

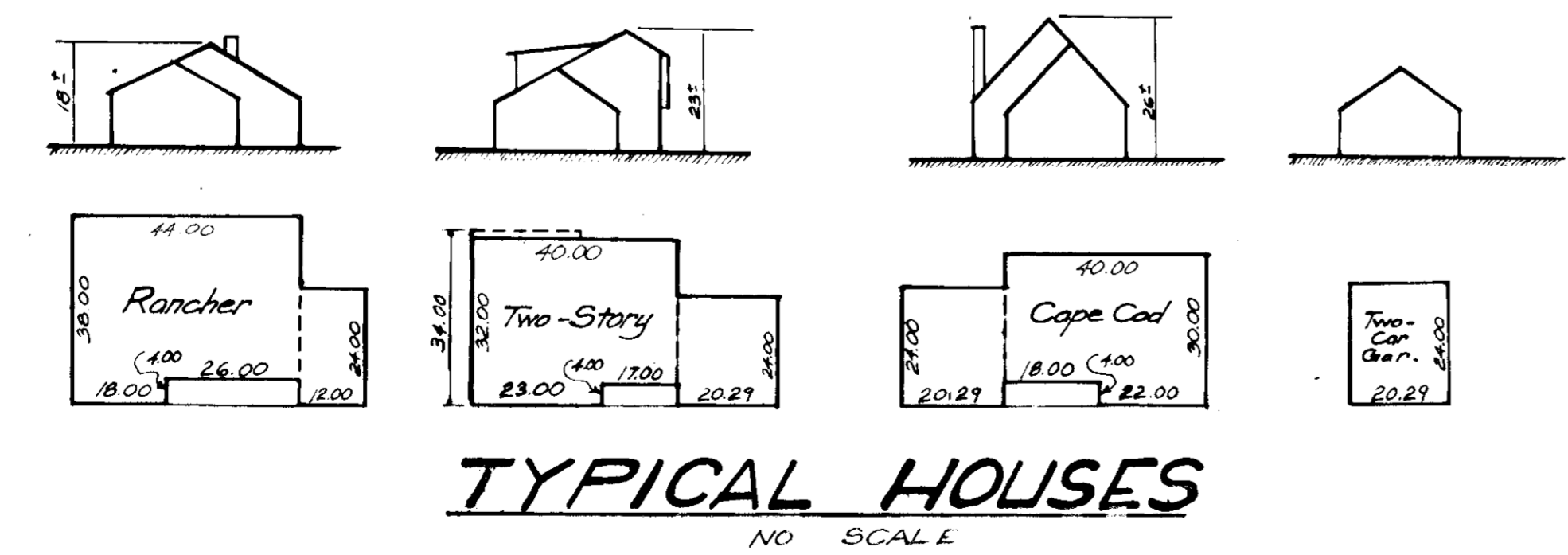
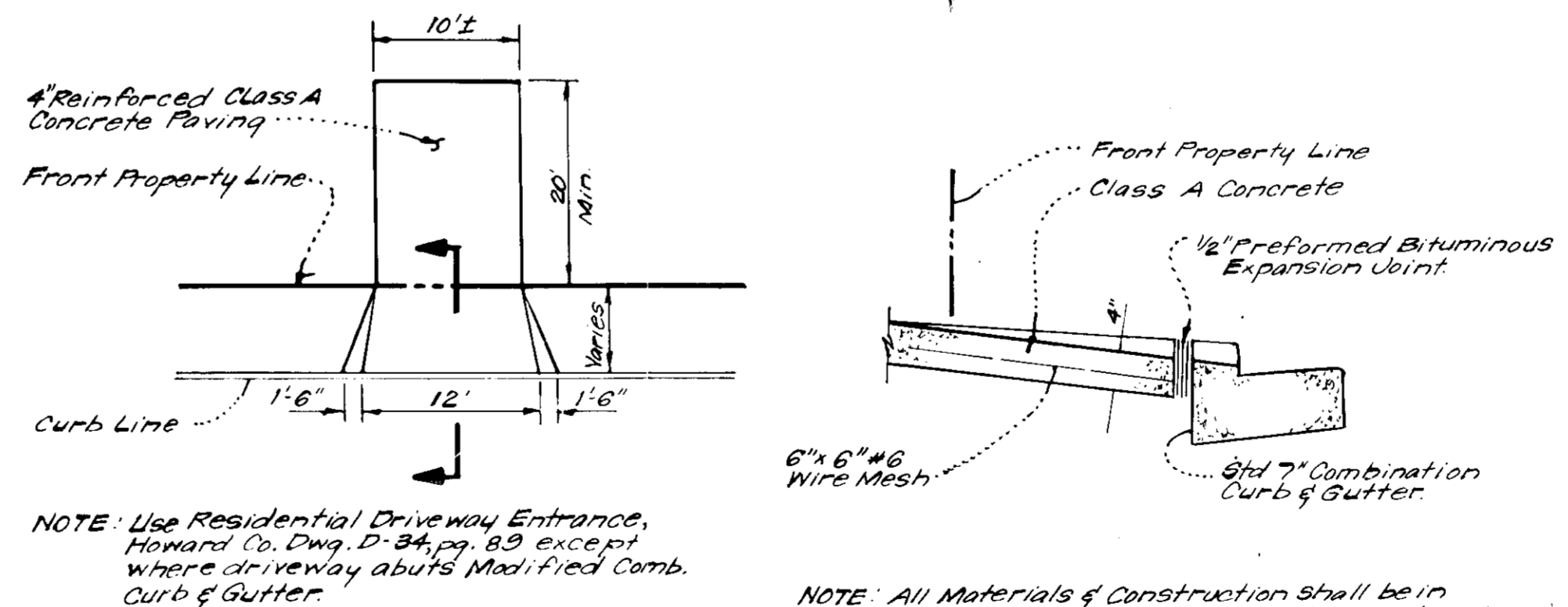
LEGEND

- 1. Contour Interval 2 Ft
- 2. Existing Contour ---
- 3. Proposed Contour ---
- 4. Spot Elevation +
- 5. Direction of Drainage ---
- 6. Existing Trees to be Retained (Symbol)
- 7. Yard Requirements: Front: 20 Ft. on 60' Wide Street
30 Ft. on 60' Wide Street
Side: 7.5 Ft. (Min.)

GENERAL NOTES

1. The Land Included in this Plan is zoned NewTown (SFM.D).
2. The Lots shown on this plan are covered by Final Development Plan Phase 148 recorded in Plat Book 28, Folios 70 to 72.
3. All Coordinates are based on Maryland State Grid System. Elevations are based on U.S. Coast and Geodetic Survey Mean Sea Level Datum of 1929.
4. The Area covered in this submission is located on Tax Map #42.
5. The Total Area included in this plan is 0.741 Acres.
6. Cape Ann Dr, Quantrell Row, & Cotton Mill La. are Public & Existing.
7. Any damage to County Owned Right of Ways or Paving shall be corrected at the developer's expense.

NOTE: Structural Coverage on Lot 283 (30.5%) & Lot 284 (31.3%) Must Be Approved by the Howard Co. Planning Board Prior to Construction.



11-22-77
Donald B. Sackett

NOTE: For bearings and distances of individual lot lines, See record plat recorded as Plat 3579.

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE BY THE HOWARD COUNTY HEALTH DEPARTMENT

Joseph M. Bradley 12-13-77

APPROVED FOR PLANNING AND ZONING BY THE HOWARD COUNTY OFFICE OF PLANNING AND ZONING

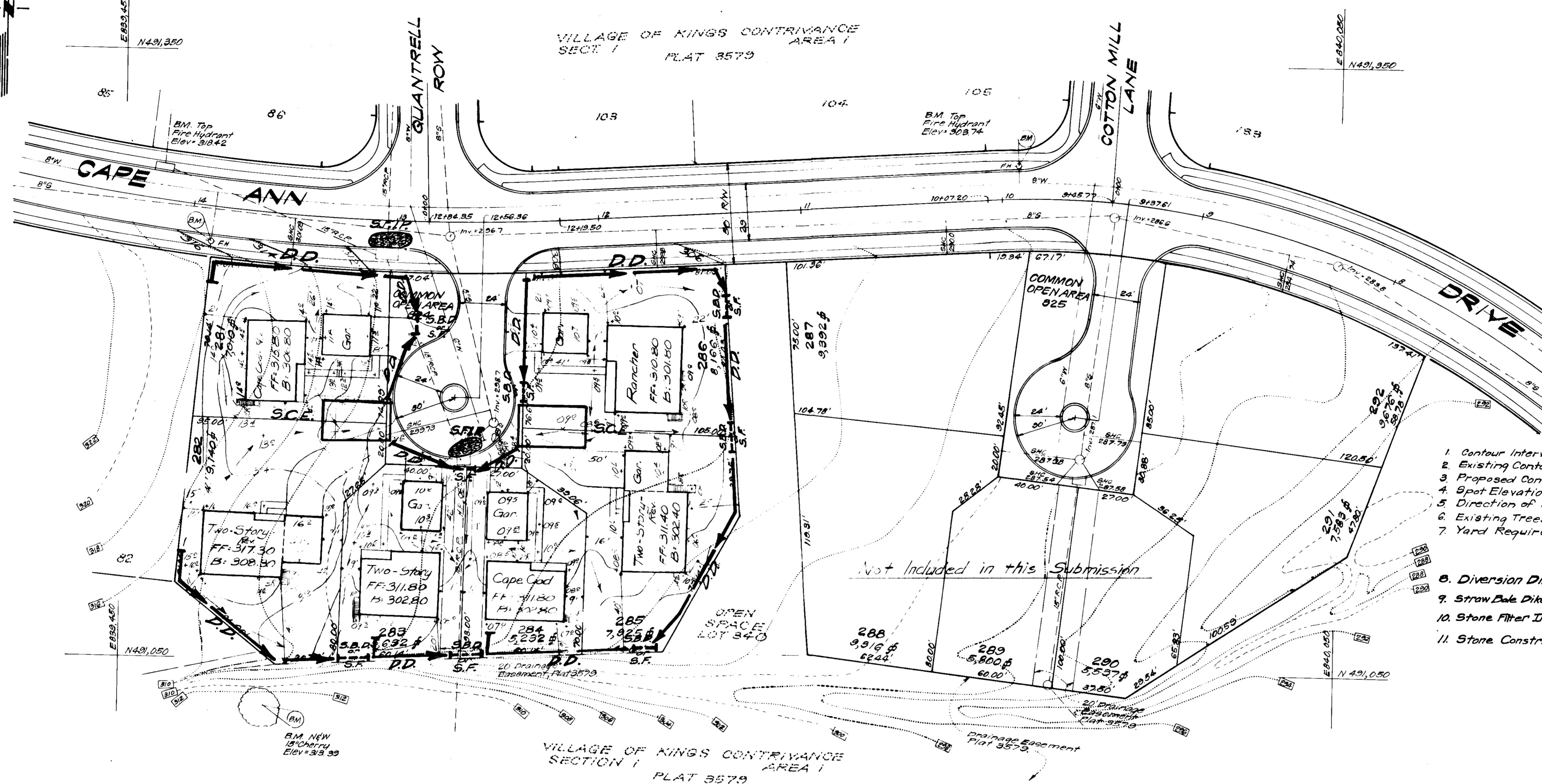
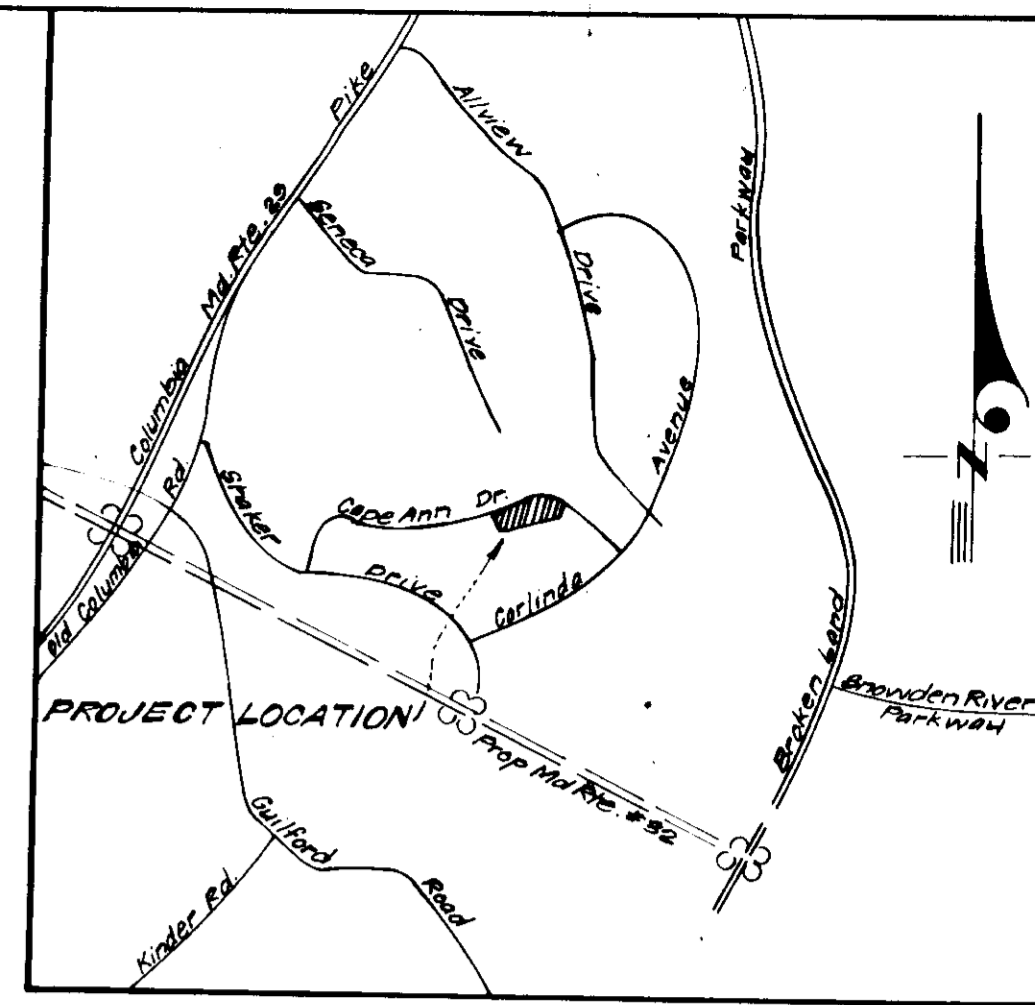
Joseph M. Bradley 12-13-77

CLARK • FINEFROCK & SACKETT
ENGINEERS • PLANNERS • SURVEYORS

DESIGNED: D.R.H. **SITE DEVELOPMENT PLAN**
DRAWN: D.R.H. **LOTS 281, 282, 285 AND 286**
CHECKED: D.B.S. **COLUMBIA**
DATE: Oct. 1977 **VILLAGE OF KINGS CONTRIVANCE SECTION I AREA I 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND**

SCALE: 1" = 30'
DRAWING: 1 of 3
JOB NO.:
FILE NO.: 12.87-X

FOR: FISCHER DEVELOPMENT CORP.
10227 Winopin Circle Suite 618
Columbia, Maryland 21044



LEGEND

1. Contour Interval	2 FT.
2. Existing Contour	---
3. Proposed Contour	---
4. Spot Elevation	+ 90.3
5. Direction of Drainage	→
6. Existing Trees to be Retained	(Tree symbol)
7. Yard Requirements:	Front: 20 Ft. on 50' Wide Street 30 Ft. on 60' Wide Street Side: 7.5 Ft. (Min.)
8. Diversion Dike	D.P.
9. Straw Bale Dike or Silt Fence	S.B.D. or S.F.
10. Stone Filter Inlet Protection	S.F.I.P.
11. Stone Construction Entrance	S.C.E.

NOTE: Structural Coverage on Lot 283 (30.5%) & Lot 284 (31.3%) Must Be Approved by the Howard Co. Planning Board Prior to Construction.

APPROVED
DIVISION OF LAND DEVELOPMENT
HOWARD COUNTY, MARYLAND
DATE 11-22-77
[Signature]

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
[Signature] COUNTY HEALTH OFFICER 12-13-77 DATE
APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING
PLANNING DIRECTOR *[Signature]* DATE 12-14-77
CHIEF DIVISION OF LAND DEVELOPMENT
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DIRECTOR *[Signature]* DATE 12-13-77
CHIEF BUREAU OF HIGHWAYS *[Signature]* DATE

Reviewed for... *[Signature]* S.C.D.
Name
and meets Technical Requirements
[Signature] 12-6-77
Signature Date
U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER'S CERTIFICATE

I certify that all development and/or construction will be done according to this plan of development and plan for Erosion and Sediment Control, and I will authorize periodic on-site inspection by the U.S. Soil Conservation District or their authorized agents as are deemed necessary. Deviation from this plan will not be made unless authorized by the Howard Soil Conservation District.

[Signature] Approved 12-5-77 Date

[Signature] Date

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

[Signature] G. Nelson Clark 11-5-77 Date

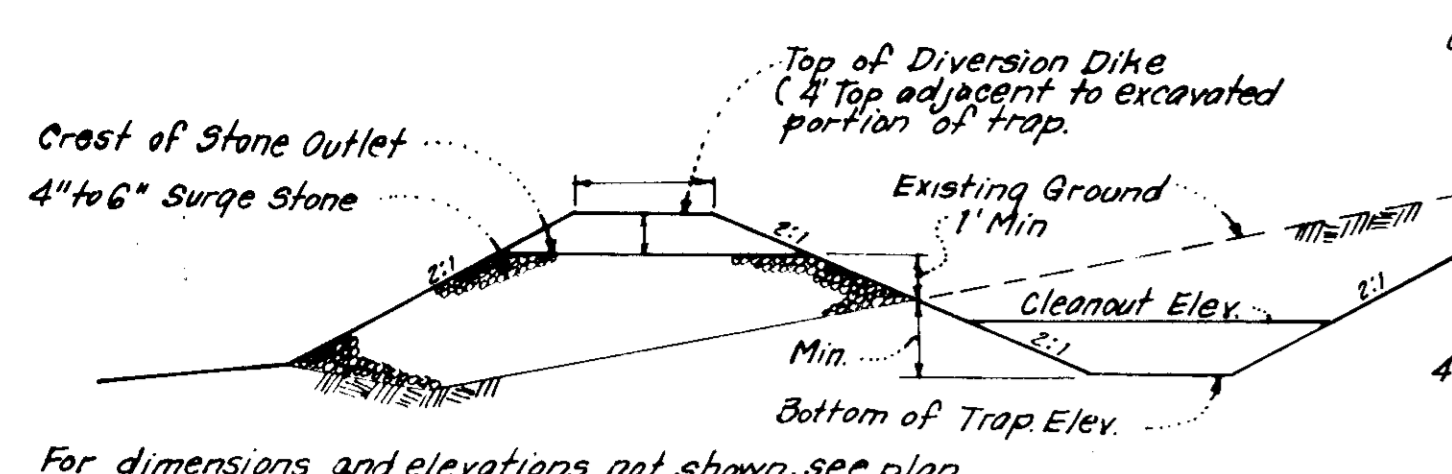
NOTE: For bearings and distances of individual lot lines, See record plat recorded as Plat 3579.

CLARK • FINEFROCK & SACKETT ENGINEERS • PLANNERS • SURVEYORS 11711 WOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 593-3400		
DESIGNED DRH	SEDIMENT & EROSION CONTROL PLAN LOTS 281 THRU 286 COLUMBIA VILLAGE OF KINGS CONTRIVANCE SECTION 1 AREA 1 8th ELECTION DISTRICT HOWARD COUNTY, MARYLAND FOR: FISCHER DEVELOPMENT CORP. 10827 Winopin Circle Suite 618 Columbia, Maryland 21044	SCALE 1"=30'
DRAWN DRH		DRAWING 2 of 3
CHECKED D.B.S.		JOB NO.
DATE Oct 1, 1977		FILE NO. 1265-5E

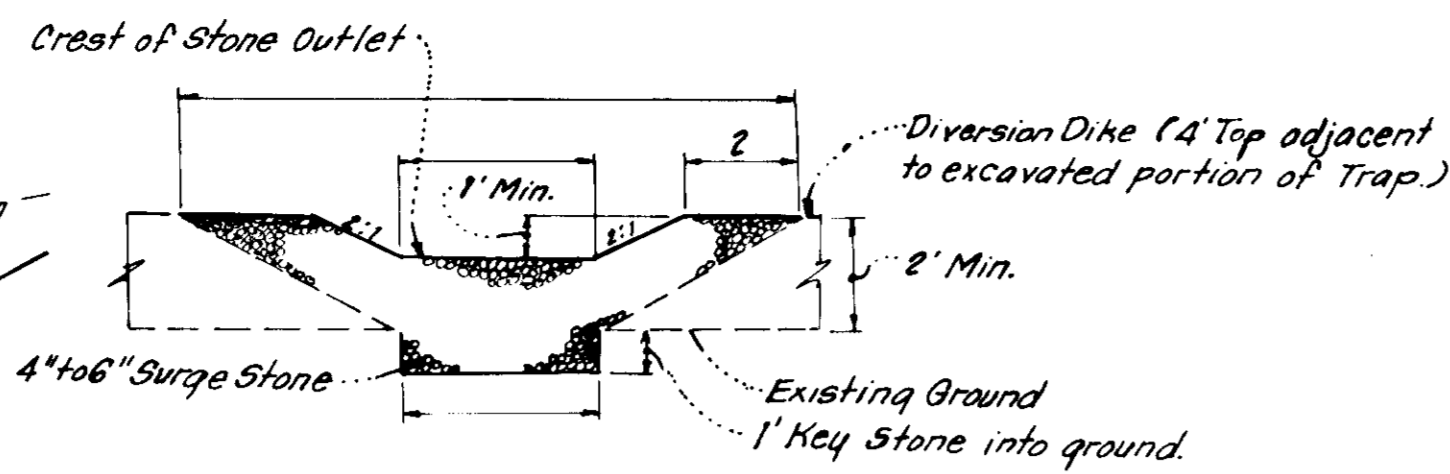
(6 lots) See also HC-506, 547, 14 & 1287-X SDP-78-46

GENERAL NOTES

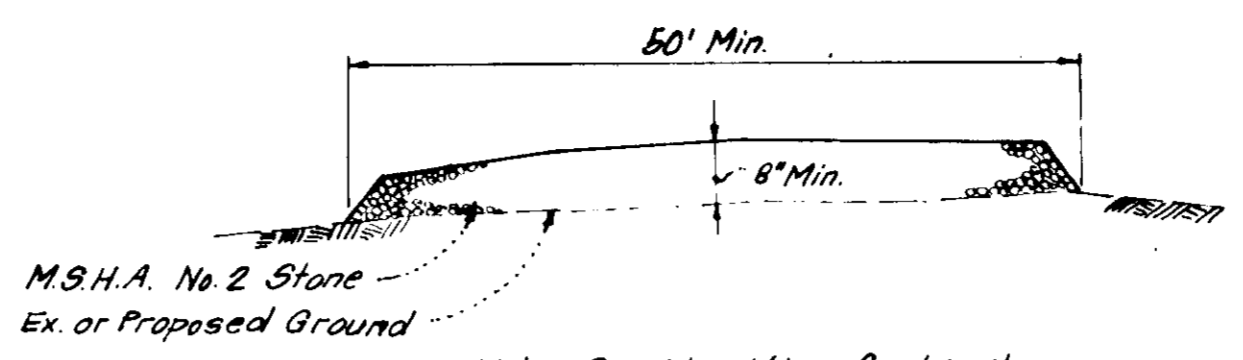
- All Sediment and Erosion Control Measures will be installed and stabilized according to this plan prior to any other grading, clearing, or disturbance of the existing surface of the site. See Note #5 for stabilization except that the seed mixture will be annual rye applied at the rate of 1.4 lbs / 1000 sq. ft.
- Notify the Bureau of Inspections and Permits at least 24 hrs before starting any work.
- All Sediment Control Practices to conform to the Standards and Specifications for Soil Erosion and Sediment Control in Developing Areas and shall be adjusted to meet actual field conditions.
- Stabilization of disturbed ground to be done as soon after construction as possible.
- All grading shall be treated in accordance with the following Specifications:
 - Seed - certified 85% germination applied at the rate of 3 lbs / 1000 sq. ft. mixture - 40% Kentucky Blue, 20% Chewing Fescue, 20% Kentucky 31, and 20% Annual Rye.
 - Fertilizer - 10-10-10 applied at the rate of 23 lbs / 1000 sq. ft. Ground agricultural lime or dolomitic lime applied at the rate of 46 lbs / 1000 sq. ft.
 - Mulch - Weed free grain straw applied at the rate of 70 lbs / 1000 sq. ft. Mulch shall be secured to the ground by any approved method i.e. asphalt tacks, chemical binder, wax chips, etc.
- All Structural Sediment Control Measures are to remain in place until permission for their removal has been obtained from the Bureau of Inspections and Permits.
- On site inspection and maintenance of all sediment control measures including cleanout of sediment traps and dikes, and proper establishment of all planned vegetative measures will be the responsibility of the Developer or his representative on the site, on a continuing day to day basis.
- Protection of stabilized area from sediment runoff shall be provided by the use of an approved sediment control device, i.e. straw bales, diversion dikes, etc.
- Site Analysis:
 - Total Area: 0.990 Acres
 - Area to be Roofed: 0.256 Acres
 - Area to be Paved: 0.033 Acres
 - Area to be Seeded: 0.210 Acres
 - Area Undisturbed: 0.491 Acres
- The Contractor shall keep all public roads free of sediment deposits left from traffic leaving construction site.
- Stabilized Construction Entrances shall be constructed at all construction entrances.
- CONSTRUCTION SEQUENCE:
 - Install Sediment and Erosion Control Devices and stabilize Diversion Dikes.
 - Excavate for foundations and rough grade.
 - Erect Structures, drive ways and sidewalks.
 - Final grade and stabilize in accordance with General Note #5.
- If Houses are to be constructed on an "As-Sold" basis at random, Single Lot Sediment Control, as shown on this sheet shall be implemented.
- It will be the Developer's responsibility, to provide additional Sediment and Erosion Control Devices to protect stabilized areas during construction.
- Total Amount of Straw Bales shown = 95 lin. feet.



TYPICAL PROFILE



TYPICAL CROSS SECTION



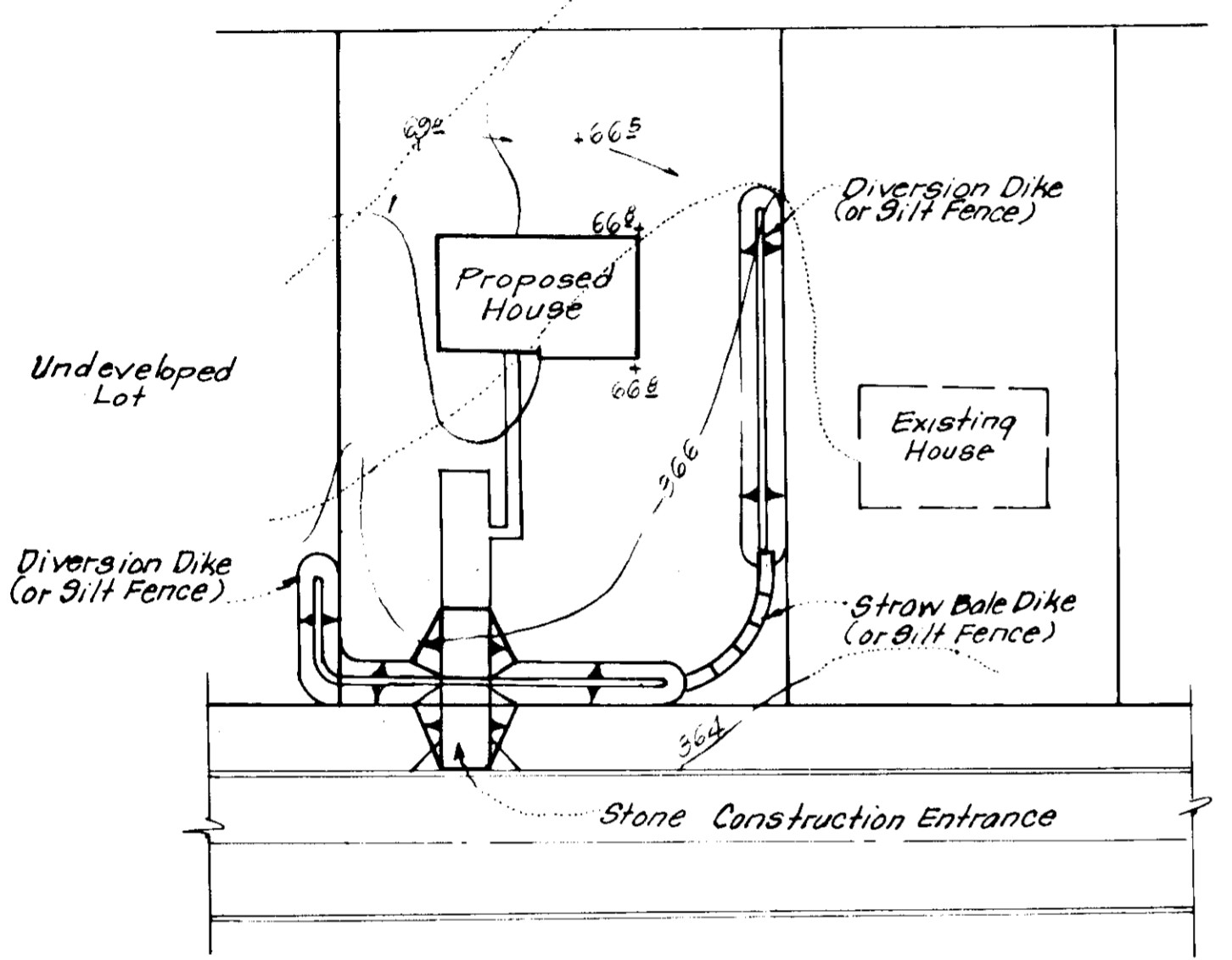
STABILIZED CONSTRUCTION ENTRANCE DETAIL

STONE FILTER OUTLET NOTES

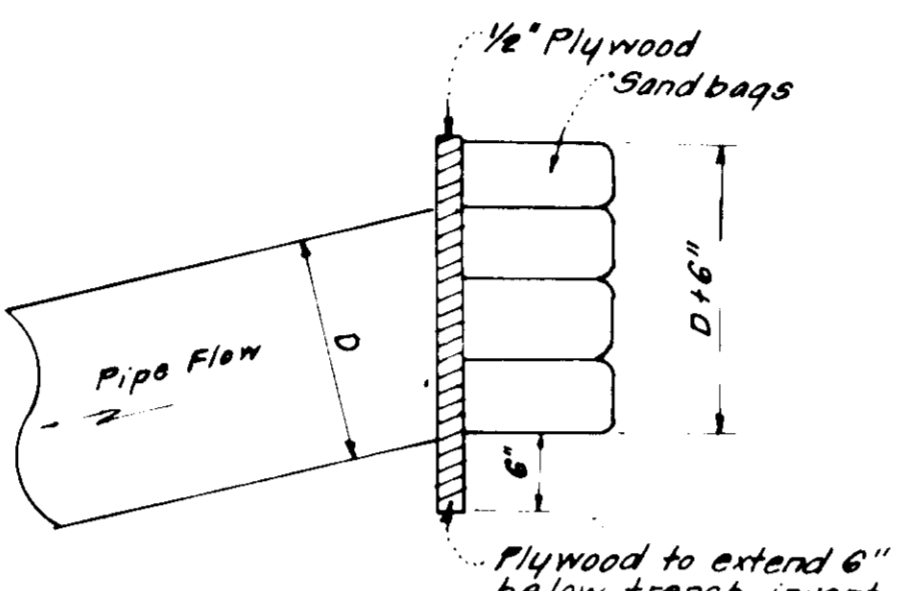
- Sediment Trap to be cleaned out when sediment reaches a level A below the Crest of Stone Outlet.
- Bottom of Sediment Trap to be level and constructed to the dimensions shown on plan.
- Stone Outlet to be constructed through diversion dike adjacent to excavated portion of Sediment Trap.

DETAILS OF STONE FILTER OUTLET (FOR STONE OUTLET SEDIMENT TRAP)

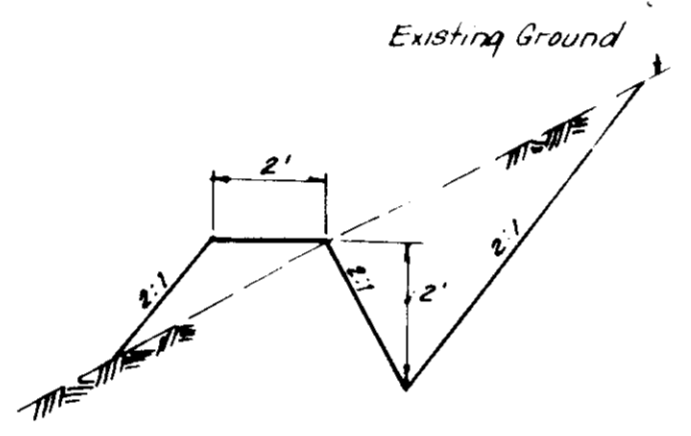
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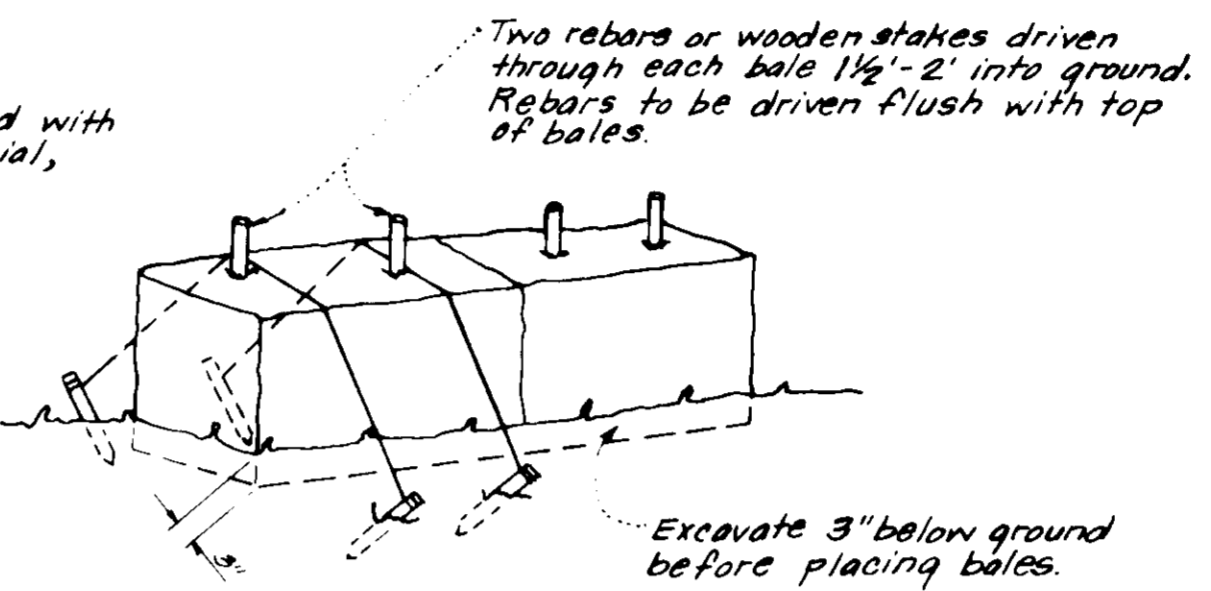
TYPICAL SINGLE LOT SEDIMENT CONTROL PLAN



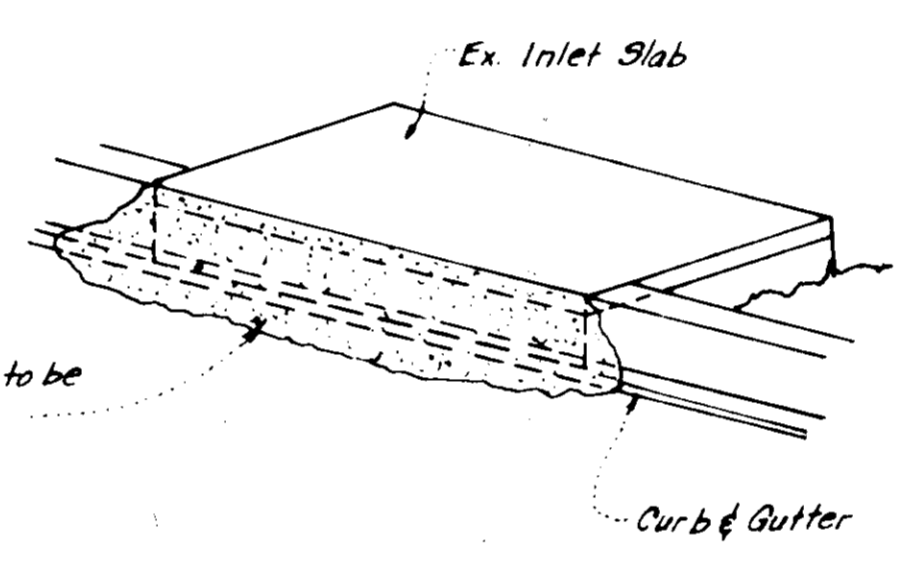
PIPE BLOCKING DETAIL



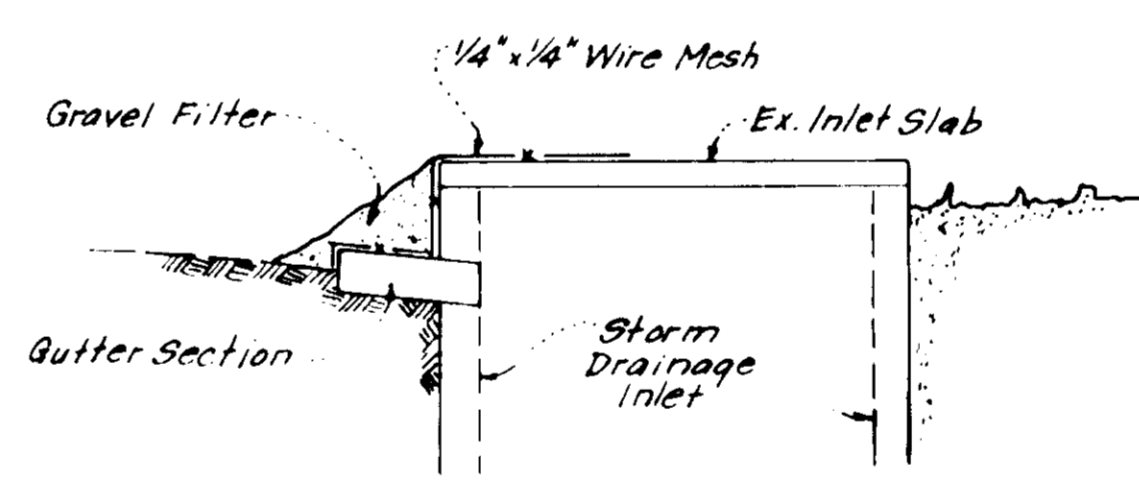
CUT DIVERSION DIKE



TYPICAL STRAW BALE DETAIL (S.B.D.)



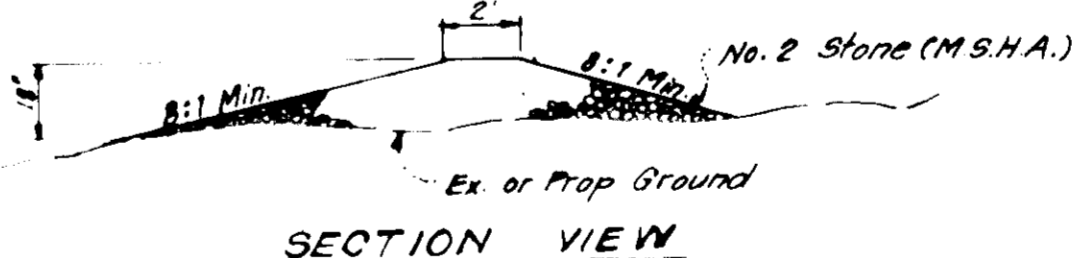
ISOMETRIC VIEW



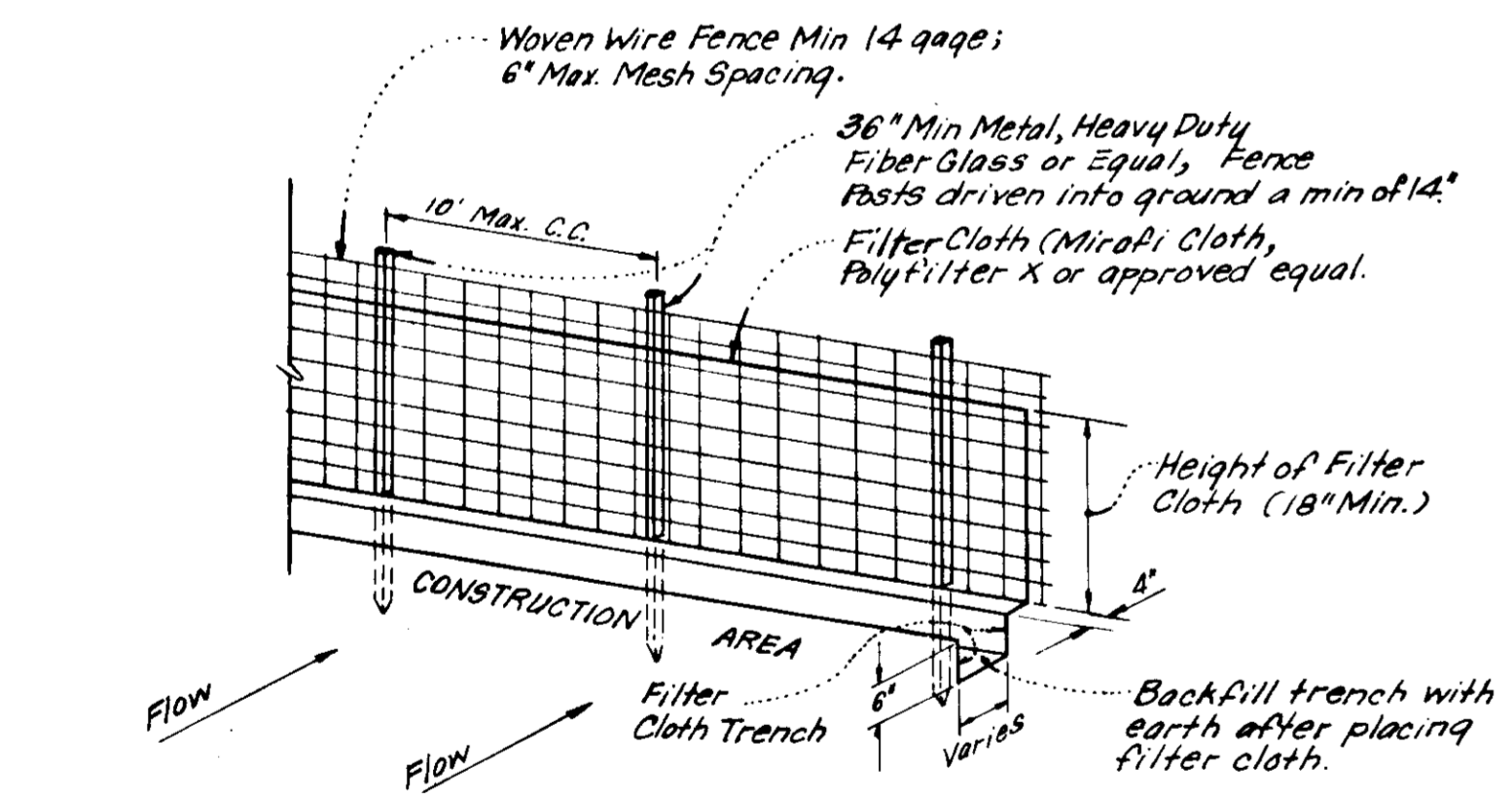
SECTION VIEW

STONE FILTER INLET PROTECTION DETAIL (S.F.I.P.)

NO SCALE



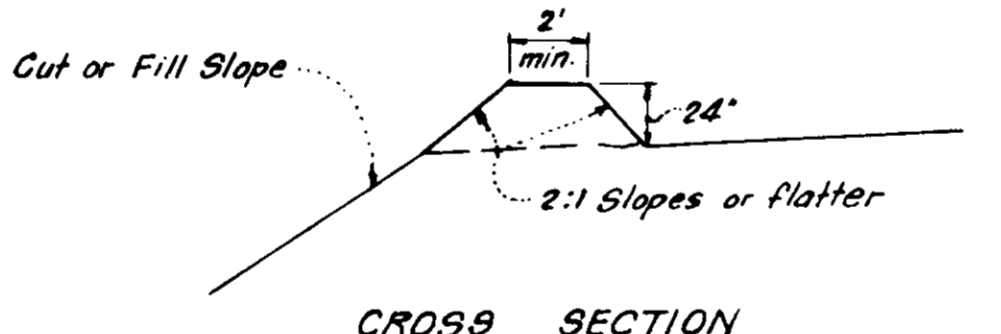
STONE CONSTRUCTION ENTRANCE DETAIL (S.C.E.)



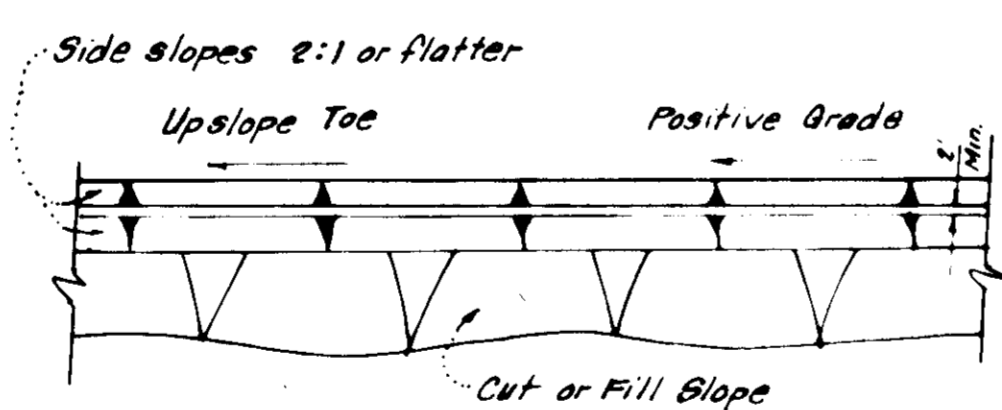
SILT FENCE DETAIL

NOTES:

- Woven Wire Fence to be fastened securely to fence posts by use of wire ties.
- Filter Cloth to be fastened securely to woven wire fence by use of wire ties spaced every 24" x 24".



CROSS SECTION



PLAN VIEW DIVERSION DIKE (DD)

NO SCALE

DEVELOPER'S CERTIFICATE

I hereby certify that all development and/or construction will be done in accordance with the plan of development and meets Technical Requirements and meets the standards of the Howard County Soil Conservation District or their authorized agents as are directed necessary. Deviation from this plan will not be made unless authorized by the Howard County Soil Conservation District.

Reviewed for Howard S.C.D. Name
and meets Technical Requirements
E. Wayne Ray 12-6-77 Date
Signature
U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

Wes Epp Approved Date 12-5-77

Wes Epp Signature Date 12/5/77

Wes Epp Signature Date 12/5/77

Wes Epp Signature Date 12/5/77

Wes Epp Signature Date 12/5/77

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.
Jaymie Strickland 12-13-77 DATE
COUNTY HEALTH OFFICER

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
Wes Epp DATE
PLANNING DIRECTOR

CHIEF, DIVISION OF LAND DEVELOPMENT DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS & PUBLIC ROADS
Wes Epp DATE
DIRECTOR
CHIEF, BUREAU OF HIGHWAYS

CLARK • FINEROCK & SACKETT ENGINEERS • PLANNERS • SURVEYORS 11315 LOCKWOOD DRIVE • SILVER SPRING, MARYLAND 20904 • (301) 585-3400		
DESIGNED	<u>D.R.H.</u>	SCALE
DRAWN	<u>D.R.H.</u>	DRAWING
CHECKED	<u>G.N.C.</u>	JOB NO.
DATE	<u>Oct. 1977</u>	FILE NO.
PROJECT: SEDIMENT & EROSION CONTROL PLAN LOTS 281 THRU 286 COLUMBIA VILLAGE OF KINGS CONTRIVANCE SECTION 1 AREA 1 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND FOR: FISCHER DEVELOPMENT CORP. 10227 Winopin Circle Suite 618 Columbia, Maryland 21044		

APPROVED
DIVISION OF LAND DEVELOPMENT
HOWARD COUNTY, MARYLAND
11-22-77
Wes Epp