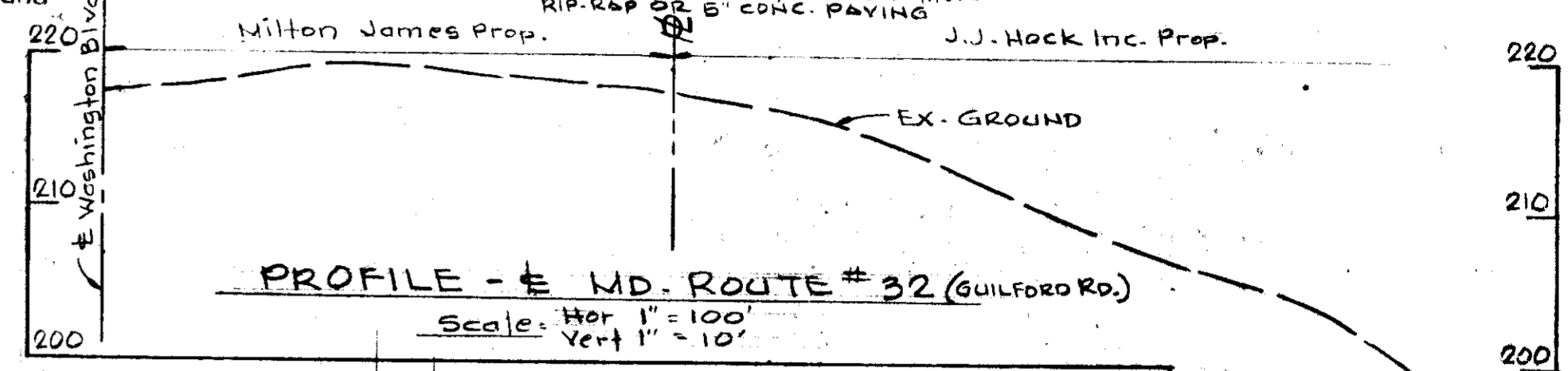
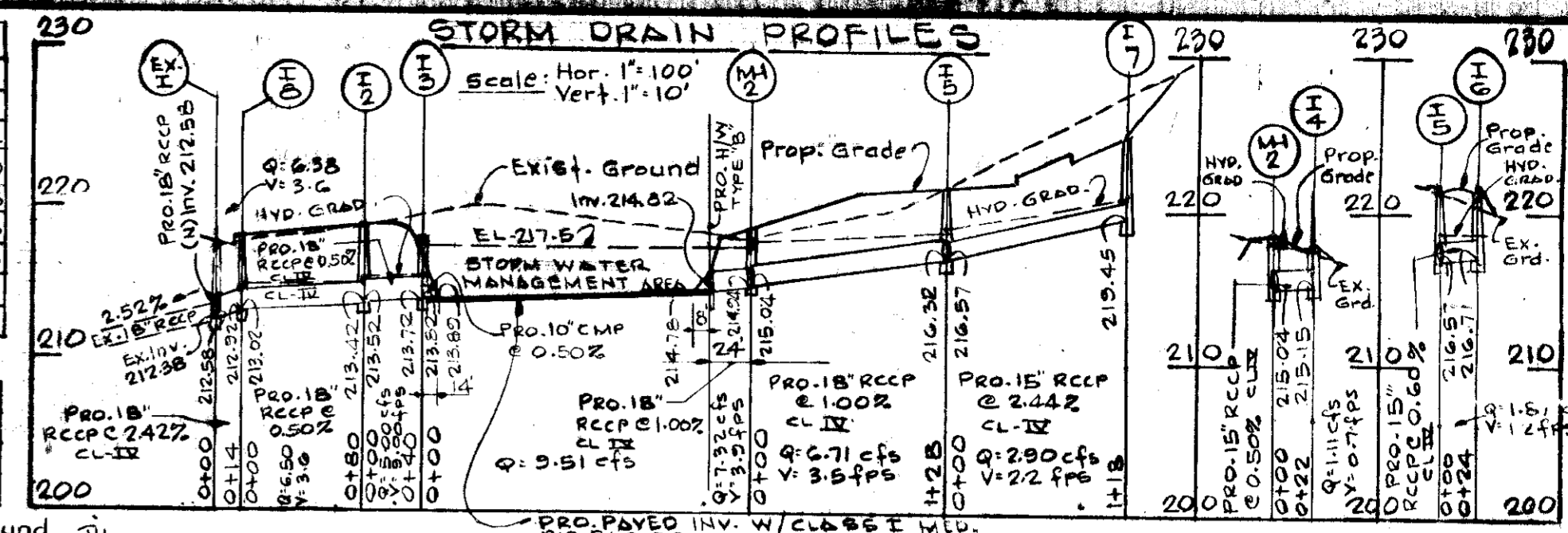


INLET SCHEDULE							
INLET	TYPE	A	I	C	Q	INV. OUT	TOP ELEV. (Ft)
I-1	18" x 18" Comb.	10.0	5.70	0.55	21.35	213.27	218.80
I-2	"E"	0.30	8.50	0.85	2.21	213.22	219.00
I-3	"D"	2.31	5.80	0.86	5.00	213.72	218.33
I-4	"E" Comb.	0.14	8.50	0.30	1.11	215.15	218.00
I-5	"E" Comb.	0.56	8.50	0.30	3.57	216.32	221.80
I-6	"E" Comb.	0.32	8.50	0.30	1.87	216.71	221.80
I-7	"E" Comb.	0.83	8.30	0.55	2.00	219.45	225.50
I-8	YARD TYPE	0.48	6.35	0.55	1.65	212.92	218.50

\*Leave open All 4-sides @ EL. 217.5

MANHOLE SCHEDULE			
MANHOLE	TYPE	SIZE	TOP ELEV. (Ft)
MH-2	"E"	48"	214.04



BITUMINOUS CONCRETE SURFACE	1 1/2" BAND C-3 MC
BITUMINOUS CONCRETE BINDER	5" GRAVEL MIX
CRUSHER RUN BASE	6"

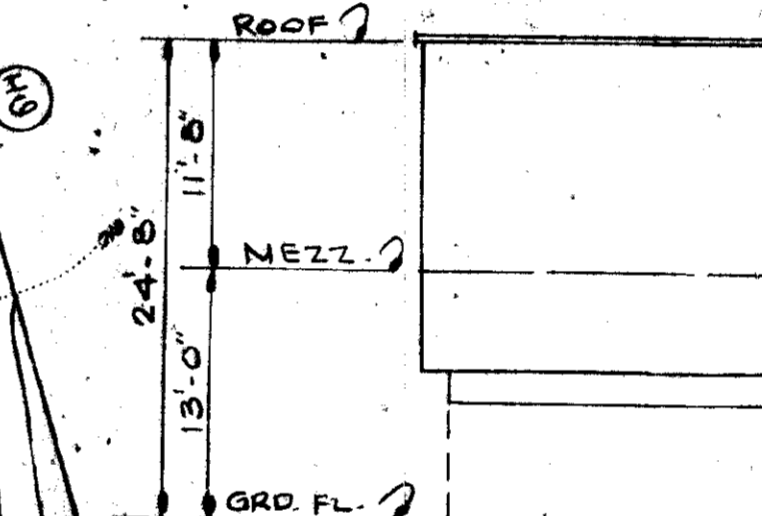
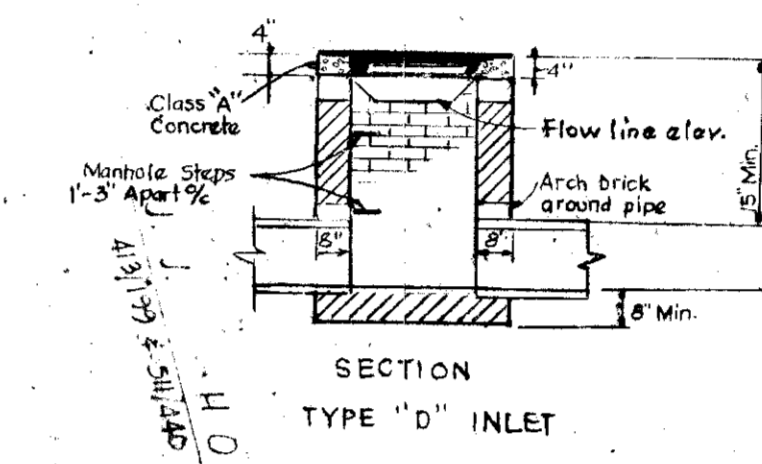
TYPICAL PAVING SECTION  
DRIVES (TYPE 'A')  
(Not To Scale)

BITUMINOUS CONCRETE SURFACE	1 1/2" BAND C-3 MC
BITUMINOUS CONCRETE BINDER	5" GRAVEL MIX
CRUSHER RUN BASE	6"

TYPICAL PAVING SECTION  
PARKING AREAS (TYPE 'B')  
(Not To Scale)

**GENERAL NOTES**

- Site Analysis
  - a. Area of Property: 5.000 Acres
  - b. Present Zoning: M-1 and M-2
  - c. Floor Area of Proposed Sales and Service Facility
    - 1. First Floor: 10,000 Sq. Ft.
    - 2. Mezzanine: 900 Sq. Ft.
    - Total: 10,900 Sq. Ft.
  - d. Total Area of Sales & Customer Area = 576 Sq. Ft.
  - e. Total Number of Employees on Site = 20
  - f. Total Number of Parking Spaces Required for Sales & Customer Area = 10
  - g. No. of Parking Spaces Required for Proposed Sales and Service Facility with 20 Employees = 19 spaces Every 2 Employees = 20 ÷ 2 = 10 Spaces
  - h. Total No. of Parking Spaces Required = 10
  - i. Total No. of Parking Spaces Provided = 10
- All Site Development shall conform to latest Revisions of the Howard County Zoning Regulations.
- Public Water and Public Sewerage Systems shall be Used.
- Proposed Grade Contours Represent Finished Grades. Contractor shall make Allowances to Subgrade for Topsoil, Paving and other Surface Finishes as Required.
- Contours and Elevations are Controls Only. All Grading shall be Smooth and Continuous.
- All Construction Materials and Details shall be in Accordance with the Latest Revisions of the Howard County Road Construction Code and Standard Specifications and/or Accompanied Specifications.
- See Architectural Drawings for Building Dimensions.
- Location of Existing Utilities are Approximate and were Obtained from Recorded Drawings.
- The Contractor shall call "Miss Utility" (559-0100) a Minimum of 3 Days in Advance of Construction Operations.
- Existing Topography was Obtained from a Survey Done by Spellman, Larson & Associates, Suite 803 - Investment Building, Towson Md. January 1974.
- Elevations on this Plan are based on Howard County Control Survey Station Designation 2048003-R Elevation 281.171 Description: Re-Bar 0.3 below Surface - 4.4' Northwesterly from the Northwest Edge of Md. Route #1 and 50.0' Southwesterly from G & E Pole #374240.
- Coordinates and Bearings on this Plan are Based on the Maryland Grid System
- Northern Most Access to Md. Route #32 is Approved Only on Condition That The Parking Lot Will Not Be Extended.



HOWARD SOIL CONSERVATION DISTRICT  
REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS  
Signature: *Eric H. Johnson* DATE: 10/22/76

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND ROADS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
Signature: *James P. Bogan* DATE: 10-22-76

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
Signature: *Thomas J. Harris* DATE: 11-5-76  
Signature: *R. B. Cline* DATE: 11-5-76

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPT.  
Signature: *James H. Bogan* DATE: 11-4-76

SITE DEVELOPMENT PLAN  
OF  
JOHN DEERE  
SALES & SERVICE FACILITY AND OFFICES  
6TH ELECTION DISTRICT  
TAX MAP #28  
HOWARD COUNTY MARYLAND  
PART OF PARCEL #24  
OWNER: MILTON JAMES ET AL  
8751 WASHINGTON BOULEVARD  
JESSUP MARYLAND 20794  
DEVELOPER: THE MILTON JAMES COMPANY  
8751 WASHINGTON BOULEVARD  
JESSUP MARYLAND 20794

NO.	DATE	BY	REVISIONS
1	8-18-75	G.H.	Service Ent. S.E. side of bldg.
2	10-3-75	G.W.	Rev. C.D. Layout, Curbs & Grades
3	6/8/76	G.W.	Rev. BS Per County Comments
4	8/3/76	G.W.	Rev. BS Per County Comments
5	10/6/76	G.W.	Final Rev. BS Per County Comments



EVANS, HAGAN & HOLDEFER, INC.  
SURVEYORS AND CIVIL ENGINEERS  
8015 BELAIR ROAD  
BALTIMORE MARYLAND  
21286  
(301) 665-1501

SHEET NO.  
1 OF 1