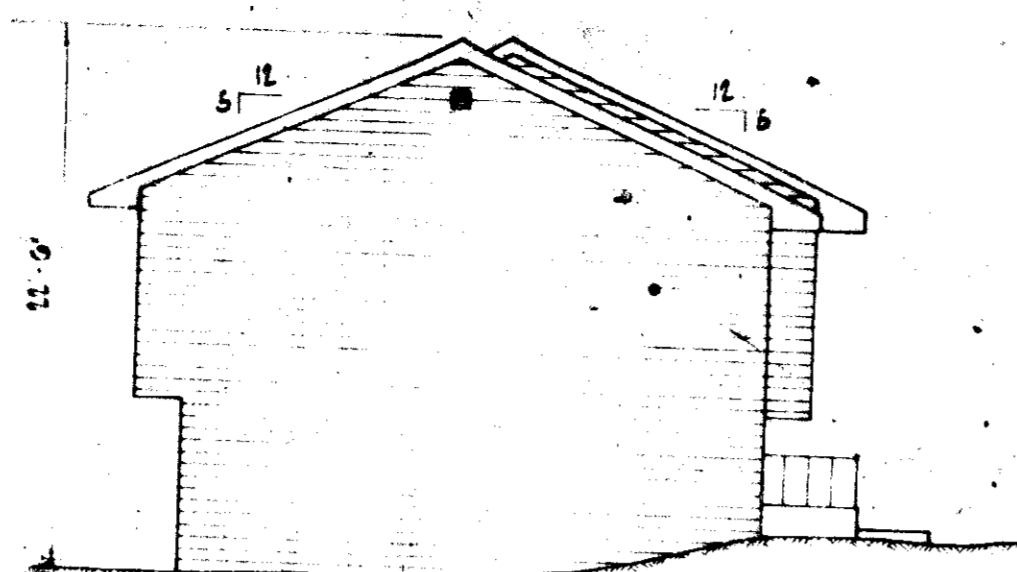
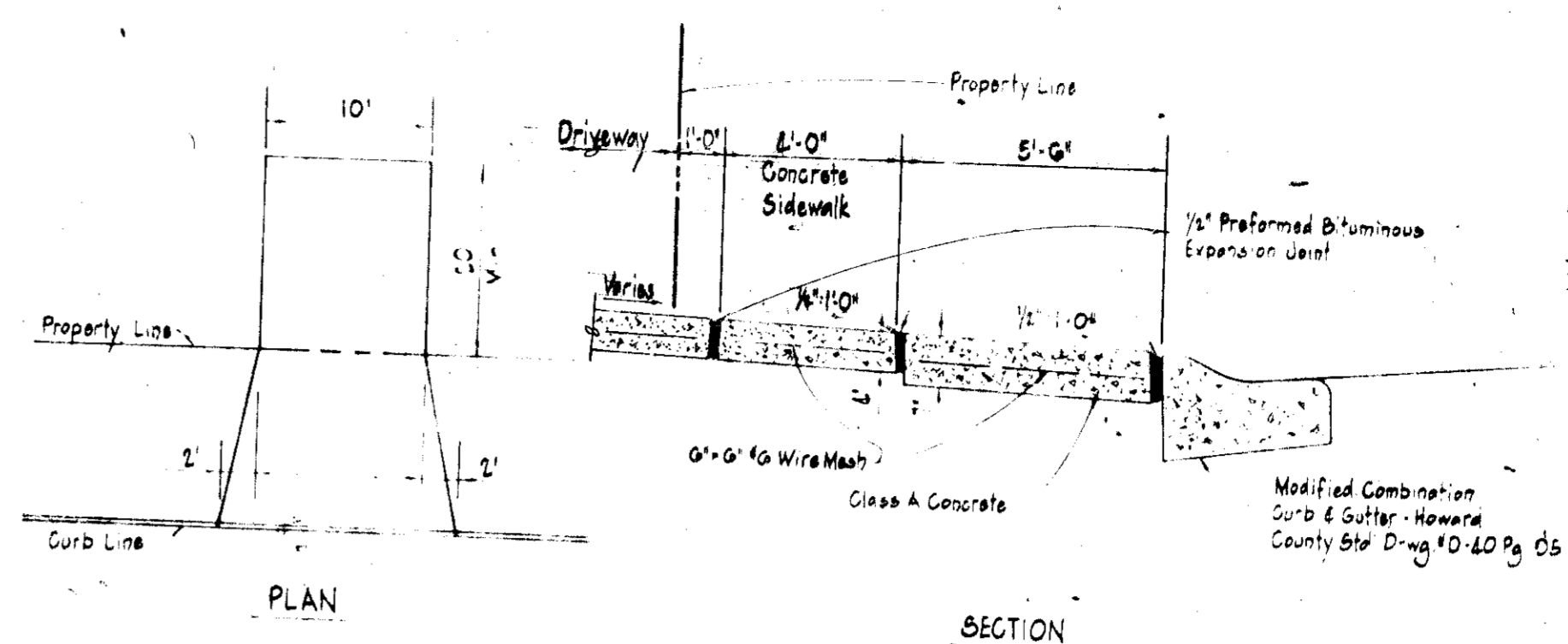


TWO STORY

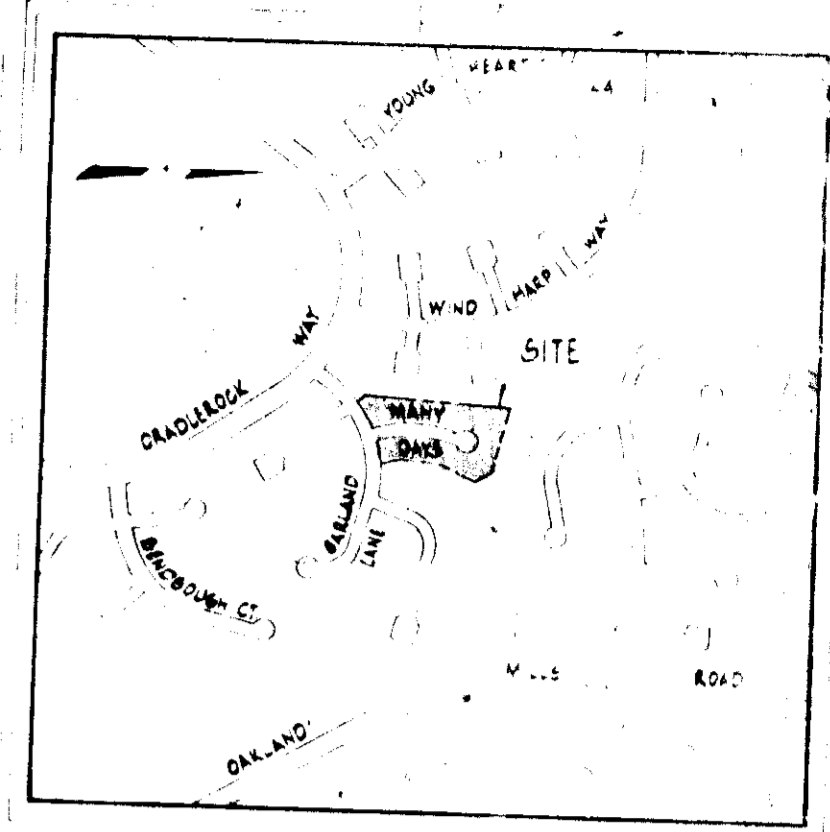


SPLIT FOYER

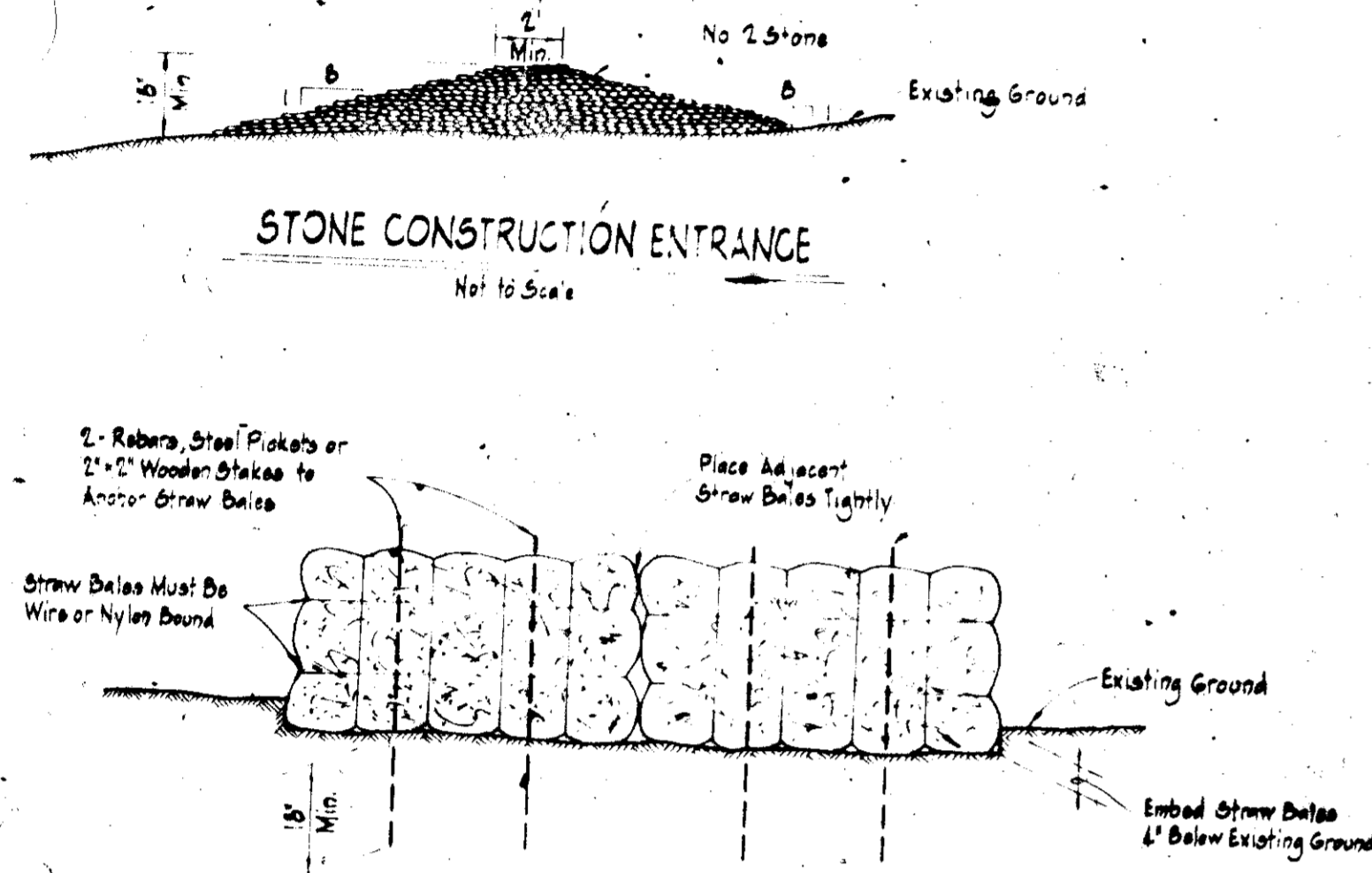
SCHEMATIC BUILDING PROFILES  
Scale 1/8"=1'-0"



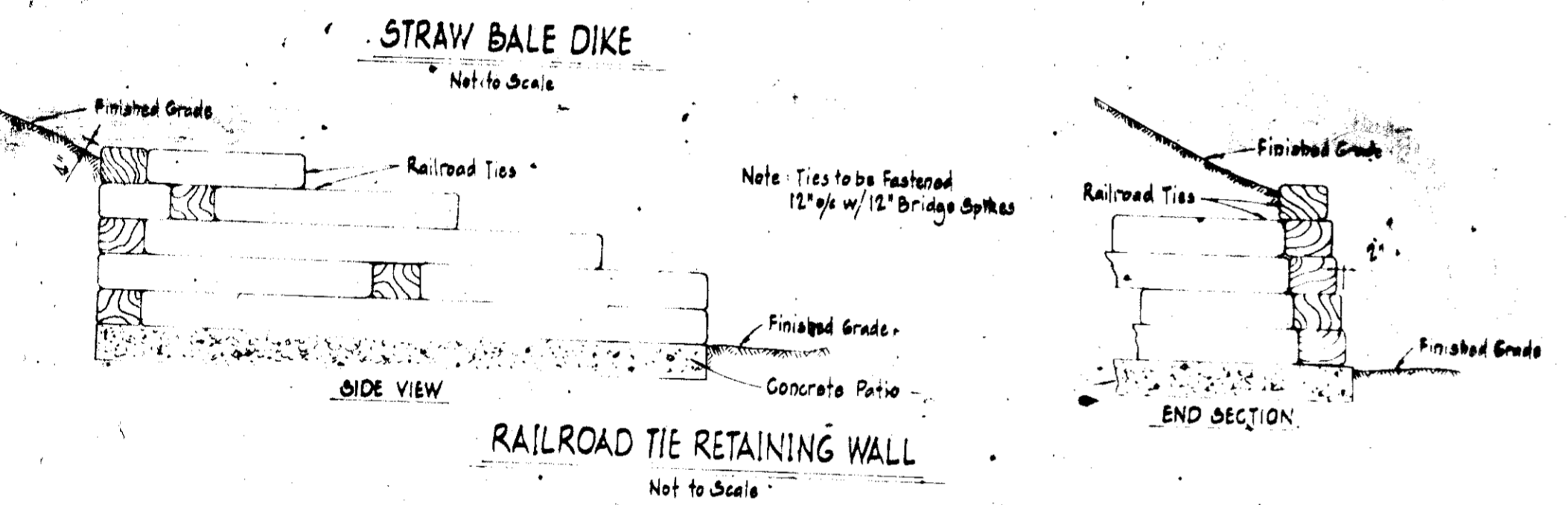
DRIVEWAY DETAIL  
Not to Scale



VICINITY MAP  
Scale 1"=300'



STONE CONSTRUCTION ENTRANCE  
Not to Scale



STRAW BALE DIKE  
Not to Scale

RAILROAD TIE RETAINING WALL  
Not to Scale

**SITE ANALYSIS**

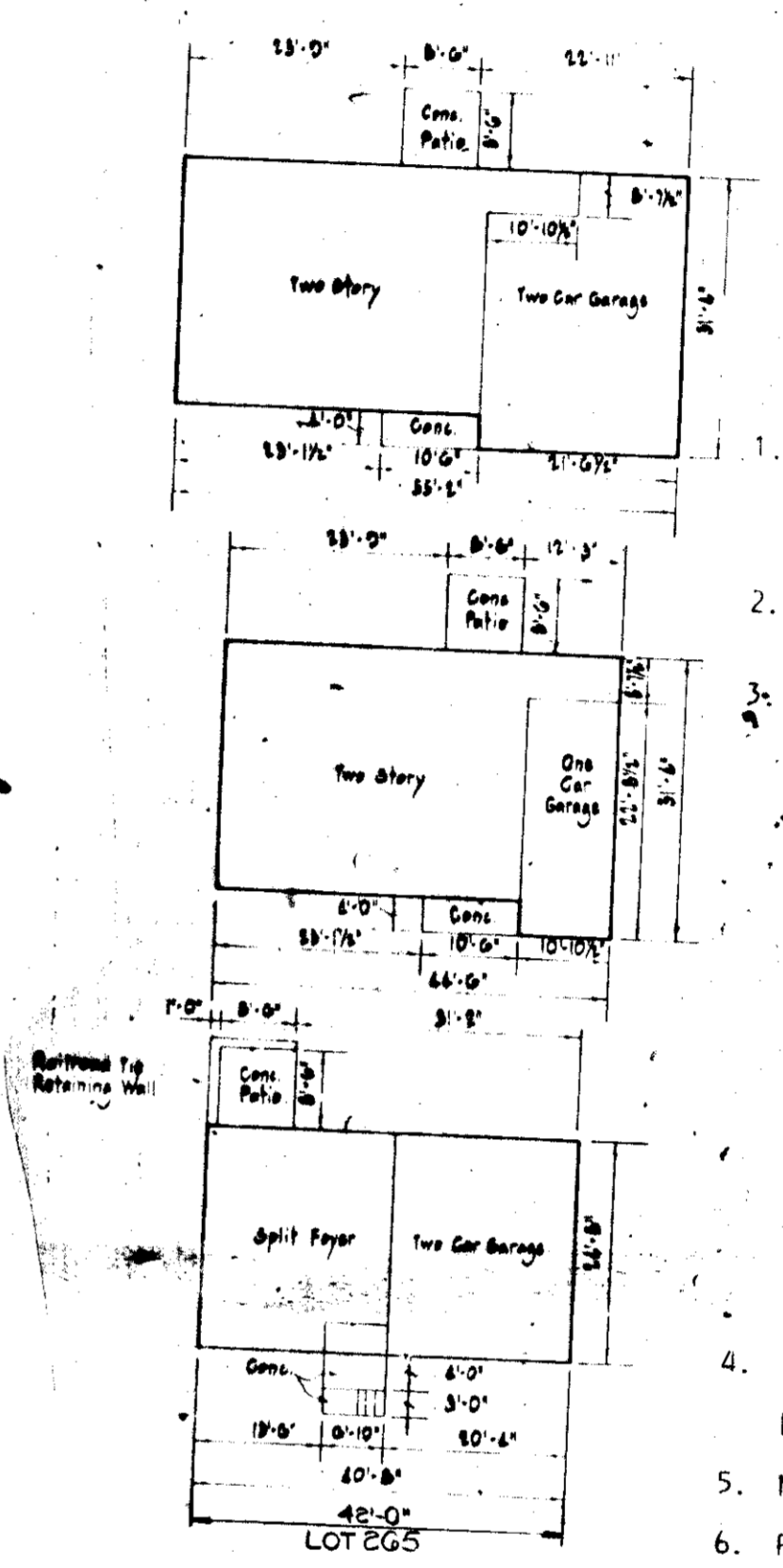
1. Total area .56 Ac.±
2. Area to be graded .56 Ac.±
3. Area to be paved or made impervious .16 Ac.±
4. Area to be revegetated .40 Ac.±
5. Undisturbed area 0.0 Ac.±
6. FDP 146-A
7. Present Zoning: Single family low and/or medium density

**CONSTRUCTION SEQUENCE**

1. Box out driveways.
2. Construct temporary stone construction entrances.
3. Place straw bales around perimeter of lots as shown on plan.
4. Excavate for foundation and slab of dwelling.
5. Install utilities (water and sewer).
6. Install and repair reaches of straw bale dike around perimeter disturbed during installation of utilities.
7. Complete exterior of dwelling.
8. Final grading to within 3" of finished grade.
9. Stabilize in accordance with Sediment Control Note No. 3.
10. All construction vehicles shall limit access to dwelling via driveway from this point of construction.
11. Maintenance.

**GENERAL NOTES**

1. All construction will be in accordance with the Howard County Road Construction Code & Standard Specifications.
2. This plan is subject to the supplemental sewer in-aid-of construction charge created by Executive Order No. 72-9.
3. Many Days and Garland Lane are public roads owned by Howard County. Any damage to right-of-ways or paving must be corrected at developer's cost.



TYPICAL BUILDING PLANS  
Scale 1/4"=1'-0"

**SEDIMENT CONTROL NOTES**

1. The contractor shall install and stabilize in accordance with this plan prior to any grading operations.
2. Sediment control measures shall be installed and stabilized in accordance with this plan prior to any grading operations.
3. All areas disturbed by grading or foundation operations, not being paved shall be topsoiled, seeded and mulched in accordance with the following:
  - A. Place 3" compacted layer of topsoil to finished grade.
  - B. Spread pulverized bituminous limestone at the rate of 46 lbs./1000 sq. ft.
  - C. Spread 5-10-10 commercial grade fertilizer at the rate of 25 lbs./1000 sq. ft. and immediately disc into topsoil to a depth of 3".
  - D. Seed prepared areas at the rate of 3 lbs./1000 sq. ft. using seed mixture specified below:
    - 45% Certified Kentucky Red Fescue
    - 45% Certified Kentucky Blue Grass
    - 10% Annual Rye Grass
  - E. Mutch all areas immediately after seeding with un-mulched small grain straw or hay at the rate of 1.5 tons/acre; spray mulch with emulsified asphalt at the rate of 0.4 gal./sq. yd.
4. Sediment control measures shown on plan are not to be removed except with permission of Howard Soil Conservation District. (465-5000 Ext. 378)
5. No slopes steeper than 3:1 shall be created.
6. Periodic inspection and required maintenance must be provided by the contractor or his representative on a daily basis to ensure proper functioning of all sediment control structures and devices.
7. If any more than two contiguous lots are to be developed at any one time the contractor shall notify the Howard Soil Conservation District and a new plan of Sediment and Erosion Control will be submitted for approval prior to beginning any construction or grading operation.



5/31/75  
Date

APPROVED  
DIVISION OF LAND DEVELOPMENT  
HOWARD COUNTY, MARYLAND  
DATE 5-12-76  
J.N.C.

I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL. I ALSO CERTIFY THAT PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENT IS NOT DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL CONSTITUTE VIOLATION OF THE HOWARD SOIL CONSERVATION DISTRICT. SIGNATURE: <i>Frank Harmon</i> DATE: 1/27/76	APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS. HOWARD COUNTY HEALTH DEPARTMENT. SIGNATURE: <i>J. J. ...</i> DATE: 8/13/76	APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEM AND ABANDONED HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS. SIGNATURE: <i>J. J. ...</i> DATE: 8-9-76
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. SIGNATURE: <i>Eric V. ...</i> DATE: 8/5/76	HOWARD SOIL CONSERVATION DISTRICT REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND METS TECHNICAL REQUIREMENTS. SIGNATURE: <i>Eric V. ...</i> DATE: 8/5/76	APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING. SIGNATURE: <i>Thomas L. ...</i> DATE: 8-17-76
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT. SIGNATURE: <i>Ray G. ...</i> DATE: 1/27/76	APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING. SIGNATURE: <i>John ...</i> DATE: 8/17/76	

Revision to House Lots 202 # 203 # 205  
Sediment Erosion and Grading as per approved SDP 75-112C

REVISION TO APPROVED SDP 75-112C  
**VILLAGE OF OWEN BROWN**

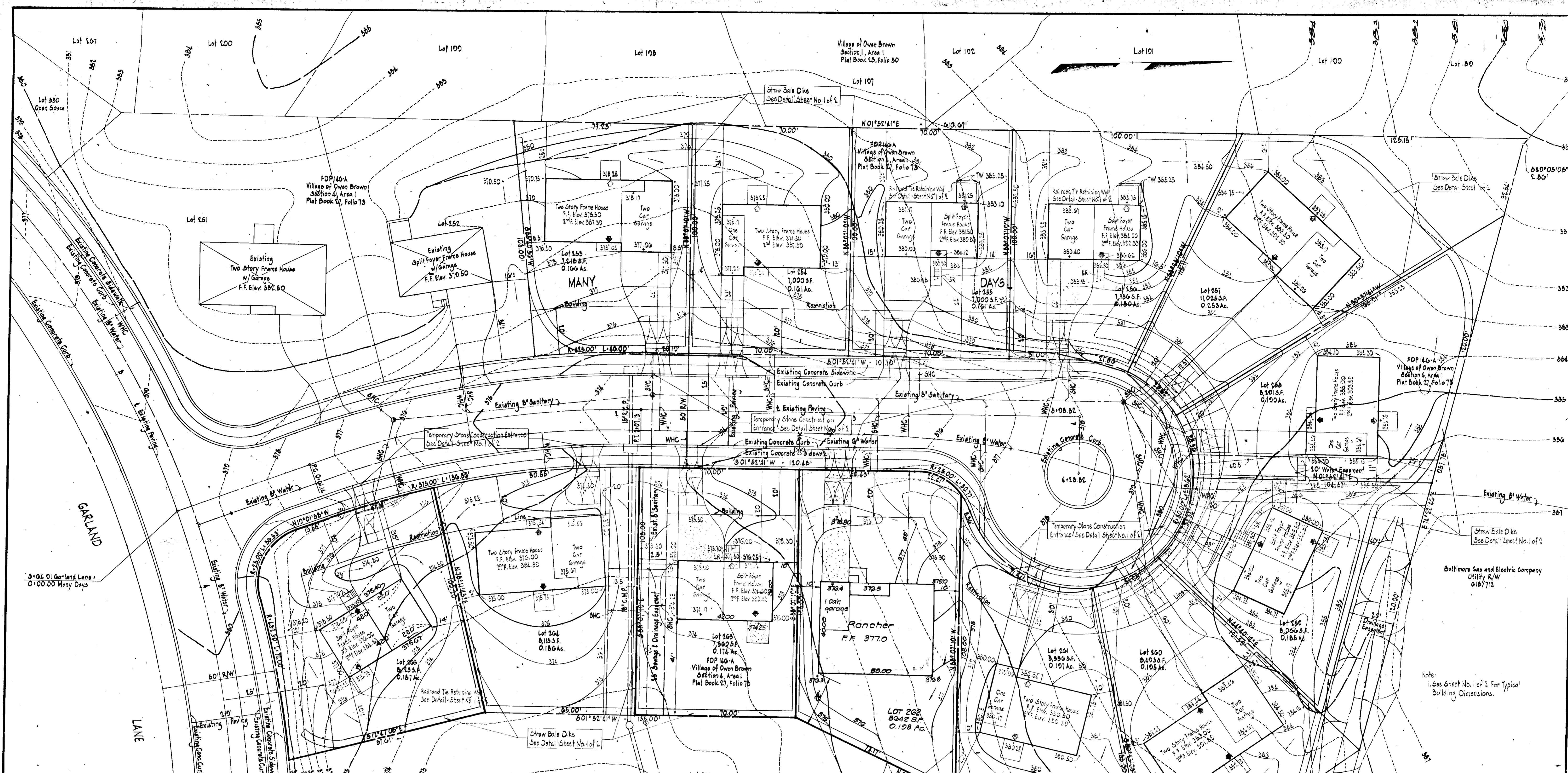
SECTION 4  
6TH ELECTION DISTRICT  
AREA 1  
HOWARD COUNTY, MARYLAND

**PURDUM & JESCHKE**  
CONSULTING ENGINEERS  
LAND SURVEYORS  
1023 North Calvert Street  
Baltimore, Maryland 21202  
301/837-0194

NO.	DATE	BY	DESCRIPTION
1	Aug. 7, 1975	D.D.B.	As per Howard County comments dated Aug. 3, 1975
2	Sept. 2, 1975	D.D.B.	As per Howard County comments dated Aug. 27, 1975
3	May 15, 1976	J.A.H.	As per Howard County comments dated May 12, 1976

OWNER & DEVELOPER  
FRANK HARMON  
NU HOMES, INC.  
6730 MONTGOMERY RD.  
BALTIMORE, MARYLAND 21227  
301 786 1084

SHEET NO.  
1 OF 2



**DEVELOPER**  
 I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Frank Harmon* 11/27/76  
 SIGNATURE DATE  
 COUNTY HEALTH OFFICER

*John P. ...* 8/13/76  
 COUNTY HEALTH OFFICER DATE

**PROFESSIONAL ENGINEER**  
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Cay G. Weinel, Jr.* 11/27/76  
 SIGNATURE DATE  
 CAY G. WEINEL, JR.  
 REG. NO. 8182

**HOWARD SOIL CONSERVATION DISTRICT**  
 REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

*Eric H. Harmon* 3/5/76  
 SIGNATURE DATE

**APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING**

*Thomas G. ...* 8-17-76  
 PLANNING DIRECTOR DATE

*John Clewett* 9/12/76  
 CHIEF, DIV. OF LAND DEVELOPMENT DATE

**APPROVED DIVISION OF LAND DEVELOPMENT**  
 HOWARD COUNTY, MARYLAND  
 DATE 5-12-76  
*[Signature]*

**APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.**

**APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.**

**APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING**

**REVISION TO HOUSE LOTS 262 + 263 + 265**  
 Sediment Erosion and Grading as per approved SDP 75-112C

*Cay G. Weinel, Jr.* 11-2-76  
 DATE

SITE AND GRADING PLAN  
 LOTS 262 + 263 + 265  
 REVISION TO APPROVED SDP 75-112C

# VILLAGE OF OWEN BROWN

SECTION 4  
 6th ELECTION DISTRICT

AREA 1  
 HOWARD COUNTY, MARYLAND

**PURDUM & JESCHKE**  
**CONSULTING ENGINEERS**  
**LAND SURVEYORS**

1023 North Calvert Street  
 Baltimore, Maryland 21202 301/837-0184

NO.	DATE	BY	REVISIONS	DESCRIPTION
1	Aug 7, 1975	B.D.B.	As per Howard County comments dated Aug. 5, 1975	
2	Sept 2, 1975	B.D.B.	As per Howard County comments dated Aug. 27, 1975	
3	APRIL 76	JFH	REV. LOT 262, 263, 265	

DESIGNED: B.D. BURTON  
 DRAWN: B.D. BURTON  
 CHECKED: R.B. CARTER  
 SCALE: 1" = 20'  
 DATE: JUNE 13, 1975

**OWNER & DEVELOPER**  
 FRANK HARMON  
 NU-HOMES, INC.  
 6730 MONTGOMERY RD.  
 BALTIMORE, MARYLAND 21227  
 301/796-1084

SHEET NO.  
 2 OF 2

BRUNING 44-132 23442

SDP 76-83c