Above	LANDSCAPE PLAN PARCEL "B" COLUMBIA VILLAGE OF LONGREACH, SECTION 1 AREA 4 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'
DRAWN		DRAWING 7 of 7
CHECKED		JOB NO.
DATE May, 1977	FOR: CAPITAL HOMES, INC. 1133 15th Street, N.W. Washington, D.C. 20005	FILE NO. 1308-X