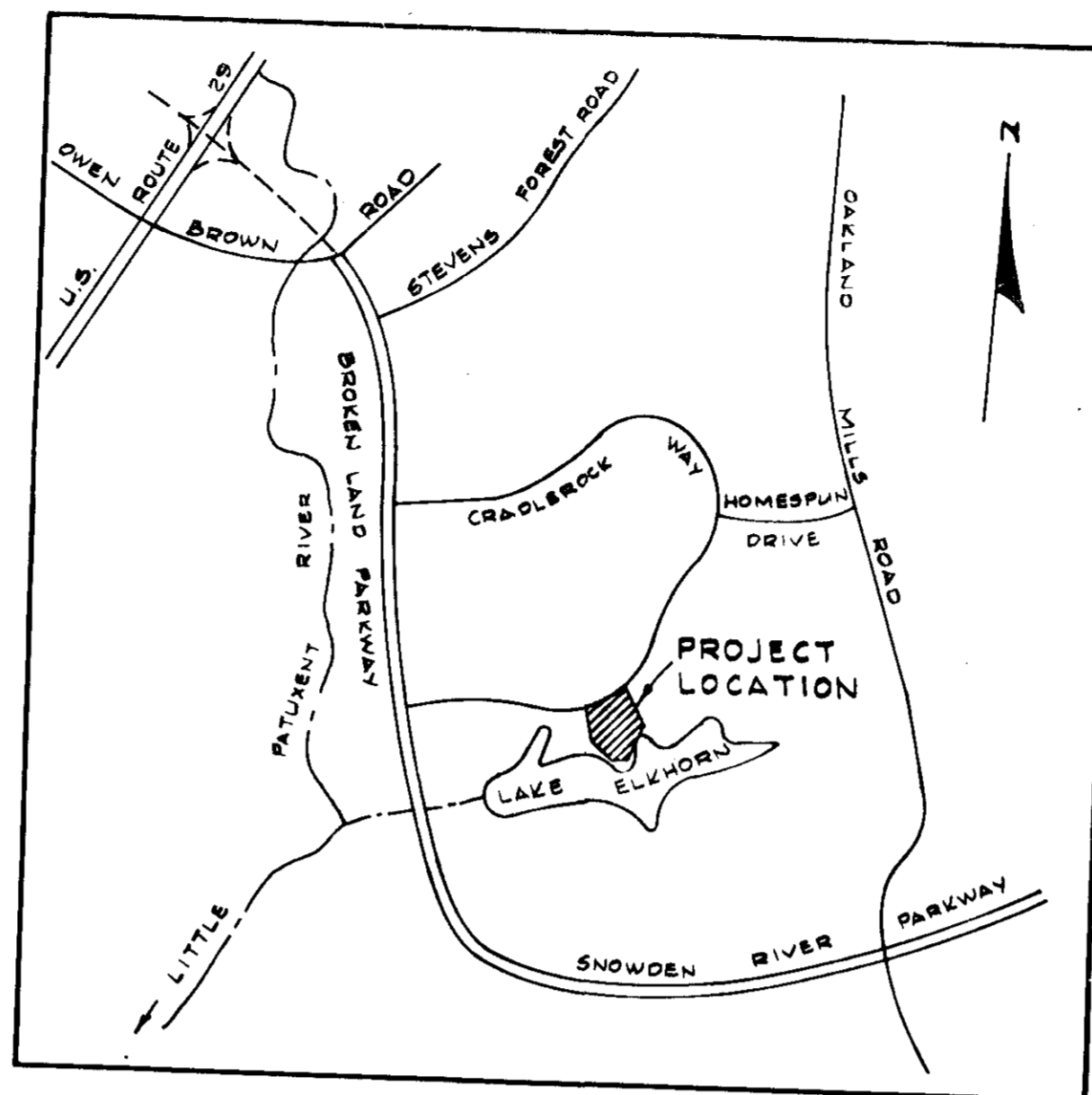


GENERAL NOTES

1. Topography taken from aerial topo prepared by Maps Incorporated and verified by field-run survey.
2. Recording reference for Lots D-85 thru D-158 is Plat # 3674 & 3675
3. Water and sewer facilities are to be provided. (Publicly Owned)
4. Community Owned lots which include parking spaces and sidewalks shall be owned and maintained by a home owners association. Only the 25' travelled way portion of the 50' right-of-way shall be publicly maintained.
5. The minimum gross floor area of each unit excluding basement shall be 1,080 square feet.
6. All entrance walks to dwellings shall be 3' wide.
7. All other sidewalks shall be 4' wide concrete unless otherwise noted.
8. Curb return radii for roadways shall be 25' unless otherwise specified.
9. Dwellings shown hereon are 3 bedroom 2 story group dwellings with basements.
10. Minimum setback from all public streets shall be 30' unless otherwise approved by Howard County Planning Board.
11. Any damage to public right-of-way or paving must be corrected at the developers expense.
12. Grades have been established to insure positive drainage.
13. Check walls shall be provided where a flight of steps contain more than 3 risers.



VICINITY MAP
Scale: 1" = 2000'

SPECIAL NOTES

This development plan includes all applicable information outlined in Data Sheet 150 Neighborhood Standards F.H.A. Land Planning Bulletin No. 3 V.A. Pamphlet 4 A B and conforms with lot improvements and detail lot grading of Chapter XII F.H.A. Minimum Property Requirements dated May 1963, and to all applicable ordinances and regulations.

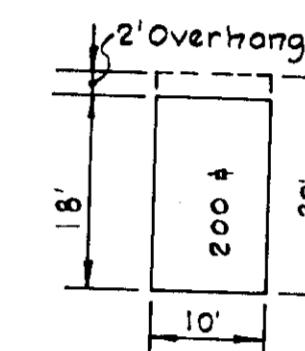
Drainage structures have been designed in accordance with sound engineering practice using recognized formulae and rainfall data currently prescribed by local authorities. These exhibits comply with the F.H.A. objectives, Minimum Property Standards, local acceptable standards and neighborhood requirements conform to all applicable local government ordinances and regulations and represent the best professional judgement of the designer.

SHEET INDEX	
NO.	DESCRIPTION
1	TITLE SHEET
2	GRADING PLAN
3	DETAILS
4	SEDIMENT CONTROL PLAN
5	SEDIMENT CONTROL PLAN AND DETAILS
6	LANDSCAPE PLAN

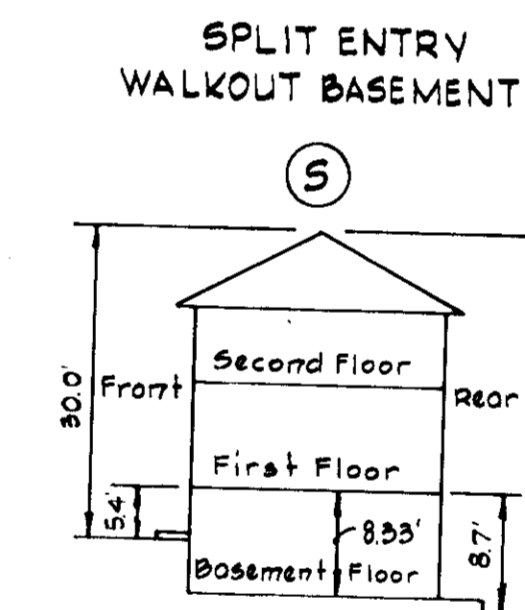
SITE ANALYSIS

Existing Zoning - Apartments (Single Family Attached)
Final Development Plan - Phase 127-A-III Plot Book 3054-CC thru 3054-FF

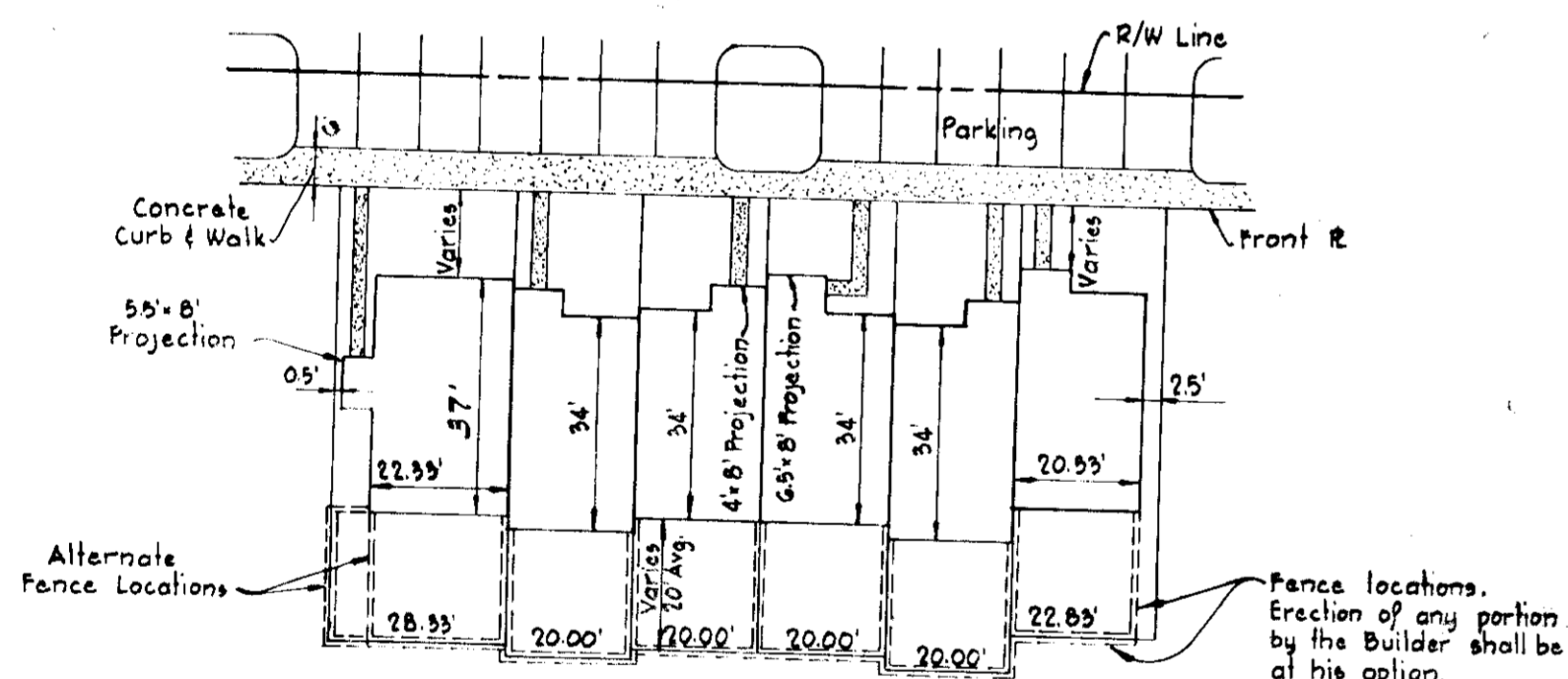
Area of this portion of Parcel "D-1"	7540	Ac.	Total Lots in this portion of Parcel "D-1"	76
Area of SFA Lots	2892	Ac.	SFA Lots	75
Area of Road R/W	0744	Ac.	Community Owned Lots	1
Area of Community Owned Lots	3904	Ac.		
Dwelling Units Permissible @ 10 Units/Ac.			75	
Dwelling Units Proposed			75	
Parking Spaces Required (75 x 2)			150	
Parking Spaces Proposed			150	



TYPICAL PARKING SPACE
No Scale



TYPICAL DWELLING ELEVATION
No Scale



TYPICAL DWELLING
No Scale

APPROVED
DIVISION OF LAND DEVELOPMENT
HOWARD COUNTY, MARYLAND
DATE 12-10-76

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT
DATE 5/16/77
APPROVED FOR PLANNING AND ZONING HOWARD COUNTY OFFICE OF PLANNING AND ZONING
DATE 5-9-77
APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DATE 5-3-77

OWEN BROWN-TATSFIELD DEVELOPMENT CO.
OWNER
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND

HOWARD HOMES DEVELOPMENT CORP.
DEVELOPER
P.O. BOX 802, COLUMBIA, MARYLAND

WHITMAN, REQUARDT & ASSOCIATES
ENGINEERS
1304 ST. PAUL STREET
BALTIMORE, MARYLAND 21202
Kenneth A. McCord P.E. No. 1674

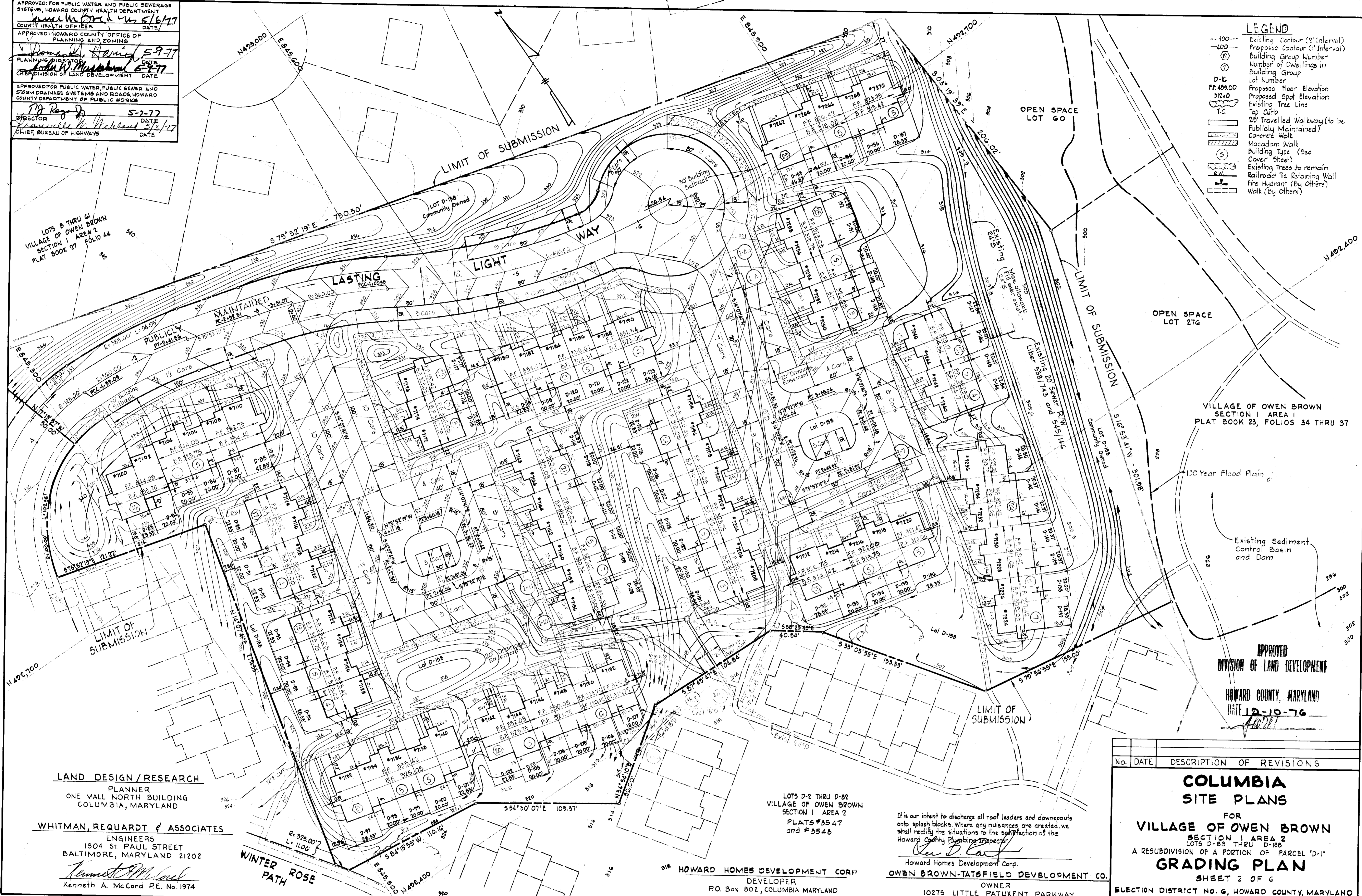
NO.	DATE	DESCRIPTION OF REVISIONS
COLUMBIA SITE PLANS FOR VILLAGE OF OWEN BROWN SECTION 1 AREA 2 LOTS D-85 THRU D-158 A RESUBDIVISION OF A PORTION OF PARCEL "D-1" TITLE SHEET SHEET 1 OF 6 ELECTION DISTRICT NO. 6, HOWARD COUNTY, MARYLAND DATE: MARCH 21, 1977 SCALE: 1" = 20'		

SDP-77-37c

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER DATE
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 PLANNING DIRECTOR DATE
 CHIEF DIVISION OF LAND DEVELOPMENT DATE
 APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR DATE
 CHIEF, BUREAU OF HIGHWAYS DATE

- LEGEND**
- - 400 - - Existing Contour (2' Interval)
 - 400 - Proposed Contour (1' Interval)
 - (1) Building Group Number
 - (2) Number of Dwellings in Building Group
 - D-10 Lot Number
 - F.F. 429.00 Proposed Floor Elevation
 - 912.00 Proposed Spot Elevation
 - Existing Tree Line
 - T.C. Top Curb
 - 20' Travelled Walkway (to be Publicly Maintained)
 - Concrete Walk
 - Macadam Walk
 - Building Type (See Cover Sheet)
 - Existing Trees to remain
 - Railroad Tie Retaining Wall
 - Fire Hydrant (By Others)
 - Walk (By Others)

LOTS B THRU G/
 VILLAGE OF OWEN BROWN
 SECTION 1 AREA 2
 PLAT BOOK 27 FOLIO 44



VILLAGE OF OWEN BROWN
 SECTION 1 AREA 1
 PLAT BOOK 23, FOLIOS 34 THRU 37

APPROVED
 DIVISION OF LAND DEVELOPMENT
 HOWARD COUNTY, MARYLAND
 DATE 12-10-76

LAND DESIGN/RESEARCH
 PLANNER
 ONE MALL NORTH BUILDING
 COLUMBIA, MARYLAND

WHITMAN, REQUARDT & ASSOCIATES
 ENGINEERS
 1304 ST. PAUL STREET
 BALTIMORE, MARYLAND 21202

Kenneth A. McCord
 Kenneth A. McCord P.E. No. 1974

LOTS D-2 THRU D-82
 VILLAGE OF OWEN BROWN
 SECTION 1 AREA 2
 PLATS #35 47
 and # 35 48

If it is our intent to discharge all roof leaders and downspouts onto splash blocks, where any nuisances are created, we shall rectify the situations to the satisfaction of the Howard County Plumbing Inspector.

Ken D. Carr
 Howard Homes Development Corp.
OWEN BROWN-TATSFIELD DEVELOPMENT CO.
 OWNER
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND

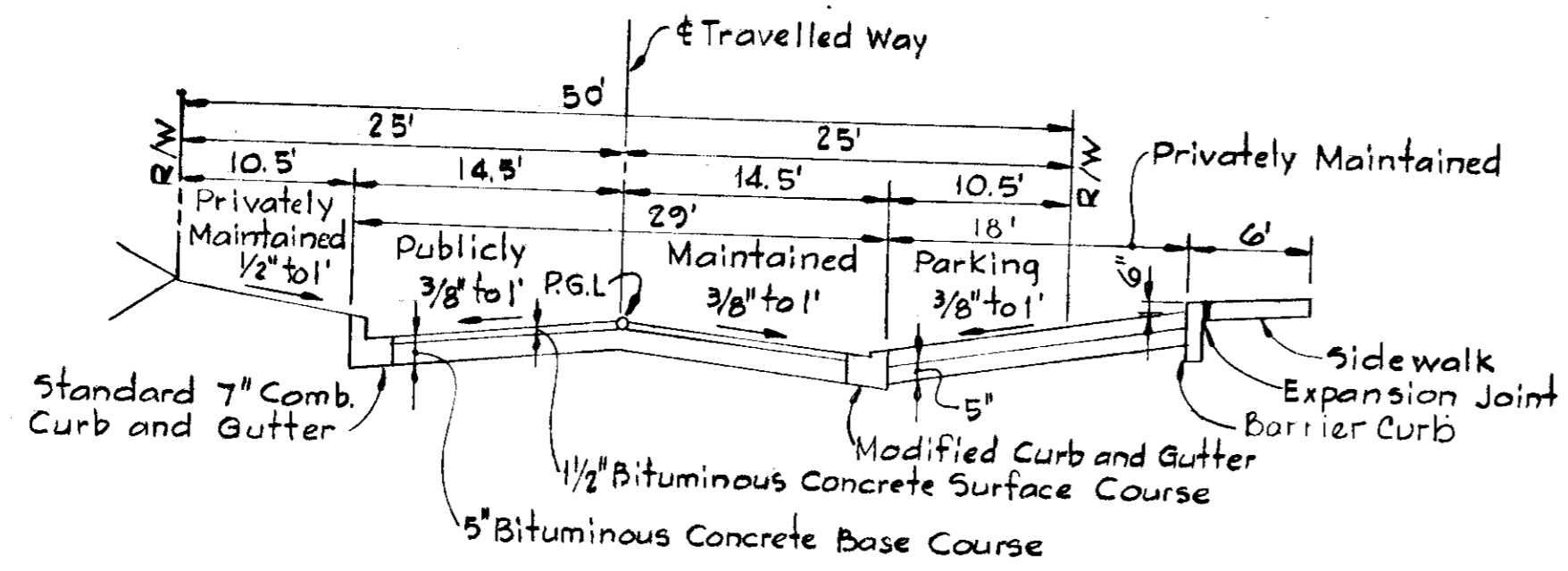
No.	DATE	DESCRIPTION OF REVISIONS
COLUMBIA SITE PLANS FOR VILLAGE OF OWEN BROWN SECTION 1 AREA 2 LOTS D-83 THRU D-158 A RESUBDIVISION OF A PORTION OF PARCEL 'D-1' GRADING PLAN SHEET 2 OF 6 ELECTION DISTRICT NO. 6, HOWARD COUNTY, MARYLAND DATE: MARCH 21, 1977		

SCALE: 1" = 30'
 SDP-77-37c

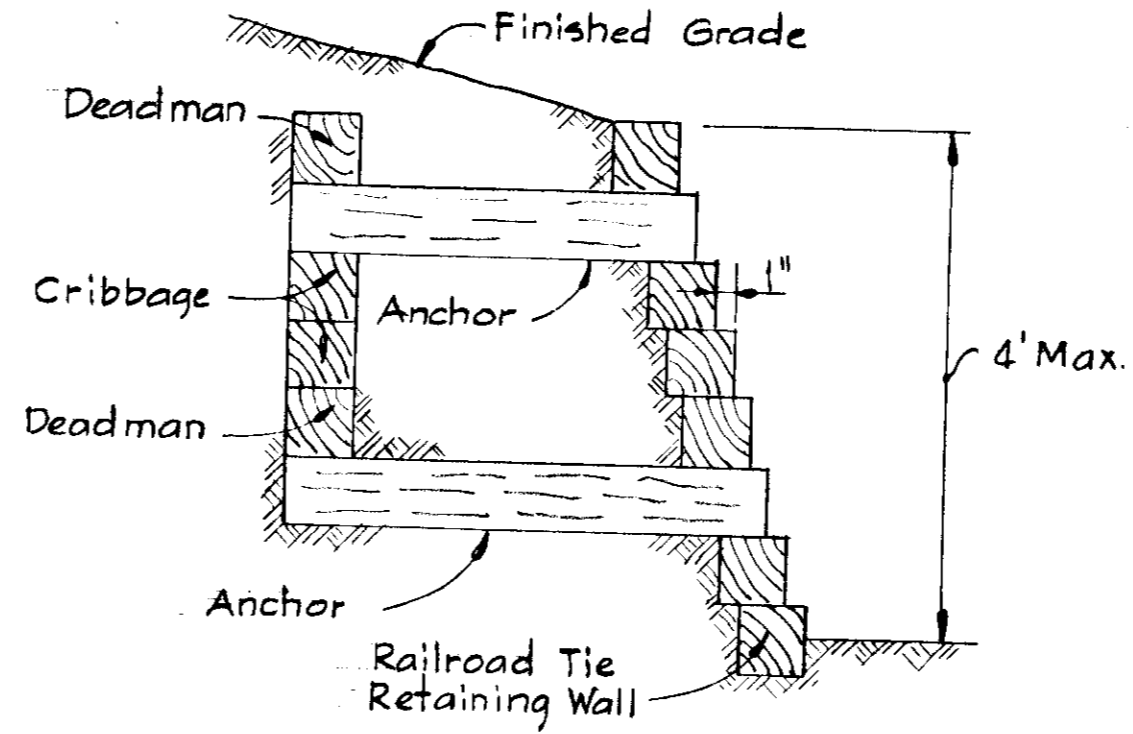
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER *[Signature]* DATE 5/6/77

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 PLANNING DIRECTOR *[Signature]* DATE 5-9-77
 CHIEF DIVISION OF LAND DEVELOPMENT

APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR *[Signature]* DATE 5-3-77
 CHIEF, BUREAU OF HIGHWAYS



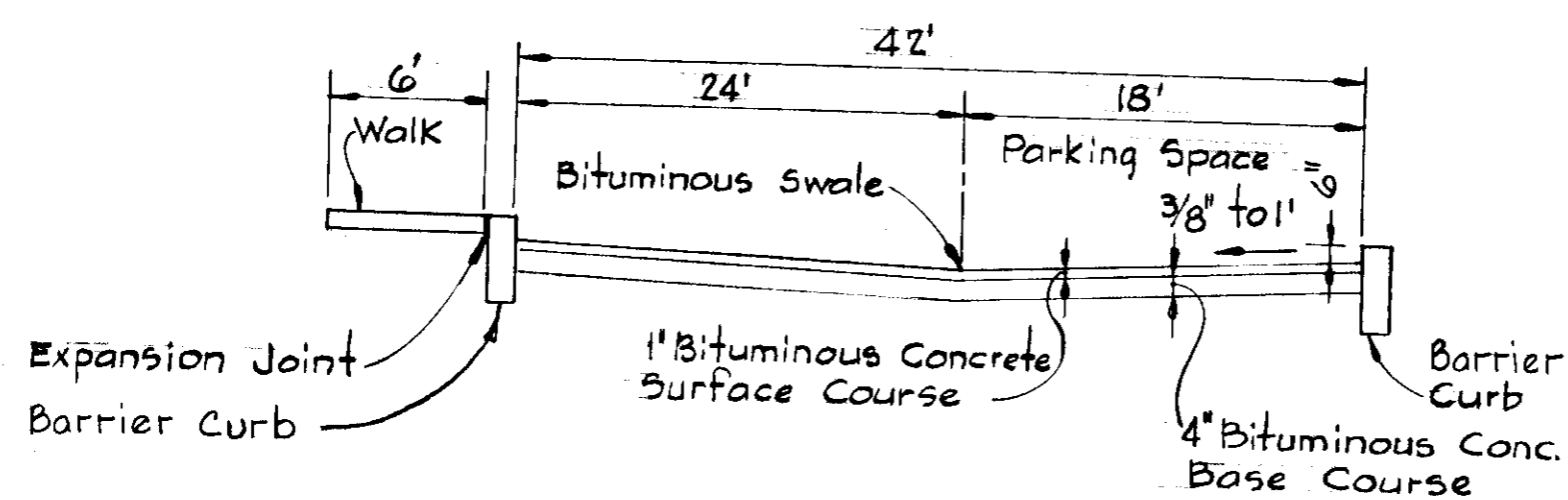
TYPICAL SECTION - PUBLIC ROAD AND PARKING
 No Scale



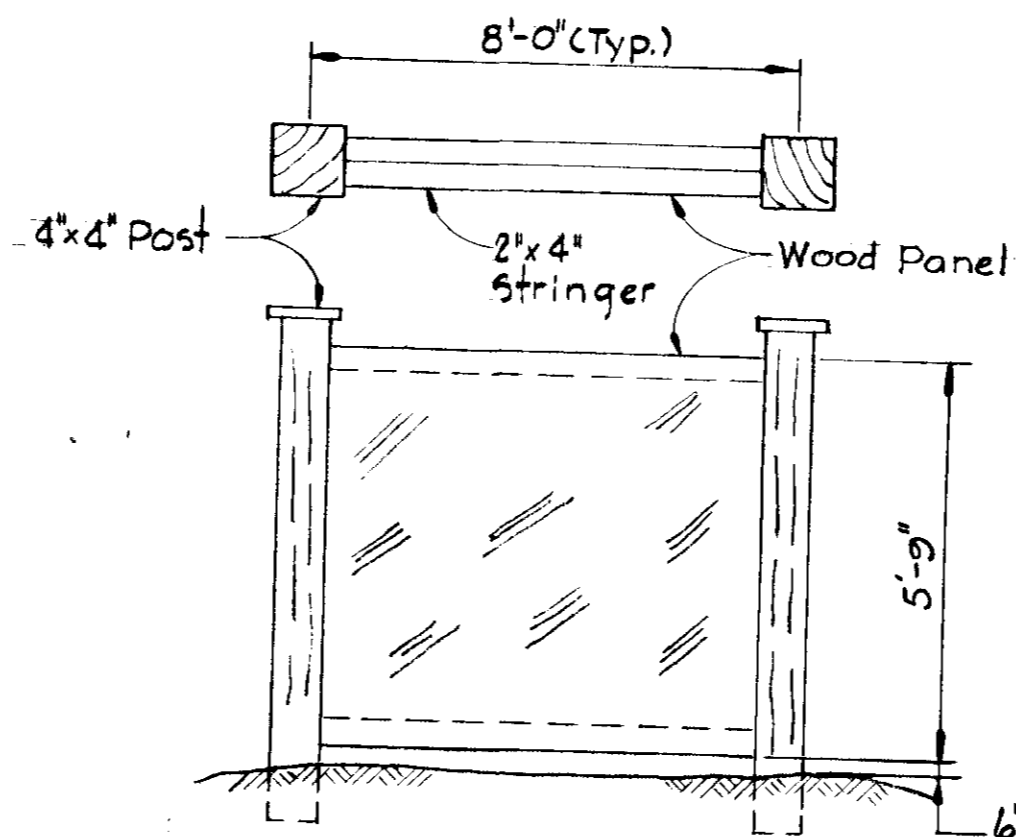
RETAINING WALL DETAIL
 No Scale

NOTES:

1. Base will be primed in accordance with C-30-3 as provided in the Howard County Road Construction Code and Standard Specifications.
2. Tack Coat is required in accordance with Section C-31-4 of the Howard County Road Construction Code and Standard Specifications.
3. All the materials and work required for the construction of the public streets shall be in accordance with the Howard County Road Construction Code and Standard Specifications. See Road Construction Drawings "Village of Owen Brown Section 1 Area 2 Resubdivision of a Portion of Parcel D-1".
4. Standard 7" comb Curb and Gutter shall be in accordance with County Standard D-40, Page 95.
5. Paving (6 1/2") shall be in accordance with County Standard D-11, Page 66.
6. Paving (5") shall be in accordance with County Standard D-13, Page 66.



TYPICAL SECTION - PRIVATE PARKING
 No Scale



SOLID WOOD PRIVACY FENCE
 No Scale

APPROVED
 DIVISION OF LAND DEVELOPMENT

HOWARD COUNTY, MARYLAND
 DATE 12-10-76

LAND DESIGN/RESEARCH
 PLANNER
 ONE MALL NORTH BUILDING
 COLUMBIA, MARYLAND

WHITMAN, REQUARDT & ASSOCIATES
 ENGINEERS
 1304 ST. PAUL STREET
 BALTIMORE, MARYLAND 21202
[Signature]
 Kenneth A. McCord P.E. No. 1974

HOWARD HOMES DEVELOPMENT CORP.
 DEVELOPER
 P.O. Box 802, COLUMBIA, MARYLAND

OWEN BROWN-TATSFIELD DEVELOPMENT CO.
 OWNER
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND

No.	DATE	DESCRIPTION OF REVISIONS
COLUMBIA SITE PLANS FOR VILLAGE OF OWEN BROWN SECTION 1 AREA 2 LOTS D-83 THRU D-155 A RESUBDIVISION OF A PORTION OF PARCEL D-1 DETAILS SHEET 3 OF 6 ELECTION DISTRICT NO. 6, HOWARD COUNTY, MARYLAND DATE: MARCH 21, 1977 SCALE: AS SHOWN		

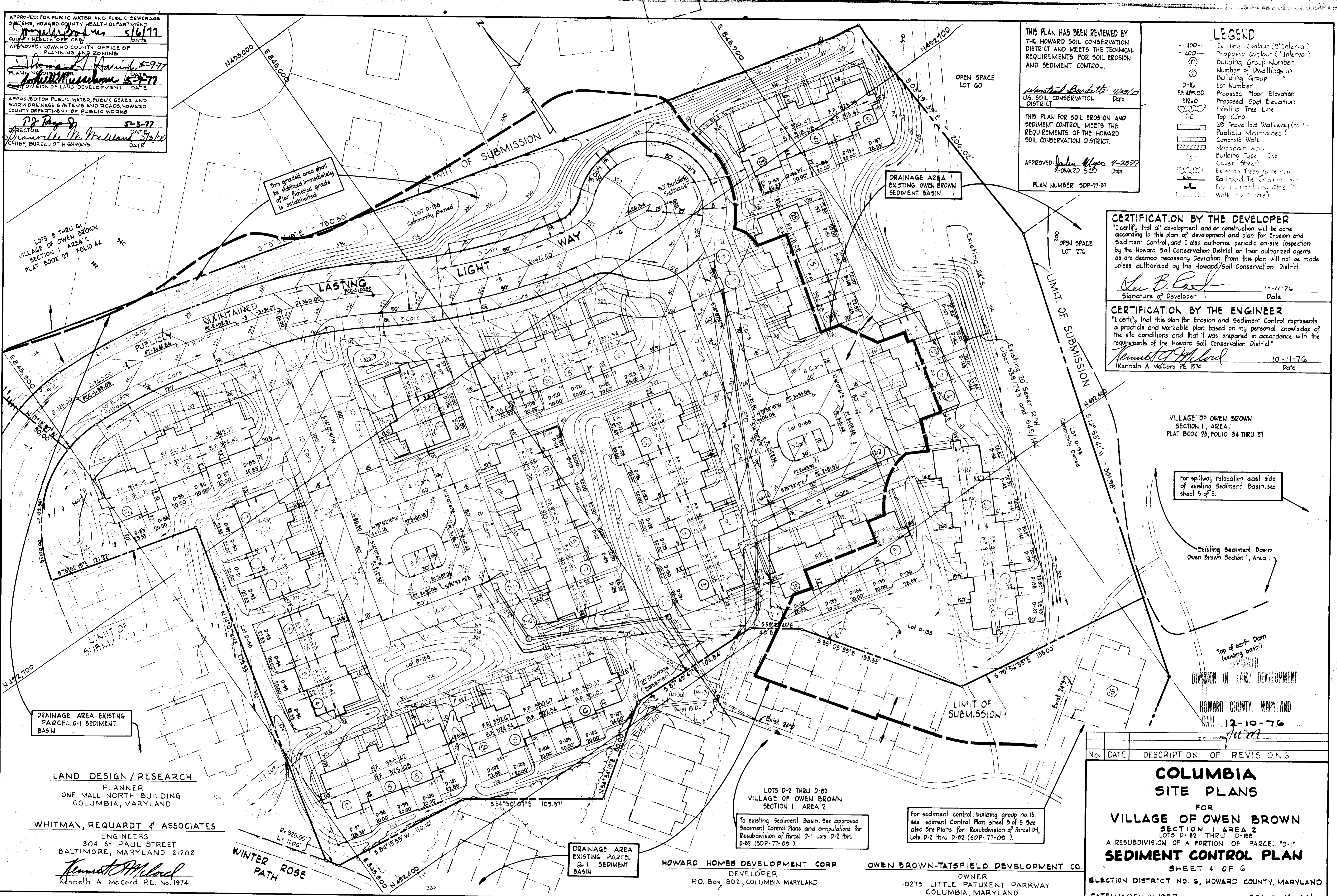
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER
 DATE 5/16/77

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 DATE 5-9-77

APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DATE 5-3-77

DIRECTOR
 DATE 5/2/77

CHIEF, BUREAU OF HIGHWAYS
 DATE



THIS PLAN HAS BEEN REVIEWED BY THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

APPROVED: *Shirley Bendette* 4/15/77
 U.S. SOIL CONSERVATION DISTRICT
 DATE

THIS PLAN FOR SOIL EROSION AND SEDIMENT CONTROL MEETS THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *John Meyer* 4-26-77
 HOWARD SCD
 DATE

PLAN NUMBER SDP-77-97

- LEGEND**
- 400 -- Existing Contour (2' Interval)
 - 400 - Proposed Contour (1' Interval)
 - (12) Building Group Number
 - (1) Number of Dwellings in Building Group
 - (1) Lot Number
 - D-10 Proposed Floor Elevation
 - 3/2.0 Proposed Spot Elevation
 - (T) Existing Tree Line
 - T.C. Top Curb
 - 25' Travelled Walkway (to be Publicly Maintained)
 - Concrete Walk
 - Macadam Walk
 - Building Type (See Cover Sheet)
 - (S) Existing Trees to Remain
 - R.W. Railroad Tie Retaining Wall
 - Fire Hazard (by Other Walkway Signs)

CERTIFICATION BY THE DEVELOPER

"I certify that all development and or construction will be done according to this plan of development and plan for Erosion and Sediment Control, and I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents as are deemed necessary. Deviation from this plan will not be made unless authorized by the Howard Soil Conservation District."

Ken B. Carl 10-11-76
 Signature of Developer Date

CERTIFICATION BY THE ENGINEER

"I certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Kenneth A. McCord 10-11-76
 Kenneth A. McCord PE, 1974 Date

VILLAGE OF OWEN BROWN
 SECTION 1, AREA 1
 PLAT BOOK 23, FOLIO 34 THRU 37

For spillway relocation east side of existing Sediment Basin, see sheet 5 of 5.

Existing Sediment Basin
 Owen Brown Section 1, Area 1

Top of earth Dam (existing basin)

DIVISION OF LAND DEVELOPMENT
 HOWARD COUNTY, MARYLAND
 DATE 12-10-76
Wurt

No.	DATE	DESCRIPTION OF REVISIONS
COLUMBIA SITE PLANS FOR VILLAGE OF OWEN BROWN SECTION 1, AREA 2 LOTS D-82 THRU D-158 A RESUBDIVISION OF A PORTION OF PARCEL 'D-1' SEDIMENT CONTROL PLAN SHEET 4 OF 6 ELECTION DISTRICT NO. 6, HOWARD COUNTY, MARYLAND DATE: MARCH 21, 1977		

LAND DESIGN / RESEARCH
 PLANNER
 ONE MALL NORTH BUILDING
 COLUMBIA, MARYLAND

WHITMAN, REQUARDT & ASSOCIATES
 ENGINEERS
 1304 ST. PAUL STREET
 BALTIMORE, MARYLAND 21202

Kenneth A. McCord
 Kenneth A. McCord PE, No. 1974

HOWARD HOMES DEVELOPMENT CORP
 DEVELOPER
 P.O. Box 802, COLUMBIA MARYLAND

OWEN BROWN-TATSFIELD DEVELOPMENT CO.
 OWNER
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND

LOTS D-2 THRU D-82
 VILLAGE OF OWEN BROWN
 SECTION 1, AREA 2

To existing Sediment Basin. See approved Sediment Control Plans and computations for Resubdivision of Parcel D-1 Lots D-2 thru D-82 (SDP-77-09).

For sediment control, building group no. 15, see sediment Control Plan sheet 5 of 5. See also Site Plans for Resubdivision of Parcel D-1, Lots D-2 thru D-82 (SDP-77-09).

DRAINAGE AREA EXISTING PARCEL D-1 SEDIMENT BASIN

DRAINAGE AREA EXISTING PARCEL D-1 SEDIMENT BASIN

This graded area shall be stabilized immediately after finished grade is established.

DRAINAGE AREA EXISTING OWEN BROWN SEDIMENT BASIN

LOTS B THRU G
 VILLAGE OF OWEN BROWN
 SECTION 1, AREA 2
 PLAT BOOK 27, FOLIO 44

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER
 APPROVED FOR HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 PLANNING DIRECTOR
 APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR
 CHIEF, BUREAU OF HIGHWAYS

SEQUENCE OF CONSTRUCTION

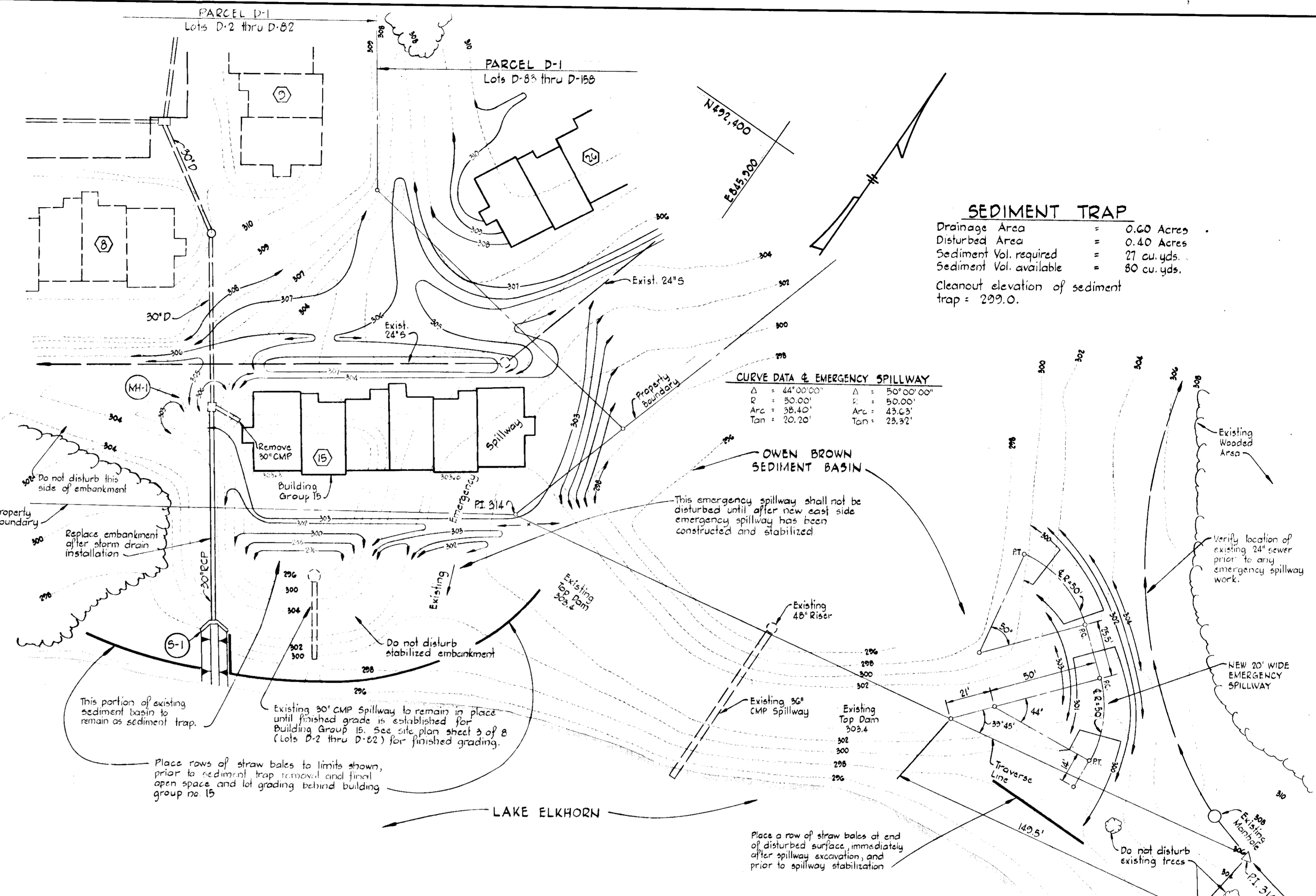
1. After completion of all construction and stabilization within the limits of Parcel D-1 sediment basin drainage area, construct the storm drain outfall from structure S-1 to manhole MH-1. Remove the 30" CMP stub from manhole MH-1 to the sediment basin. See drainage area limits on sheet 4 of 5.
2. Construct new emergency spillway on east side of Owen Brown sediment basin. Stabilize the new emergency spillway.
3. Clean the upper portion of the existing Parcel D-1 sediment basin and construct the control fill for Building Group No. 15. The remaining sediment basin area at the principle spillway shall be utilized as a sediment trap for group no. 15. See Sediment Control Plan, this sheet, for grading to sediment trap.
4. After completion of Building Group 15 clean the sediment trap, remove the trap and earth dam embankment, 30" CMP principle spillway and Riser. Grade the disturbed area around Building Group 15 and stabilize immediately after finished grade is established. See Site Plan, sheet 3 of 8 for 'Resubdivision of Parcel D-1, Lots D-2 thru D-82.' (SDP 77-03)
5. The new emergency spillway on the east side of the Owen Brown Sediment Basin shall remain in place.

PERMANENT SEEDING

Rate: 1 Ton/Acre agricultural ground limestone
 Fertilizer: 1000 lbs/Acre (10-10-10)
 Seeding: 100 lbs/Acre of the following:
 20% Kentucky Blue Grass
 20% Meridian Blue Grass
 55% Creeping Red Fescue
 5% Redtop
 Mulch as stated under sediment control note 4.
 Stabilization of slopes steeper than 3:1 shall be planted with crownvetch, inoculated 15#/Acre (0.34%/10000) Kentucky 31 tall fescue 40%/Acre (1#/10000)

SEDIMENT CONTROL NOTES

1. The sediment control measures shown must be constructed and stabilized prior to construction of Building Group No. 15.
2. The temporary sediment control structures may not be removed or destroyed without approval of the Howard County Soil Conservation District.
3. TEMPORARY SEEDING - All areas to be seeded shall receive Italian rye grass at the rate of 40#/acre. Sow with mechanical spreader rake minimum of two (2) passes with "York Rake", cover and compact with cultipacker. Surface preparation to include ground limestone over topsoil surface area at the rate of One Ton/Acre, (50#/10000) commercial fertilizer (10-10-10) at the rate of 3/4 Ton/Acre (35#/10000).
4. Mulch areas with straw at the rate of 100#/10000 or Two Tons/Acre. Anchor with asphalt at the rate of 480 Gallons/Acre. Drainage swales with slopes greater than 2% will be mulched as stated but the mulch in the center of the channel will be anchored with plastic netting 1/2" according to manufacturers recommendations.
5. Prior to starting grading the contractor shall give 24 hrs. notice to the Howard Soil Conservation District and the Howard County Bureau of Licenses, Inspections and Permits.
6. All earthwork stockpiles that will not be disturbed for 4 months or longer, shall immediately after piling shall be fertilized, limed & seeded with annual Rye grass at the rate of 1#/10000, and mulched according to note 4.
7. The disturbed embankment around the sediment trap shall be stabilized according to notes 3 & 4. The new emergency spillway shall be permanently seeded.



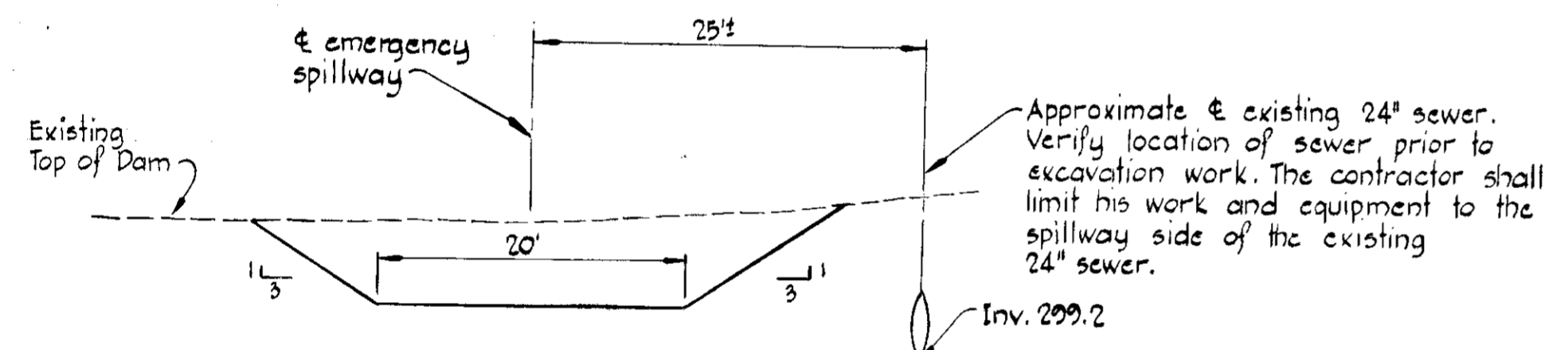
SEDIMENT TRAP

Drainage Area	=	0.60 Acres
Disturbed Area	=	0.40 Acres
Sediment Vol. required	=	27 cu. yds.
Sediment Vol. available	=	80 cu. yds.

Cleanout elevation of sediment trap = 299.0.

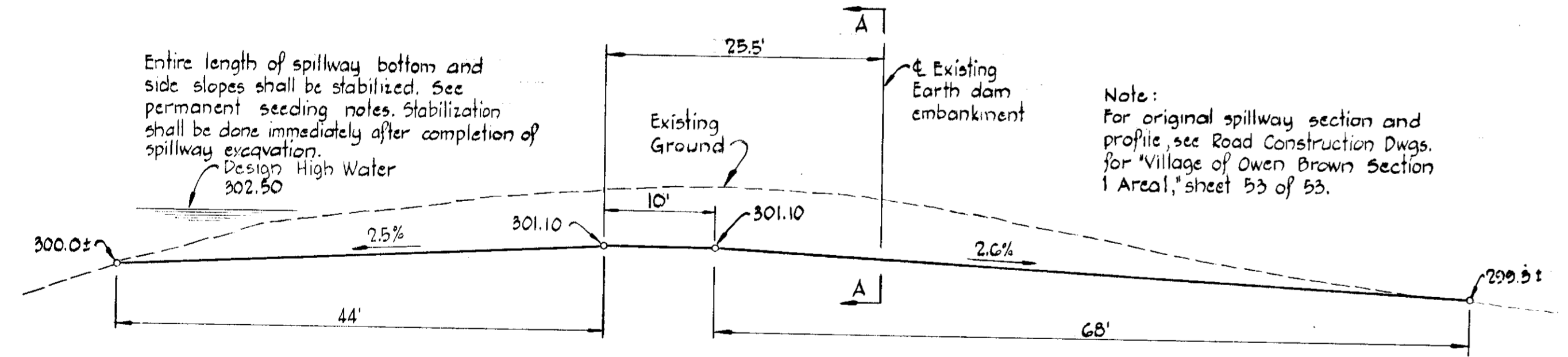
CURVE DATA & EMERGENCY SPILLWAY

Δ = 24°00'00"	Δ = 50°00'00"
R = 30.00'	R = 50.00'
Arc = 38.40'	Arc = 49.03'
Tan = 20.20'	Tan = 25.92'



SECTION AA
 Scale: Hor. 1" = 10'
 Ver. 1" = 5'

SEDIMENT CONTROL PLAN - BUILDING GROUP NO. 15
 Scale: 1" = 30'



PROFILE - NEW EMERGENCY SPILLWAY - EXISTING BASIN
 Scale: Hor. 1" = 50'
 Ver. 1" = 50'

***SOIL CONSERVATION SITE ANALYSIS**

1. Total area of site	=	15.25 Ac.
2. Total area to be disturbed	=	13.85 Ac.
3. Total area to be roofed and paved	=	6.25 Ac.
4. Total area to be vegetated	=	7.60 Ac.

* Site analysis covers all of Parcel D-1

APPROVED
 DIVISION OF LAND DEVELOPMENT
 HOWARD COUNTY, MARYLAND
 DATE 12-10-76

CERTIFICATION BY THE DEVELOPER
 I certify that all development and/or construction will be done according to this plan of development and plan for Erosion and Sediment Control, and I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents as are deemed necessary. Deviation from this plan will not be made unless authorized by the Howard Soil Conservation District.
 Signature of Developer: [Signature] Date: 10-11-76

CERTIFICATION BY THE ENGINEER
 I certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature: [Signature] Date: 10-11-76
 Kenneth A. McCord P.E. 1974

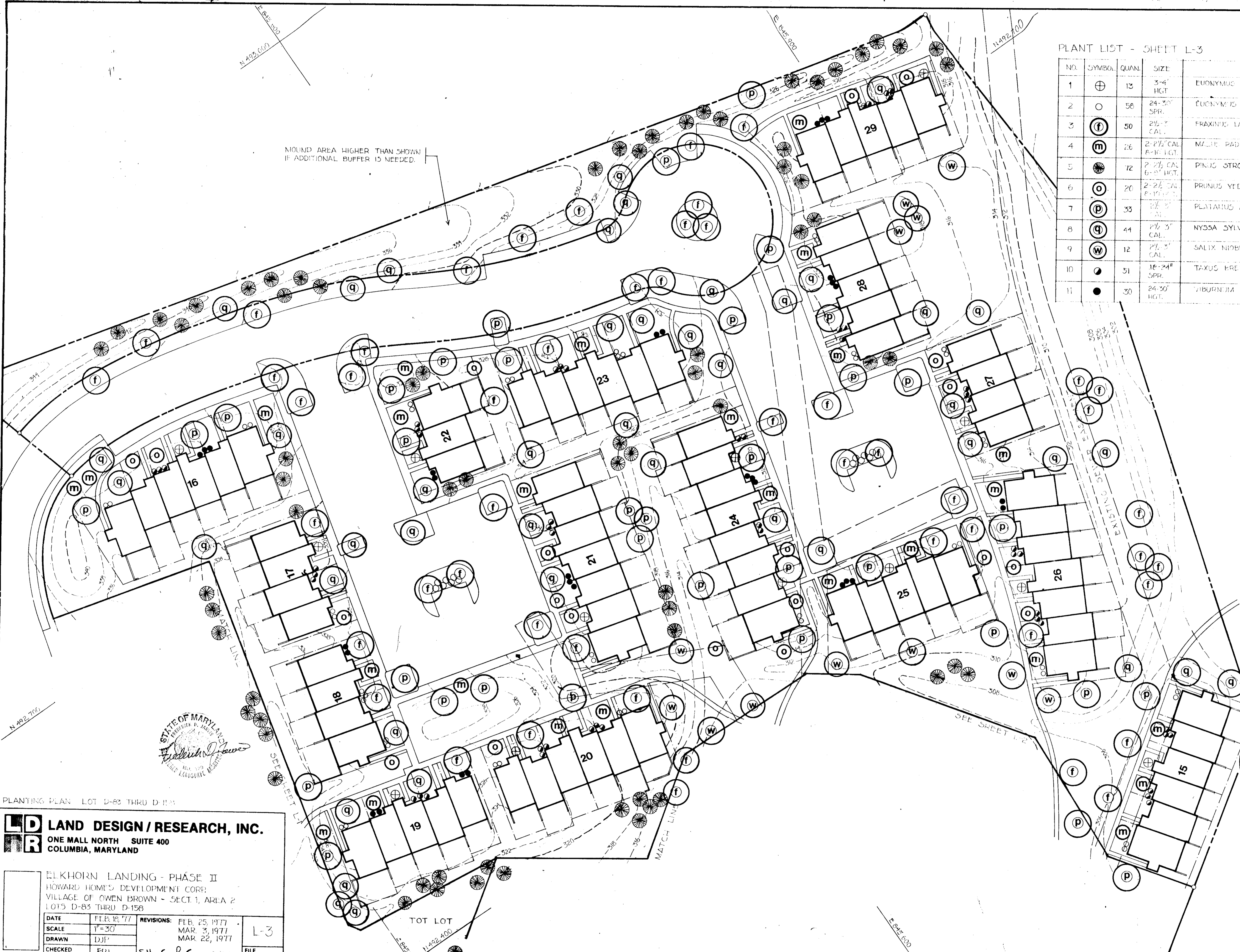
THIS PLAN HAS BEEN REVIEWED BY THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.
 Signature: [Signature] Date: 4/20/77
 U.S. SOIL CONSERVATION DISTRICT

THIS PLAN FOR SOIL EROSION AND SEDIMENT CONTROL MEETS THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 APPROVED: [Signature] Date: 4-25-77
 HOWARD A.C.D. Date
 PLAN NUMBER

OWEN BROWN-TATSFIELD DEVELOPMENT CO.
 OWNER
 10275 LITTLE PATUENT PARKWAY
 COLUMBIA, MARYLAND
 DEVELOPER
 HOWARD HOMES DEVELOPMENT CORP.
 P.O. BOX 802, COLUMBIA, MARYLAND

No.	DATE	DESCRIPTION OF REVISIONS

COLUMBIA SITE PLANS FOR VILLAGE OF OWEN BROWN
 SECTION 1 AREA 2
 LOTS D-83 THRU D-158
 A RESUBDIVISION OF A PORTION OF PARCEL
SEDIMENT CONTROL PLAN & DETAILS
 SHEET 5 OF 6
 ELECTION DISTRICT NO. 6, HOWARD COUNTY, MARYLAND
 DATE: MARCH 21, 1977 SCALE: AS SHOWN



PLANT LIST - SHEET L-3

NO.	SYMBOL	QUAN.	SIZE	PLANT NAME	REMARKS
1	⊕	13	3-4 HGT.	EUONYMUS ALATA WINGED EUONYMUS	B4B
2	○	56	24-30" SPR.	EUONYMUS DEBOLDIANUS SILBOLEI EUONYMUS	B4B
3	⊖	50	2 1/2" CAL.	FRAXINUS LANCOLATA 'MAGNIFICA' SEEDLESS GREEN ASH	B4B
4	⊕	26	2-2 1/2" CAL. 8-10 HGT.	MAJIE RADIANT RADIANT CRAPPAPEL	B4B
5	⊖	72	2-2 1/2" CAL. 6-8" HGT.	PINUS STROBUS WHITE PINE	B4B
6	○	20	2-2 1/2" CAL. 8-10 HGT.	PRUNUS YEDOENSIS YOSHINO CHERRY	B4B
7	⊖	33	2-2 1/2" CAL. 8-10 HGT.	PLATANUS ACERIFOLIA LONDON PLANE TREE	B4B
8	⊕	44	2 1/2" CAL.	NYSSA SYLVATICA TUPLO	B4B
9	⊖	12	2 1/2" CAL.	SALIX NIOBE WEEPING WILLOW	B4B
10	●	51	18-24" SPR.	TAXUS BREVIFOLIA SPREADING YEW	B4B
11	●	30	24-30" HGT.	VIBURNUM RHYTHIDOPHYLLUM LEATHERLEAF VIBURNUM	B4B

APPROVED FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH DEPARTMENT DATE 5/6/77
 APPROVED BY HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 PLANNING DIRECTOR DATE 5-9-77
 CHIEF DIVISION OF LAND DEVELOPMENT DATE
 APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR DATE 5-5-77
 CHIEF BUREAU OF HIGHWAYS DATE 5/1/77

PLANTING PLAN LOT D-83 THRU D-158

LD LAND DESIGN / RESEARCH, INC.
 ONE MALL NORTH SUITE 400
 COLUMBIA, MARYLAND

ELKHORN LANDING - PHASE II
 HOWARD HOME'S DEVELOPMENT CORP.
 VILLAGE OF OWEN BROWN - SECT 1, AREA 2
 LOTS D-83 THRU D-158

DATE	FEB. 18, 1977	REVISIONS:	FEB. 25, 1977	L-3
SCALE	1"=30'		MAR. 3, 1977	
DRAWN	DJJ		MAR. 22, 1977	
CHECKED	FEJ	SH. G & G		FILE

