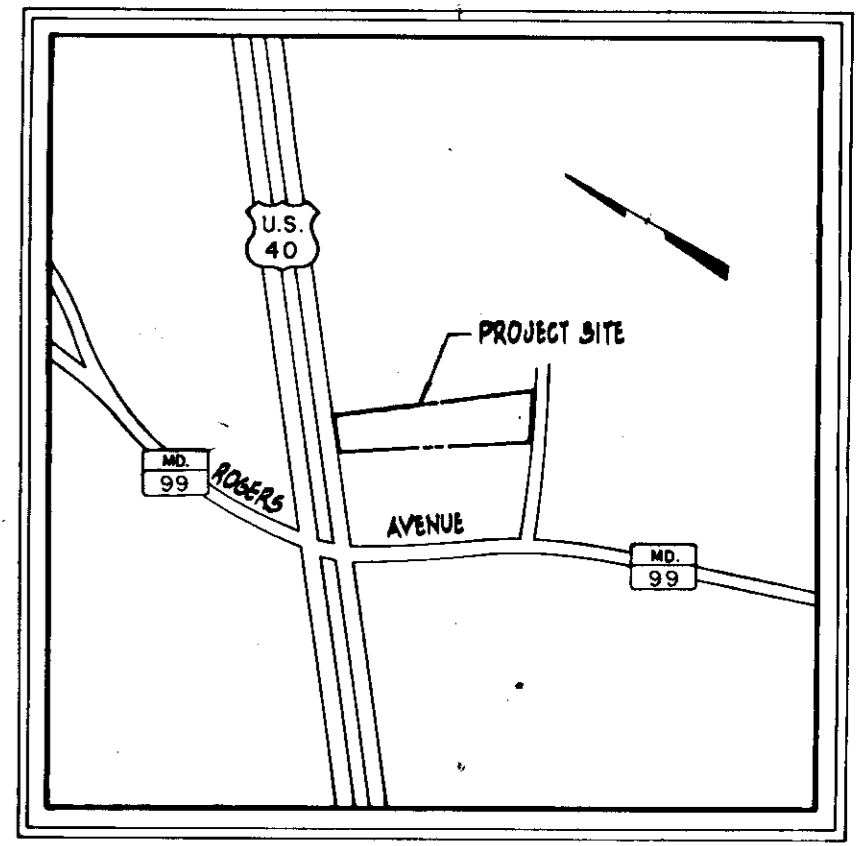
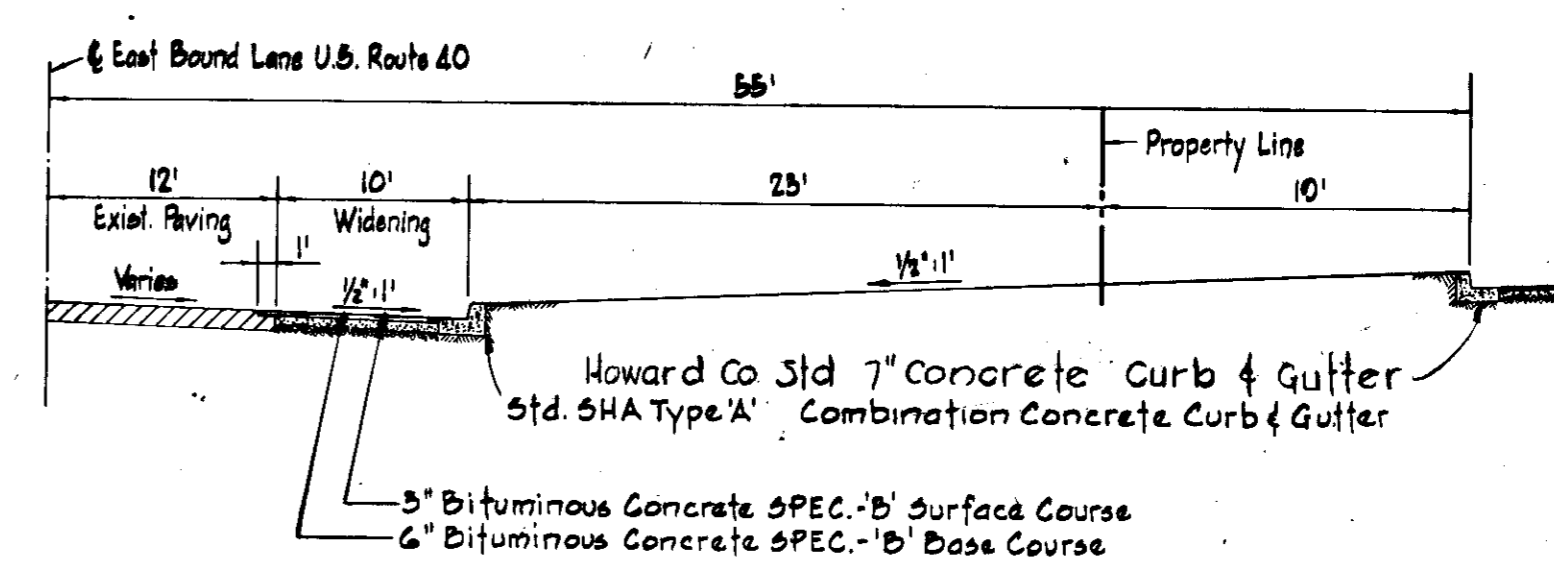
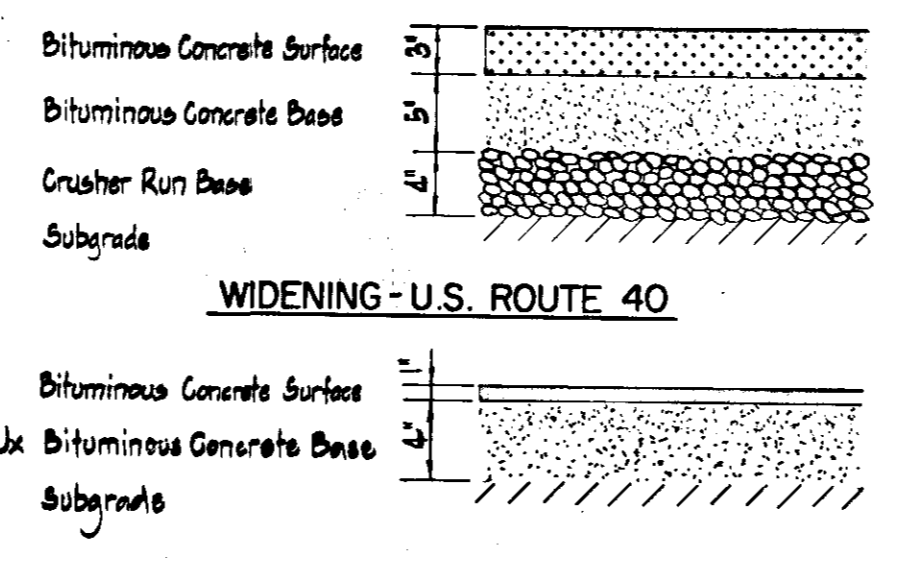
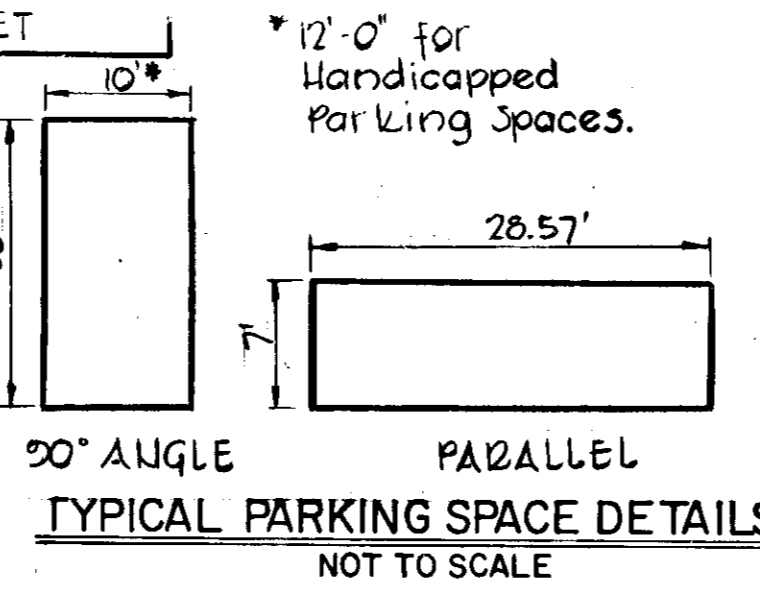


**GENERAL NOTES**

- SITE ANALYSIS:
  - AREA OF PARCEL - 1.88 Acre
  - PRESENT ZONING - B-2
  - PROPOSED USE: AUTO DEALERSHIP (NO SERVICE DRIVE NO OUTDOOR DISPLAY)
  - TOTAL FLOOR SPACE - 6,825 SQ. FT.
- TOTAL NUMBER OF PARKING SPACES REQUIRED IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS:
  - PARKING SPACES REQUIRED - 2 SPACES PER 1,000 SQ. FT. BLDG. AREA = 14 SPACES
  - PARKING SPACES PROVIDED - 23 SPACES
- ALL PARKING SPACES TO BE IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS. (ALSO, SEE DETAILS THIS SHEET).
- ALL INTERIOR ROADS SHALL BE PRIVATELY OWNED.
- PUBLIC WATER AND SEWERAGE SYSTEMS WILL BE USED.
- ALL SITE DEVELOPMENT SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 12.01 TO 12.05 OF THE HOWARD COUNTY ZONING REGULATIONS.
- PROPOSED GRADE CONTOURS REPRESENT FINISHED GRADES. CONTRACTOR SHALL MAKE ALLOWANCES TO SUBGRADE FOR TOPSOIL, PAVING AND OTHER SURFACE FINISHES AS REQUIRED.
- CONTOURS AND ELEVATIONS ARE CONTROLS ONLY. ALL GRADING IS TO BE SMOOTH AND CONTINUOUS.
- ALL CONSTRUCTION MATERIALS AND DETAILS SHALL BE IN ACCORDANCE WITH THE LATEST REVISIONS OF THE HOWARD COUNTY ROAD CONSTRUCTION CODE AND STANDARD SPECIFICATIONS AND/OR ACCOMPANIED SPECIFICATIONS.
- SEE ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS.
- NO FENCES SHALL BE CONSTRUCTED ON THIS SITE.
- STOP SIGNS TO BE INSTALLED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 1971 EDITION.

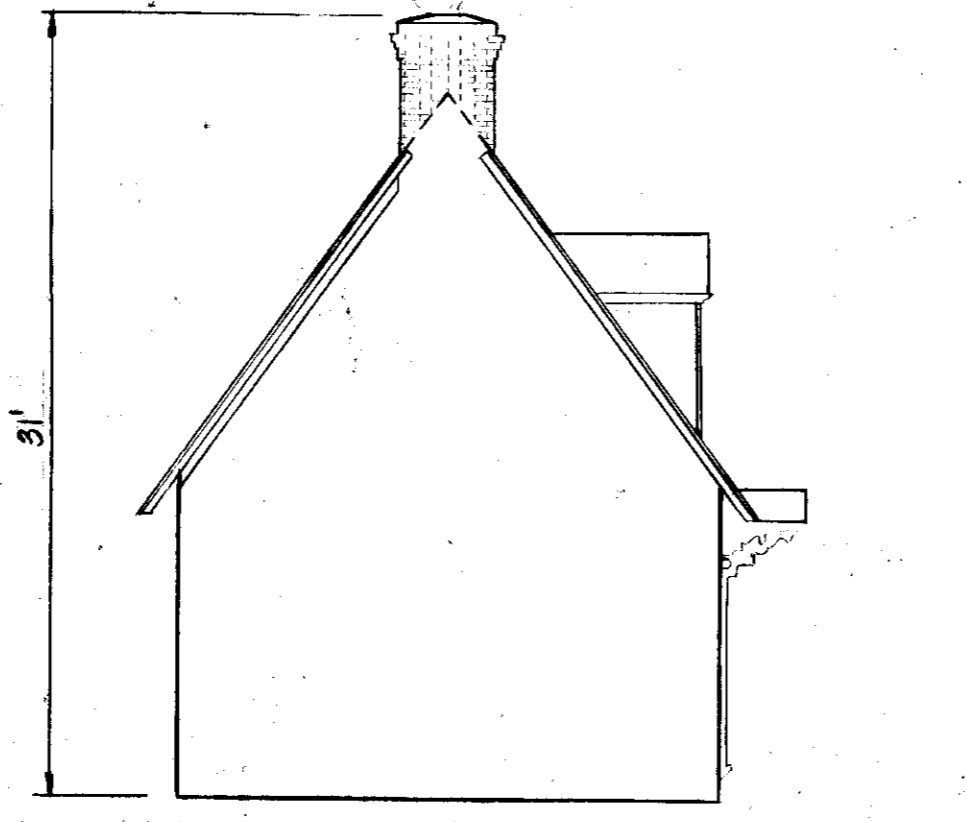
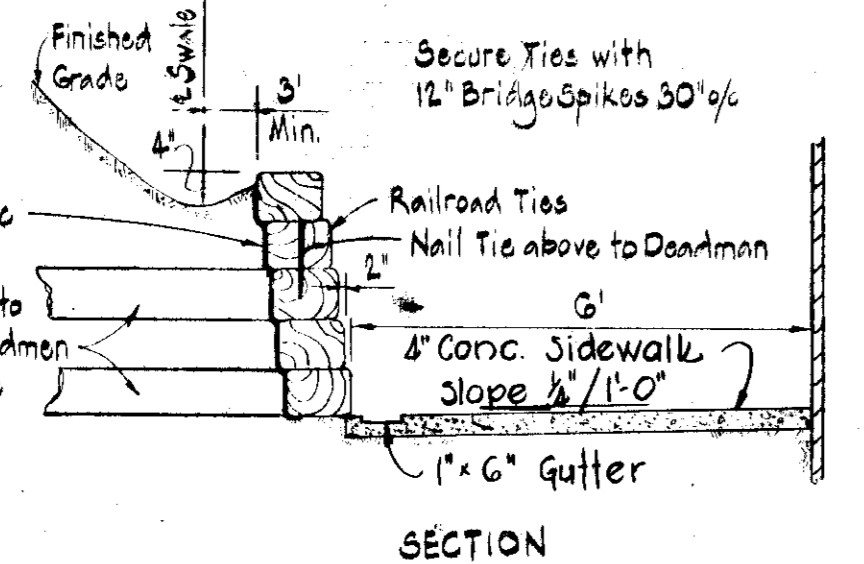
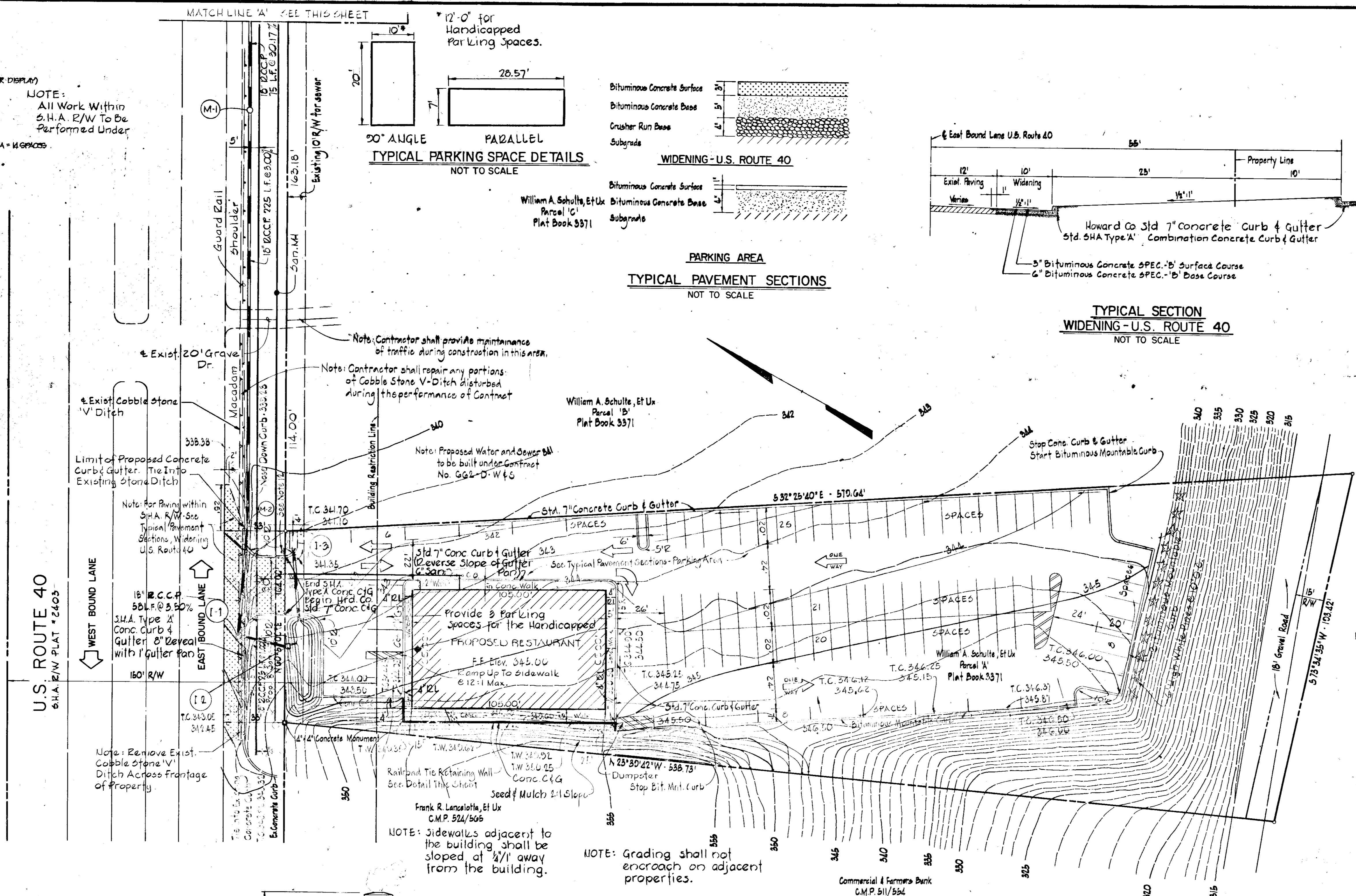
NOTE:  
All Work Within S.H.A. R/W To be Performed Under



VICINITY MAP  
SCALE: 1" = 600'

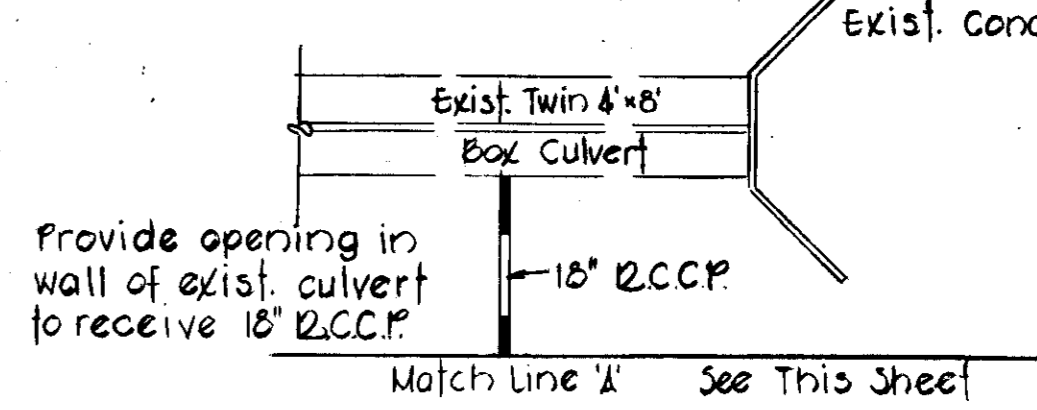
**LEGEND**

- | Existing       | Proposed          |
|----------------|-------------------|
| Concrete Curb  | Building          |
| Macadam Paving | Paving            |
| Property Line  | Concrete Sidewalk |
| Center Line    | No Parking Area   |
| Contour        | Contour           |
|                | Retaining Wall    |
|                | Curb              |
|                | 2' Roof Leader    |



APPROVED  
DIVISION OF LAND DEVELOPMENT

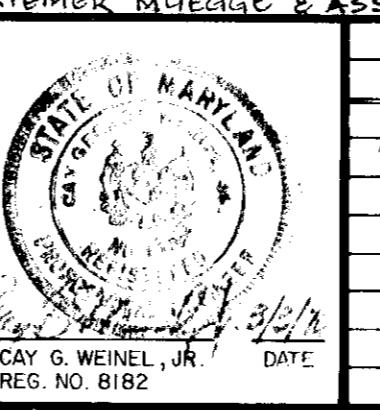
HOWARD COUNTY, MARYLAND  
DATE 7-1-76  
*J. J. [Signature]*



APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND ROADS. HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS. HOWARD COUNTY HEALTH DEPARTMENT.



REVISIONS	
NO.	DESCRIPTION
1	2-17-76 Hrd Co Comments dated 2-20-76
2	5-17-76 Hrd Co Comments dated 5-18-76
3	10-28-76 REVISE G.N. 1 ADD DEVELOPER ADDRESS

SITE DEVELOPMENT PLAN  
WILLIAM A. SCHULTE, ET UX, PARCEL 'A'  
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
TAX MAP NO. 25 PARCEL NO. 197

PURDUM & JESCHKE  
CONSULTING ENGINEERS  
LAND SURVEYORS  
1023 North Calvert Street  
Baltimore, Maryland 21202 301/837-0194

*P. J. [Signature]*  
DIRECTOR  
CHIEF, BUREAU OF HIGHWAYS  
7-15-76  
DATE

*Domino [Signature]*  
PLANNING DIRECTOR  
CHIEF, DIVISION OF LAND DEVELOPMENT  
7-22-76  
DATE  
*[Signature]*  
7/2/76  
DATE

*[Signature]*  
COUNTY HEALTH OFFICER  
7/20/76  
DATE

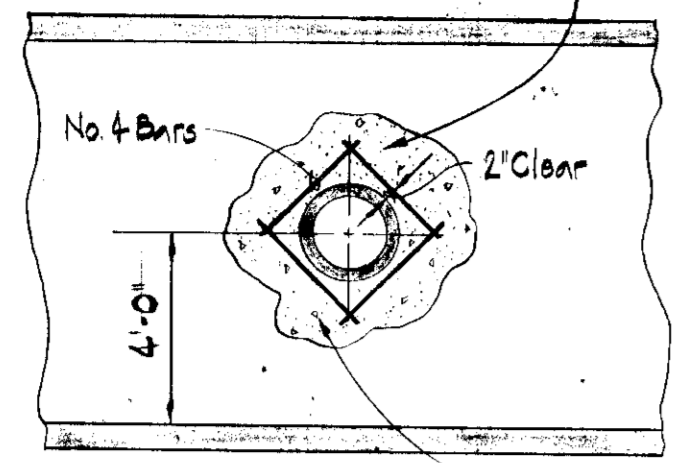
OWNER:  
SIR WALTER RALEIGH INNS, INC.  
THOMAS BRADFORD, JR.  
SUITE 202  
4405 EAST-WEST HIGHWAY  
BETHESDA, MARYLAND 20014  
301/532-3740

Design: B. Burton  
Drawn: B. Burton  
Checked: R. B. Carter  
Scale: As Noted  
Date: August 9, 1974  
Sheet No. 1 of 3

**GENERAL NOTES**

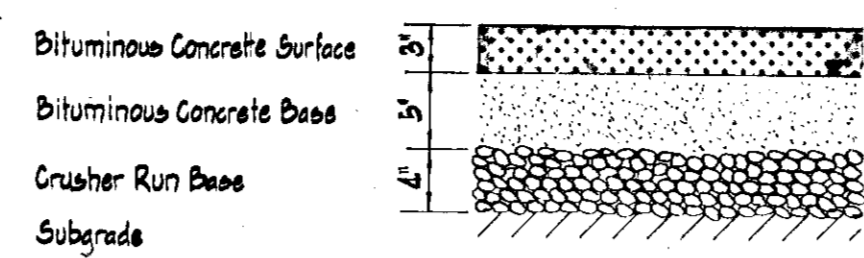
- SITE ANALYSIS:
  - AREA OF PARCEL - 1.88 Acs
  - PRESENT ZONING - B-2
  - TOTAL NUMBER OF EMPLOYEES
  - TOTAL FLOOR SPACE - 6,825 SQ. FT.
  - TOTAL FLOOR SPACE OF SALES AREA
- TOTAL NUMBER OF PARKING SPACES REQUIRED IN ACCORDANCE WITH SECTION 23.015 OF THE HOWARD COUNTY ZONING REGULATIONS:
  - PARKING SPACES REQUIRED - 69 SPACES
  - PARKING SPACES PROVIDED - 99 SPACES
- ALL PARKING SPACES TO BE IN ACCORDANCE WITH SECTION 23.02 OF THE HOWARD COUNTY ZONING REGULATIONS. (ALSO SEE DETAILS THIS SHEET).
- ALL INTERIOR ROADS SHALL BE PRIVATELY OWNED.
- PUBLIC WATER AND SEWERAGE SYSTEMS WILL BE USED.
- ALL SITE DEVELOPMENT SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 12.01 TO 12.05 OF THE HOWARD COUNTY ZONING REGULATIONS.
- PROPOSED GRADE CONTOURS REPRESENT FINISHED GRADES. CONTRACTOR SHALL MAKE ALLOWANCES TO SUBGRADE FOR TOPSOIL, PAVING AND OTHER SURFACE FINISHES AS REQUIRED.
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- SEE ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS.
- NO FENCES SHALL BE CONSTRUCTED ON THIS SITE.
- STOP SIGNS TO BE INSTALLED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 1971 EDITION.

Provide Opening in Ex. 8'-0" x 8'-0" Reinforced Concrete Box Culvert and Connect Prop. 18" R.C.C.P. Place Additional Reinforcing as shown.

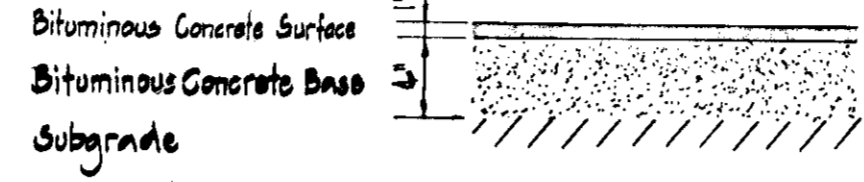


**CULVERT CONNECTION**  
Not to Scale

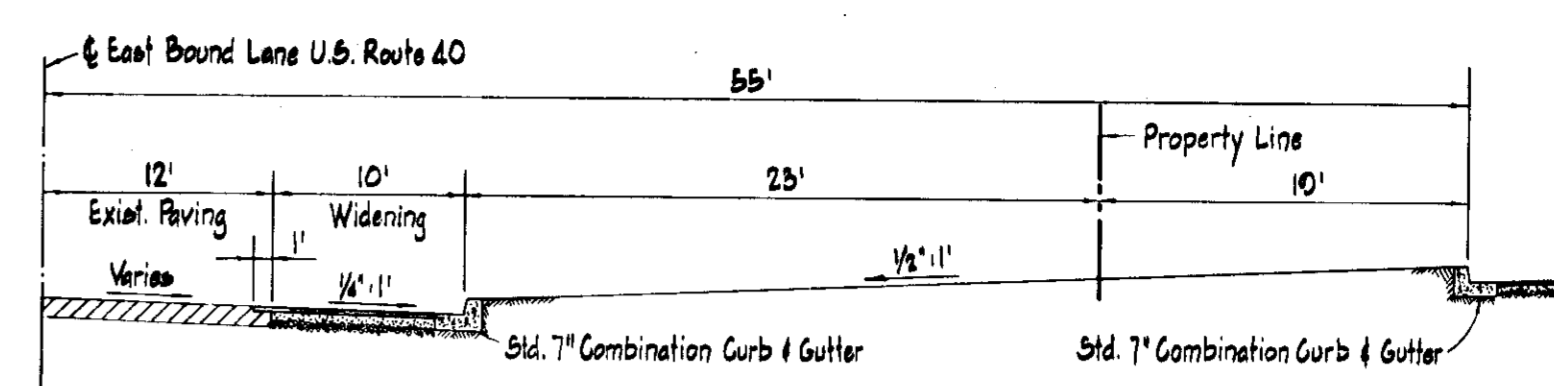
Place Mortar for Full Wall Thickness When Closing Opening



**WIDENING-U.S. ROUTE 40**

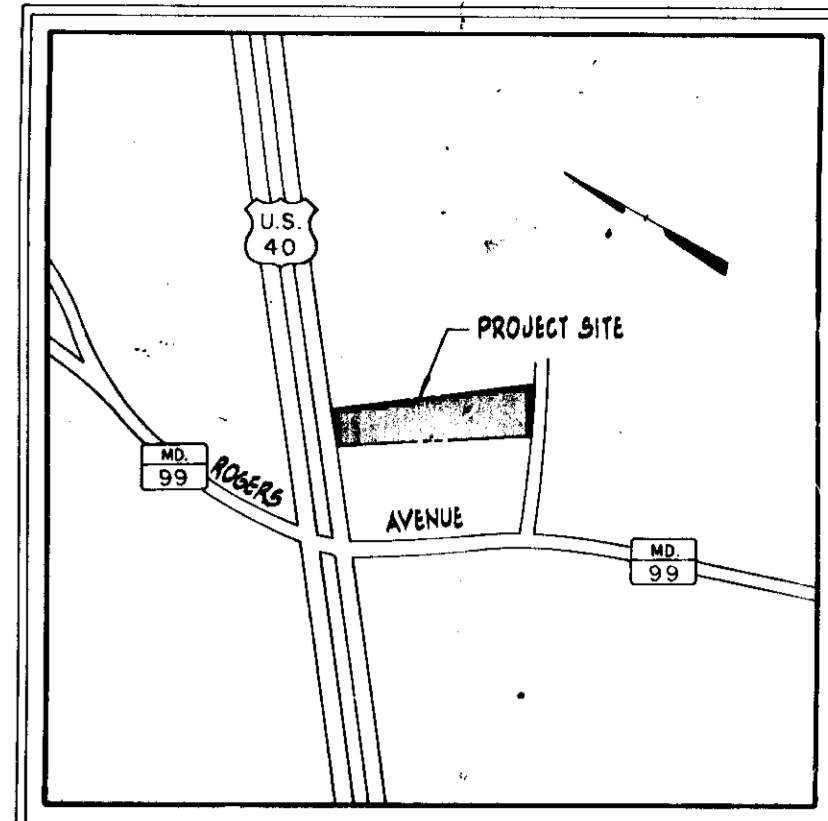


**PARKING AREA**  
**TYPICAL PAVEMENT SECTIONS**  
NOT TO SCALE



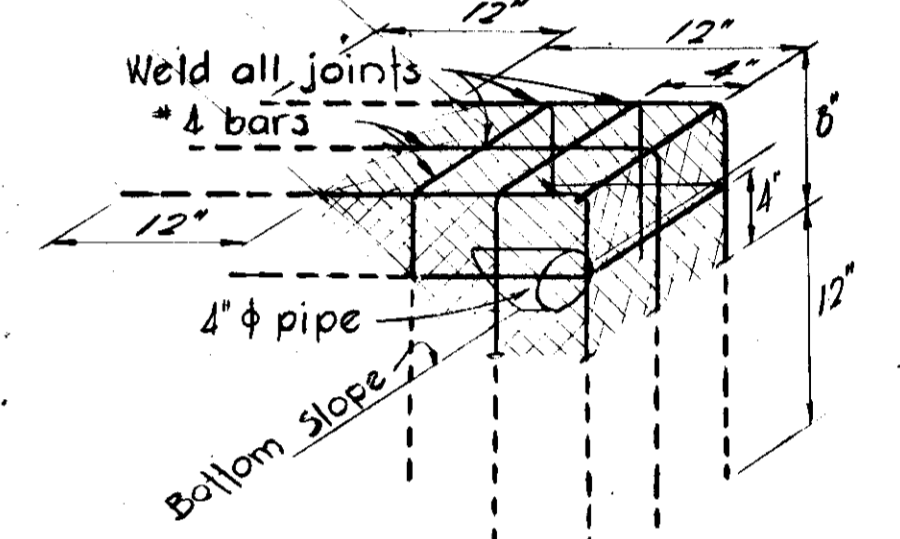
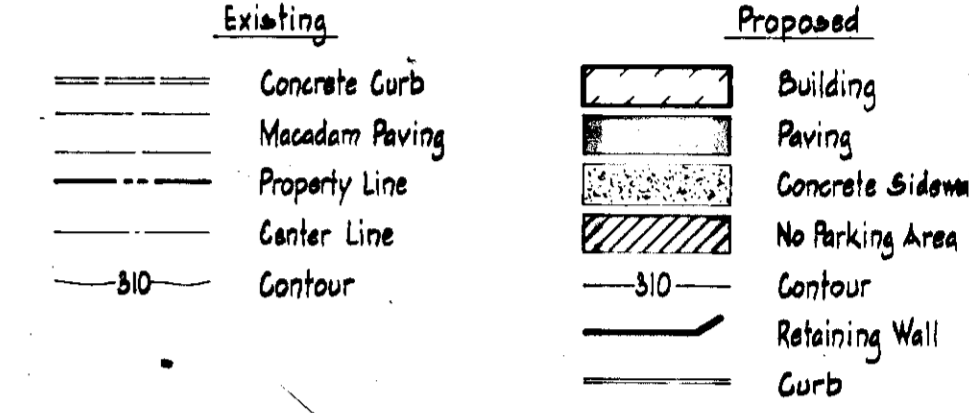
Note: 1. Base will be primed in accordance with Section C-30-3 as provided for in the Howard County Road Code and Standard Specifications.  
2. Task Coat is required in accordance with Section C-31-4 of the Howard County Road Code and Standard Specifications.

**TYPICAL SECTION**  
**WIDENING-U.S. ROUTE 40**  
NOT TO SCALE



**VICINITY MAP**  
SCALE: 1" = 600'

**LEGEND**



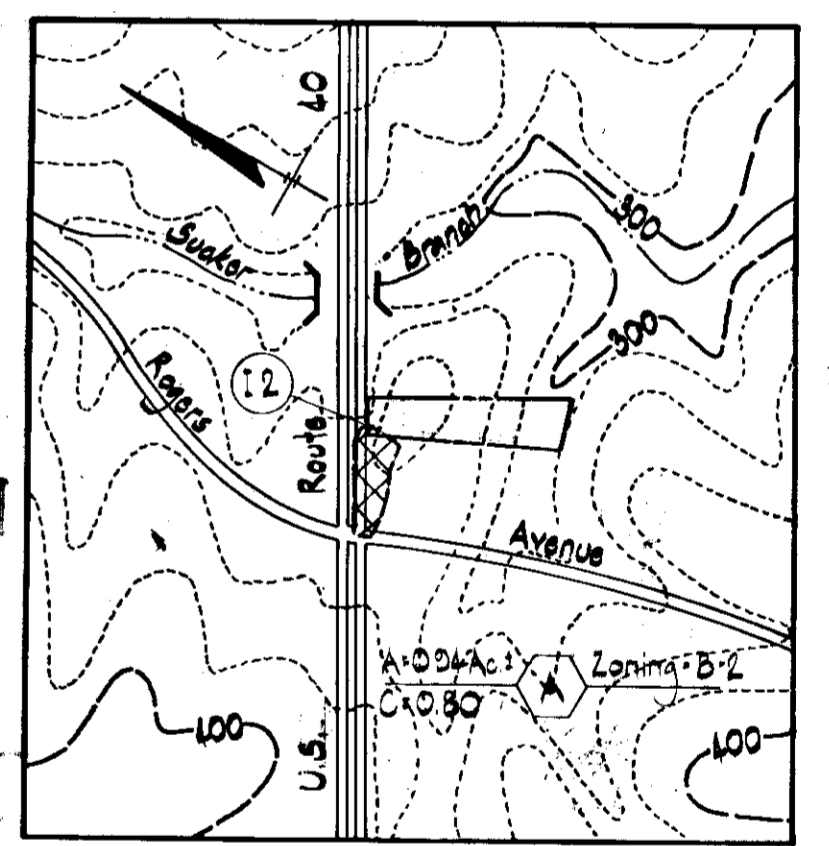
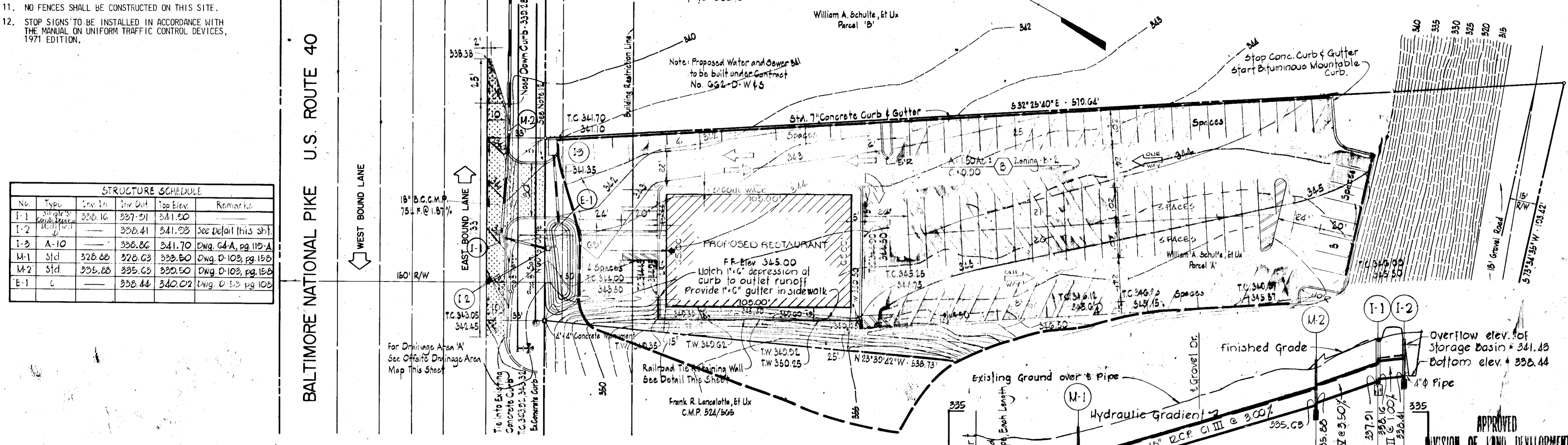
**TRASH GUARD DETAIL**  
Not to Scale

STRUCTURE SCHEDULE					
No.	Type	Inv. In	Inv. Out	Top Elev.	Remarks
I-1	6" Dia. Box Culvert	326.16	327.91	341.50	
I-2	18" R.C.C.P.		338.41	341.93	See Detail this sheet
I-3	A-10		338.86	341.70	Dwg. G-4-A, pg. 110-A
M-1	5' x 8' Box Culvert	328.88	328.03	339.50	Dwg. D-103, pg. 15B
M-2	5' x 8' Box Culvert	336.88	335.03	339.50	Dwg. D-103, pg. 15B
E-1	C		338.44	340.02	Dwg. D-103, pg. 15B

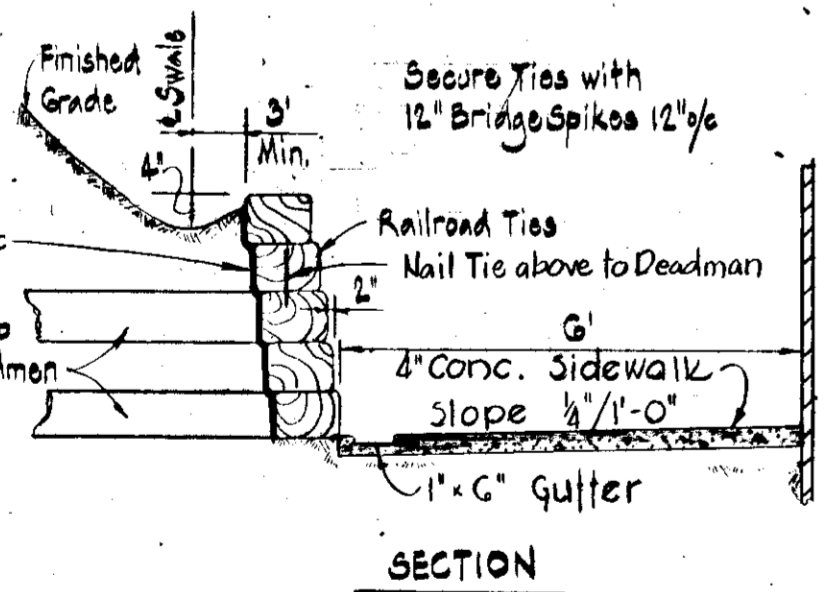
**BALTIMORE NATIONAL PIKE U.S. ROUTE 40**

**WEST BOUND LANE**

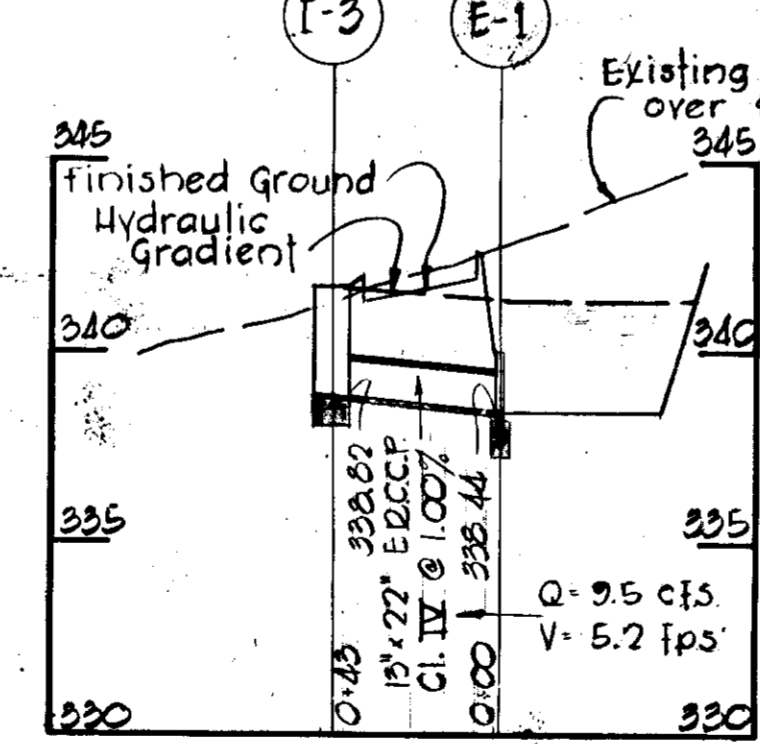
**EAST BOUND LANE**



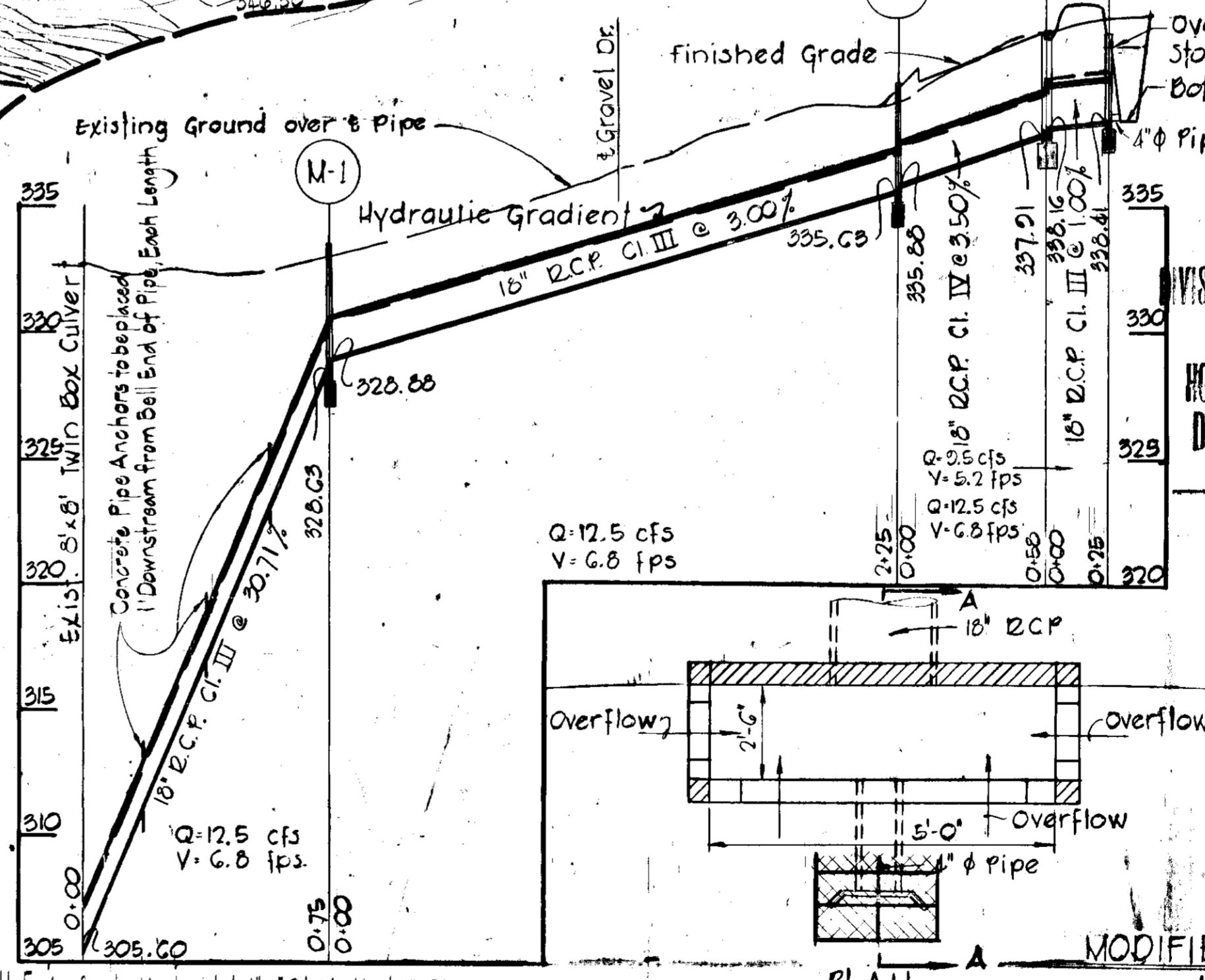
**OFFSITE DRAINAGE AREA MAP**  
Scale: 1" = 600'



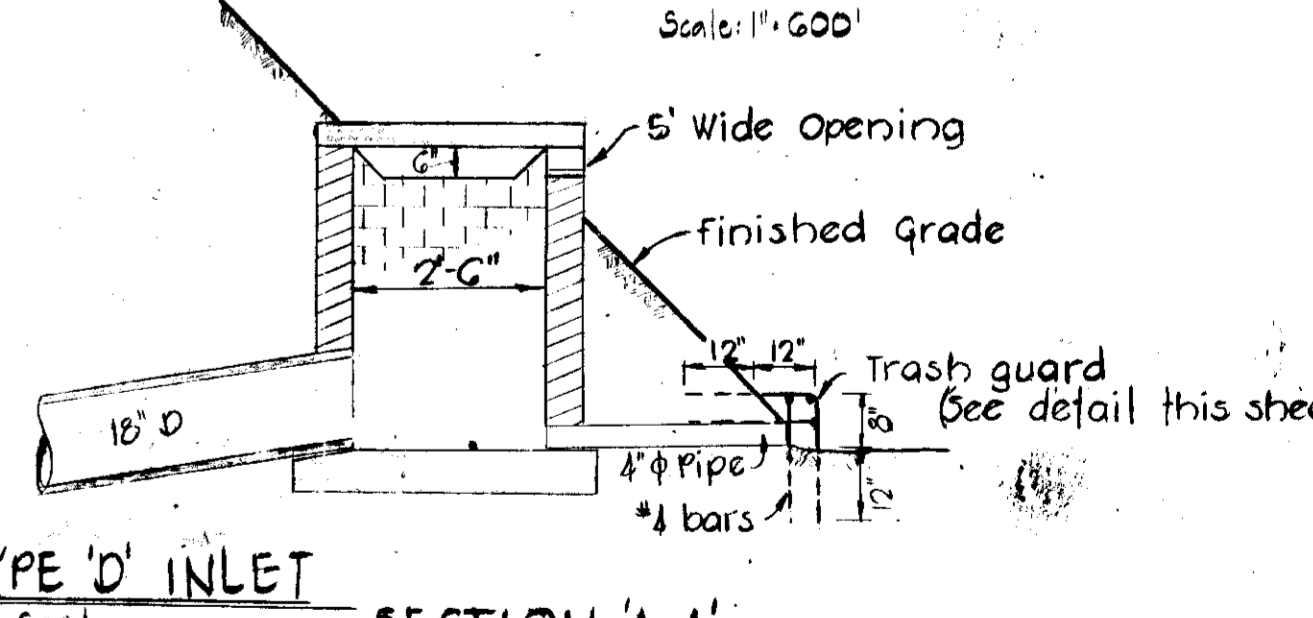
**RAILROAD TIE RETAINING WALL**  
Not to Scale



**STORM DRAIN PROFILE** : Scale: Horizontal 1" = 50', Vertical 1" = 5'



**MODIFIED TYPE 'D' INLET**  
Not to Scale



**SECTION 'A-A'**

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

*P. J. Regan, Jr.*  
DIRECTOR  
DATE: 7-15-76

*Thomas A. Harris*  
PLANNING DIRECTOR  
DATE: 7-22-76

*J. P. ...*  
COUNTY HEALTH OFFICER  
DATE: 7/20/76

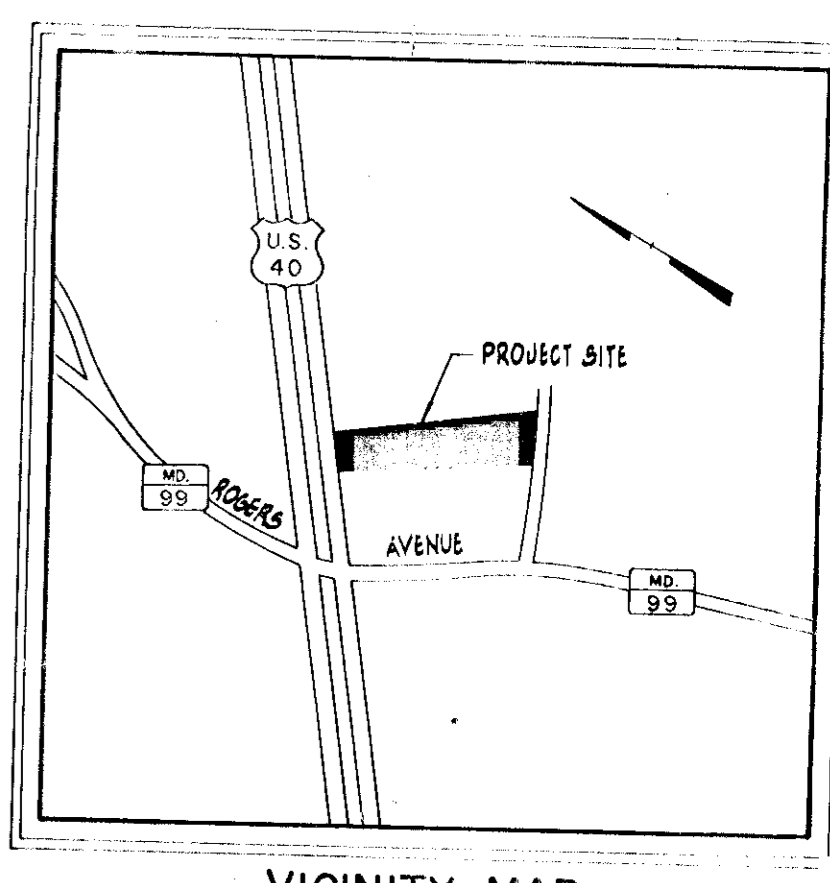
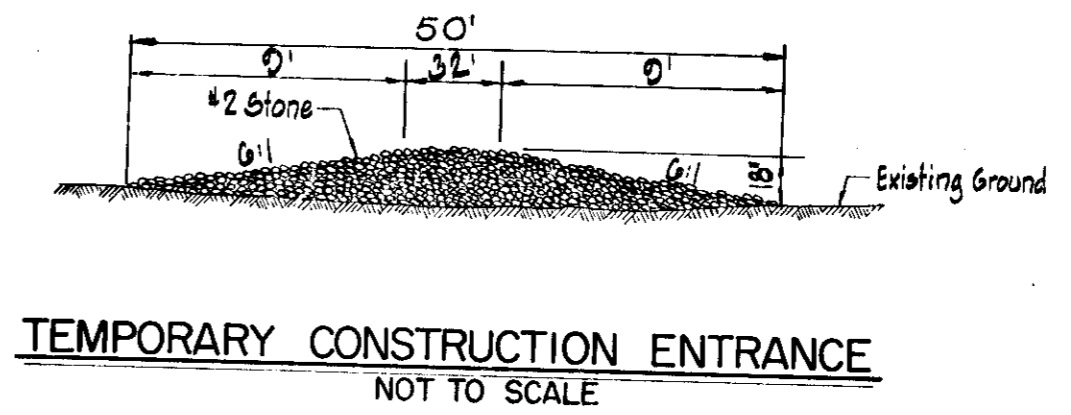
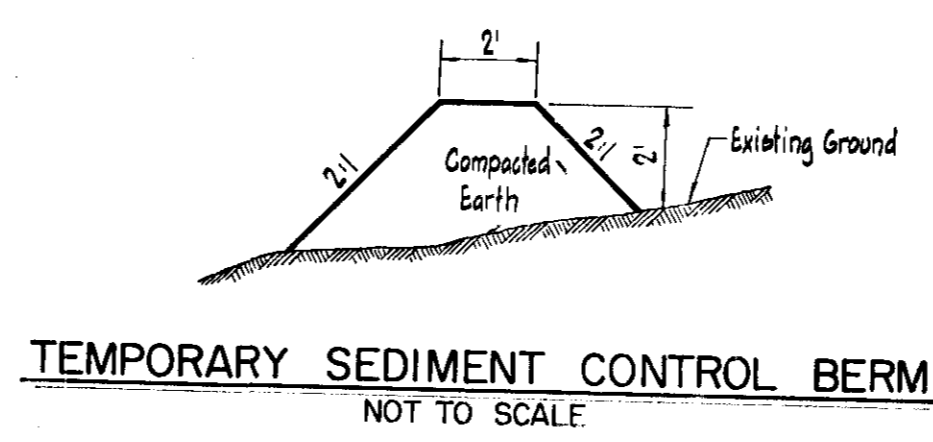
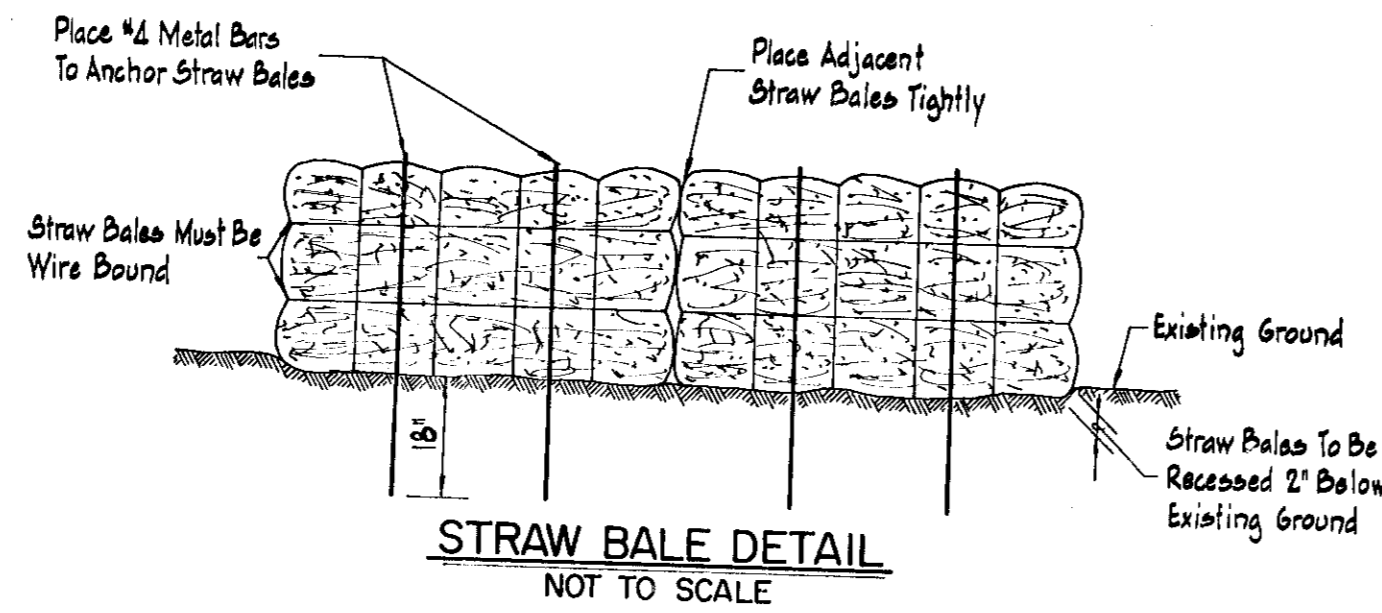
REVISIONS			
NO.	BY	DATE	DESCRIPTION
1	REC	5-17-76	Had Co. Comments dated 4-29-76
2	REC	6-2-76	Had Co. Comments dated 6-1-76

**DRAINAGE AREA MAP**  
WILLIAM A. SCHULTE ET. U.S. 147-148  
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
TAX MAP NO. 25 PARCEL NO. 197

**PURDUM & JESCHKE**  
CONSULTING ENGINEERS  
LAND SURVEYORS  
1023 North Colvert Street  
Baltimore, Maryland 21202 301/837-0194

**SEDIMENT CONTROL NOTES**

- The Developer shall notify the Howard County Soil Conservation District at least 24 hours prior to beginning construction shown hereon.
- Sediment control measures must be installed and stabilized prior to any grading operations.
- All areas disturbed by grading or Contractor's operations, not being paved shall be stabilized in accordance with Note 6-B.
- Sediment control measures shown on plan are not to be removed except with permission of Howard Soil Conservation District (465-5000 EXT. 328).
- No slopes steeper than 2:1 shall be created.
- Vegetative Stabilization:
  - Site Preparation
    - Narrow or disc the following materials at the rate specified in areas to receive temporary or permanent seedings:
      - Pulverized limestone @ 50<sup>1</sup>/1000 sq.ft.
      - Commercial Fertilizer 10-10-10 @ 25<sup>1</sup>/1000 sq.ft.
      - Super Phosphate @ 15<sup>1</sup>/1000 sq.ft.
    - Seeding:
      - Temporary - Italian or Perennial Ryegrass @ 40<sup>1</sup>/Acre
      - Permanent - Common Kentucky K-31 (certified) @ 40<sup>1</sup>/Acre and Crown Vetch Scarified and Inoculated @ 15<sup>1</sup>/Acre.
        - Seeded areas shall be raked with a York Rake (minimum 2 passes), covered and compacted with a Cultipacker or other approved method.
      - Mulching:
        - Seeded areas shall be uniformly mulched immediately after seeding with unweathered small grain straw at the rate of 1 1/2 to 2 tons/acre.
        - Tie down mulch with Liquid Asphalt (0.1 Gal./sq.yd.), or Emulsified Asphalt (0.04 Gal./sq.yd.)



**ESTIMATED SCHEDULE AND PHASING OF DEVELOPMENT**

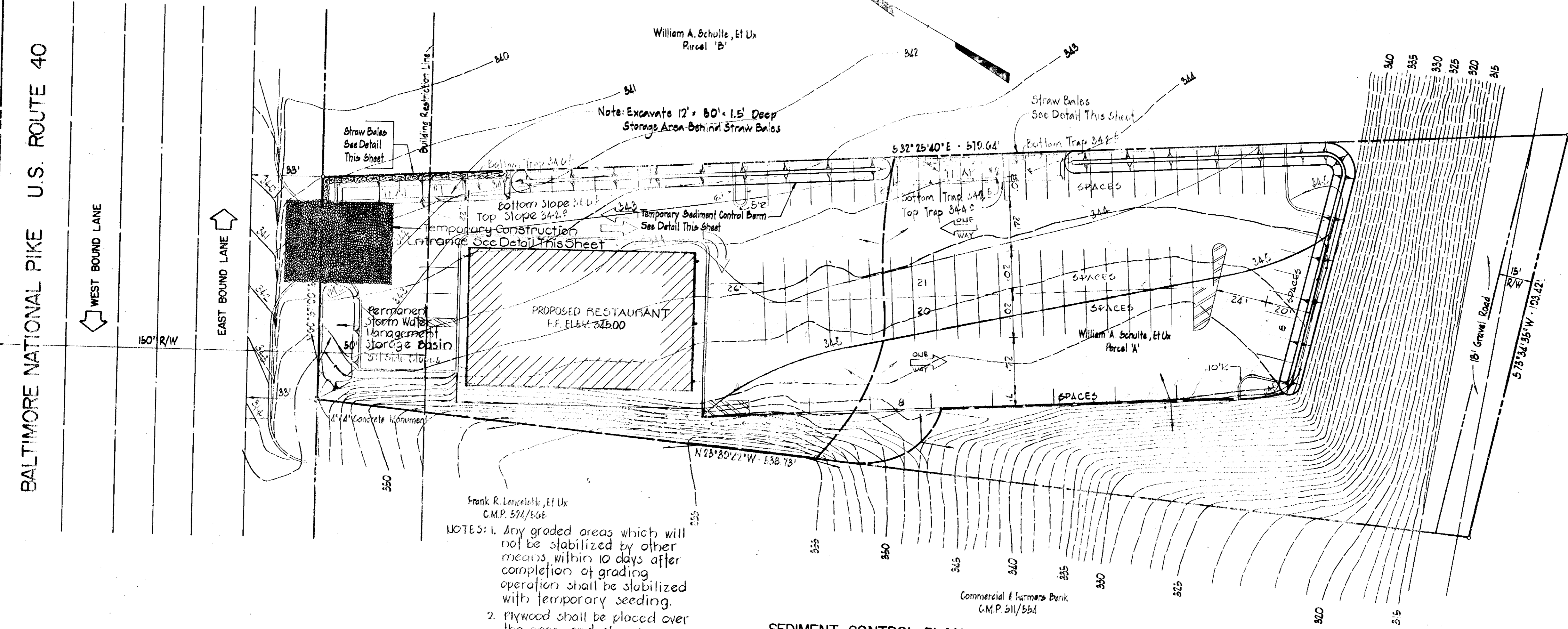
- Place temporary stone construction entrance.
- Construct temporary sediment control berm, stabilize berm in accordance with Note 6-B using temporary seeding and place straw bales as shown.
- Box out 12' x 80' x 1.5' deep trench in back of straw bales.
- Grade area immediately around the building and construct the building shell.
- Place parking area to subgrade, install onsite utilities and stabilize graded areas with temporary seeding if Base Course is not to be placed within 10 days.
- Construct retaining wall along southwest side of building and stabilize graded area behind wall with permanent seeding.
- Remove straw bales and temporary earth berm along north-east property line and place proposed concrete curb and gutter.
- Lay bituminous base courses, working from back to front of lot, remove construction entrance as required to accommodate paving operation.
- Lay surface pavement courses, curbs, and sidewalks.
- Complete interior of building.

**SITE ANALYSIS**

- Total Area of Site..... 1.88 Ac.±
- Area to be Paved..... 1.18 Ac.±
- Area to be Revegetated..... 0.14 Ac.±
- Net area not to be Disturbed..... 0.56 Ac.±

**SEDIMENT TRAPS #1 & #2 STORAGE AREA DESIGN DATA**

- Drainage Area = Trap #1 - 0.75 Ac.  
Trap #2 - 0.75 Ac.
- Disturbed Area = Trap #1 - 0.5 Ac.  
Trap #2 - 0.5 Ac.
- Required Storage = Trap #1 - 67 x 0.75 = 50.25 cu.yds.  
Trap #2 - 67 x 0.75 = 50.25 cu.yds.
- Storage Provided = Trap #1 = 53.33 cu.yds.  
Trap #2 = 53.33 cu.yds.
- Cleanout Elevation = Trap #1 - 341.25 (1/2 Trap Depth)  
Trap #2 - 343.25 (1/2 Trap Depth)



NOTES: 1. Any graded areas which will not be stabilized by other means within 10 days after completion of grading operation shall be stabilized with temporary seeding.  
2. Plywood shall be placed over the open end of any uncompleted storm drains at the end of each working day.

**SEDIMENT CONTROL PLAN**  
SCALE: 1" = 30'

7-1-76  
Skel

<p>APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.</p> <p><i>[Signature]</i> DATE: 7/15/76</p>	<p>APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.</p> <p><i>[Signature]</i> DATE: 7/15/76</p>	<p>APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.</p> <p><i>[Signature]</i> DATE: 7/15/76</p>	<p>HOWARD SOIL CONSERVATION DISTRICT</p> <p>REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS</p> <p><i>[Signature]</i> DATE: 7/15/76</p> <p>THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.</p> <p>APPROVED: <i>[Signature]</i> DATE: 7-15-76</p>	<p>DEVELOPER</p> <p>I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT.</p> <p><i>[Signature]</i> DATE: 7/15/76</p>	<p>PROFESSIONAL ENGINEER</p> <p>I CERTIFY THAT THIS PLAN FOR EROSION &amp; SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.</p> <p>CAY G. WEINEL, JR. DATE: _____ REG. NO. 8182</p>	<p>REVISIONS</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>08-05-76</td> <td>S.C.S. Comments Dated 8-6-76</td> </tr> <tr> <td>2</td> <td>07-15-76</td> <td>1.2.2 Comments Dated 7-15-76</td> </tr> </table>	NO.	DATE	DESCRIPTION	1	08-05-76	S.C.S. Comments Dated 8-6-76	2	07-15-76	1.2.2 Comments Dated 7-15-76	<p><b>SEDIMENT CONTROL PLAN</b></p> <p>WILLIAM A. SCHULTE, ET UX, PARCEL 'A'</p> <p>SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND</p> <p>TAX MAP NO. 25 PARCEL NO. 197</p> <p>ONE OF THE DEVELOPERS: SIR WALTER RALEIGH INNS, INC. THOMAS BRADFORD, JR. SITE 200 4408 EAST-WEST HIGHWAY BETHESDA, MARYLAND 20014 301/602-3240</p>	<p><b>PURDUM &amp; JESCHKE</b></p> <p>CONSULTING ENGINEERS LAND SURVEYORS</p> <p>1023 North Calvert Street Baltimore, Maryland 21202 301/837-0194</p> <p>Design: C. J. Casper Drawn: B. Burton Checked: R. E. Carter</p> <p>Scale: As Noted Date: August 9, 1974 Sheet No. 3 of 3</p>
NO.	DATE	DESCRIPTION															
1	08-05-76	S.C.S. Comments Dated 8-6-76															
2	07-15-76	1.2.2 Comments Dated 7-15-76															