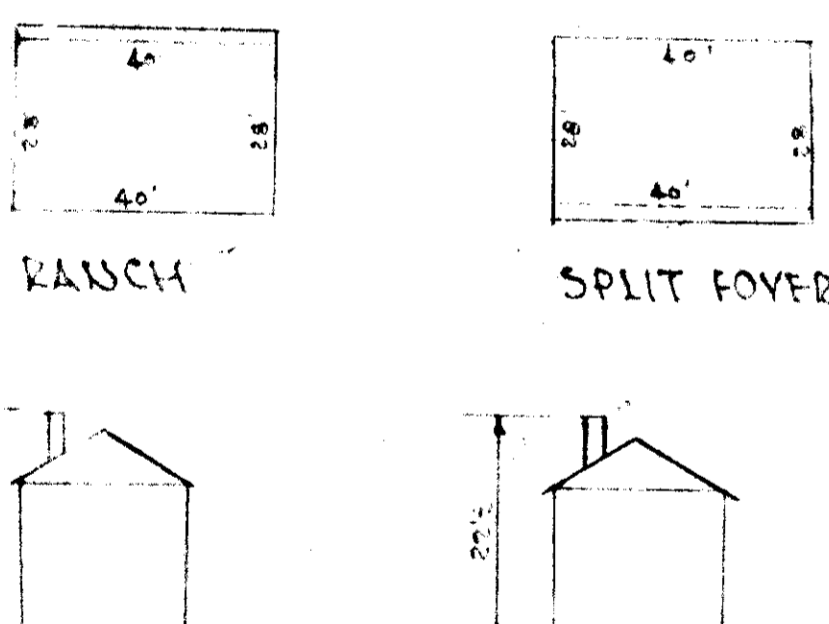
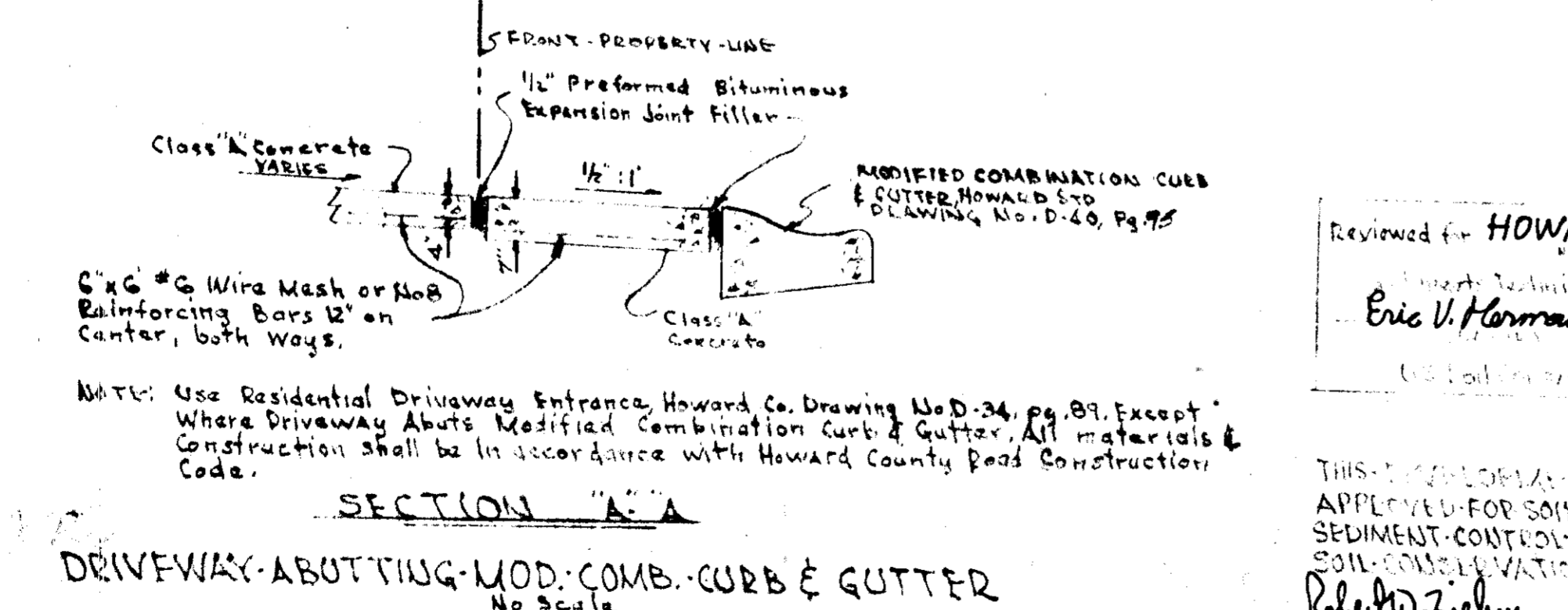
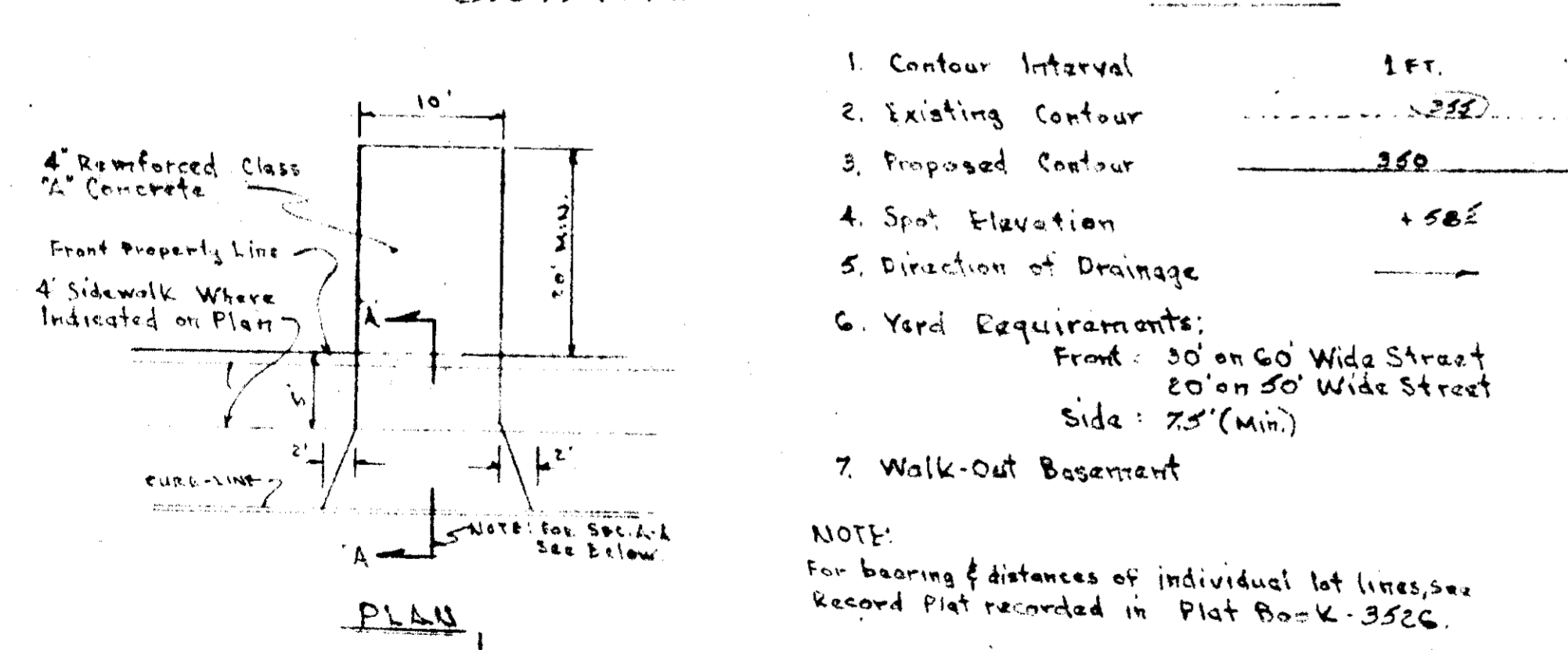


NOTE: LOCATE 16 EVERGREEN (5' TO 6' HIGH) AS SHOWN IN THIS SHEET



TYPICAL HOUSES NO SCALE

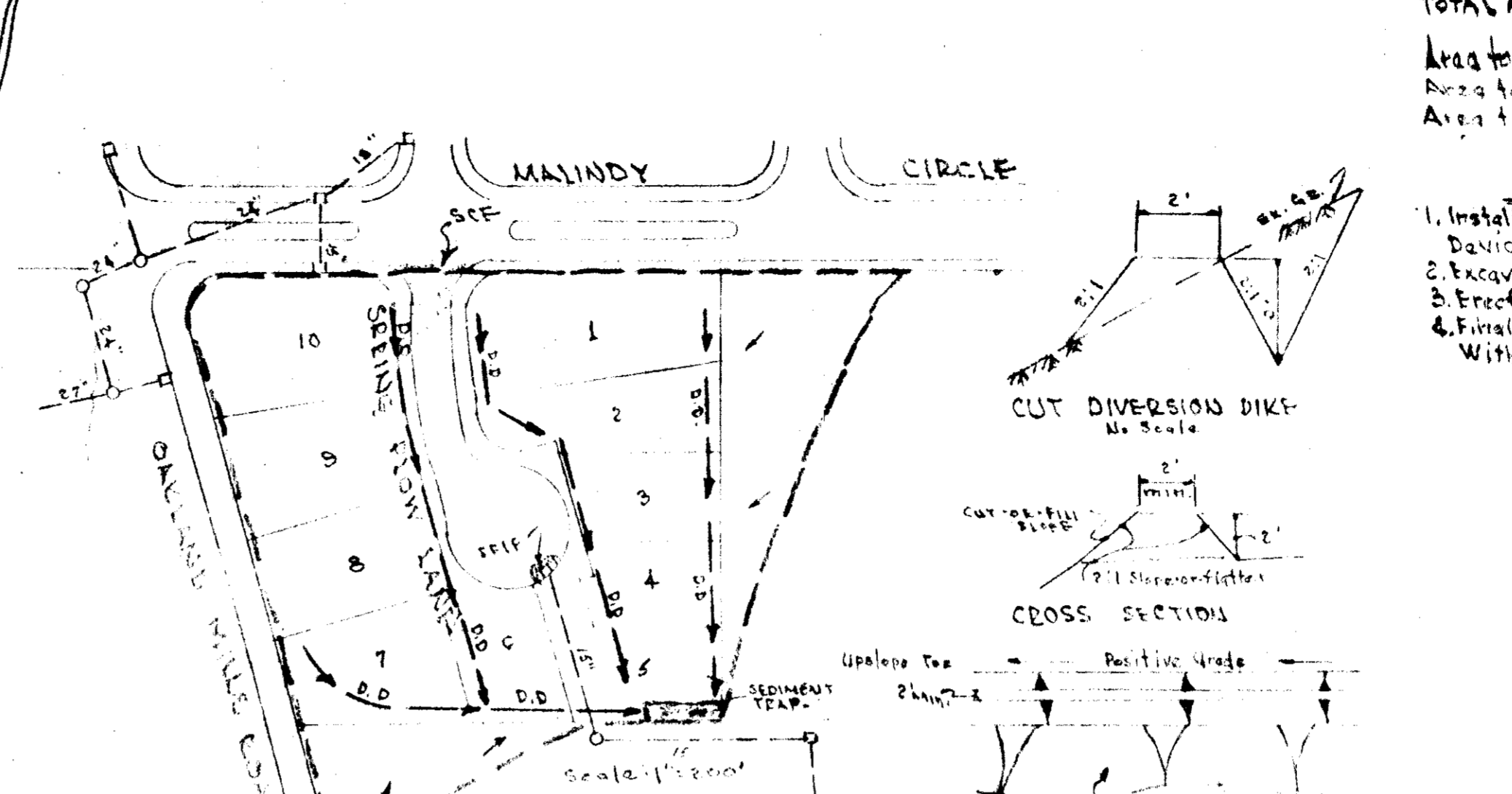
VILLAGE OF OWEN BROWN SECTION 4-AREA 1 P.B.27, E77



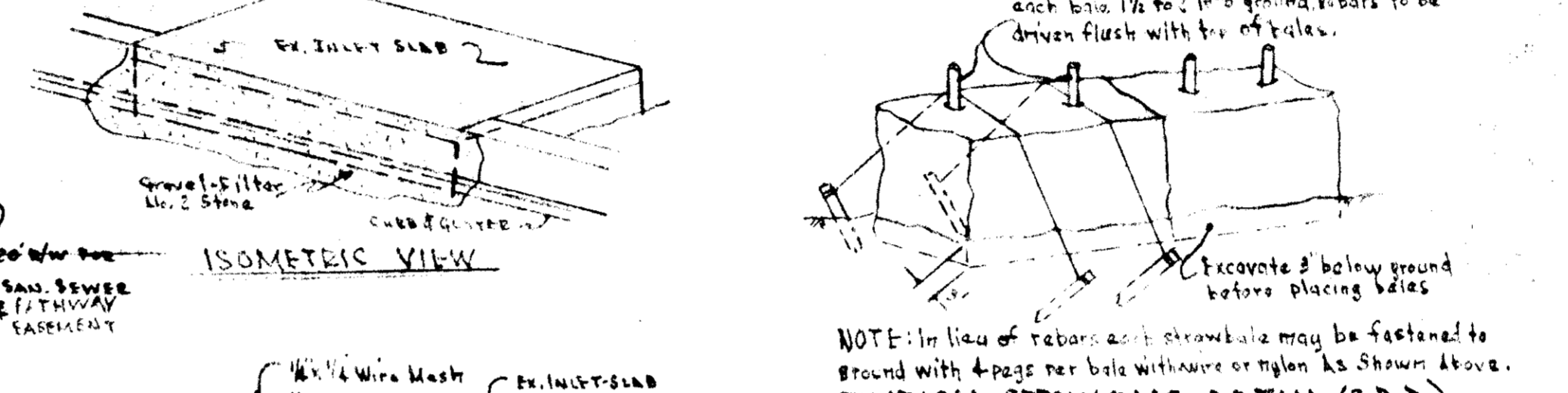
DRIVEWAY ABUTTING MOD. COMB. CURB & GUTTER NO SCALE

- LEGEND**
- 1. Contour Interval 1 FT.
 - 2. Existing Contour
 - 3. Proposed Contour
 - 4. Spot Elevation
 - 5. Direction of Drainage
 - 6. Yard Requirements: Front: 30' on 60' Wide Street; Side: 25' (Min.)
 - 7. Walk-Out Basement

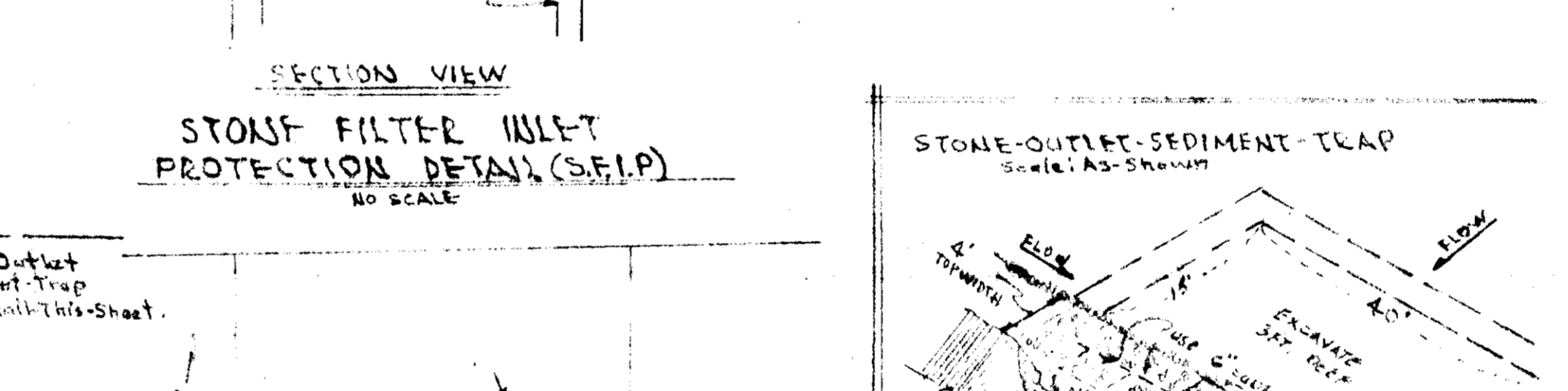
NOTE: Use Residential Driveway Entrance Howard Co. Drawing No. D-34, Pg. 89, Except Where Driveway Abuts Modified Combination Curb & Gutter. All materials & construction shall be in accordance with Howard County Road Construction Code.



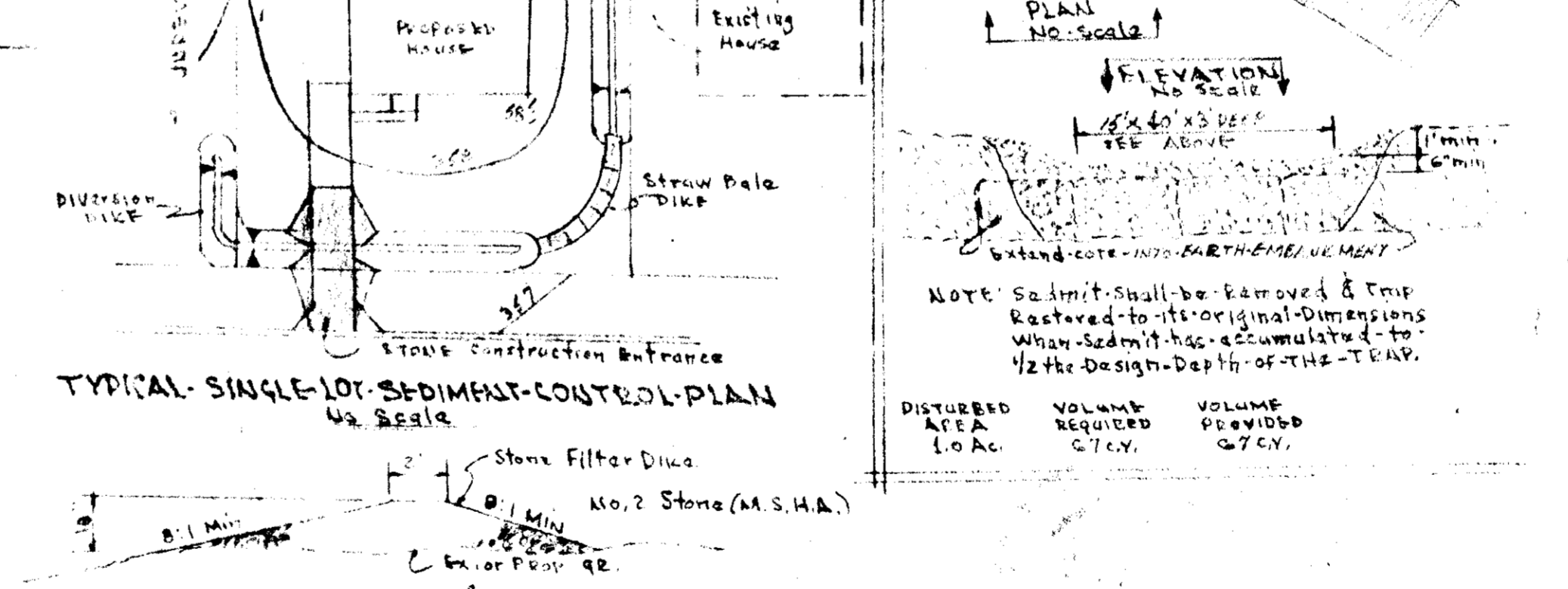
PLAN VIEW DIVERSION DIKE (D.D.) NO SCALE



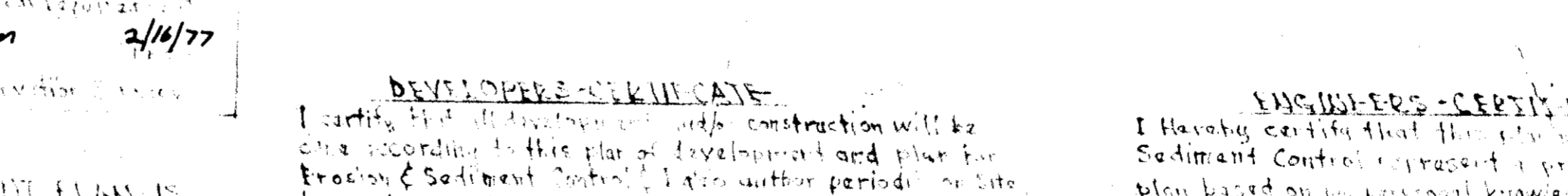
ISOMETRIC VIEW STONE FILTER INLET PROTECTION DETAIL (S.F.I.P.) NO SCALE



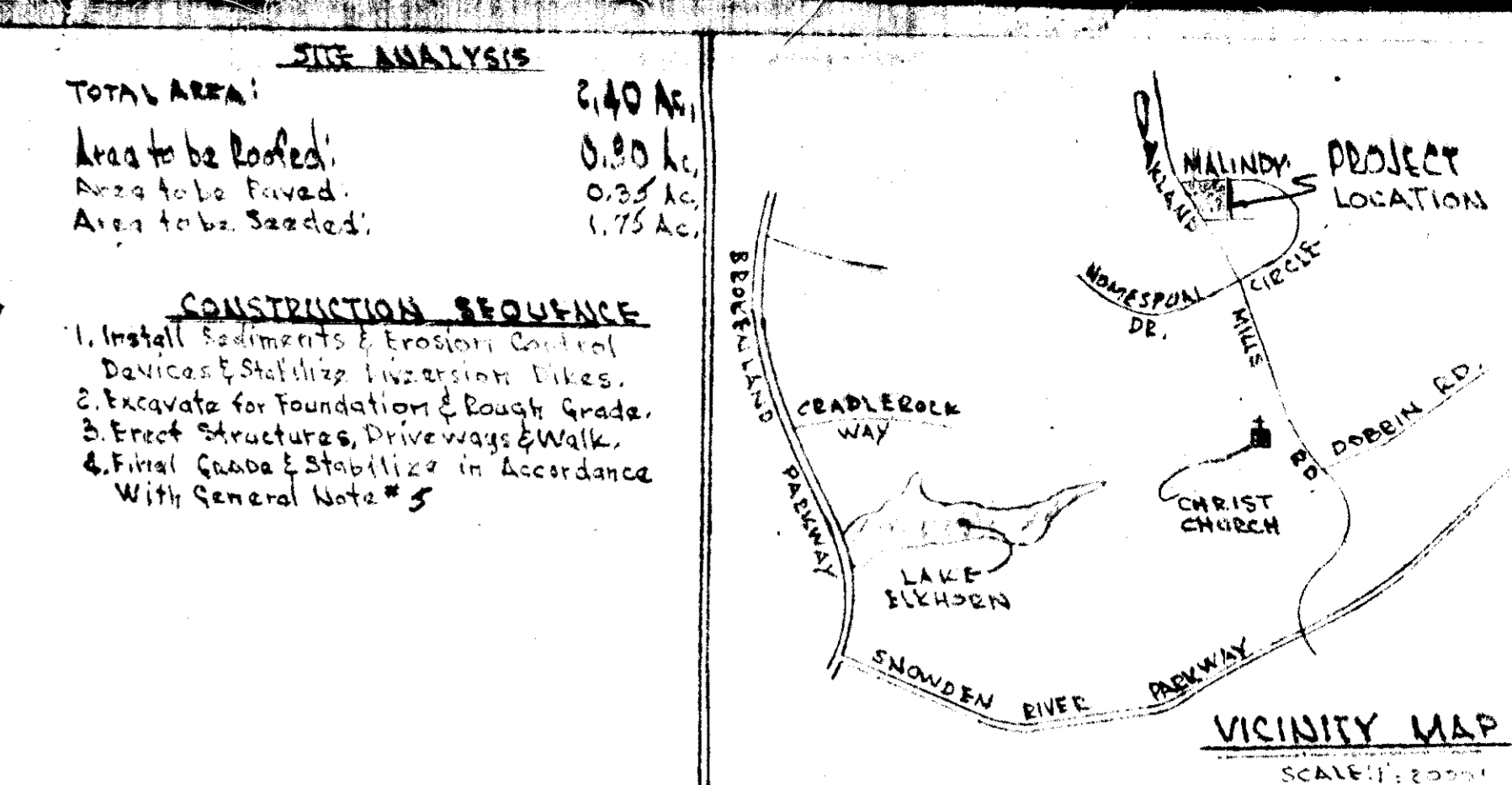
SECTION VIEW STONE-CONSTRUCTION-ENTRANCE-DETAIL (S.C.E.) NO SCALE



TYPICAL SINGLE LOT SEDIMENT CONTROL PLAN NO SCALE



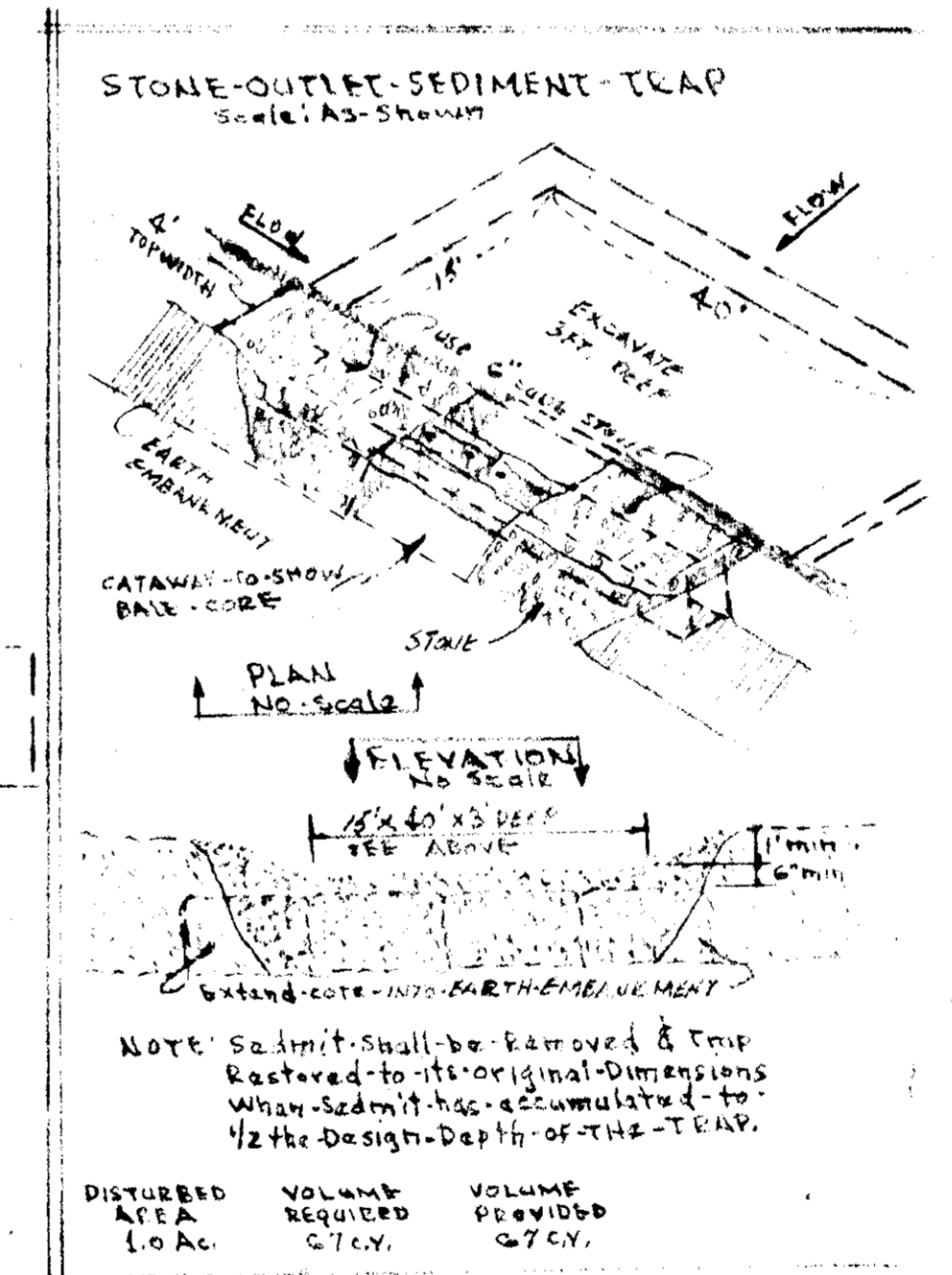
SECTION VIEW STONE-CONSTRUCTION-ENTRANCE-DETAIL (S.C.E.) NO SCALE



SITE ANALYSIS
 TOTAL AREA: 3.40 AC.
 Area to be Rofed: 0.80 AC.
 Area to be Fofed: 0.35 AC.
 Area to be Seaded: 1.75 AC.

- CONSTRUCTION SEQUENCE**
1. Install Sediment & Erosion Control Devices & Stabilize Disturbed Areas.
 2. Excavate for Foundation & Rough Grade.
 3. Erect Structures, Driveway & Walk.
 4. Final Grading & Stabilize in Accordance With General Note #5.

1. All Sediment & Erosion Control Measures Will Be Installed and Stabilized According to This Plan Prior to Any Other Grading, Clearing, or Disturbance of the Site. See Note #5 For Stabilization Except That The Seed Mixture Will Be Annual Ryegrass Applied at the Rate of 1.4 lbs./1000 Sq. Ft.
2. Notify The Howard Soil Conservation District and Bureau of Inspections and Permits at Least 24 Hours Before Starting Any Work.
3. All Sediment Control Practices to Conform to the Standards & Specifications For Soil Erosion & Sediment Control in Developing Areas & Shall be Adjusted to Meet Actual Field Conditions.
4. Stabilization of Disturbed Ground to be Done as Soon After Construction as Possible.
5. All Grading Shall be Treated in Accordance With The Following Specifications:
 - a) Seed: Certified 85% Germination Applied at the Rate of 3 lbs./1000 Sq. Ft. Mixture: 40% Kentucky Blue, 20% Chewing Fescue, 20% Kentucky 31 & 20% Annual Ryegrass.
 - b) Fertilizer: 10-10-10 Applied at the Rate of 25 lbs./1000 Sq. Ft. Ground Agricultural Lime or Dolomitic Lime Applied at the Rate of 40 lbs./1000 Sq. Ft.
 - c) Mulch: Weed Free Grain Straw Applied at the Rate of 70 lbs./1000 Sq. Ft. Mulch Shall be Secured to the Ground by Any Approved Method, i.e. Asphalt Tacks. Rate of 2 gals./1000 Sq. Ft.
6. All Structural Sediment Control Measures Are to Remain in Place Until Permission For Their Removal has been Obtained from Inspections & Permits Dept. Ph. 422-5000-Ext. 302.
7. On Site Inspection & Maintenance of All Sediment Control Measures Including Cleanout of Sediment Traps & Dikes & Erosion Establishment of All Planned Vegetative Measures Will be the Responsibility of the Developer or His Representative on the Site, on a Continuing Day to Day Basis.
8. Protection of Stabilized Area from Sediment Runoff Shall be Provided by The Use of an Approved Sediment Device as Shown Hereon.
9. The Contractor Shall keep All Public Roads Free of Sediment Deposits Left From Traffic Leaving Construction Site.
10. Stabilized Construction Entrances Shall be Constructed at All Construction Entrances.
11. If Houses Are to be Constructed on an "As-Shown" Basis at Random, Single Lot Sediment Control, as Shown on This Sheet Shall be Implemented.
12. It Will be the Developer's Responsibility, to Provide Additional Sediment & Erosion Control Devices to Protect Stabilized Areas During Construction.
13. Total Amount of Straw Bales Shown: 30 L.F.
14. All Conditions Are Based on MARYLAND STATE GRID SYSTEM. Elevations Are Based on U.S. Coast & Geodetic Survey Mean Sea Level Datum of 1929.
15. The Lots Shown on This Plan Are Covered by Final Development Plan-Phase 161-Record C.M.P. 3372 to 3374.
16. The Area Covered in This Submission is Located on TAX MAP Dc. 3C.
17. The Land in This Plan is Zoned New Town (R.M.D.)
18. Malindy Circle Utilities Are Existing-Street Has Base Courses ONLY. SPRING PLOW LANE Utilities Are Existing-Street Has been Cut to Sub-Grade.
19. Any Damage to County Owned Paved or Paving shall be Corrected at The Developer's Expense.



STONE-OUTLET-SEDIMENT-TRAP Scale: As-Shown

NOTE: Sediment shall be removed & fine material shall be returned to original dimensions when sediment has accumulated to 1/2 the design depth of the trap.

DISTURBED AREA	VOLUME REQUIRED	VOLUME PROVIDED
1.0 AC.	27 CY.	27 CY.

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 JAMES M. BROWN
 2-23-77

APPROVED: HOWARD COUNTY OFFICE OF PLANNING (ZONING)
 JAMES M. BROWN
 2-23-77

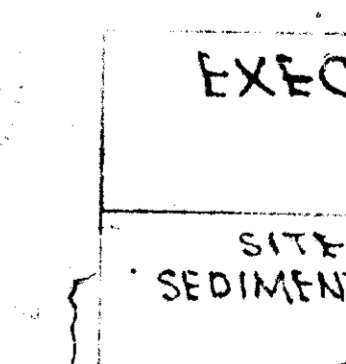
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 JAMES M. BROWN
 2-18-77

Reviewed by: HOWARD
 Eric V. Norman
 2/16/77

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY HOWARD COUNTY SOIL CONSERVATION DISTRICT
 Richard Zehner
 2/16/77

DEVELOPER'S CERTIFICATE
 I certify that all construction will be in accordance with this plan of development and plan for Erosion & Sediment Control. I also authorize periodic on-site inspection by Howard Soil Conservation District or their authorized agents as required, except any violation from this plan will not be made without authorization from Howard Soil Conservation District.
 James M. Brown
 2-17-77

ENGINEER'S CERTIFICATE
 I have certified that this plan of development and Sediment Control represents a good and defensible plan based on my personal knowledge of the site conditions. It was prepared in accordance with the requirements of the Howard Soil Conservation District.
 James M. Brown
 2-17-77



APPROVED
 DIVISION OF LAND DEVELOPMENT
 HOWARD COUNTY, MARYLAND
 DATE: 2-10-77

EXECUTIVE BUILDERS, Inc.
 5435 NEWGRANGE GARTH
 COLUMBIA, MARYLAND - 21045

SITE DEVELOPMENT PLAN & SEDIMENT & EROSION CONTROL PLAN LOTS 1 THRU 10
COLUMBIA
 VILLAGE OF OWEN BROWN SECTION 4 AREA 2
 C.M.P. ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 RECORDED IN PLAT BOOK # 3226