

ENTRANCE DRIVE & TRUCK AREA	
1 1/2" Band C-3 Bit. conc. surface	
3" gravel mix bit conc. binder C-2	
9" crusher run base	

Cleaning and grading ART. C-1
 Subgrade ART. C-2
 Base course ART. C-3
 Binder Course ART. C-3
 Surface Course ART. C-31
 To be constructed in accordance with the Howard County road construction code and specifications.

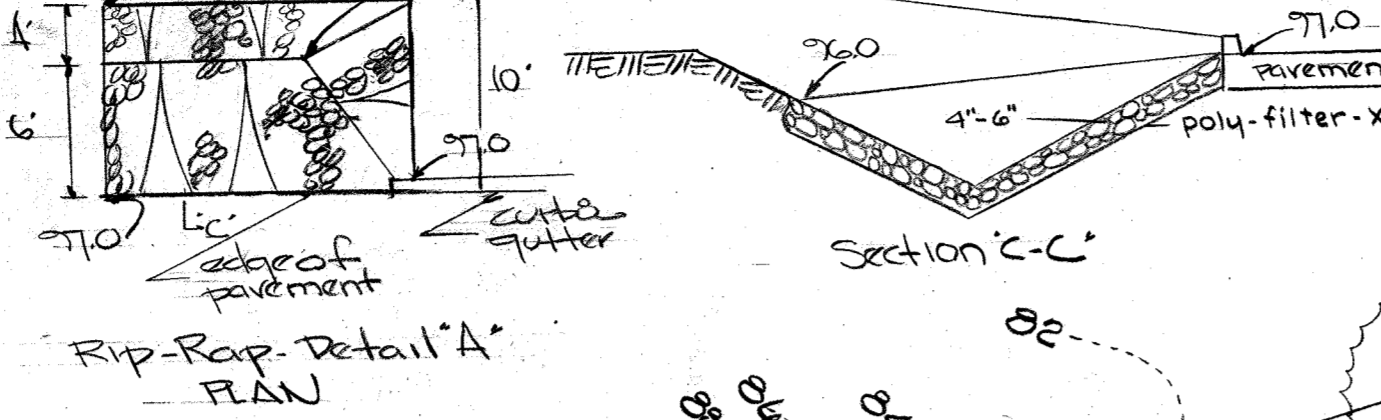
PAVING DETAIL

PT = Parc. Test
 TP = Test Pit

Edward J. & Betty J. August
 578/339

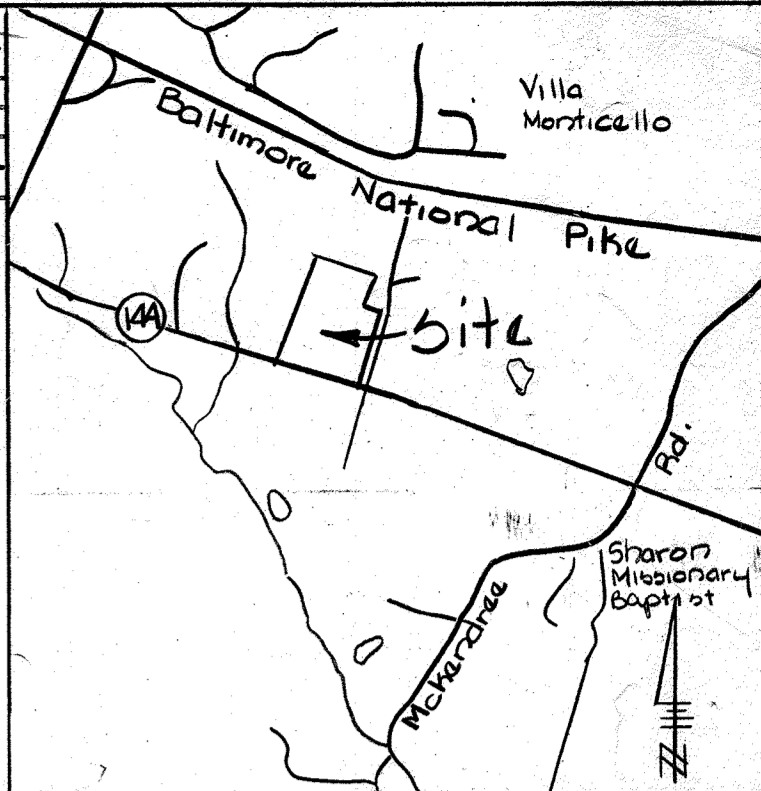
Stephen N. Jones
 454/573

NO.	DATE	REVISION
1	11/19/14	REMOVE EX. MODULAR OFFICE & CONSTRUCT NEW ADDITION
2	6-20-15	REMOVE EXISTING TRAILER
3	5-31-23	REMOVE AND REPLACE FUEL TANKS

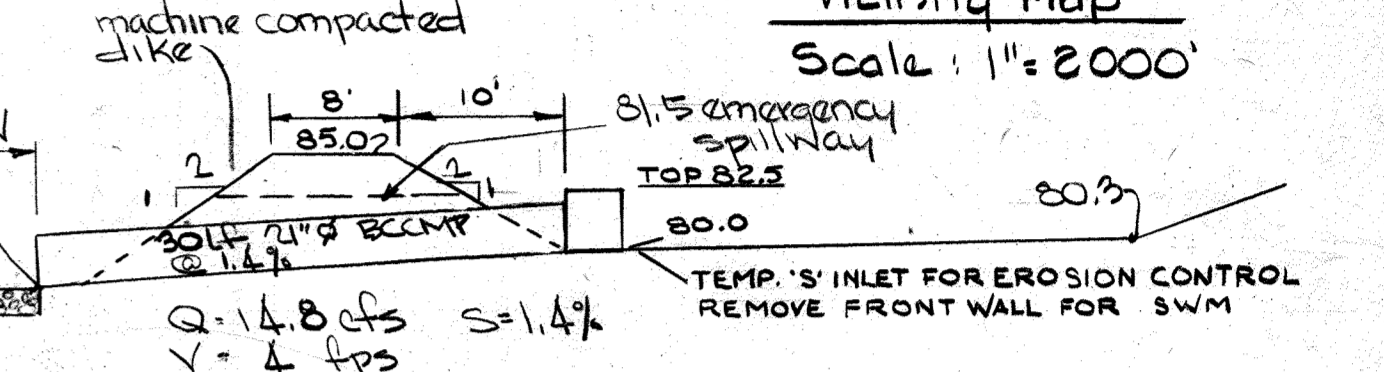


Rip-Rap Detail 'A' PLAN

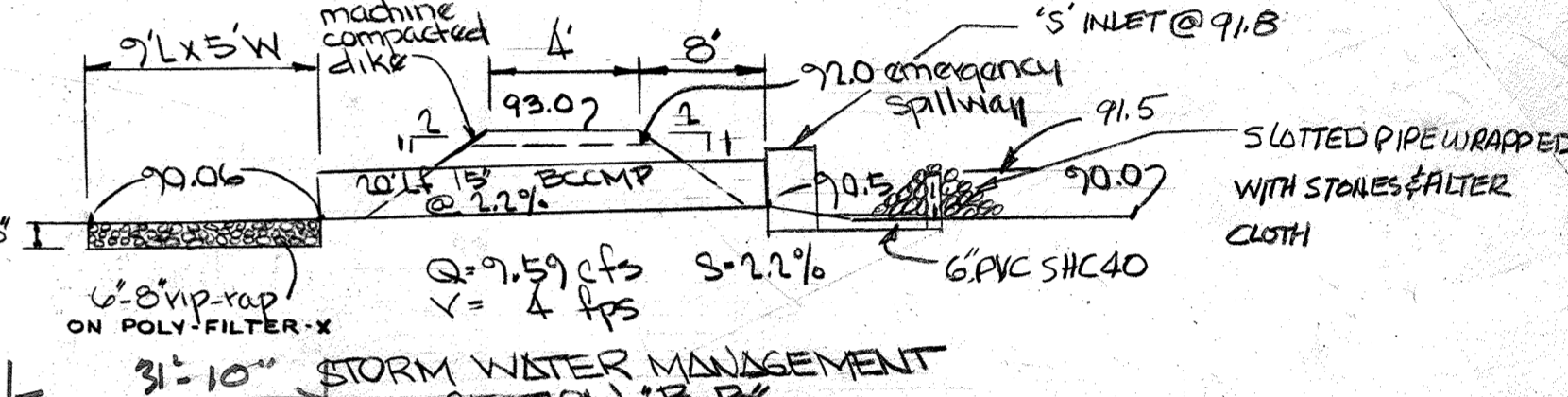
SHEET INDEX	
1	SITE PLAN
2	EROSION CONTROL
3	DERAINAGE AREA
4	REV. SITE DEVELOPMENT PLAN
5	SITE & GRADING PLAN
6	SITE DETAILS
7	WATER & SEWER PROFILES



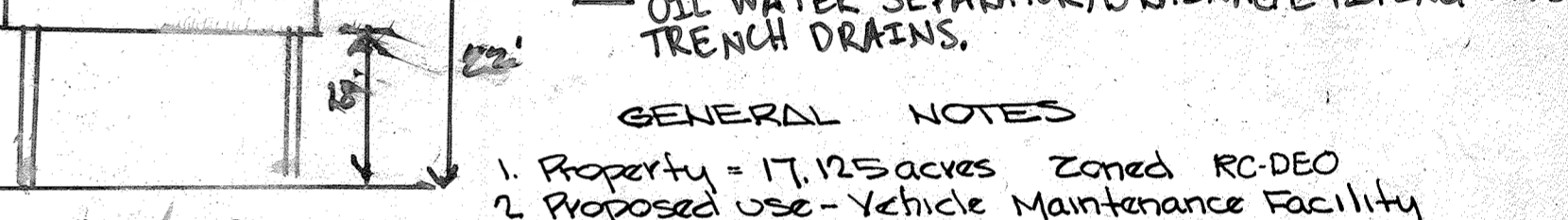
Vicinity Map
 Scale: 1" = 2000'



STORM WATER MANAGEMENT SECTION 'A-A'



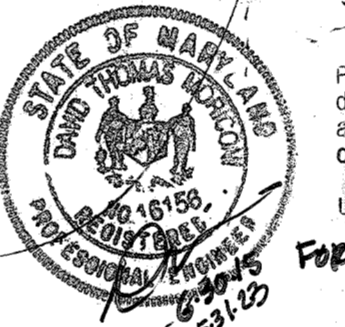
STORM WATER MANAGEMENT SECTION 'B-B'



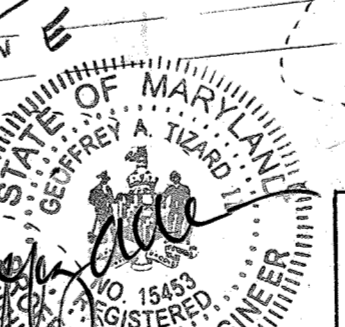
- GENERAL NOTES
- Property = 17.125 acres Zoned RC-DEO
 - Proposed use - Vehicle Maintenance Facility
 - Original grade - Proposed grade
 - Building area 2,040 sq ft Paved area - 99,440 sq ft
 - Stone paving 2,110 sq ft Building coverage - 1%
 - Entrance road and parking are private.
 - Private water & sewer provided
 - Parking spaces needed
 - 16 cars
 - 12 trucks
 - 30 cars
 - 19 trucks

GENERAL NOTES (CONTINUED)

12. THE CUMULATIVE LOD OF 2,920 SPT IS LESS THAN 5,000 SPT SO THE IMPROVEMENTS ARE EXEMPT FROM PROVIDING STORMWATER MANAGEMENT. ANY FUTURE DISTURBANCE WHERE THE CUMULATIVE TOTAL EXCEEDS 5,000 SPT, THEN STORMWATER MANAGEMENT SHALL BE PROVIDED.



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
 License No. 16156 Expiration Date: 8-28-2024



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
 License No. 15455 Expiration Date: 07/31/2015



CANOPY @ GAS PUMPS

NO.	DATE	REVISION
1	9/09/14	ADD PROP. STAIRWAY ENCLOSURE & RELOCATE WATER
2	4/28/14	ADD OIL WATER SEPARATOR AND PIPING
3	7/20/15	ADD CANOPY AT GAS PUMPS
4	6-11-04	ADD EX. STOCK PILES AND PROP. SALT BARN

Approved: For storm drainage systems and roads. Howard County Department of Public Works.
 Director: [Signature] 1-18-77
 Chief, Bureau of Highways: [Signature] 1-18-78
 Approved: Howard County Office of Planning and Zoning
 Planning Director: [Signature] 1-26-78
 Chief, Division of Land Development: [Signature] 1-23-78
 Approved: For private water and private sewerage systems. Howard County Health Department
 Director: [Signature] 1-13-78

Reviewed for Howard SCD and meets technical requirements.
 Signature: [Signature] Date: [Date]
 U.S. SOIL CONSERVATION SERVICE

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.
 APPROVED: [Signature] 1-3-78
 HOWARD SCD

I certify that all development and/or construction will be done according to this plan of development and plan for erosion and sediment control and I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents as are deemed necessary.

I certify this this plan for erosion and sediment control represents knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard County Soil Conservation District.
 Signature: [Signature] Date: 8-9-77

VEHICULAR INGRESS & EGRESS RESTRICTED

EVERGREEN TREES AT 12' ON PROP. FRONT

MD. RT. 144

LIMIT OF SALT PAVING

SALT PAVING UNDERGROUND CURB & GUTTER 6" DIA.

MOVE POLES AS REQUIRED

LIMIT OF SALT PAVING

SALT PAVING UNDERGROUND CURB & GUTTER 6" DIA.

MOVE POLES AS REQUIRED

LIMIT OF SALT PAVING

SALT PAVING UNDERGROUND CURB & GUTTER 6" DIA.

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LIMIT OF SALT PAVING

SALT PAVING UNDERGROUND CURB & GUTTER 6" DIA.

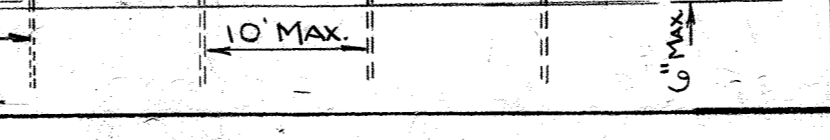
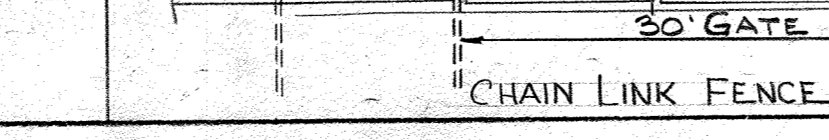
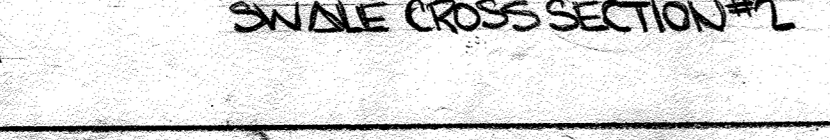
MOVE POLES AS REQUIRED

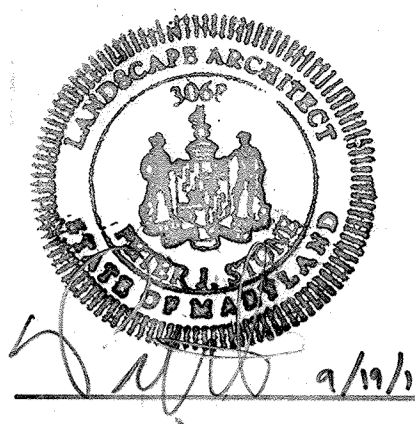
LIMIT OF SALT PAVING

1123

NO.	DATE	REVISION
10	9/19/18	ADDED SIGN SHOP BUILDING

CULVERT DRAIN PROFILE
 SCALE: VERT 1" = 5'
 HORIZ 1" = 50'





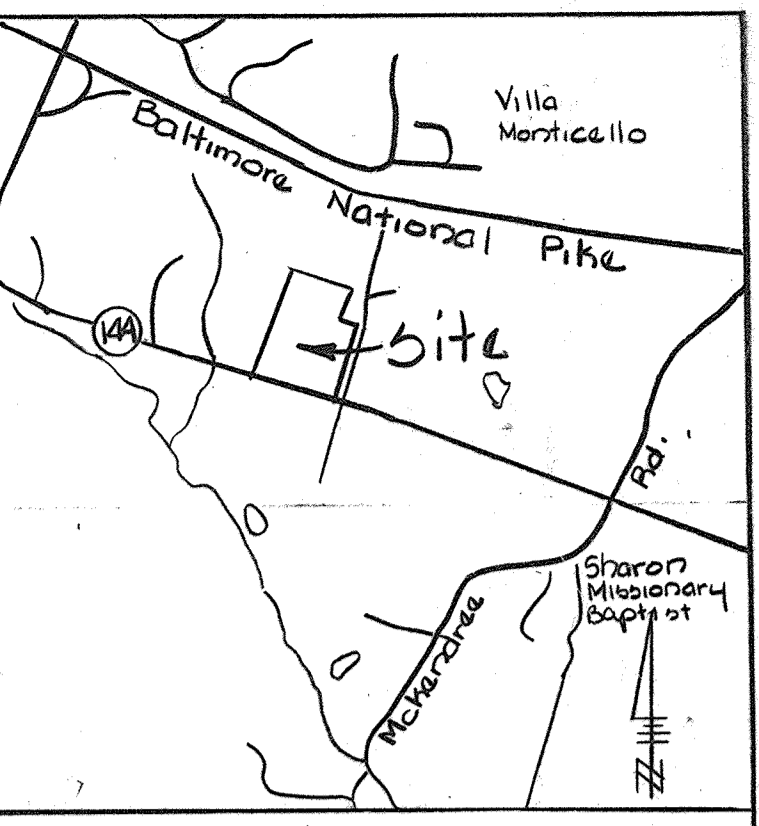
THIS SEAL FOR REVISIONS MADE 9/19/18 ONLY

Sediment trap	DRAINAGE AREA	DRAINAGE AREA	STORAGE REQUIRED	STORAGE PROVIDED	CLEAR OUT ELEVATION	EXCAVATION ELEVATION	CRIST ELEV
# A	5.1Ac	4.4	335	345	90.5	60X100X3	91.0
# B	12.1Ac	10.9	811	815	81.1	30X195X2	83.5

NO.	DATE	REVISION
4	9/19/18	ADDED SIGN SHOP BUILDING

Stephen N. Jones, et al.
440/63, 447/688, 454, 573

APPROVED
DIVISION OF LAND DEVELOPMENT
HOWARD COUNTY, MARYLAND
DATE 11-18-77



Vicinity Map
Scale: 1" = 2000'

EROSION & SEDIMENT CONTROL NOTES
All siltation control work to be in accordance with standards and specifications of the Howard County Soil Conservation District Sediment Control program and U.S. Soil Conservation Service, and 1977 Howard County Code Sect. 3.400 - 3.404

- Estimated phasing and scheduling of development measures constructed first:
1. Rough grade, fine grade, vegetate start - October 1977
 2. Start building construction, complete final grading, paving, vegetation start - November, 1977
 3. Maintenance and cleanup After March 1978
- Seeding requirements:
1. Seeded area approx. 4.2 Acres
 2. Seed to be Kentucky 31 Tall fescue with 85% germination and 98% purity.
 3. Rates:
Seed 5-7# 1000 SF
Fertilizer 10-10-10 25# 1000 SF
Limestone 50# 1000 SF
Straw mulch 75# 1000 SF
Asphalt tie down 0.01 gal/SF
 4. Temporary Seeding - Earth berm dikes
Seed - Rye grass 5# 1000 SF
Follow preparation rates of #4 above
 5. Top soil to be spread over areas to be seeded
 6. Incorporate both lime and fertilizer into soil by disking.
 7. Contractor to construct and maintain earth berms daily.
 8. Berms and other control measures to be maintained until planting and other permanent improvements are stabilized.
 9. Predominate soil type CH2 - Chester Silt Loam
 10. Property area - 17.125 acres
 11. Vegetated area - 4.2 acres undisturbed area - 1.8 acres disturbed area - 15.3 acres

NOTE: APRIL 2014 REVISIONS INCLUDE ADDITION OF OIL WATER SEPARATOR, DRAINAGE PIPING AND TRENCH DRAINS.

NO.	DATE	REVISION
1	11/10/14	REMOVE EX. MODULAR OFFICE & CONSTRUCT NEW
2	9/02/14	ADDED PROP. STAIRWAY INCLOSURE

Approved: For storm drainage systems and roads. Howard County Department of Public Works.

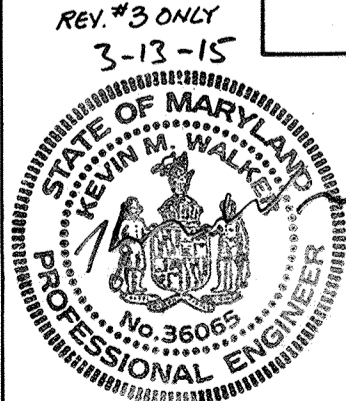
Director: *[Signature]* Date: 1-18-78
 Chief, Bureau of Highways: *[Signature]* Date: 1-18-78

Approved: Howard County Office of Planning and Zoning

Planning Director: *[Signature]* Date: 1-23-78
 Chief, Division of Land Development: *[Signature]* Date: 1-23-78

Approved: For private water and private sewerage systems. Howard County Health Department

County Health Officer: *[Signature]* Date: 1-13-78



I certify that all development and/or construction will be done according to this plan of development and plan for Erosion and Sediment Control, and I also authorize periodic on site inspection by the HOWARD SOIL CONSERVATION DISTRICT or their authorized agents as are deemed necessary.

Developer: *[Signature]* DATE: 11/17/77

I certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the HOWARD COUNTY SOIL CONSERVATION DISTRICT.

Engineer: *[Signature]* DATE: 9-22-77

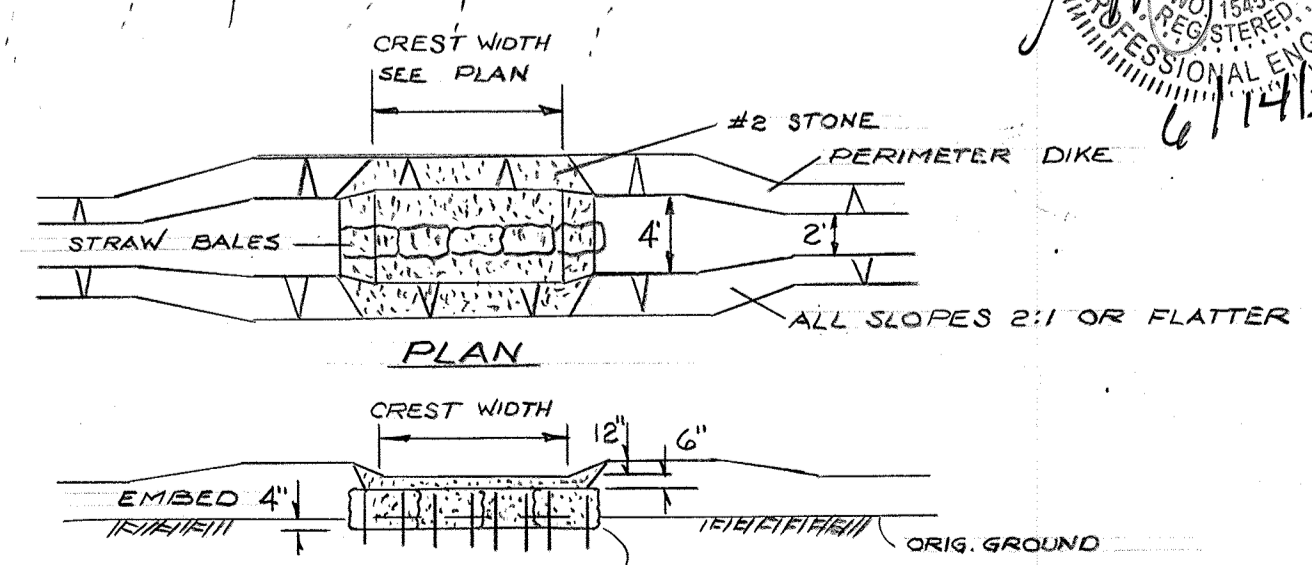
Reviewed for HOWARD S.C.D. and meet technical requirements.

Signature: *[Signature]* DATE: 1/4/78
 U.S. SOIL CONSERVATION SERVICE

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Approved: *[Signature]* DATE: 1-3-78
 Howard S.C.D.

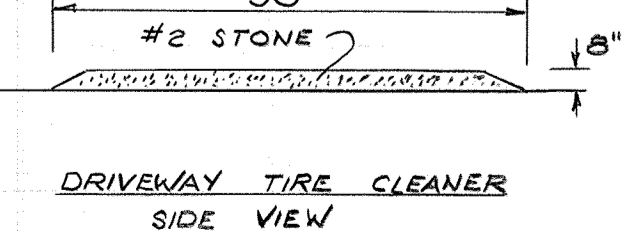
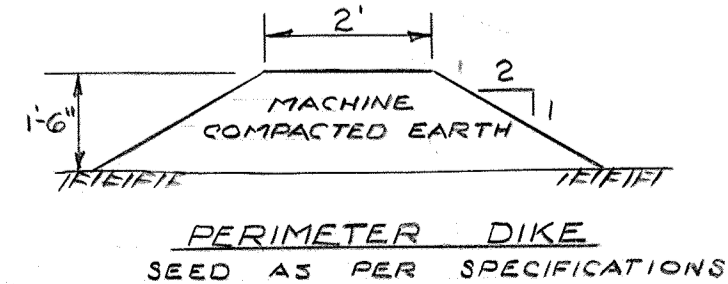
PLAN
Scale: 1" = 50'

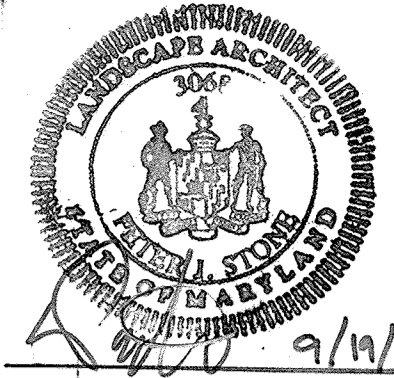


DETAILS - EROSION CONTROL



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
 License No. 15453, Expiration Date: 07/02/2015
 14920 5/12/16

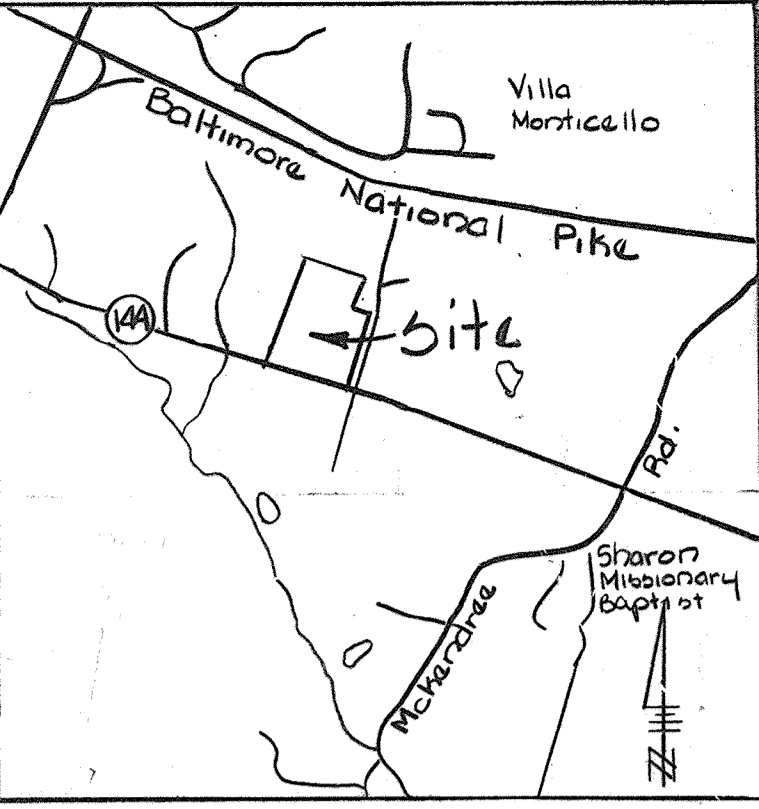




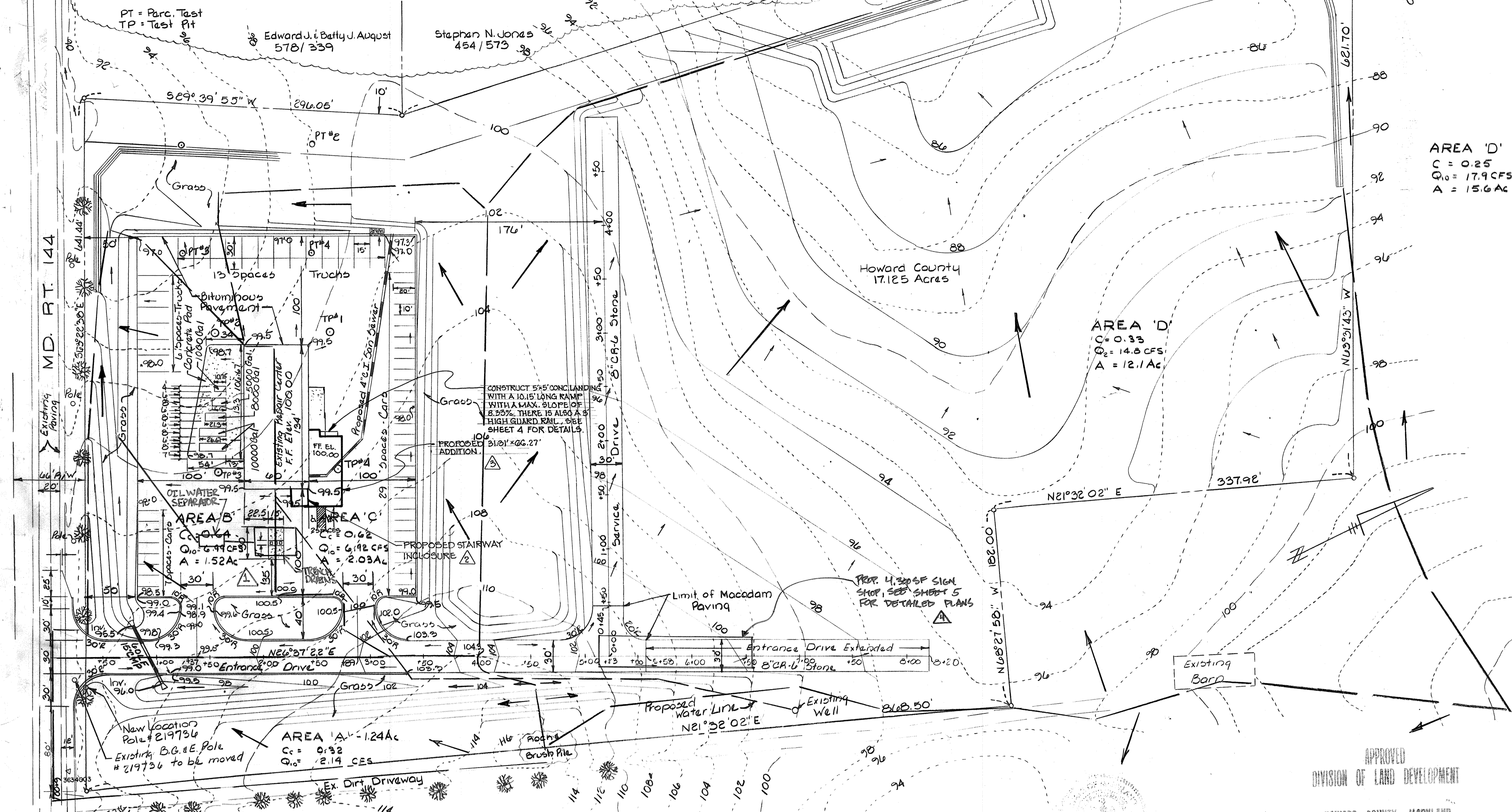
THIS SEAL FOR REVISIONS MADE 9/19/18 ONLY

NO.	DATE	REVISION
3	11/10/14	REMOVE EX. MODULAR OFFICE & CONSTRUCT NEW ADDITION. ADDED ELEV. VIEW.
4	9/19/18	ADDED SIGN SHOP BUILDING

Stephen N. Jones, et al.
440/83, 447/688, 454, 573



Vicinity Map
Scale: 1" = 2000'



AREA 'D'
C = 0.25
Q₁₀ = 17.9 CFS
A = 15.6 Ac

AREA 'D'
C = 0.33
Q₁₀ = 14.8 CFS
A = 12.1 Ac

AREA 'B'
C = 0.42
Q₁₀ = 6.94 CFS
A = 1.52 Ac

AREA 'C'
C = 0.42
Q₁₀ = 6.94 CFS
A = 2.03 Ac

AREA 'A' - 1.24 Ac
C = 0.32
Q₁₀ = 2.14 CFS

NOTE: APRIL 2014 REVISIONS INCLUDE ADDITION OF OIL WATER SEPARATOR, DRAINAGE PIPING AND TRENCH DRAINS.

NO.	DATE	REVISION
2	9/03/14	ADDED PROP. STAIRWAY ENCLOSURE

Approved: For storm drainage systems and roads. Howard County Department of Public Works.

Director: *M. Regan* Date: 1-18-78
Chief, Bureau of Highways: *J. O. Silbert* Date: 1-18-78

Approved: Howard County Office of Planning and Zoning
Planning Director: *William H. Hargrett* Date: 1-26-78
Chief, Division of Land Development: *William H. Hargrett* Date: 1-23-78

Approved: For private water and private sewerage systems. Howard County Health Department
County Health Officer: *John A. Jenkins* Date: 1-13-78

APPROVED
DIVISION OF LAND DEVELOPMENT

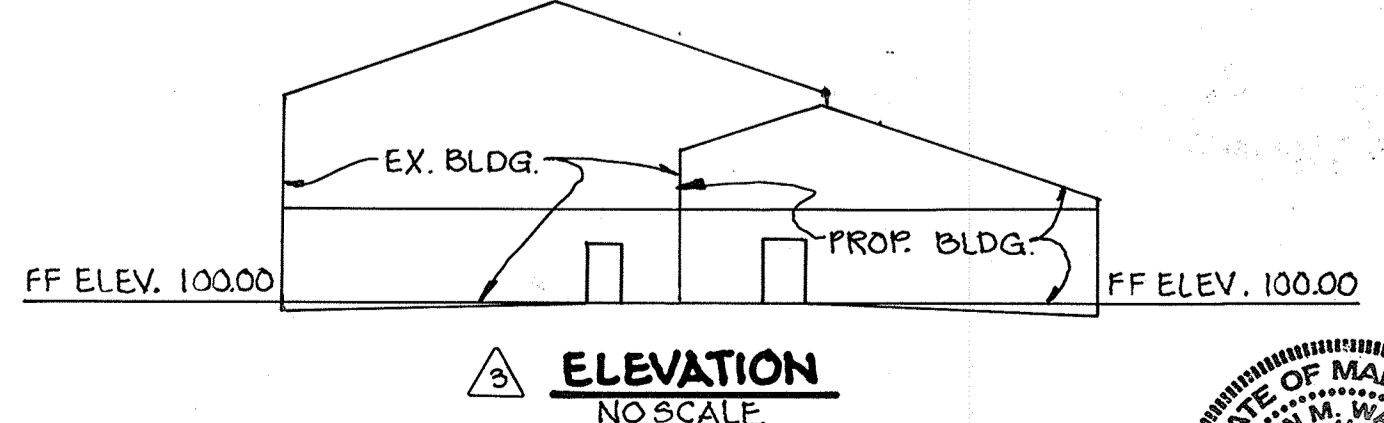
HOWARD COUNTY, MARYLAND
DATE 11-18-77

1	4/23/14	ADD OIL WATER SEPARATOR AND PIPING
REV. NO.	REV. DATE	DESCRIPTION

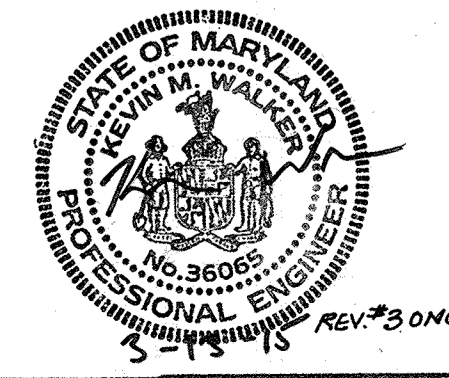
OWNER AND DEVELOPER
DEPARTMENT OF PUBLIC WORKS
HOWARD COUNTY, MARYLAND
992-2424

CAPITOL PROJECT C-6-0114
WEST ZONE REPAIR CENTER
RT. 144 COOKSVILLE, MD. 21723
Elec. Dist. 4 L847 F602 Tax Map 0 P168
TYDINGS-OHEIM ASSOC. INC.
8730 Court Ave. Ellicott City, Md. 465-0660
JACK S. FEICH & ASSOCIATES - ENGINEER
430 White Plains Ct. Severna Park, MD.
647-6855

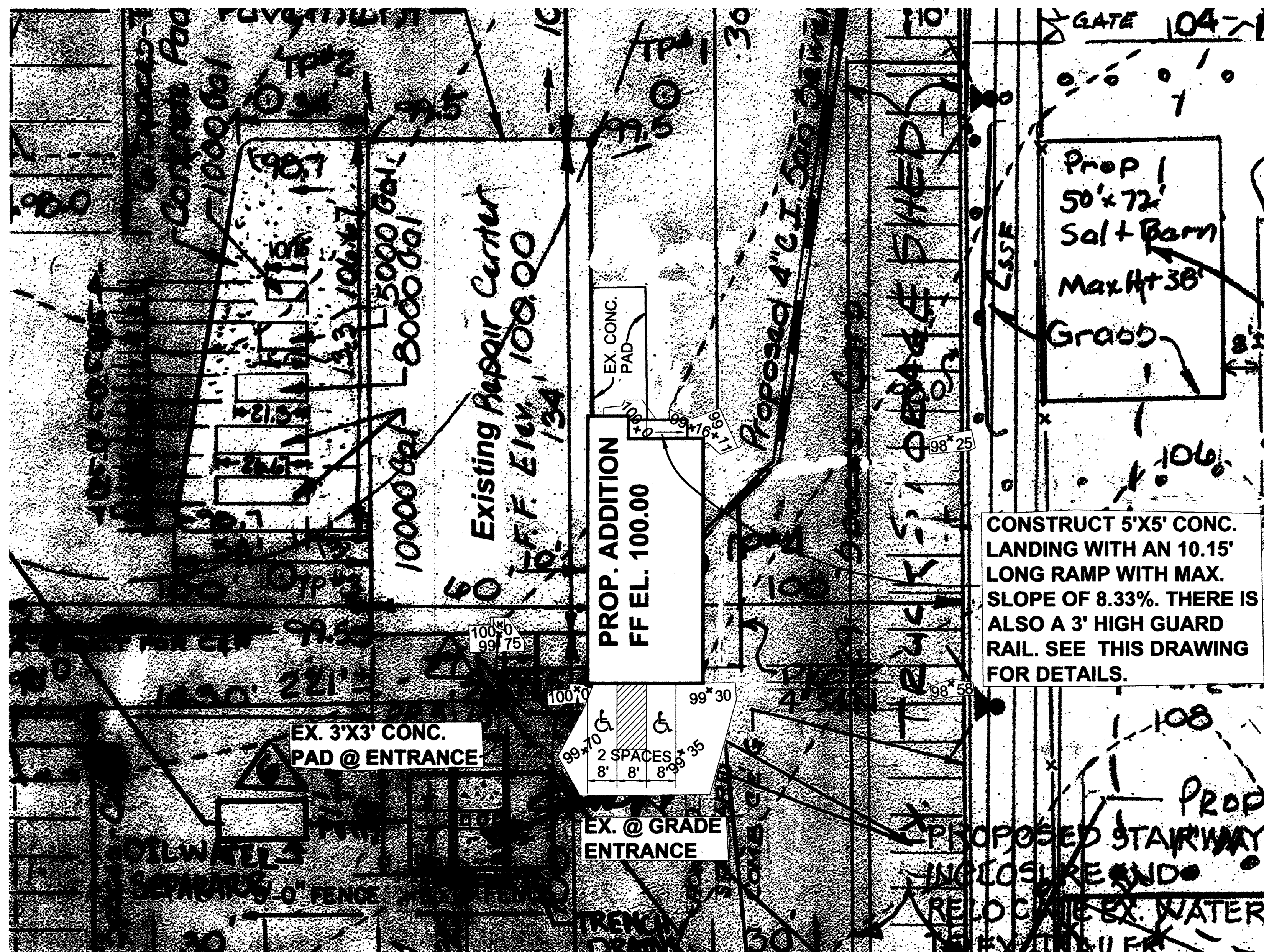
DRAINAGE AREA
SDP-78-47



ELEVATION
NO SCALE



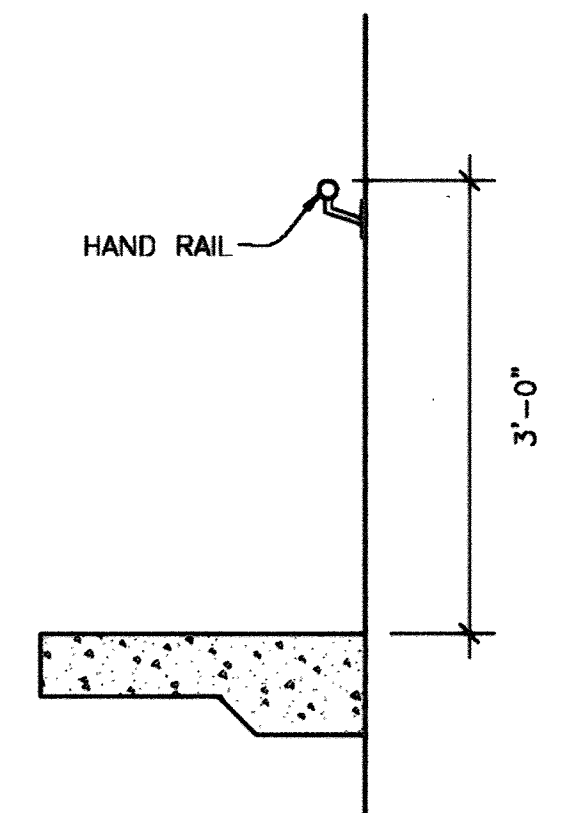
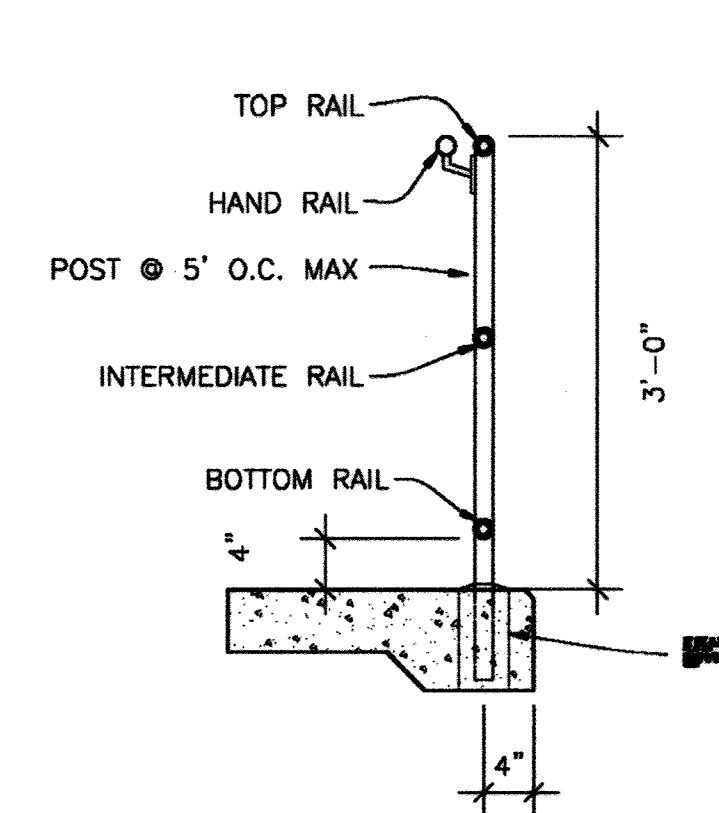
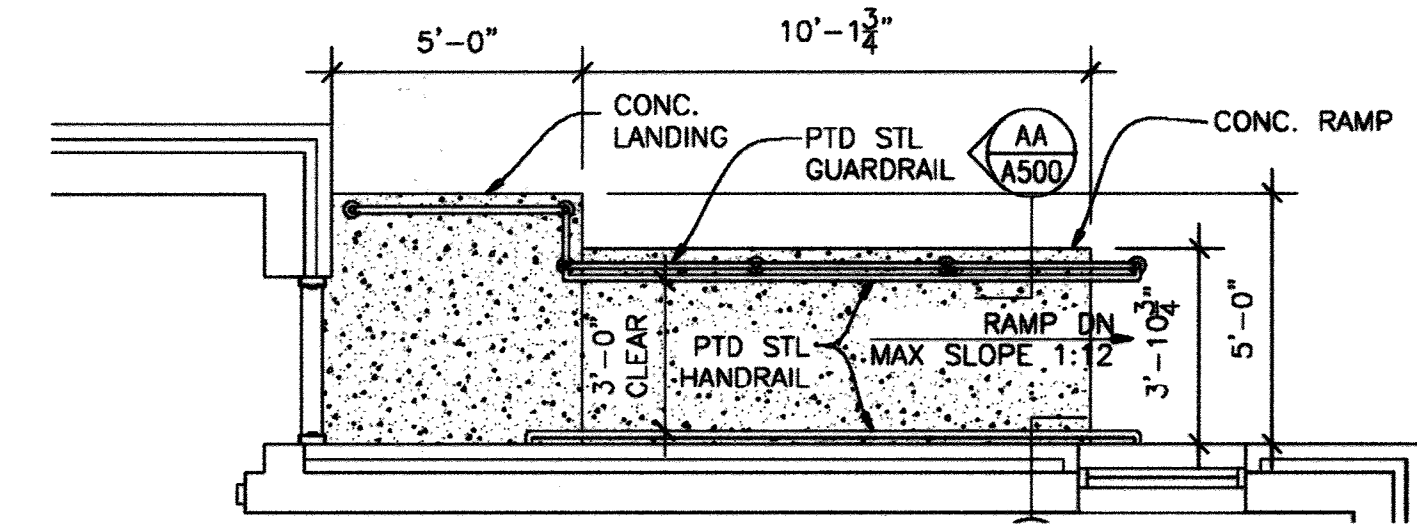
Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 15453, 14920, Expiration Date: 07/02/2015, 5/12/14



BLOWUP OF PROPOSED ADDITION WITH SPOT ELEVATIONS
SCALE: 1"=20'

GENERAL NOTES CONTINUED FROM SHEET 1

12. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS BUREAU ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK
13. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
14. THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH TWO FOOT CONTOUR INTERVALS PREPARED BY TYDING-OHEIM ASSOCIATES, INC. ON OR ABOUT SEPTEMBER, 1977.
15. THE HORIZONTAL AND VERTICAL CONTROL FOR THIS PROJECT WAS BASED ON ASSUMED DATUM.
16. EXISTING UTILITIES ARE BASED ON THE ORIGINAL SITE DEVELOPMENT PLAN NO. SDP-78-047
17. ALL EXISTING UTILITIES WILL REMAIN IN PLACE.
18. THE PROJECT IS EXEMPT FROM STORMWATER MANAGEMENT FOR THE 1,920 SF. OF DISTURBED AREA.
19. THE LOD FOR THIS PROJECT RUNS ALONG AND ADJACENT TO THE PROPOSED BUILDING ADDITION.
20. THE EXISTING MODULAR BUILDING WILL BE REMOVED AND THE NEW PERMANENT STRUCTURE WILL REPLACE IT.



"PURPOSE STATEMENT"

THE PURPOSE OF ADDING THIS SHEET WAS TO SHOW THE IMPROVEMENTS AT A LARGER SCALE SO IT COULD BE READABLE, ADD DETAILS AND SHOW THE ADDITIONAL GENERAL NOTES THAT WOULDN'T FIT ON THE FIRST SHEET OF THE SITE DEVELOPMENT PLAN.

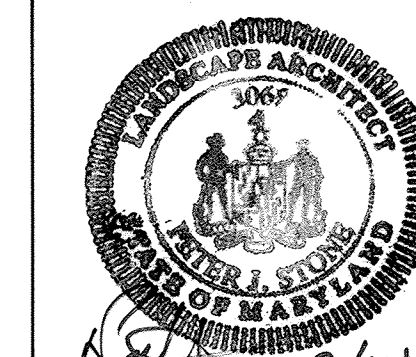
Date	No	Revision Description
9/11/10	1	REVISED SHEET NUMBERING
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
		3-23-15 DATE
		3-26-15 DATE
		5/26/15 DATE

OWNER AND DEVELOPER
DEPARTMENT OF PUBLIC WORKS
HOWARD COUNTY, MARYLAND
410-313-2414

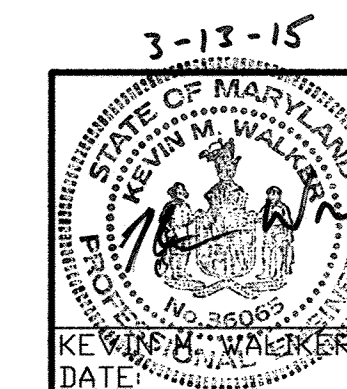
CAPITOL PROJECT C-6-0116
WEST ZONE REPAIR CENTER
RT. 144 COOKSVILLE, MD. 21723
ELECTION DISTRICT 4, L. 847 F. 602, TAX MAP 8, P. 168

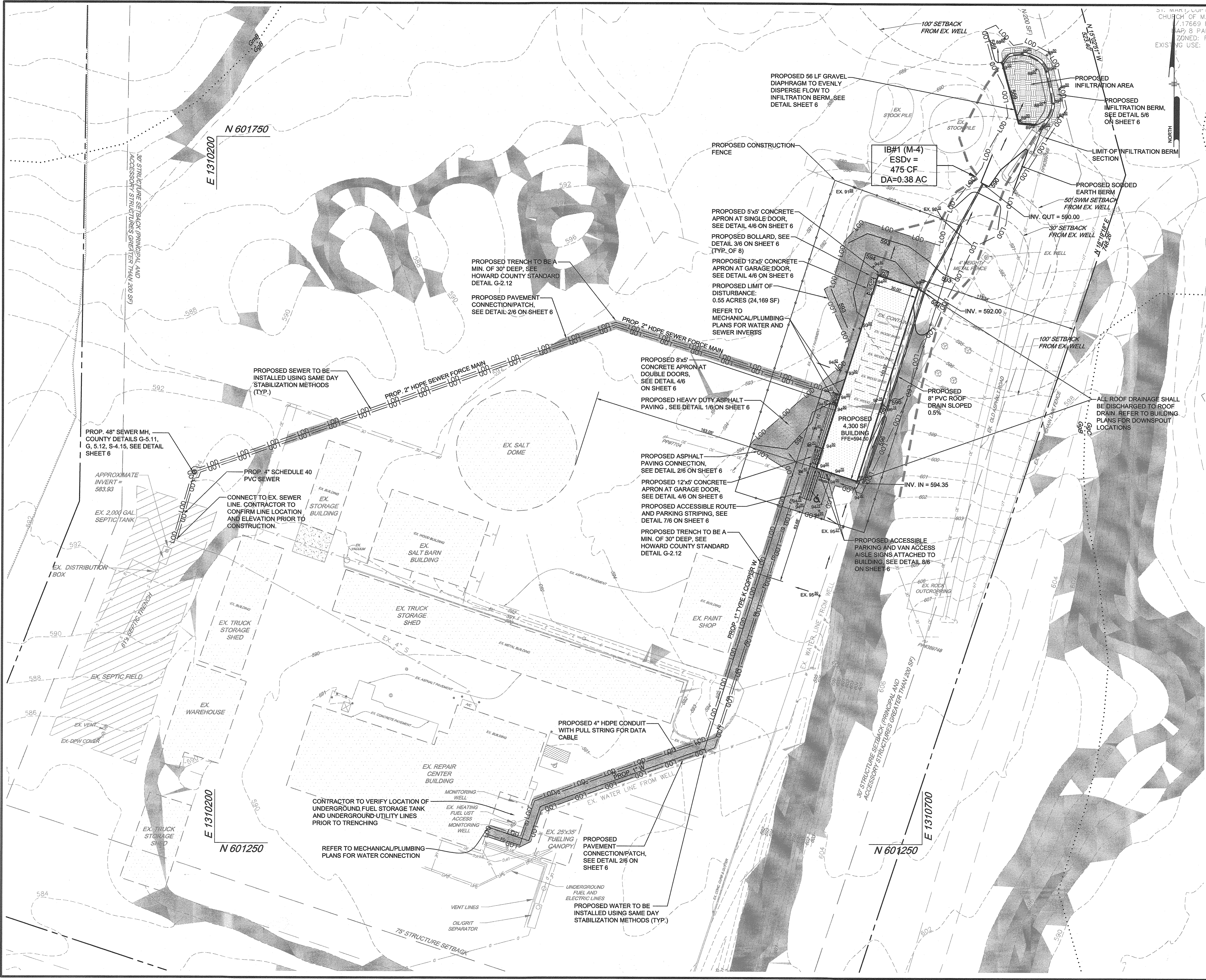
PHOENIX ENGINEERING, INC.
309 INTERNATIONAL CIRCLE
SUITE 138
HUNT VALLEY, MD 21030
PHONE: 410-389-1100
FAX: 410-389-1110
WWW.PHOENIX-ENG.COM

DRAWN BY: L.J.D.
DATE: 02-20-15
SHEET NO. SP - 4 of 7



PROFESSIONAL CERTIFICATION. I, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 23000 EXPIRATION DATE JUNE 26, 2016

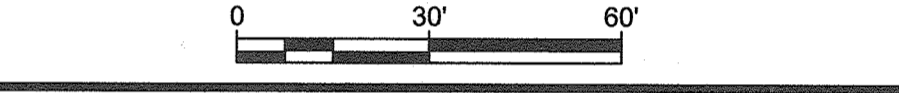




LEGEND

- EXISTING 2' CONTOUR: --- 232 ---
- EXISTING 10' CONTOUR: --- 230 ---
- EX. PROPERTY LINE AND RIGHT OF WAY: - - - - -
- EX. TREELINE: ~~~~~
- EXISTING WATER: S S S S S
- EXISTING SEWER: --- S ---
- EXISTING OVERHEAD ELECTRIC: --- O ---
- EXISTING COMMUNICATIONS: --- U ---
- EXISTING BUILDING: [Symbol]
- EXISTING 15%-25% SLOPES: [Symbol]
- EXISTING 25%+ SLOPES: [Symbol]
- PROPOSED ASPHALT: [Symbol]
- PROPOSED CONCRETE: [Symbol]
- PROPOSED BUILDING: [Symbol]
- PROPOSED 2' CONTOUR: --- 592 ---
- PROPOSED 10' CONTOUR: --- 580 ---
- PROPOSED WATER: --- W ---
- PROPOSED SEWER: --- S ---
- PROPOSED DATA CONDUIT: --- F ---
- PROPOSED LIMIT OF DISTURBANCE: [Symbol]
- PROPOSED ACCESSIBLE ROUTE: [Symbol]

PURPOSE STATEMENT:
 THE PURPOSE OF THIS PLAN IS TO RELOCATE THE EXISTING SIGN SHOP AT 9250 BENDIX ROAD, COLUMBIA, MD. THAT IS PROPOSED TO BE DEMOLISHED, TO THE HOWARD COUNTY FACILITY IN COOKSVILLE, MD.



APPROVED: DEPARTMENT OF PLANNING AND ZONING

<i>[Signature]</i>	9-12-18
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
<i>[Signature]</i>	9-14-18
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
<i>[Signature]</i>	9-14-18
DIRECTOR	DATE

DATE	NO.	REVISION	BY

DEVELOPER: HOWARD COUNTY MARYLAND
 DEPARTMENT OF PUBLIC WORKS
 3430 COURT HOUSE DRIVE
 ELLICOTT CITY, MD 21043
 ATTN: RICHARD LEE
 PHONE: 410-313-7548

OWNER: HOWARD COUNTY MARYLAND
 DEPARTMENT OF PUBLIC WORKS
 3430 COURT HOUSE DRIVE
 ELLICOTT CITY, MD 21043
 ATTN: RICHARD LEE
 PHONE: 410-313-7548

PROJECT
 WEST ZONE REPAIR CENTER
 COOKSVILLE SIGN SHOP

AREA
 TAX MAP 8, PARCEL 168 ZONED RC-DEO
 GRID NO. 24 4TH ELECTION DISTRICT
 N FREDERICK ROAD
 WOODBINE, MD 21797
 HOWARD COUNTY, MARYLAND

TITLE
 REVISED SITE
 DEVELOPMENT PLAN

Pennoni Associates Inc.
 Engineers • Surveyors • Planners
 Landscape Architects
 8818 Centre Park Drive, Suite 200 Columbia, MD 21045
 T 410.997.8900 F 410.997.9262

SEAL:

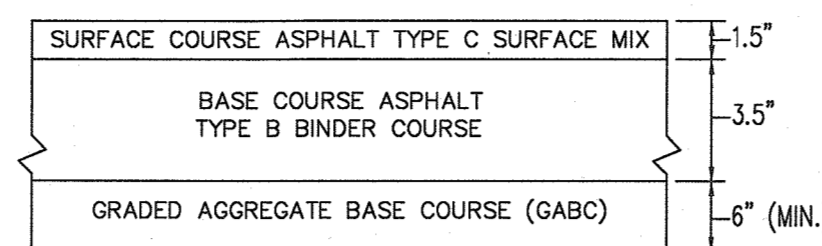
DESIGNED BY: PAI
 DRAWN BY: JSN
 PROJECT NO: RRMXX18002
 DATE: SEPTEMBER 6, 2018
 SCALE: 1" = 30'
 DRAWING NO. 5 OF 7

INFILTRATION BERM SEQUENCE OF CONSTRUCTION

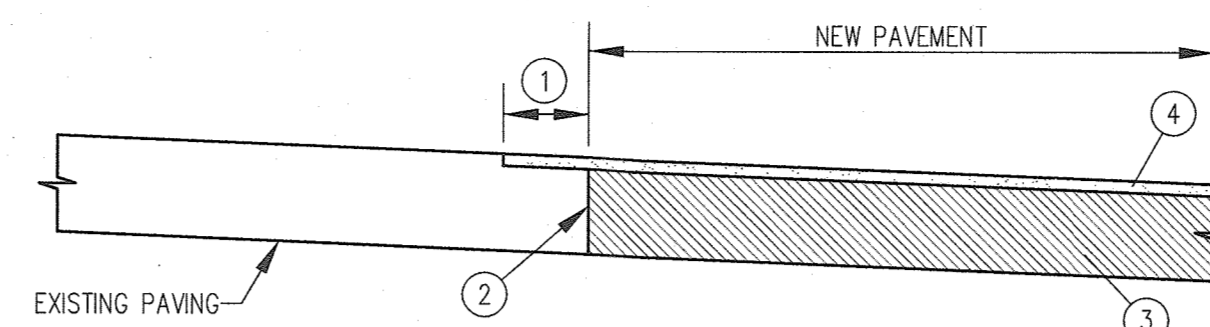
- CONTACT THE CERTIFYING PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR 24 HOURS PRIOR TO START OF CONSTRUCTION OF THE DRYWELLS. ENGINEER: (PENNONI ASSOCIATES - (410) 997.8900). ONCE THE CERTIFYING PROFESSIONAL HAS GIVEN HIS/HER APPROVAL TO PROCEED, PROCEED AS NOTED BELOW.
- HAVE BERM CENTERLINE STAKED OUT. EXCAVATE TO SUBGRADE FOR INFILTRATION BERM PER DETAILS SHOWN ON THIS PLAN SET. HAVE CERTIFYING ENGINEER/SURVEYOR VERIFY THAT EXCAVATION IS PER DESIGN.
- INSTALL STONE CORE.
- INSTALL TOPSOIL.
- COMPLETE FINAL GRADING.
- PLACE SEED/SOD AND STABILIZE.
- COMPLETE AS-BUILTS AND SUBMIT TO HOWARD COUNTY CONSTRUCTION INSPECTION DIVISION FOR REVIEW.

INFILTRATION BERM SPECIFICATIONS:

- TOPSOIL: CLEAN TOPSOIL WITH A MINIMUM ORGANIC MATTER CONTENT OF 1.5% SHALL BE PROVIDED.
- STONE: STONE SHALL BE OPEN GRADED #57 STONE. STONE SHALL BE CLEAN, WASHED, AND FREE OF FINES.
- BERM SHALL BE KEYPED INTO EXISTING GRADE A MINIMUM OF 6".
- BERM SHALL BE SEEDED OR SODDED IMMEDIATELY UPON COMPLETION.
- BERM SHALL HAVE SIDE SLOPES OF NO GREATER THAN 3:1.
- BERM SHALL BE CONSTRUCTED TO ENSURE THAT IT CAPTURES DRAINAGE FROM THE AREA SHOWN ON THE PLAN AND ALLOWS WATER TO POND UP TO THE ELEVATION SHOWN ON THE PLAN BEFORE ALLOWING THE WATER TO CONTINUE TO SHEETFLOW DOWNSTREAM.



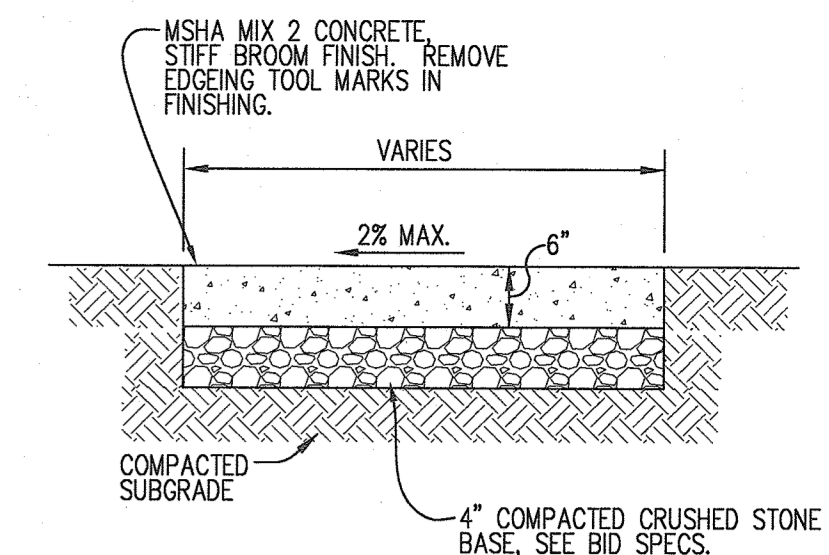
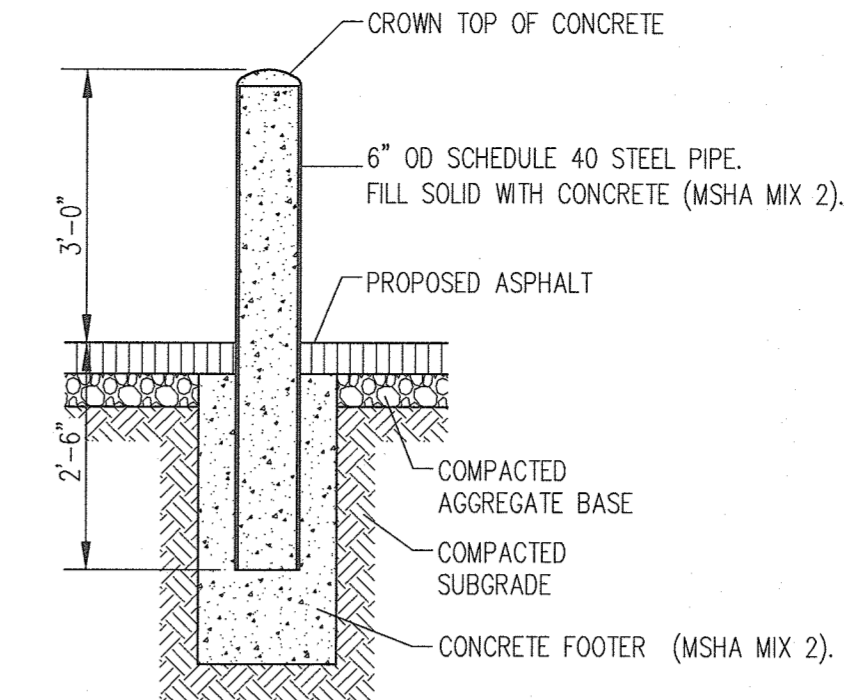
NOTE:
THE PAVING SECTION SHOWN HAS BEEN DESIGNED FOR IN PLACE COMPACTION RESULTS PER THE GEOTECH REPORT PREPARED BY ECS DATED MAY 23, 2018. IT IS RECOMMENDED THAT THE USER CONSULT WITH A LICENSED PROFESSIONAL GEOTECHNICAL ENGINEER FOR A SPECIFIC PAVING DESIGN BASED ON THE APPROPRIATE PARAMETERS DURING CONSTRUCTION AND PRIOR TO INSTALLATION OF THIS PAVING SECTION.



- MILL A 1" WIDE X 2" DEEP STRIP
- SAW-CUT THROUGH FULL DEPTH PAVING
- INSTALL SUB BASE GRAVEL AND PAVEMENT PER THE HEAVY DUTY PAVEMENT SECTION.
- PROVIDE 1 1/2" TOP SURFACE COURSE*

*NOTE: LONGITUDINAL JOINTS FOR THE TOP SURFACE COURSE MUST NOT COINCIDE WITH THE FULL-DEPTH SAW-CUT JOINT

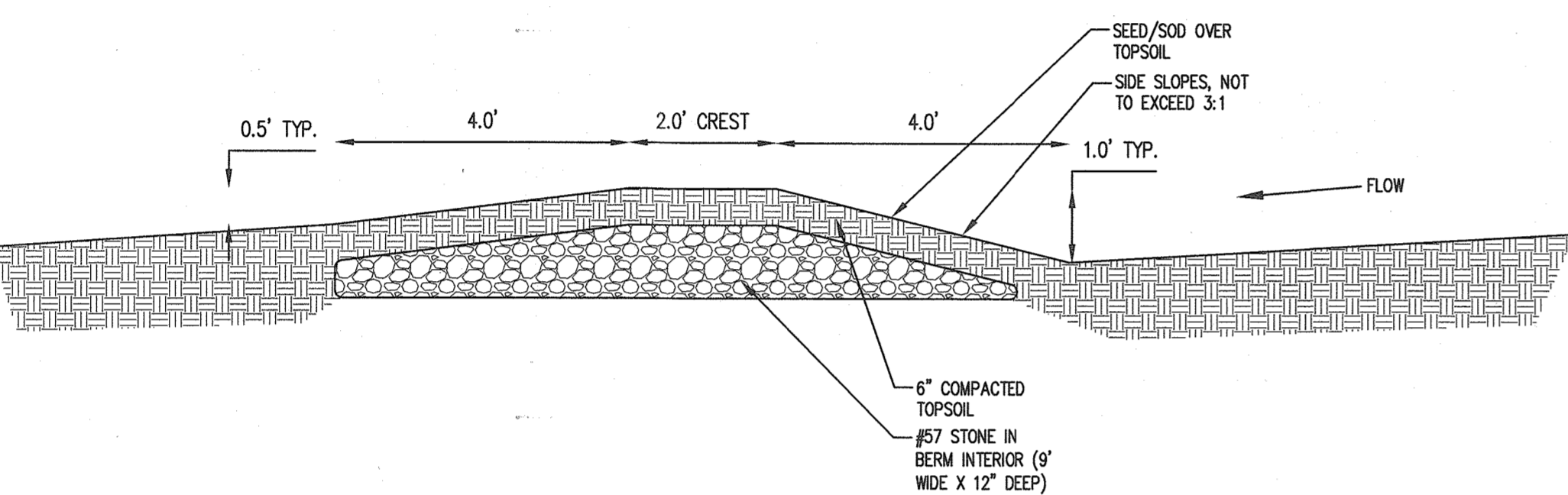
NOTE:
1. SEE ARCHITECTS FLOOR PLAN FOR BOLLARD PLACEMENT.



- NOTES:**
- PROVIDE LATITUDINAL EXPANSION JOINTS AT 15' O.C. (MAX.)
 - PROVIDE CONTRACTION (DUMMY) JOINT AT 5' O.C. INTERVALS BETWEEN EXPANSION JOINTS.
 - CONCRETE SHALL BE 3,000 PSI.

INFILTRATION BERM OPERATION AND MAINTENANCE NOTES:

- MOW GRASS ON BERM REGULARLY WITH OTHER ONSITE MOWING.
- INSPECT BERM ON AN ANNUAL BASIS AND AFTER SIGNIFICANT RAIN EVENTS AND STABILIZE ANY AREAS WHERE SOIL IS ERODED ADJACENT TO BERM.
- CORRECT ANY SETTLEMENT OF BERM TO MAINTAIN ELEVATIONS SHOWN ON PLAN.



1 HEAVY DUTY PAVING
6 NOT TO SCALE

2 PAVEMENT CONNECTION/PATCH
6 NOT TO SCALE

3 BOLLARD
6 NOT TO SCALE

4 CONCRETE PAVING
6 NOT TO SCALE

ESDv SUMMARY TABLE	
TREATMENT	ESDv/WQv Provided
INFILTRATION BERM AND GRASS SWALE	475 cf
TOTAL ESDv REQUIRED	464 cf
TOTAL ESDv PROVIDED	475 cf
TARGET P _e	1.0"

PCA243636-00006
PCX POLYMER CONCRETE ASSEMBLY

24" x 36" x 36"
(For actual dimensions see drawing)

Polymer Concrete Assembly, Straight Sides, No Floor, WJ/C 3.0, ANSISCTE 77 - T15/20K, 3/8" Hex Bolts, Standard Nameplate (Specify at time of order) Installed

LOAD RATINGS
Incidental Traffic - Parking Lot, Sidewalk
Conforms to:
• WJ/C 3.0
• ASTM C 667
• ANSISCTE 77

FEATURES:
• Drop-in nameplate
• Shipped assembled
• Skid resistant cover
• Stainless steel bolts
• Cast-in floating nut box
• Integral drain holes

Additional product information continued on the reverse

newbasis
Composites for Infrastructure

2620 Kansas Avenue
Roseville, California 95677
916.787.0000
916.787.0932 (fax)
info@newbasis.com
newbasis.com

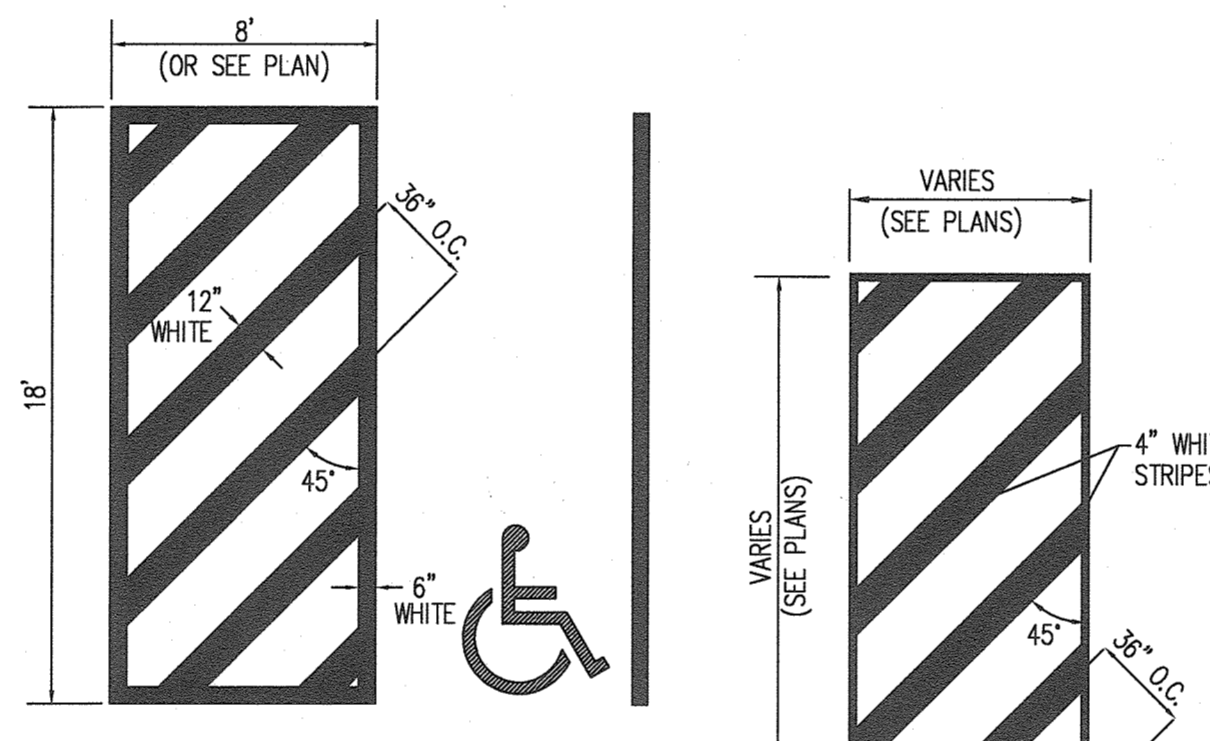
PCX
POLYMER CONCRETE
The Next Generation

Inside Dimensions

Length	Width	Depth
33 9/16"	21 15/16"	33"
27 1/8"	15 1/2"	

Rev. C.2

5 INFILTRATION BERM SECTION
6 1"=2'



7 STRIPING STANDARDS
6 NOT TO SCALE

PCA243636-00006 PCX POLYMER CONCRETE ASSEMBLY

Polymer Concrete Assembly, Straight Sides, No Floor, WJ/C 3.0, ANSISCTE 77 - T15/20K, 3/8" Hex Bolts, Standard Nameplate (Specify at time of order) Installed

AVAILABLE OPTIONS

- Tier 22 Load Rating
- Pre-wire
- Telephone EMAS
- Power EMAS
- Custom Nameplate Installed
- Custom Nameplate Shipped Separately
- Standard Nameplate Installed
- Standard Nameplate Shipped Separately

NAMEPLATES
One standard nameplate included with each assembly, installed at the factory or easily installed in the field. Custom nameplates are available. Contact customer service.

Standard Nameplates:
• Electric
• Telephone
• Fiber Optic
• Water
• Street Lighting
• Broadcast
• CATV
• Traffic Signal
• Communications

MATERIAL PROPERTIES AND ATTRIBUTES

Compressive Strength:
Polymer Concrete: 11500 PSI
Per ASTM D5957

Flexural Strength:
Polymer Concrete: 4000 PSI
Per ASTM D780

Coefficient of Friction (Dry):
1.09
Per ASTM C1028

Polymer Concrete:
• Non-toxic
• Non-flammable
• Non-conductive
• UV Resistant
• High Impact Resistant
• Impervious to chemicals and moisture

Materials tested in accordance with ASTM D-563 and ASTM D-570

WEIGHTS AND SHIPPING

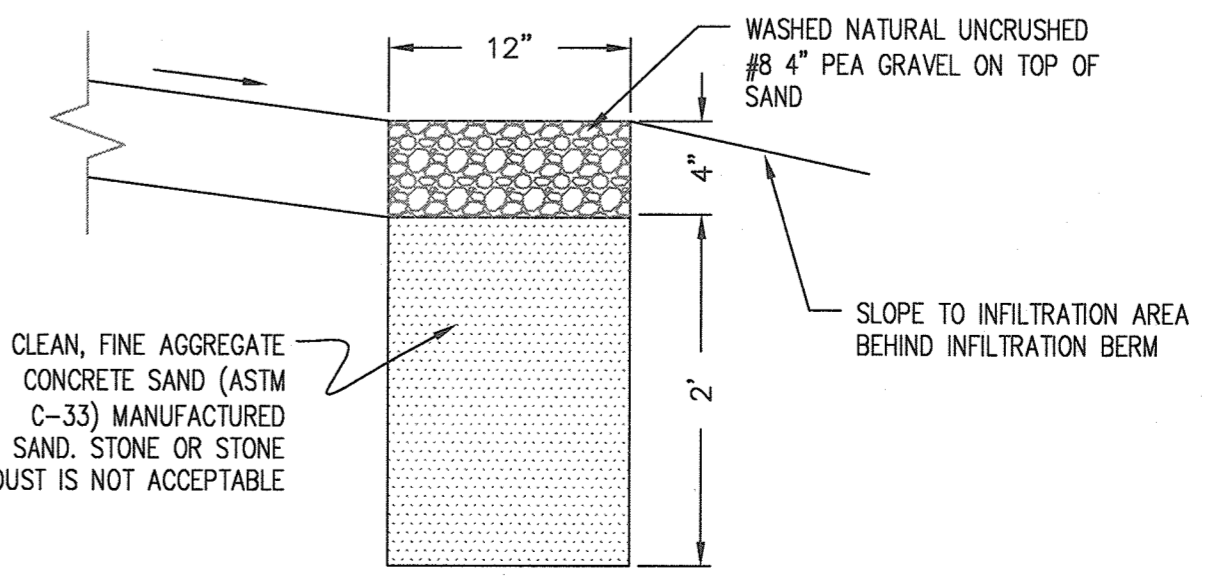
COVER WEIGHT: 68.0 lbs.
BOX WEIGHT: 330.1 lbs.
ASSEMBLY WEIGHT: 428.1 lbs.
LOADED PALLET WEIGHT: 1,775 lbs.

Standard shipping includes van delivery of pallet quantities to the lower 48 states. Partial pallet quantities and 800-lb. shipping available at an additional cost.

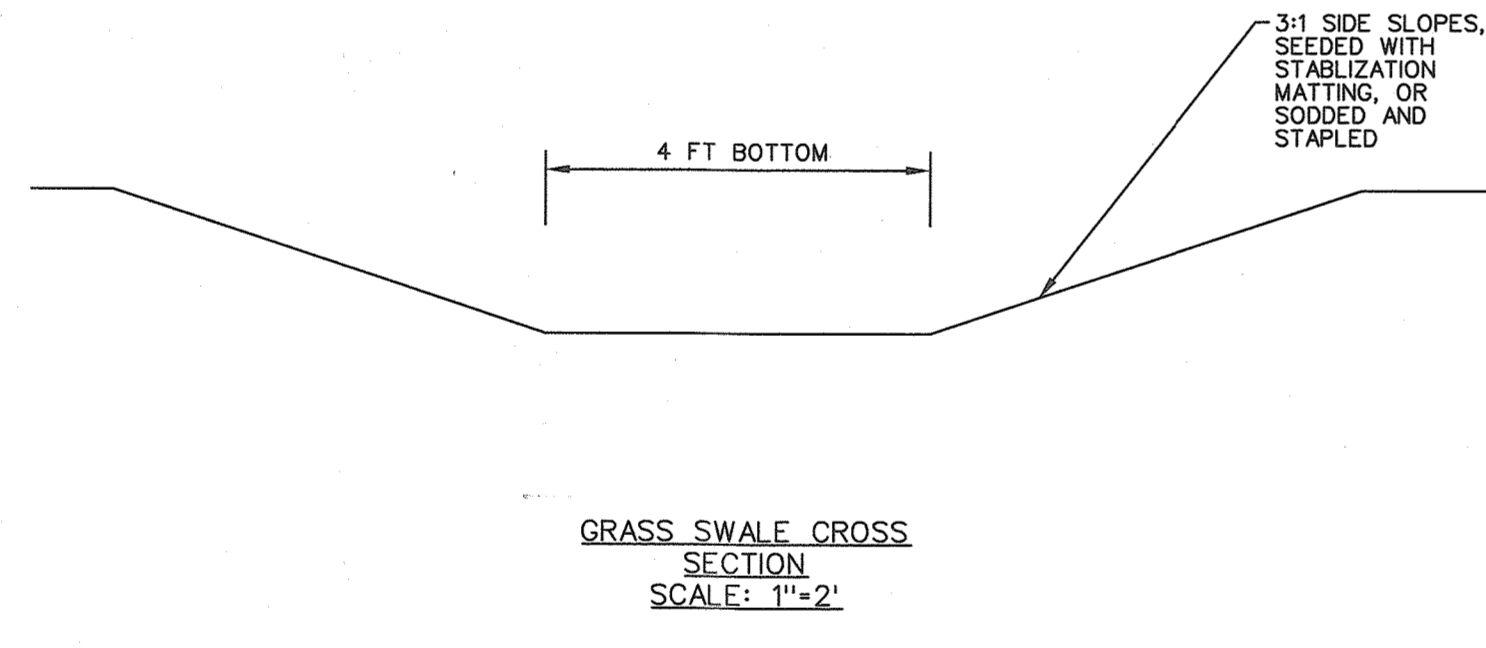
PACKAGING (Steel Banding, Edge Protection)
PALLET QUANTITY: 4

Rev. C.2

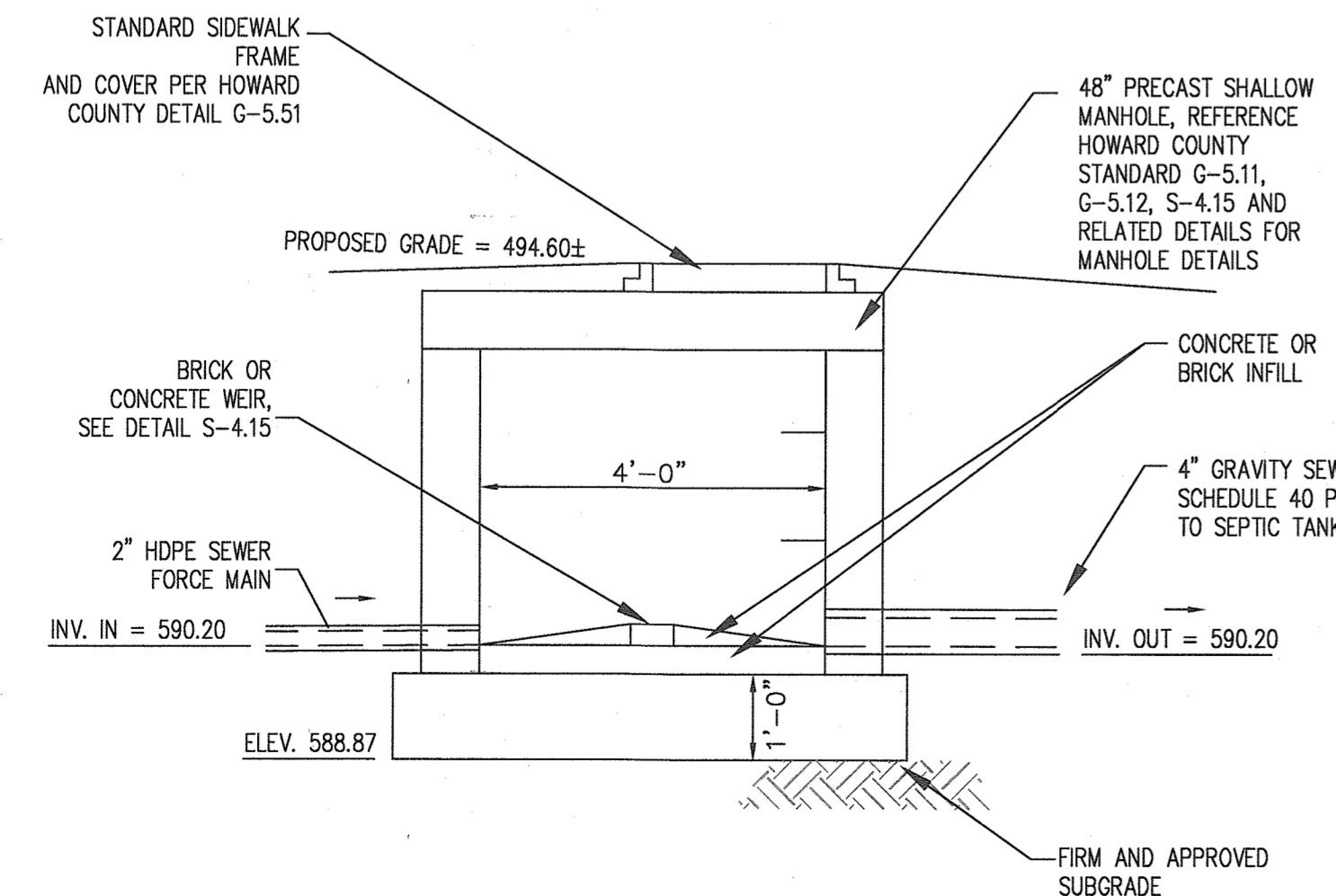
6 HANDHOLE
6 NOT TO SCALE



9 STONE DIAPHRAGM TYPICAL SECTION
6 NOT TO SCALE



GRASS SWALE CROSS SECTION
SCALE: 1"=2'



10 PRECAST SHALLOW SEWER MANHOLE
6 SCALE: 1"=2'

8 ACCESSIBLE PARKING SIGN
6 NOT TO SCALE

12" x 18" sign with 'RESERVED PARKING' and wheelchair symbol.

* FOR VAN ACCESSIBLE SPACES ONLY. SEE PLAN FOR LOCATION.
** FOR A SPACE NEXT TO AN ACCESS AISLE ONLY.

NOTES:

- DISTANCE FROM GROUND TO BOTTOM OF SIGN TO BE 7".
- CONTRACTOR TO VERIFY FINE AMOUNT PRIOR TO SIGN INSTALLATION.

COLOR:
LEGEND AND BORDER - GREEN
WHITE SYMBOLS ON BLUE BACKGROUND
BACKGROUND - WHITE

9'-0" height, 7'-0" width, 3'-6" depth.

STEEL CHANNEL POST, PROPOSED GRADE.

ACCESSIBILITY NOTES:

- ACCESSIBLE ROUTE SHALL BE PROVIDED BETWEEN HANDICAPPED PARKING OR PUBLIC RIGHT OF WAYS TO THE MAIN BUILDING ENTRANCE IN ACCORDANCE WITH CURRENT ADA AND LOCAL STANDARDS. ALL HANDICAPPED RAMP SHALL BE CONSTRUCTED ACCORDING TO CURRENT ADA AND LOCAL STANDARDS. EXCEPT AS SUPERSEDED IN CURRENT ADA AND LOCAL STANDARDS THE FOLLOWING SHALL APPLY:
A) MAXIMUM SIDEWALK CROSS SLOPES SHALL BE 2%.
B) A MINIMUM 5' X 5' LANDING AREA WITH A MAXIMUM SLOPE IN ANY DIRECTION OF 2% SHALL BE PROVIDED AT ALL CHANGES IN DIRECTION, TOPS AND BOTTOMS OF RAMP, AND BUILDING EGRESS POINTS.
C) ALL HANDICAPPED PARKING SHALL BE DEVELOPED NO GREATER THAN 2% IN ANY DIRECTION, INCLUDING A 5' WIDE AREA BEHIND THE PARKING SPACES.
D) AN ACCESS ROUTE FROM THE PARKING SPACE(S) TO THE MAIN BUILDING ENTRANCE SHALL BE PROVIDED. ALL SLOPES ALONG THE DIRECTION OF TRAVEL SHALL NOT EXCEED 1:20 UNLESS THEY FALL UNDER CONDITION B) ABOVE. SLOPES IN EXCESS OF 1:20 EXCEPT FOR CURB RAMPS, REQUIRE A HANDRAIL MEETING ADA REQUIREMENTS.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chad Blank 9-12-18
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Vart Sta. Omer 9-14-18
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

N. J. J. J. 9-14-18
DIRECTOR DATE

DATE	NO.	REVISION	BY

DEVELOPER: HOWARD COUNTY MARYLAND DEPARTMENT OF PUBLIC WORKS
3430 COURT HOUSE DRIVE
ELLCOTT CITY, MD 21043
ATTN: RICHARD LEE
PHONE: 410-313-7548

OWNER: HOWARD COUNTY MARYLAND DEPARTMENT OF PUBLIC WORKS
3430 COURT HOUSE DRIVE
ELLCOTT CITY, MD 21043
ATTN: RICHARD LEE
PHONE: 410-313-7548

PROJECT: WEST ZONE REPAIR CENTER
COOKVILLE SIGN SHOP

AREA: TAX MAP 8, PARCEL 168 ZONED RC-DEO
GRID NO. 24 4TH ELECTION DISTRICT
N FREDERICK ROAD
WOODBINE, MD 21797
HOWARD COUNTY, MARYLAND

TITLE: SITE DETAILS

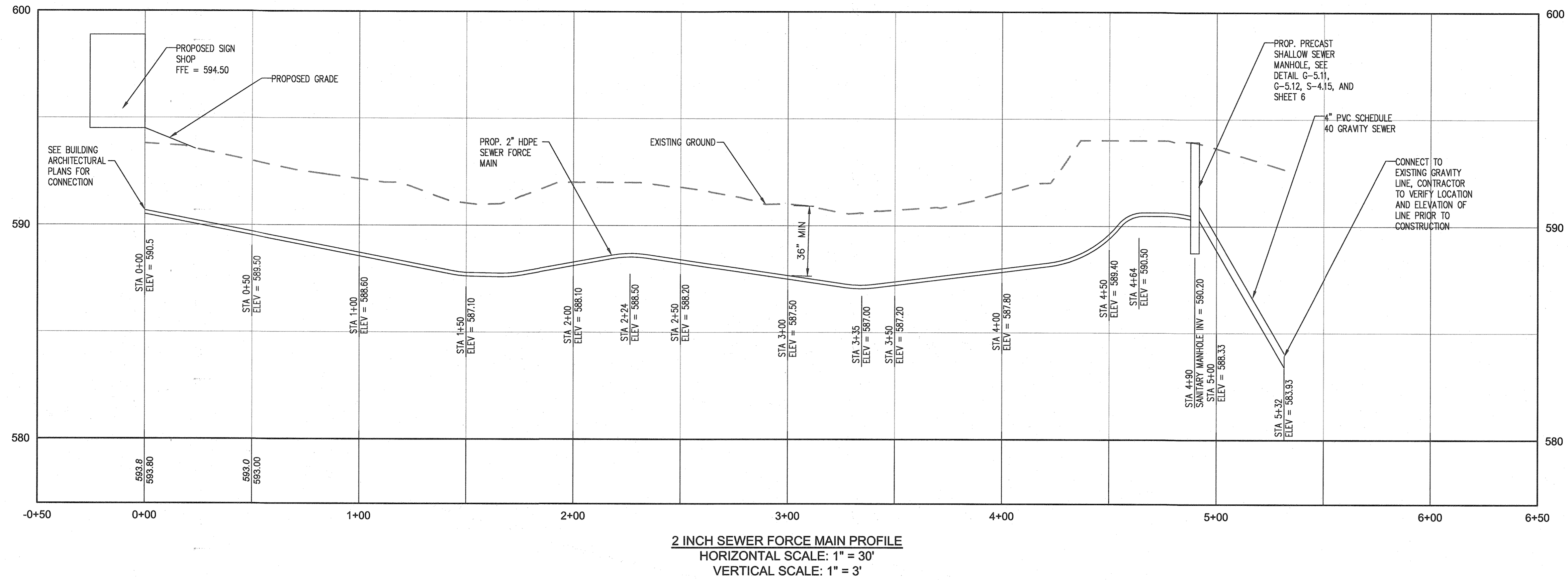
Pennonni
Engineers • Surveyors • Planners
Landscape Architects

8818 Centre Park Drive, Suite 200 Columbia, MD 21045
T 410.997.8900 F 410.997.9282

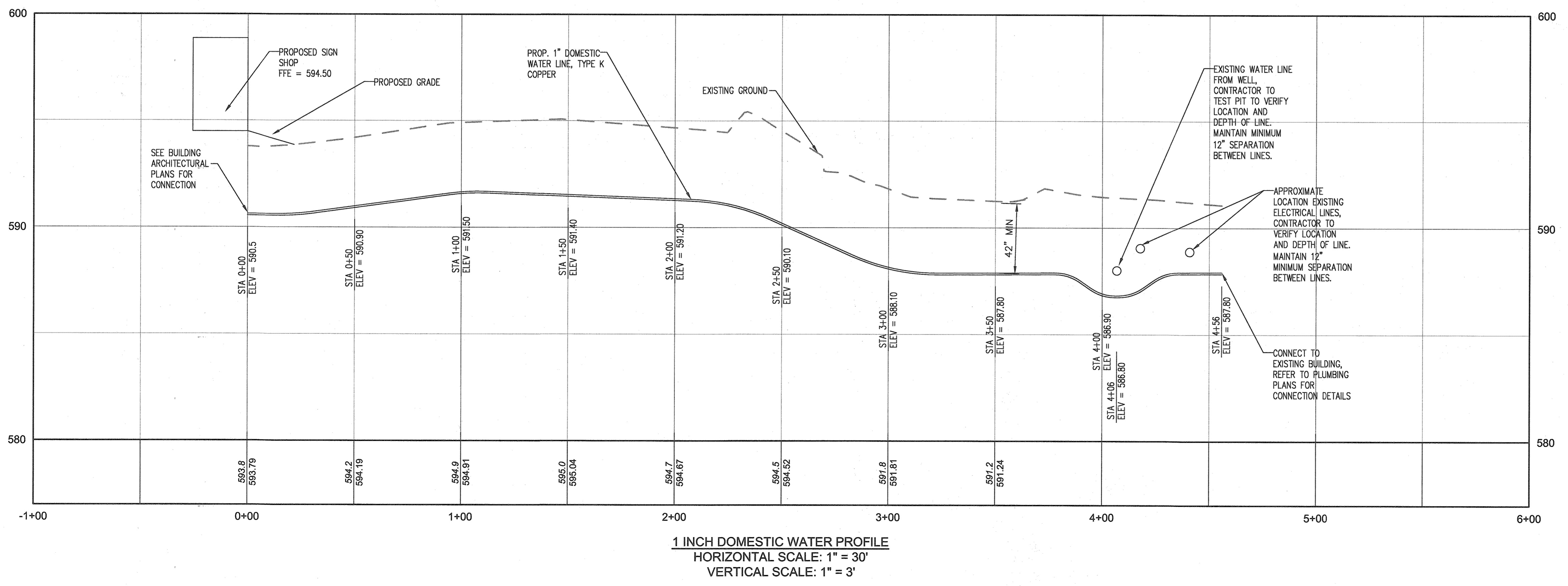
DESIGNED BY: PAI
DRAWN BY: JSN
PROJECT NO: RRMXX18002
DATE: SEPTEMBER 6, 2018
SCALE: AS SHOWN
DRAWING NO. 6 OF 7

BY: *9-6-18*

PROFESSIONAL CERTIFICATION - I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 2074, EXPIRES DATE: 11-02-2025



- TRENCHING NOTES:**
1. MAINTAIN 5' BETWEEN WATER LINE AND ALL OTHER UTILITIES.
 2. MINIMUM COVER ON WATER LINE AND SEWER FORCE MAIN SHALL BE 42".
 3. WATER LINE AND SEWER LINE SHALL BE LOCATED IN THEIR OWN TRENCH.
 4. CONTRACTOR TO VERIFY LOCATION AND DEPTH OF ALL UTILITIES WHERE CROSSINGS OCCUR PRIOR TO TRENCHING.
 5. UTILITY INFORMATION SHOWN BASED ON COUNTY RECORDS AND FIELD OBSERVATIONS.
 6. WATER LINE SHALL BE TYPE K COPPER PIPE, 1" DIAMETER.
 7. SEWER FORCE MAIN SHALL BE 2" DIAMETER HDPE, IN CONFORMANCE WITH HOWARD COUNTY SPECIFICATIONS FOR SEWER FORCE MAINS.



APPROVED : DEPARTMENT OF PLANNING AND ZONING

Chad Plunk 9/12/18
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Keith LaDunche 9-14-18
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Valerie Ziegler 9-14-18
 DIRECTOR DATE

DATE	NO.	REVISION	BY

DEVELOPER: HOWARD COUNTY MARYLAND
 DEPARTMENT OF PUBLIC WORKS
 3430 COURT HOUSE DRIVE
 ELLICOTT CITY, MD 21043
 ATTN: RICHARD LEE
 PHONE: 410-313-7548

OWNER: HOWARD COUNTY MARYLAND
 DEPARTMENT OF PUBLIC WORKS
 3430 COURT HOUSE DRIVE
 ELLICOTT CITY, MD 21043
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PROJECT: WEST ZONE REPAIR CENTER
 COOKSVILLE SIGN SHOP

AREA: TAX MAP 8, PARCEL 168 ZONED RC-DEO
 GRID NO. 24 4TH ELECTION DISTRICT
 N FREDERICK ROAD
 WOODBINE, MD 21797
 HOWARD COUNTY, MARYLAND

TITLE: WATER AND SEWER PROFILES

Pennonni Pennoni Associates Inc.
 Engineers • Surveyors • Planners
 Landscape Architects

8818 Centre Park Drive, Suite 200 Columbia, MD 21045
 T 410.997.8900 F 410.997.9282

SEAL: [Professional Engineer Seal]

DESIGNED BY: PJS
 DRAWN BY: PJS
 PROJECT NO: RRMXX18002
 DATE: SEPTEMBER 6, 2018
 SCALE: AS SHOWN
 DRAWING NO. 7 OF 7