

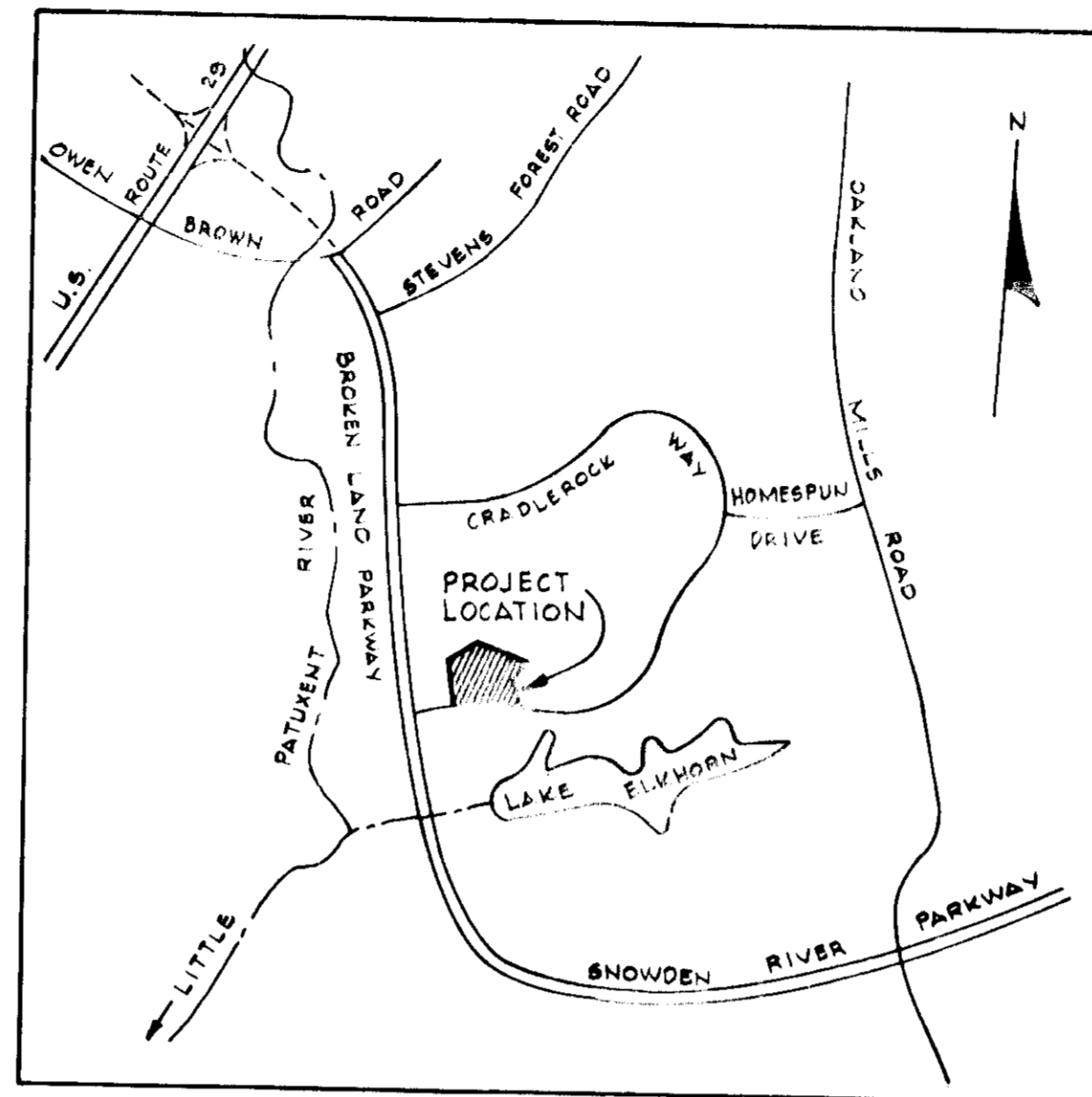
GENERAL NOTES

1. Topography taken from aerial topo prepared by Maps Incorporated and verified by field-run survey.
2. Recording reference for Lots E-131 thru E-203, C-131 to C-133, C-146 to C-148, C-157 to C-158, C-161 to C-162 and C-172 to C-173 is Plat # 3472.
3. Water and sewer facilities are to be provided. (Publicly Owned)
4. Community Owned lots which include parking spaces and sidewalks shall be owned and maintained by a home owners association. Only the 20' travelled way portion of the 50' right-of-way shall be publicly maintained.
5. The minimum gross floor area of each unit excluding basement shall be 1,080 square feet.
6. All entrance walks to dwellings shall be 3' wide.
7. All other sidewalks shall be 4' wide concrete unless otherwise noted.
8. Curb return radii for roadways shall be 25' unless otherwise specified.
9. Dwellings shown herein are 3 bedroom 2 story group dwellings with basements.
10. Minimum setback from all public streets shall be 30' unless otherwise approved by Howard County Planning Board.
11. Any damage to public right-of-way or paving must be corrected at the developers expense.

SPECIAL NOTES

This development plan includes all applicable information outlined in Data Sheet 150 Neighborhood Standards F.H.A. Land Planning Bulletin No. 3 V.A. Pamphlet 4 A B and conforms with lot improvements and detail lot grading of Chapter XII F.H.A. Minimum Property Requirements dated May 1963, and to all applicable ordinances and regulations.

Drainage structures have been designed in accordance with sound engineering practice using recognized formulae and rainfall data currently prescribed by local authorities. These exhibits comply with the F.H.A. objectives, Minimum Property Standards, local acceptable standards and neighborhood requirements conform to all applicable local government ordinances and regulations and represent the best professional judgement of the designer.



VICINITY MAP
Scale: 1" = 2000'

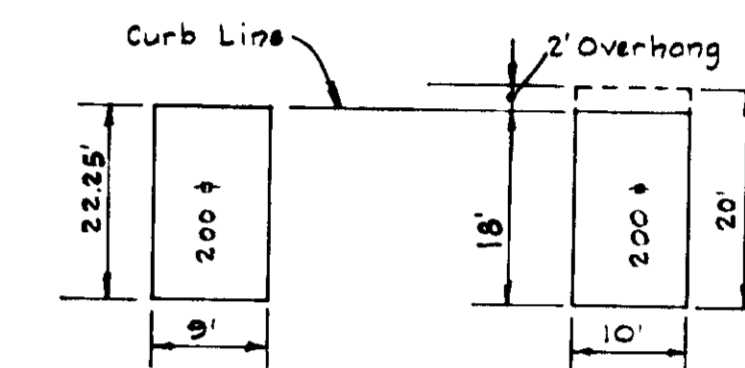
SHEET INDEX	
NO.	DESCRIPTION
1	TITLE SHEET
2	GRADING PLAN
3	DETAIL SHEET
4	SEDIMENT CONTROL PLAN
5	LANDSCAPE PLAN

SITE ANALYSIS

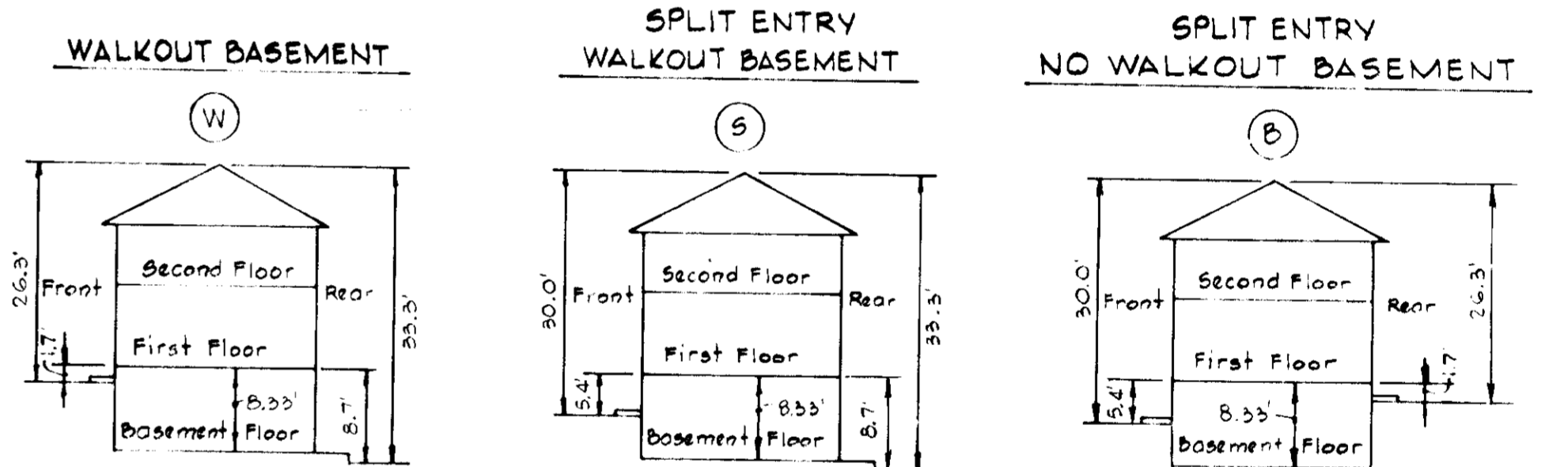
Existing Zoning - Apartments (Single Family Attached)
Final Development Plan - Phase II B - A - IV Plot # 3395 thru # 3398

Area of Parcel "E-4"	6.051 Ac.	Total Lots in Parcel "E-4"	85
Area of SFA Lots	2.461 Ac.	SFA Lots	71
Area of SFA Carport Lots	0.076 Ac.	Carport Lots	12
Area of Road R/W	0.800 Ac.	Community Owned Lots	2
Area of Community Owned Lots	2.714 Ac.		
Dwelling Units Permissible	76		
Dwelling Units Proposed	71		
Parking Spaces Required	142		
Parking Spaces Proposed	142*		

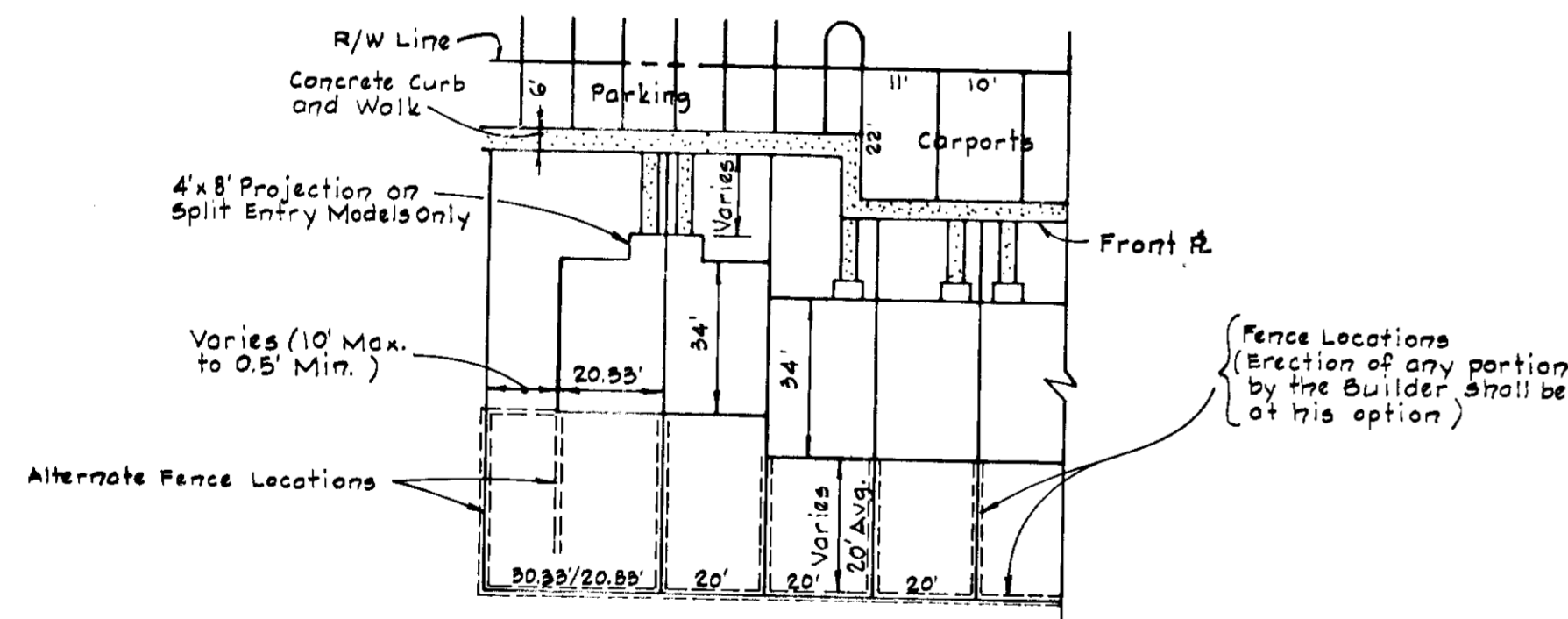
* Includes 12 Carports



TYPICAL PARKING SPACES
No Scale



TYPICAL DWELLING ELEVATIONS
No Scale



OPEN SPACE
(Community Owned)
TYPICAL DWELLING
No Scale

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT	<i>[Signature]</i> 2/12/76
COUNTY HEALTH OFFICER	DATE
APPROVED FOR HOWARD COUNTY OFFICE OF PLANNING AND ZONING	<i>[Signature]</i> 2/14/76
PLANNING DIRECTOR	DATE
PHILIP DIVISION OF LAND DEVELOPMENT	DATE
APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS	<i>[Signature]</i> 2-2-76
DIRECTOR	DATE
CHEF OF BUREAU OF HIGHWAYS	<i>[Signature]</i> 2/2/76
DATE	DATE

OWEN BROWN "E" DEV. CORP.
OWNER
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND

HOWARD HOMES COMMUNITIES, INC.
DEVELOPER
P.O. BOX 802, COLUMBIA MARYLAND

WHITMAN, REQUARDT & ASSOCIATES
ENGINEERS
1504 ST. PAUL STREET
BALTIMORE MARYLAND 21202

[Signature]
Kenneth H. McCord P.E. No. 1874

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE 5-26-76
[Signature]

1	5/5/76	Revised in accordance with Planning and DPW comments
NO.	DATE	DESCRIPTION OF REVISIONS

COLUMBIA SITE PLANS
FOR
VILLAGE OF OWEN BROWN

SECTION 1 AREA 1
LOTS E-131 TO E-203, C-131 TO C-133, C-146 TO C-148, C-157 TO C-158, C-161 TO C-162 AND C-172 TO C-173 - A RESUBDIVISION OF PARCEL E-4

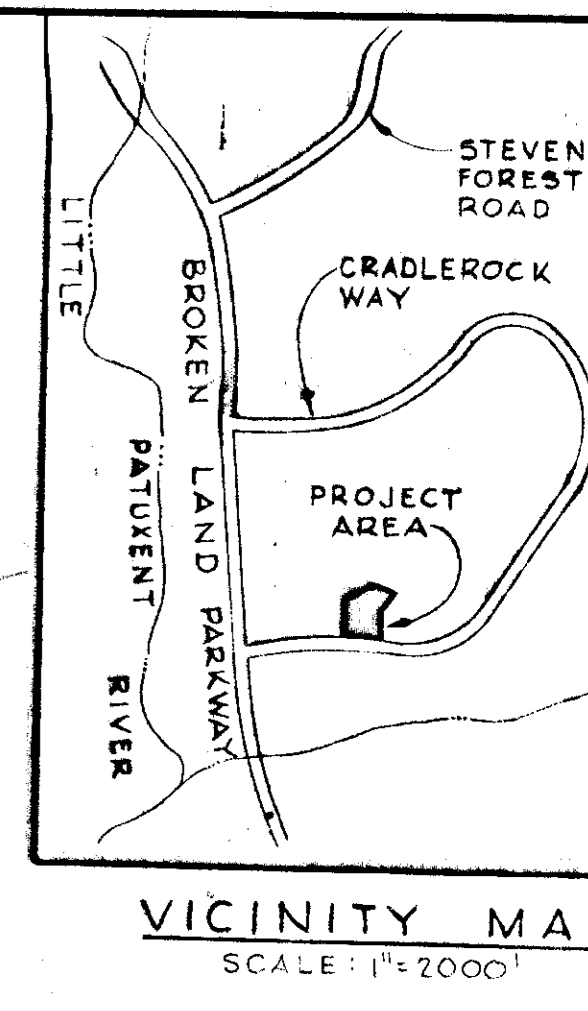
TITLE SHEET
SHEET 1 OF 5

ELECTION DISTRICT NO. 6, HOWARD COUNTY, MARYLAND
DATE March 15, 1976 SCALE: AS SHOWN

NOTE: Corport locations and setbacks were approved, as shown on Preliminary Concept Plan - P-76-10C, (by the Howard County Planning Board on April 17, 1976.)

VILLAGE OF OWEN BROWN
SECTION 1 AREA 3
PLAT BOOK 27 FOLIO 80

Walk pictured on HRD property is for pictorial purposes only. Final location and installation by others.



- LEGEND**
- 400- Existing Contour (2' Interval)
 - 400- Proposed Contour (1' Interval)
 - (B) Building Group Number
 - (N) Number of Dwellings in Building Group
 - A-16 Lot Number
 - FF 489.0 Proposed First Floor Elevation
 - SP 22.0 Proposed Spot Elevation
 - EX 27.0 Existing Tree Line
 - T.C. Top Curb
 - 29' Travelled Way (To be Publicly Maintained)
 - Concrete Walk
 - Macadam Walk
 - Walk (By Others)
 - (T) Trees To Be Preserved
 - (W) Building Types (See Cover Sheet)
 - R.W. Railroad Tie Retaining Wall
 - Fire Hydrant (By Others)

It is our intent to discharge all roof leaders and downspouts onto splash blocks. Where any nuisances are created, we shall rectify the situations to the satisfaction of the Howard County Plumbing Inspector.

Thomas A. Hanifan
Howard Homes Communities

APPROVED
PLANNING BOARD
OF HOWARD COUNTY

DATE 5-26-76
Thomas A. Hanifan

NOTE: Gutters, downspouts, leaders and conductors shall be provided as required.

NOTE: Any damage to public right-of-way or paving must be corrected at the developer's expense.

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
Thomas A. Hanifan 7/12/76
COUNTY HEALTH OFFICER DATE

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING
Thomas A. Hanifan 7-14-76
PLANNING DIRECTOR DATE

H. M. Neenan 7/14/76
CHIEF DIVISION OF LAND DEVELOPMENT DATE

APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
H. M. Neenan 7-2-76
DIRECTOR DATE

W. H. McKeand 7/2/76
CHIEF BUREAU OF HIGHWAYS DATE

WHITMAN, REQUARDT & ASSOCIATES
ENGINEERS
1304 ST PAUL STREET
BALTIMORE, MARYLAND 21202
Kenneth A. McCord P.E. No. 1474

HOWARD HOMES COMMUNITIES, INC.
DEVELOPER
PO Box 802, COLUMBIA MARYLAND

OWEN BROWN "E" DEV. CORP
OWNER
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND

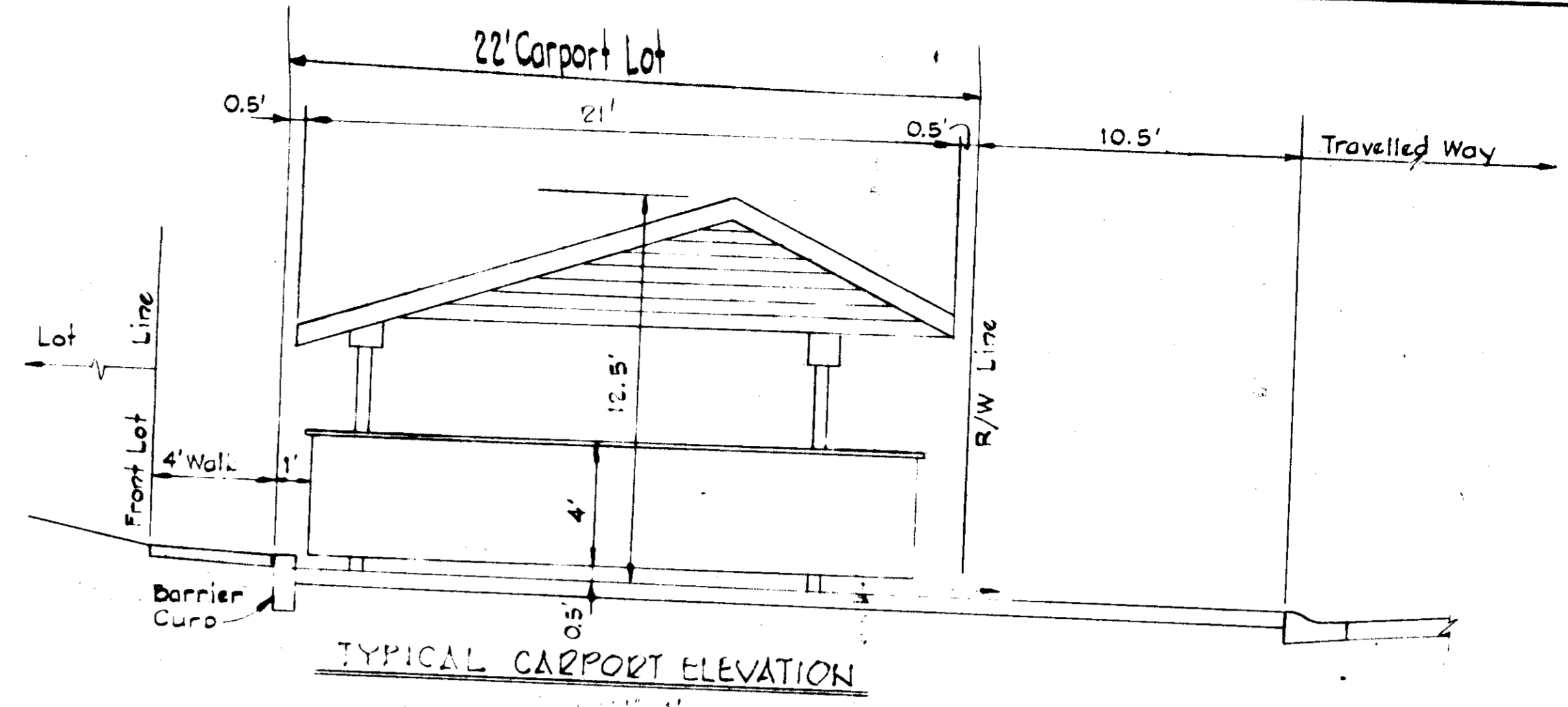
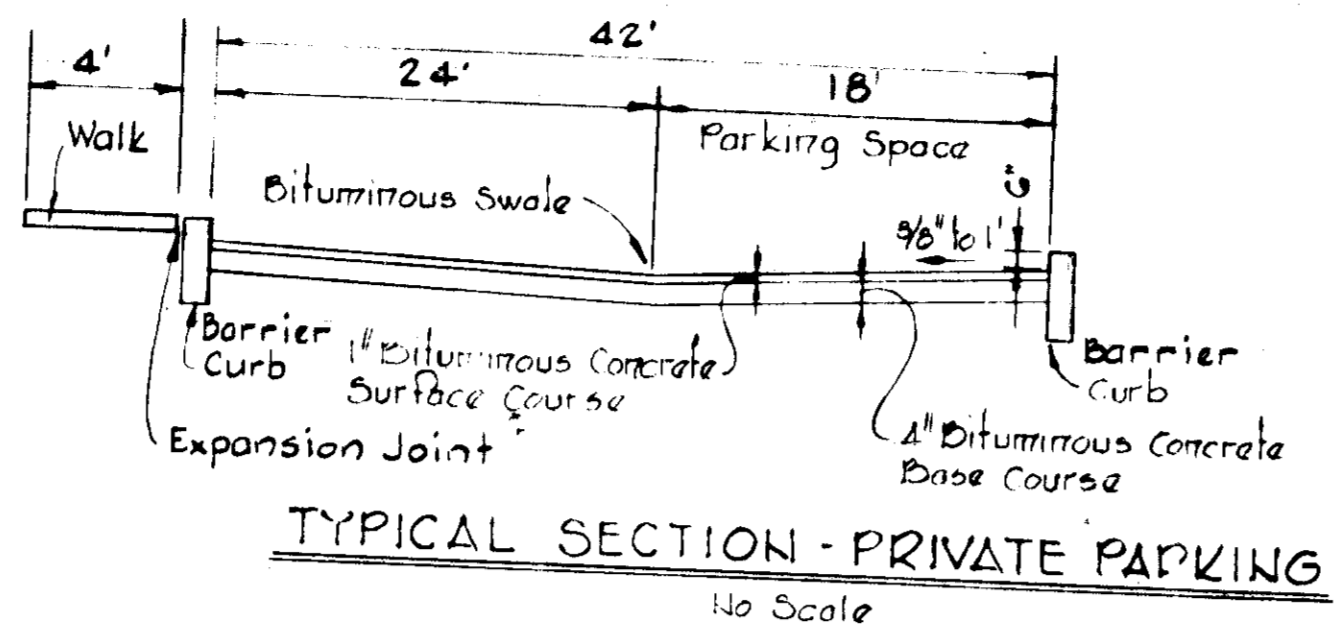
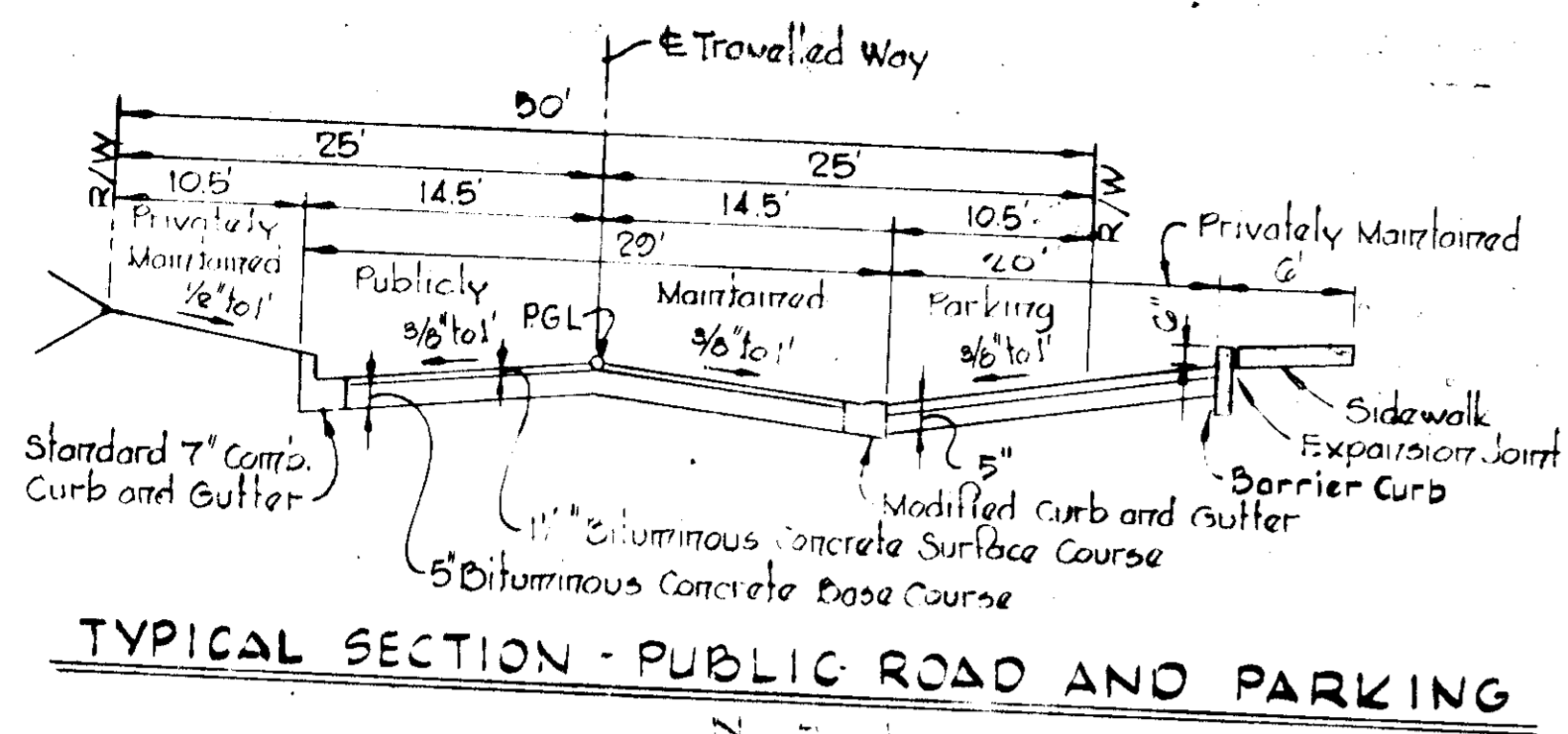
LAND DESIGN / RESEARCH
PLANNER
ONE MALL NORTH BUILDING
COLUMBIA, MARYLAND

No.	DATE	DESCRIPTION OF REVISIONS
1	5/15/76	Revised in accordance with Planning and DPW comments

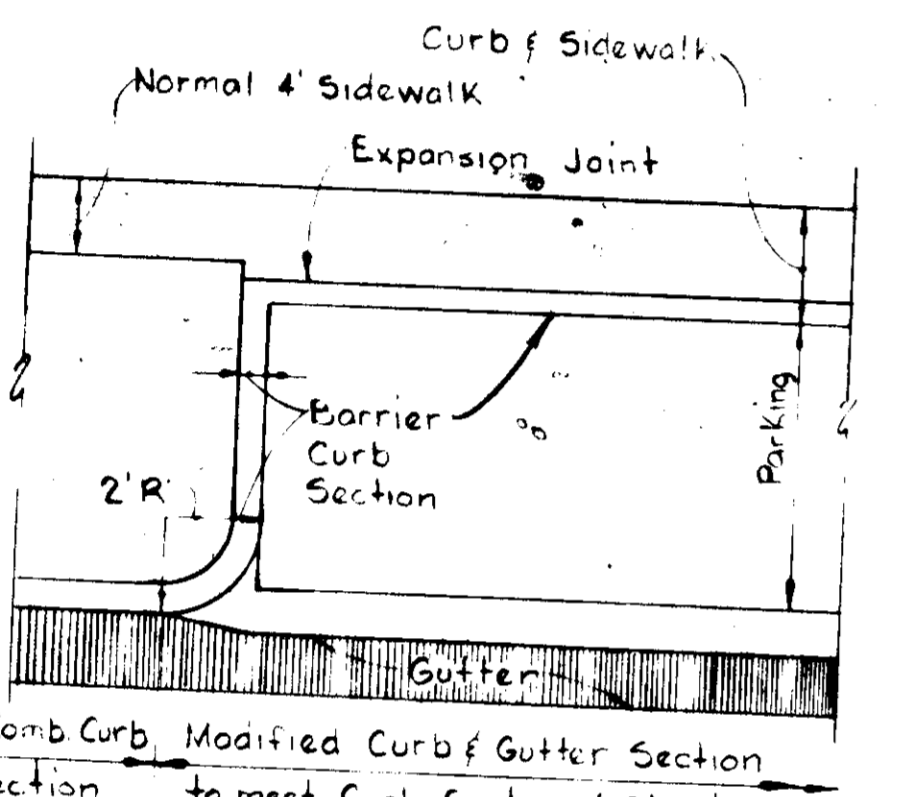
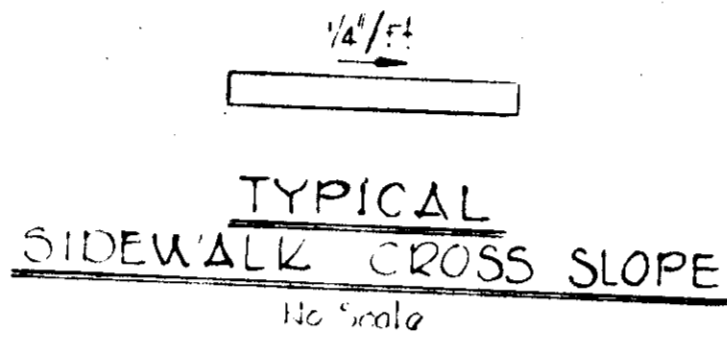
COLUMBIA
SITE PLANS
FOR
VILLAGE OF OWEN BROWN
SECTION 1 AREA 1
LOTS E-131 TO E-203, C-131 TO C-133, C-146 TO C-148, C-157 TO C-159, C-161 TO C-162 AND C-172 TO C-173 - A RESUBDIVISION OF PARCEL E-130
GRADING PLAN
SHEET 2 OF 5

ELECTION DISTRICT NO. 6, HOWARD COUNTY, MARYLAND
DATE: March 15, 1976
SCALE: 1" = 30'

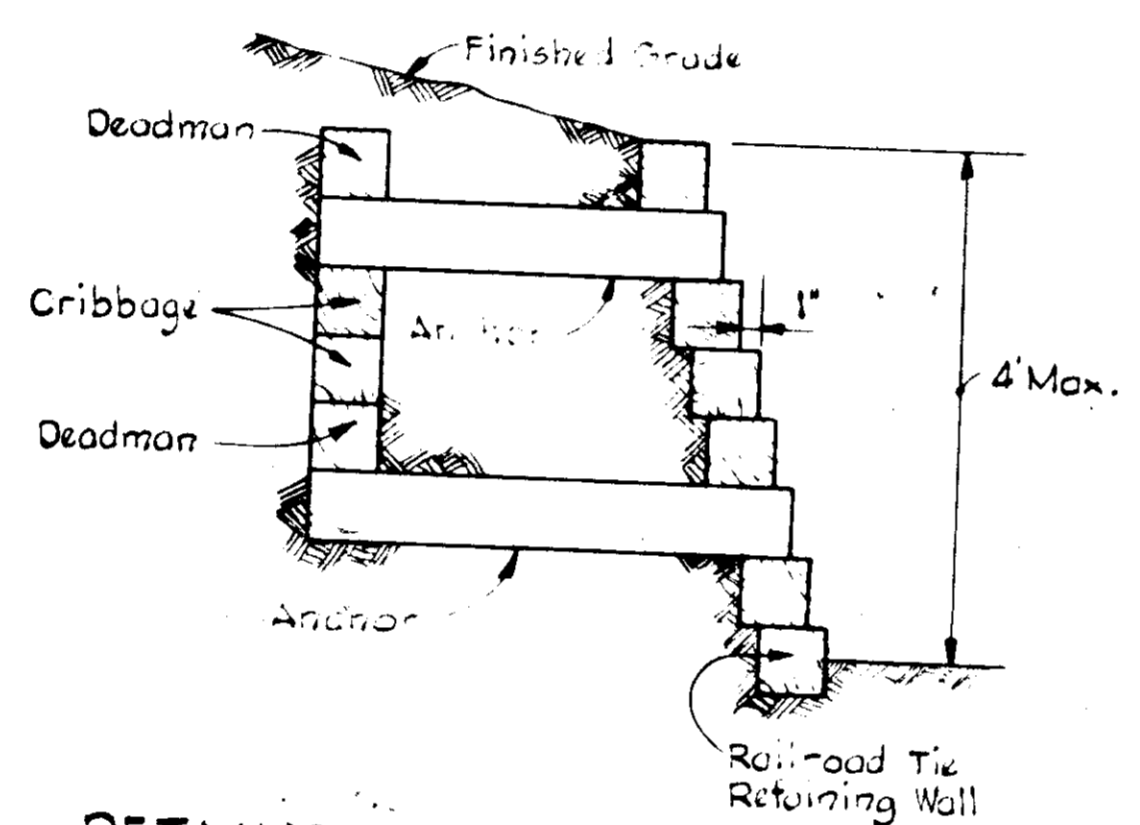
SDP-76-



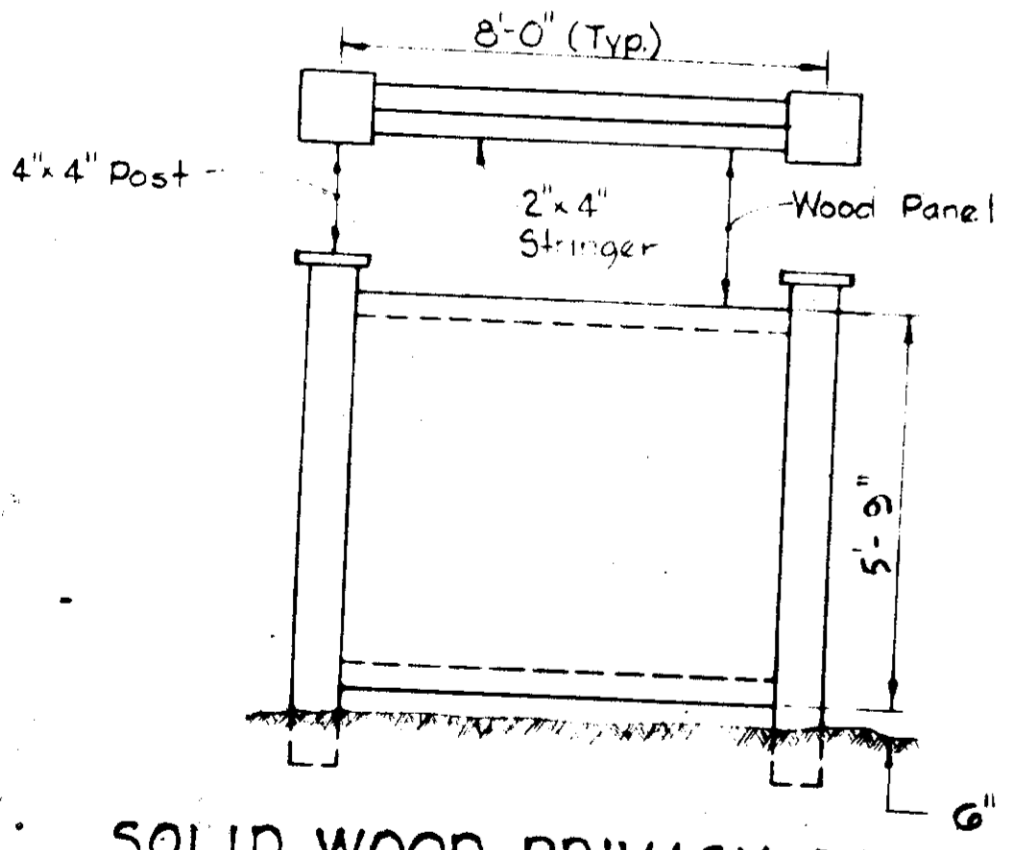
- NOTES:**
1. Base will be primed in accordance with C-30.3 as provided in the Howard County Road Construction Code and Standard Specifications.
 2. Tack Coat is required in accordance with Section C-31.4 of the Howard County Road Construction Code and Standard Specifications.
 3. All the materials and work required for the construction of the public streets shall be in accordance with the Howard County Road Construction Code and Standard Specifications. See Road Construction Drawings Village of Owen Brown Section 1, Area 1 Subdivision of Parcels E 2 and E 3.
 4. Standard 7" Comb Curb and Gutter shall be in accordance with County Standard D-10, Page 65.
 5. Paving (3/8") shall be in accordance with County Standard D-11, Page 66.
 6. Paving (5") shall be in accordance with County Standard D-13, Page 68.



CURB & GUTTER TRANSITION DETAIL
No Scale



RETAINING WALL DETAIL
No Scale



SOLID WOOD PRIVACY FENCE
No Scale

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER: *[Signature]* DATE: 7/17/76
 APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 PLANNING DIRECTOR: *[Signature]* DATE: 7-14-76
 CHIEF DIVISION OF LAND DEVELOPMENT: *[Signature]* DATE: 7/14/76
 ACTING
 APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 CHIEF BUREAU OF HIGHWAYS: *[Signature]* DATE: 7-2-76

HOWARD HOMES COMMUNITES, INC.
 OWNER AND DEVELOPER
 P.O. Box 802, COLUMBIA, MARYLAND

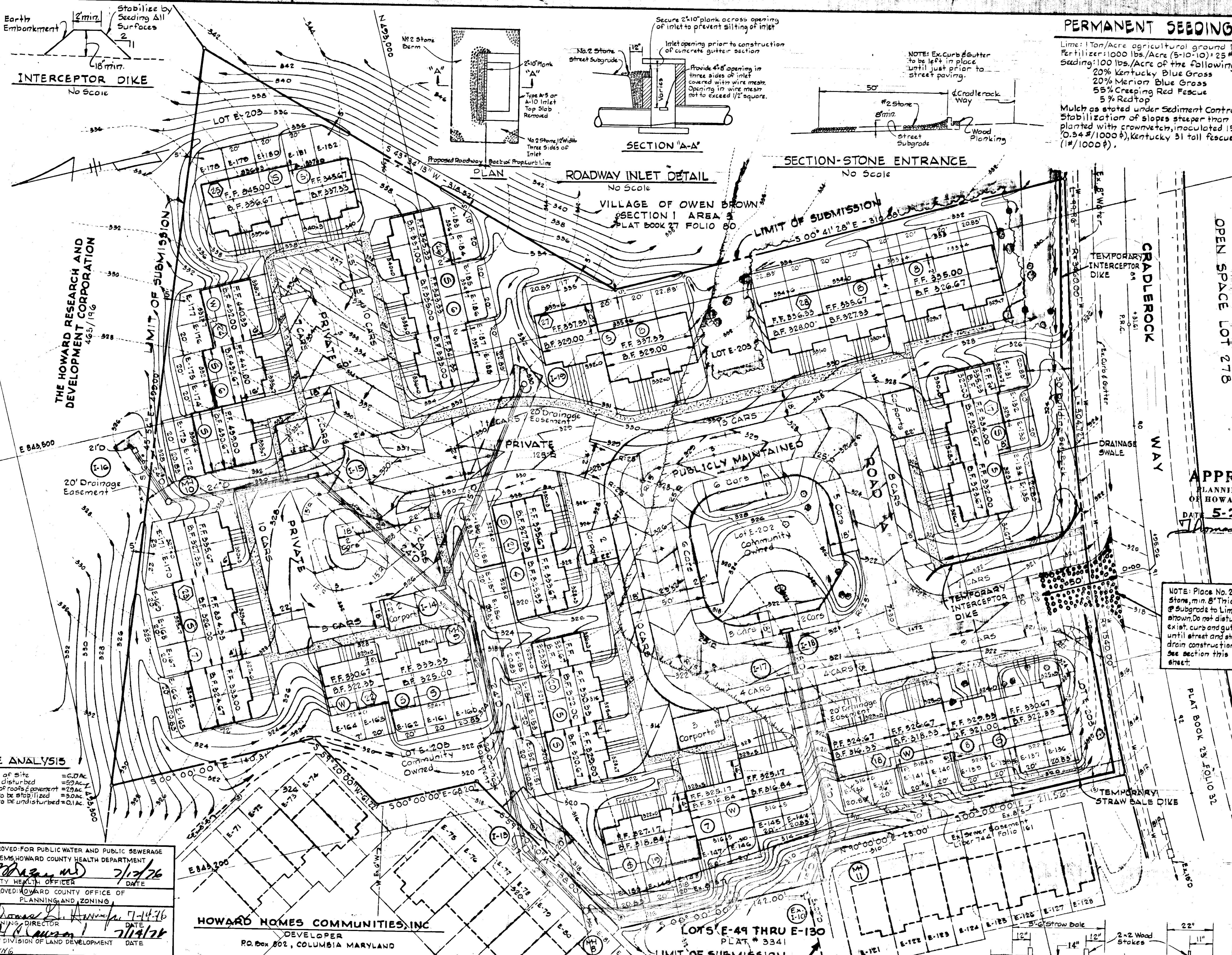
WHITMAN, REQUARDT & ASSOCIATES
 ENGINEERS
 1304 ST. PAUL STREET
 BALTIMORE, MARYLAND 21202
[Signature]
 Kenneth A. McCord P.E. No. 1074

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE 5-26-76
[Signature]

No.	DATE	DESCRIPTION OF REVISIONS
1	5/15/76	Revised in accordance with Planning and DPW Comments

COLUMBIA SITE PLANS
 FOR
VILLAGE OF OWEN BROWN
 SECTION 1 AREA 1
 LOTS E-151 TO E-205, C-151 TO C-155, C-146 TO C-148, C-157 TO C-158, C-161 TO C-162 AND C-172 TO C-173 - A RESUBDIVISION OF PARCEL E-4
DETAIL SHEET
 SHEET 3 OF 5

ELECTION DISTRICT NO. G, HOWARD COUNTY, MARYLAND
 DATE: Sep 30, 1975
 SCALE: AS SHOWN
 SDP-76-77c



PERMANENT SEEDING

Lime: 1 Ton/Acre agricultural ground limestone=50#/1000
 Fertilizer: 1000 lbs./Acre (5-10-10) 25#/1000
 Seeding: 100 lbs./Acre of the following:
 20% Kentucky Blue Grass
 20% Merion Blue Grass
 55% Creeping Red Fescue
 5% Redtop
 Mulch as stated under Sediment Control Note No. 5
 Stabilization of slopes steeper than 3:1 shall be planted with crownvetch, inoculated 15#/acre (0.54#/1000#), Kentucky 31 tall fescue 40#/acre (1#/1000#).

CERTIFICATION BY THE DEVELOPER

"I certify that all development and or construction will be done according to this plan of development and plan for Erosion and Sediment Control, and I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents as are deemed necessary. Deviation from this plan will not be made unless authorized by the Howard Soil Conservation District."
 Signature of Developer: *Kenneth A. McCord* 5-24-76
 Date

CERTIFICATION BY THE ENGINEER

"I certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
 Signature of Engineer: *Kenneth A. McCord* 5-24-76
 Date

THIS PLAN HAS BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.
 Eric W. Norman 6/30/76
 U.S. SOIL CONSERVATION DISTRICT SERVICE
 APPROVED: Robert W. Zander
 HOWARD S.C.D. Date
 PLAN NUMBER

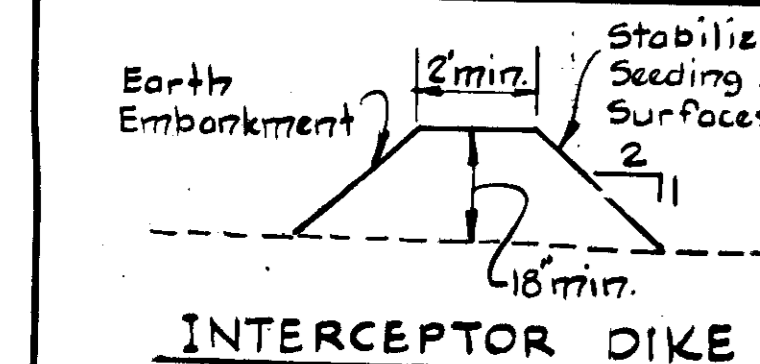
SEDIMENT CONTROL NOTES

1. Prior to starting grading, the contractor shall give 24 hrs. notice to the Howard Soil Conservation District and the Howard County Bureau of Licenses, Inspections and Permits.
2. All sediment control measures must be constructed and stabilized immediately according to notes 4 & 5 prior to any other grading on the site.
3. No temporary sediment control structure may be removed or destroyed without approval of the Howard County Soil Conservation District.
4. All areas to be temporarily seeded shall receive Italian ryegrass at the rate of 40#/acre, sow with mechanical spreader, rake minimum of two (2) passes, with 2 1/2" York Rake, cover and compact with cultipacker. Surface preparation to include ground limestone over topsoil surface area at the rate of One Ton/Acre (50#/1000#) and commercial fertilizer (10-10-10) at the rate of 3/4 Ton/Acre (35#/1000#).
5. Mulch areas with straw at rate of 75#/1000# or 1 1/2 Ton/Acre. Anchor with a depth of rate of 480 gallons/Acre. Drainage swales with slopes greater than 2% will be mulched as stated but the mulch in the center 1/2 of the channel will be anchored with plastic netting for 4 months or longer, shall immediately after planting be fertilized, limed and seeded with annual Ryegrass at the rate of 1#/1000#, and mulched according to note 5.

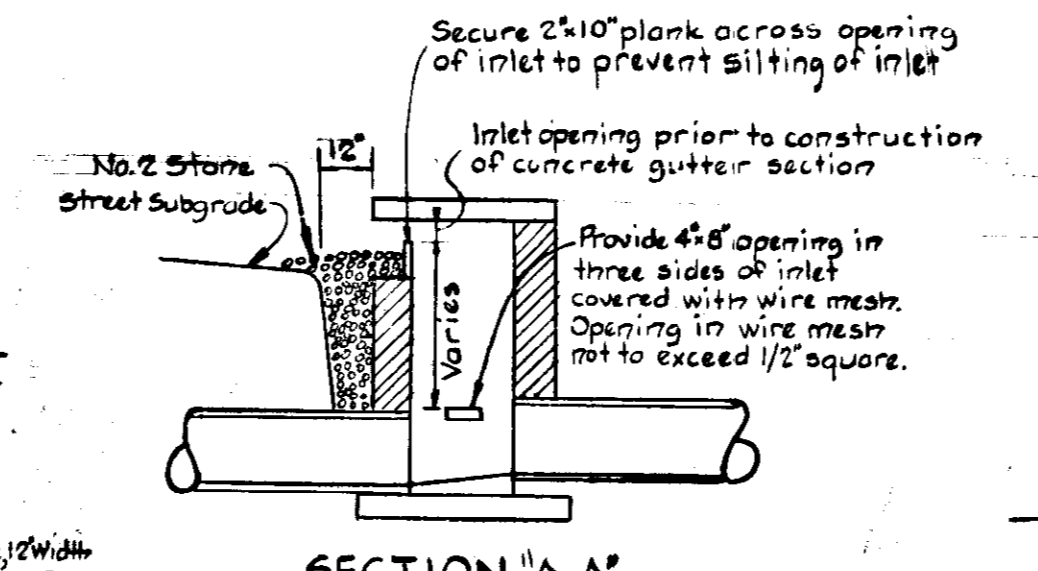
SEQUENCE OF CONSTRUCTION

1. Place the straw bale dikes and provide stone at entrance from Cradle Rock Way.
2. Construct and stabilize the diversion dikes (See Sediment Control Notes 4 & 5).
3. Grade and stabilize drainage swale adjacent to Cradle Rock Way.
4. Clear and grub area required for construction in Parcel E-4. (See Sediment Control Note 6).
5. Grade the area and stabilize ditches and swales. (See Sediment Control Notes 4 & 5).
6. Construct storm drain and cap inlets.
7. Complete construction of utilities, roads, roadways, parking areas, sidewalks, etc. and stabilize all lawn areas. (See Sediment Control Note 6).
8. Clean storm drain system.
9. Remove diversion dikes and sediment basin after all construction in Parcel E-4 is complete and grass is established in the contributing drainage area.

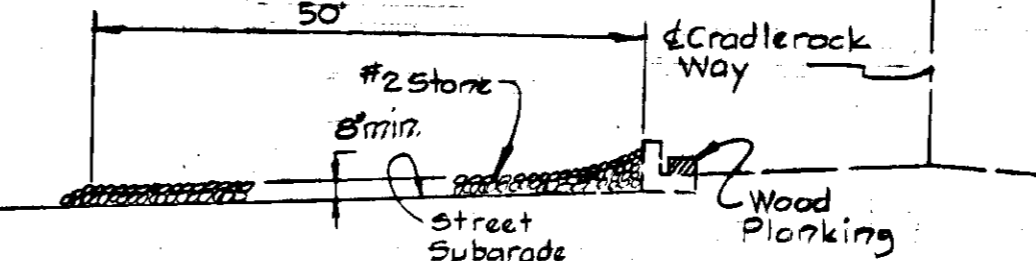
Note: All sediment control structures as shown are temporary. See Note No. 10 in "Sequence of Construction".



INTERCEPTOR DIKE
No Scale



SECTION 'A-A' ROADWAY INLET DETAIL
No Scale



SECTION-STONE ENTRANCE
No Scale

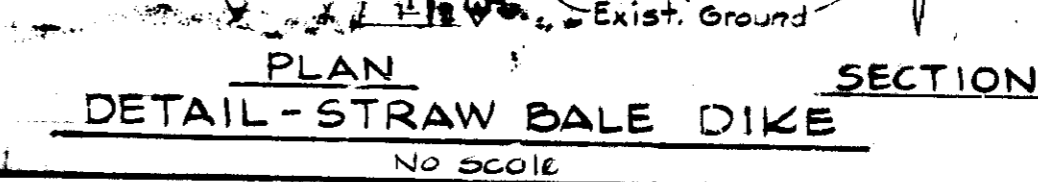
SITE ANALYSIS
 1. Area of Site = 6.0AC
 2. Area disturbed = 5.0AC
 Area of roots & pavement = 2.0AC
 Area to be stabilized = 3.0AC
 Area to be undisturbed = 0.1AC

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 PLANNING DIRECTOR
 CHIEF DIVISION OF LAND DEVELOPMENT
 APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 CHIEF BUREAU OF HIGHWAYS

HOWARD HOMES COMMUNITIES, INC.
 DEVELOPER
 P.O. Box 802, COLUMBIA MARYLAND
WHITMAN, REQUARD & ASSOCIATES
 ENGINEERS
 1304 ST. PAUL STREET
 BALTIMORE, MARYLAND 21202
 Kenneth A. McCord, P.E. No. 1174

TO EXISTING SEDIMENT BASIN. SEE APPROVED SEDIMENT CONTROL DRAWINGS AND STORM DRAIN AND SEDIMENT CONTROL COMPUTATIONS FOR RESUBDIVISION OF PARCEL E-2 AND E-3, OWEN BROWN SECTION 1, AREA 1 (SDP-76-15C AND SDP-76-24C)

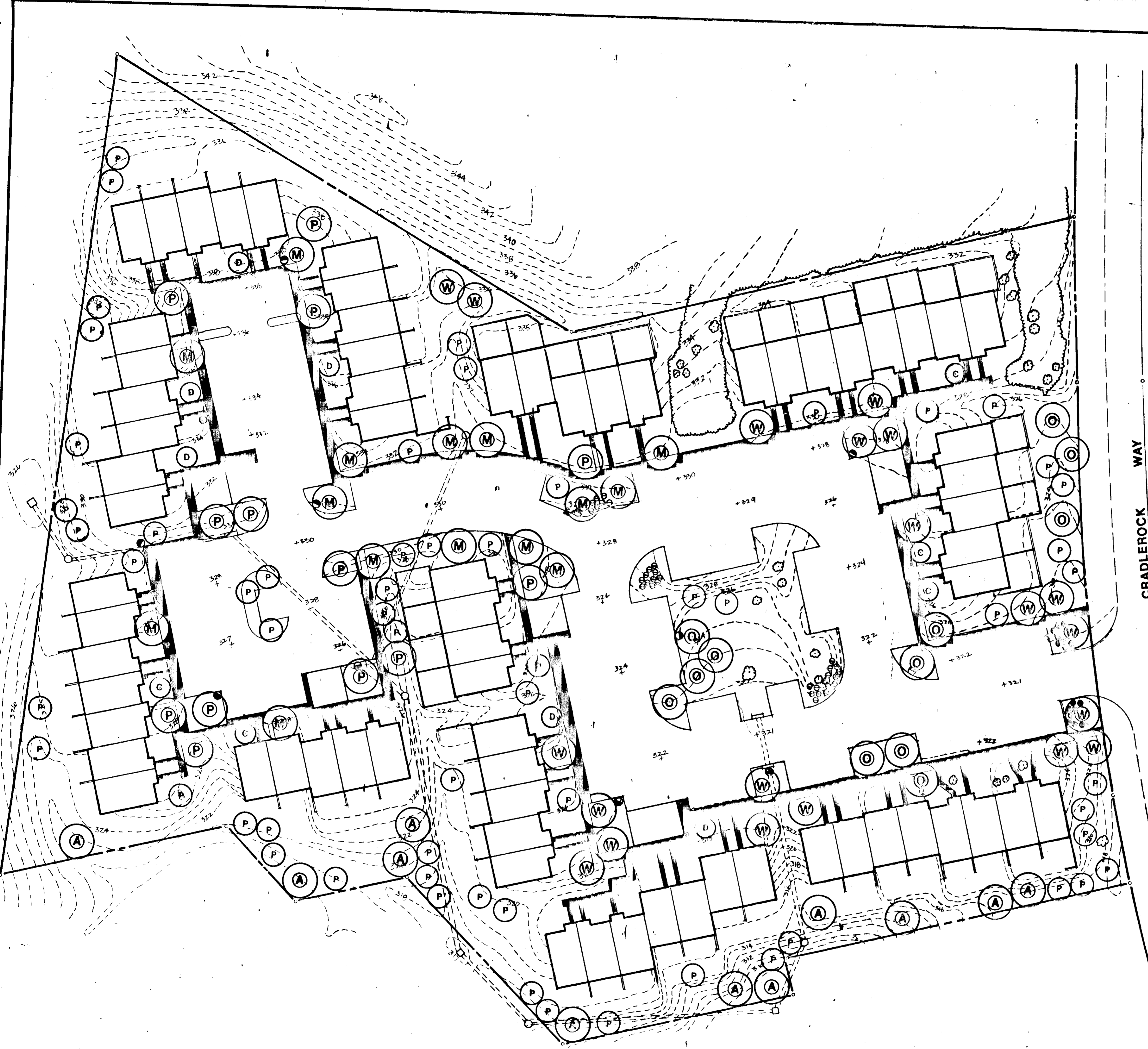
NOTES:
 1. Each straw bale shall be properly anchored with two (2) wood stakes.
 2. Straw bales must be bound with nylon or wire.



PLAN DETAIL-STRAW BALE DIKE
No Scale

No.	DATE	DESCRIPTION OF REVISIONS
1	5/5/76	As per S.C.S. comments.

COLUMBIA SITE PLANS
 FOR
VILLAGE OF OWEN BROWN
 SECTION 1, AREA 1
 LOTS E-131 TO E-203, C-131 TO C-133, C-146 TO C-148, C-167 TO C-168, C-161 TO C-162 AND C-170 TO C-173 - A RESUBDIVISION OF PARCEL E-4
SEDIMENT CONTROL PLAN
 SHEET 4 OF 5
 ELECTION DISTRICT NO. 6, HOWARD COUNTY, MARYLAND
 DATE: March 15, 1976
 SCALE: 1" = 30'



PLANT LIST

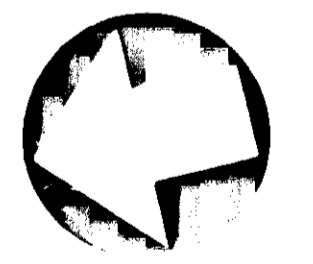
SYMBOL	QUAN	NAME	CALIPER/HT.	ROOT	REMARKS
DECIDUOUS TREES					
(W)	20	QUERCUS PHELLOS, Willow Oak	2 1/2 - 3" 12 - 14'	B&B	Well Headed, Full
(M)	15	ACER PLATANOIDES, Norway Maple	2 1/2 - 3" 12 - 14'	B&B	Well Headed, Full
(P)	13	PLATANUS ACER FOLIA, London Plane	2 1/2 - 3" 12 - 14'	B&B	Well Headed, Full
(O)	12	QUERCUS PLAUSTRIS, Pin Oak	2 1/2 - 3" 12 - 14'	B&B	Well Headed, Full
(A)	11	FRAXINUS PENNSYLVANICA LANCEOLATA, Ash	2 1/2 - 3" 12 - 14'	B&B	Well Headed, Full
FLOWERING TREES					
(C)	5	MALUS KATHERINE, Katherine Crabapple	2 - 2 1/2" 8 - 10'	B&B	Well Headed, Full
(D)	6	CORNUS KOUSA, Kousa Dogwood	2 - 2 1/2" 8 - 10'	B&B	Well Headed, Full
EVERGREENS					
(P)	60	PINUS NIGRA, Austrian Pine	2 1/2 - 3" 6 - 8'	B&B	Natural Shape, Full
SHRUBS					
(S)	32	POSYTHIA SUSPENSIS, POSYTHIA	18-24" HT	B&B/CANE	FULL
(T)	16	TAXUS CUSPIDATA BREVIFOLIA, YEW	24-28" SPR.	B&B	FULL
EXISTING TREES TO REMAIN					
(E)	STREET LIGHTS				

CRADLEROCK WAY

APPROVED FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
[Signature] 7/1/76
 COUNTY PLANNING OFFICER DATE

APPROVED FOR HOWARD COUNTY OFFICE OF PLANNING AND ZONING
[Signature] 7-14-76
 COUNTY PLANNING OFFICER DATE

APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
[Signature] 7-2-76
 COUNTY DEPARTMENT OF PUBLIC WORKS DATE



APPROVED
 PLANNING AND ZONING
 DATE 5-26-76
[Signature]



LD LAND DESIGN / RESEARCH, INC.
 ONE MALL NORTH SUITE 400
 COLUMBIA, MARYLAND

**WOODLAKE PHASE 2
 PLANTING PLAN**

DATE	5/5/76	REVISIONS:	
SCALE	1" = 30'		
DRAWN	TJL		
CHECKED			