

E 847,500

OPEN SPACE LOT 330

VILLAGE OF OWEN BROWN
SECTION 2 AREA 3
PLAT BOOK 25, FOLIO 20

EVERGREENS
Min. 6' High; 10' Centers
in 2 or more staggered
rows.

E 848,000

SCREENING LEGEND

- Street Trees
- Intermediate Trees
- Evergreen
- Deciduous
- 5' High Wood Fence

NOTE: Location of all plant material for screening is to be approved in the field by the Landscape Architect. Plant material to be installed by others.

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

APPROVED FOR HOWARD COUNTY OFFICE OF PLANNING AND ZONING

APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

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EVERGREENS
Min. 6' High;
10' centers in 2
or more staggered rows

WHITMAN, REQUARDT & ASSOCIATES
ENGINEERS
1304 ST. PAUL STREET
BALTIMORE MARYLAND 21202

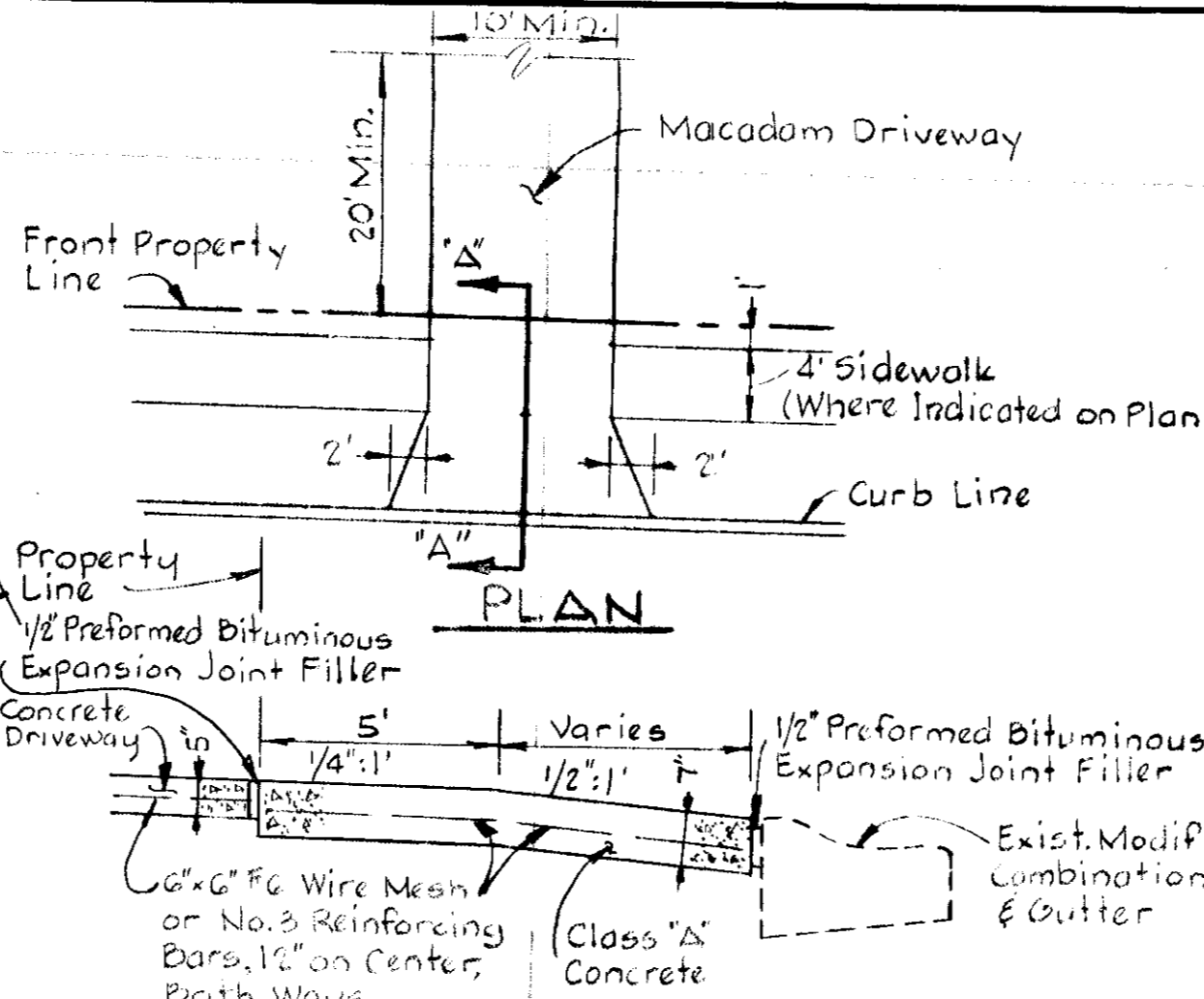
Kenneth A. McCord P.E. No. 1074

OAKLAND MILLS ROAD

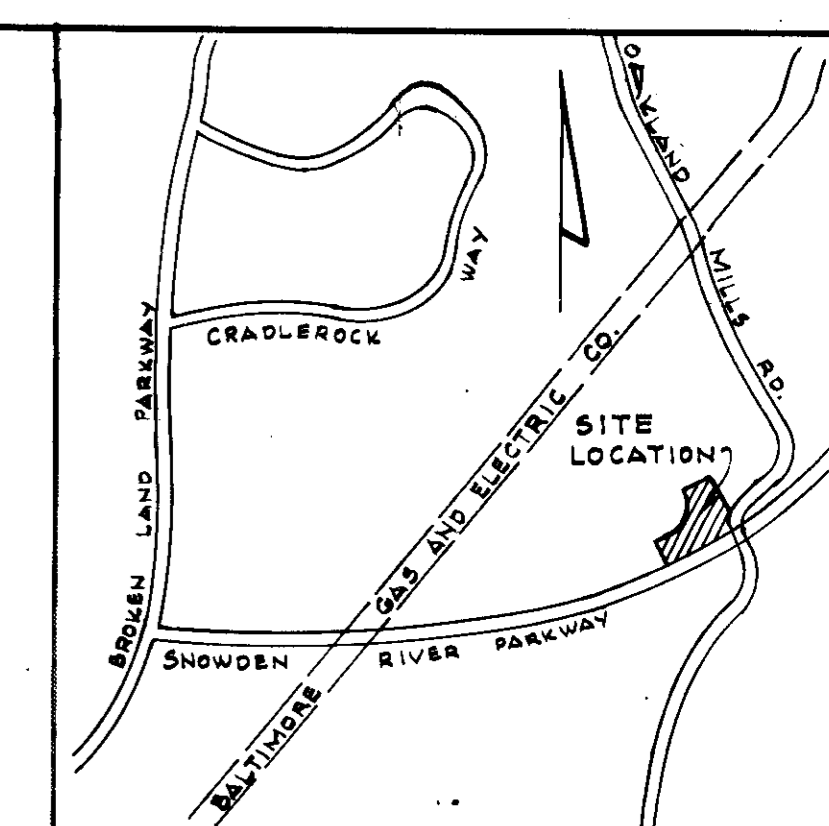
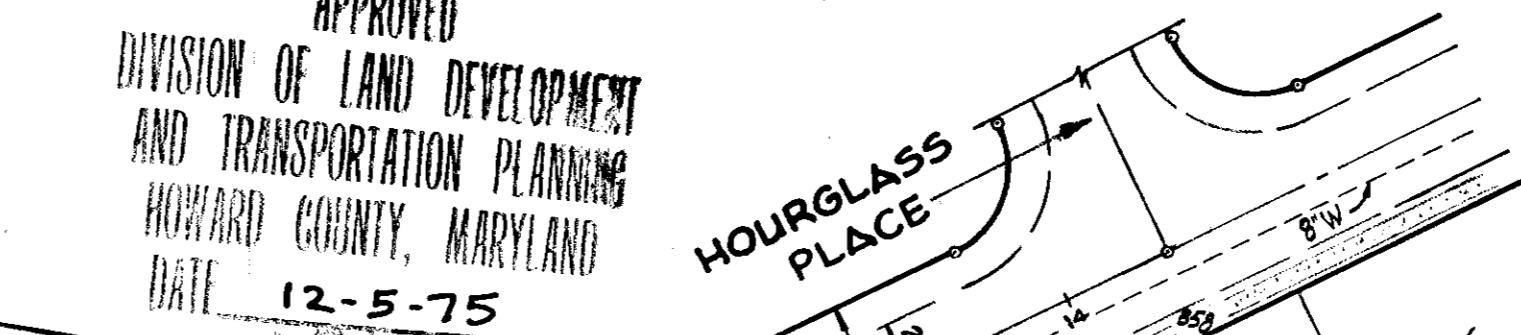
**DRIVEWAY ABUTTING
MOD. COMB. CURB & GUTTER**

Notes: See Section on Driveway, 1/2" Ramps, Howards
(See Approved Preliminary Plan P-75-14C) for
Driveway, 1/2" Ramps, Howards
Curb & Gutter.

SECTION "A-A"



TYPICAL BUILDING PLANS AND ELEVATIONS



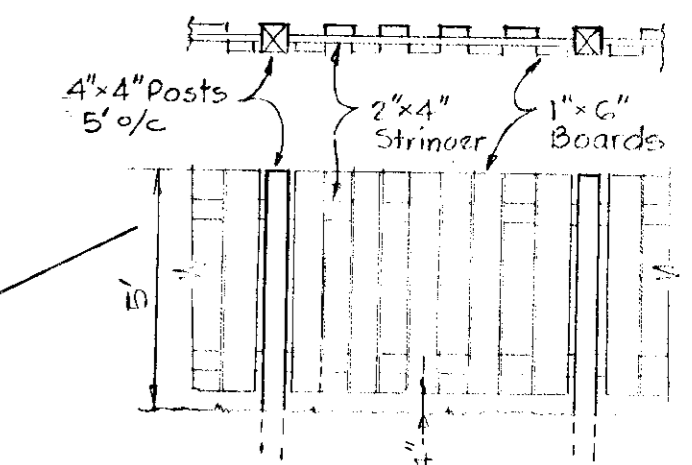
VICINITY MAP
Scale: 1" = 3,000'

GENERAL NOTES

1. All coordinates are based on Maryland State Grid System. Elevations are based on the U.S. Coast and Geodetic Survey Mean Sea Level Datum of 1929.
2. The lots shown on this plan are covered by Final Development Plan Phase 118 Part III recorded in Plat Book 20 Folios 211 to 220.
3. The area covered in this submission is located on Tax Map No. 42.
4. The total area included in this plan is 11.960 Acres.
5. The land included in this plan is zoned New Town (S.F.M.D.).
6. Building coverage varies from 5% to 25%.
7. For bearings and distances of individual lot lines, see record plat recorded in Plat Book 25 Folios 20 and 24.
8. All roadways shown are public and existing.
9. Any damage to public right-of-way or paving must be corrected at Developer's expense. All materials and construction shall be in accordance with the Howard County Road Construction Code and Standard Specifications.

LEGEND

1. Contour Interval 2 Ft.
2. Existing Contours 450
3. Proposed Contours 450
4. Spot Elevations 50-5
5. Direction of Drainage
6. Yard Requirements:
Front - 20' on 50' Wide Streets
Side - 7.5' (Min.)
7. 100 Year Flood Plain Elev. 810.5



FENCE DETAIL
No Scale

THE HOWARD RESEARCH AND DEVELOPMENT CORP.

OWNER
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21045

No.	DATE	DESCRIPTION OF REVISIONS

**COLUMBIA
SITE PLAN**

FOR
VILLAGE OF OWEN BROWN
SECTION 2 AREA 3
LOTS 205 THRU 273
SHEET 1 OF 5

ELECTION DISTRICT NO. 6, HOWARD COUNTY, MARYLAND

DATE: Dec. 2, 1975

SCALE: 1" = 50'
SDP-76-37C

WASHINGTON HOMES, INC.

BUILDER
6192 OXON HILL ROAD
SUITE 400
OXON HILL, MARYLAND 20022

THIS SUBMISSION
CONSISTS OF 63 LOTS

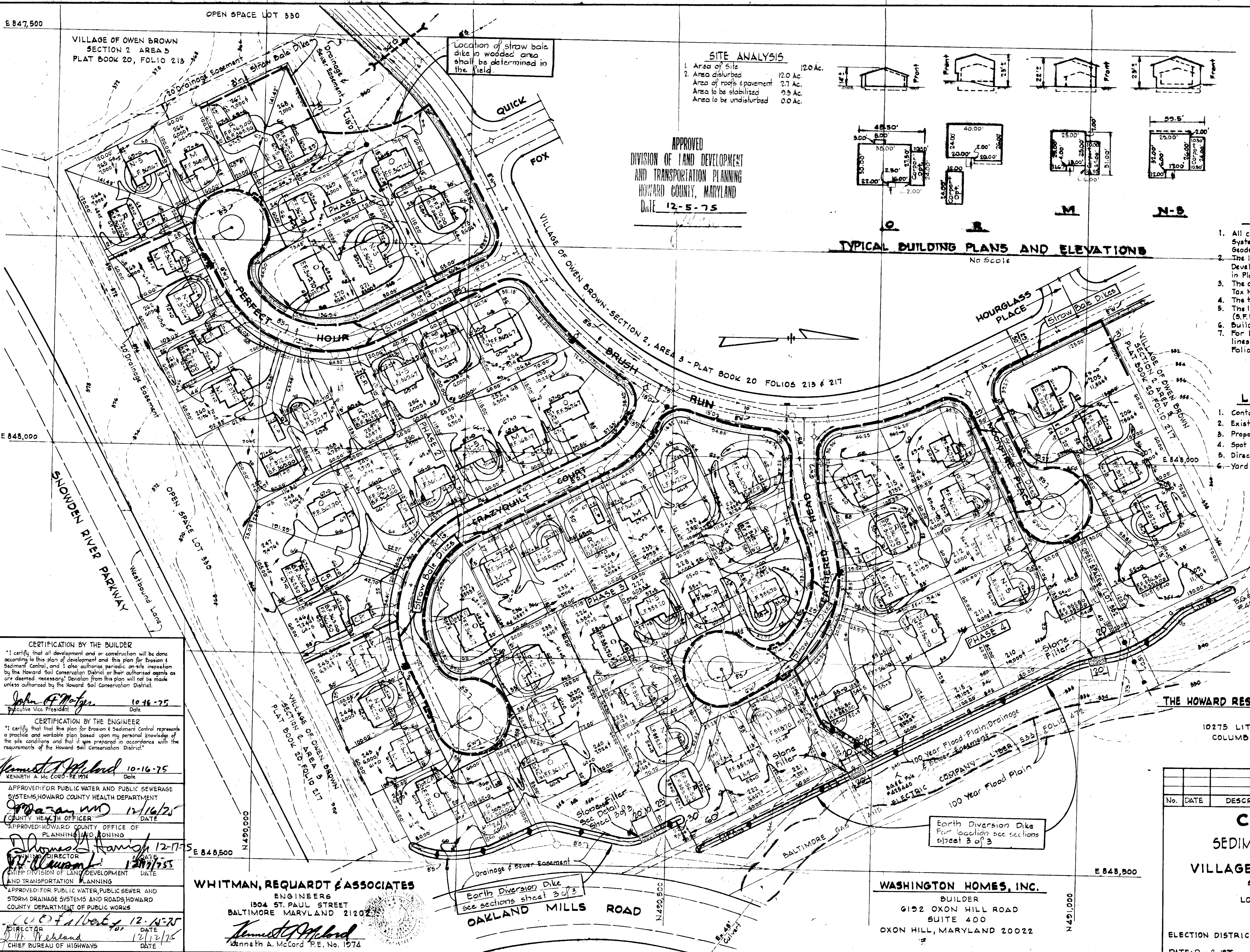
E 848,500

N 490,000

E 847,500

VILLAGE OF OWEN BROWN
SECTION 2 AREA 3
PLAT BOOK 20, FOLIO 213

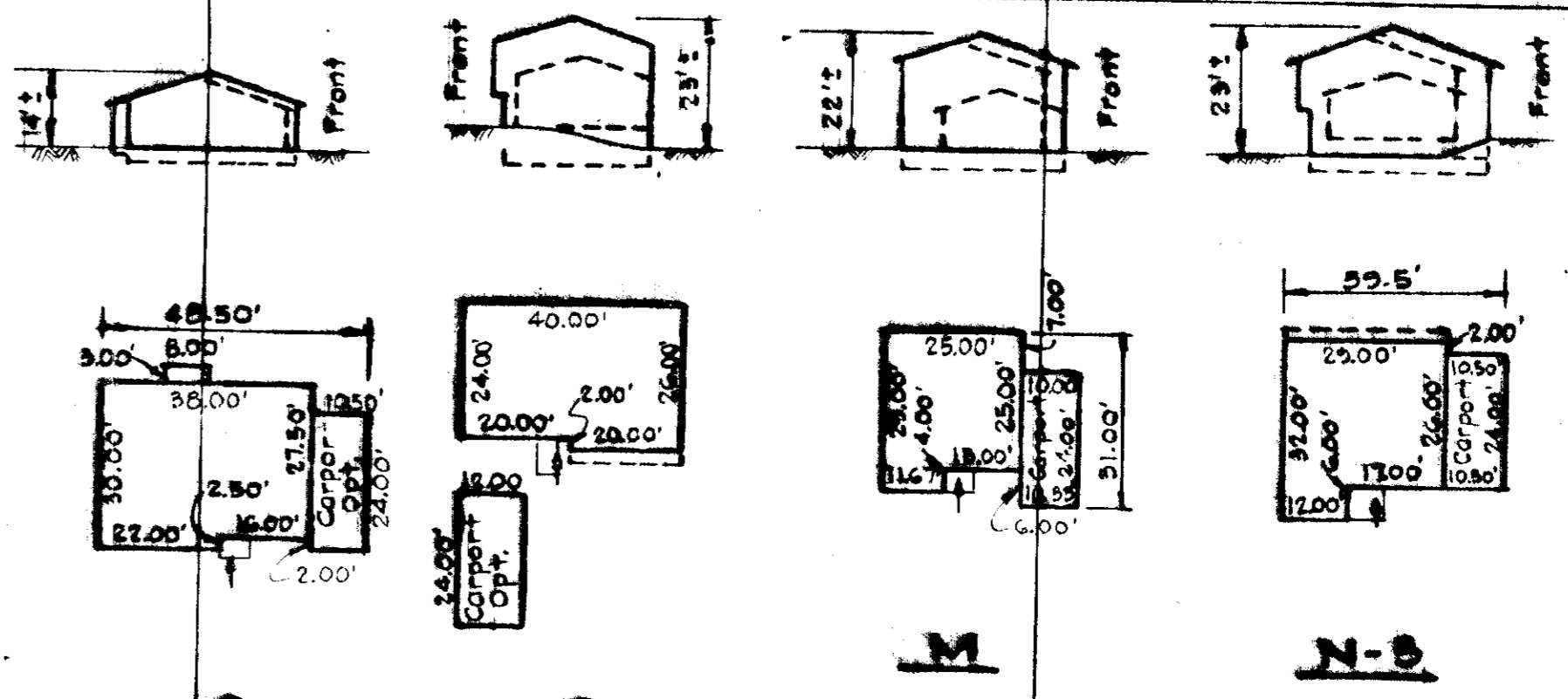
OPEN SPACE LOT 330



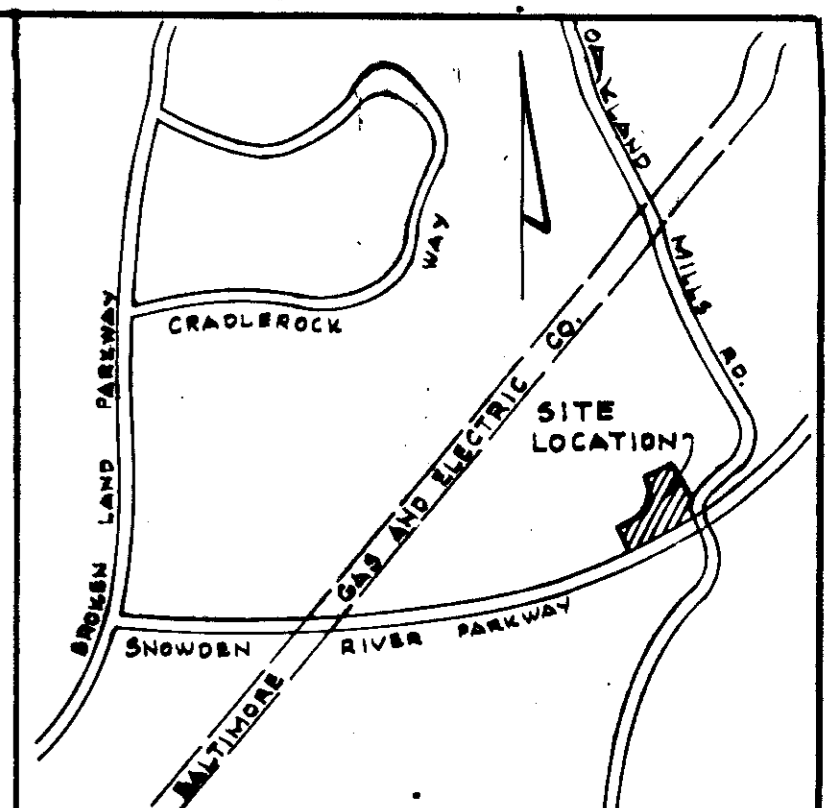
SITE ANALYSIS

- 1. Area of Site 12.0 Ac.
- 2. Area disturbed 12.0 Ac.
- Area of roofs & pavement 2.7 Ac.
- Area to be stabilized 9.3 Ac.
- Area to be undisturbed 0.0 Ac.

APPROVED
DIVISION OF LAND DEVELOPMENT
AND TRANSPORTATION PLANNING
HOWARD COUNTY, MARYLAND
DATE 12-5-75



TYPICAL BUILDING PLANS AND ELEVATIONS
No Scale



VICINITY MAP
Scale: 1" = 3,000'

GENERAL NOTES

- All coordinates are based on Maryland State Grid System. Elevations are based on the U.S. Coast and Geodetic Survey Mean Sea Level Datum of 1929.
- The lots shown on this plan are covered by Final Development Plan Phase III Part III recorded in Plat Book 20 Folios 211 to 220.
- The area covered in this submission is located on Tax Map No. 42.
- The total area included in this plan is 11.925 Acres.
- The land included in this plan is zoned New Town (S.F.M.D.).
- Building coverage varies from
- For bearings and distances of individual lot lines, see record plat recorded in Plat Book 20 Folios 213 and 217.

LEGEND

- Contour Interval 2 Ft.
- Existing Contours --- 450 ---
- Proposed Contours --- 450 ---
- Spot Elevations 50-5
- Direction of Drainage →
- Yard Requirements:
Front - 20' on 50' Wide Streets
Side - 7.5' (Min.)

THIS PLAN HAS BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Eric V. Herman 12/10/75
U.S. SOIL CONSERVATION SERVICE

THIS PLAN FOR SOIL EROSION AND SEDIMENT CONTROL MEETS THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *Robert J. Zeller 12/10/75*
HOWARD (S.C.D.) DATE
SEP 26 75
PLAN NUMBER

THE HOWARD RESEARCH AND DEVELOPMENT CORP.

OWNER
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21045

No.	DATE	DESCRIPTION OF REVISIONS

COLUMBIA
SEDIMENT CONTROL PLAN
FOR
VILLAGE OF OWEN BROWN
SECTION 2 AREA 3
LOTS 205 THRU 273

SHEET 2 OF 3

ELECTION DISTRICT NO. G, HOWARD COUNTY, MARYLAND
DATE: Dec 2, 1975

SCALE: 1" = 50'
SDP-76-37c

CERTIFICATION BY THE BUILDER
I certify that all development and/or construction will be done according to this plan of development and this plan for Erosion & Sediment Control, and I also authorize periodic on-site inspections by the Howard Soil Conservation District or their authorized agents as are deemed necessary. Deviation from this plan will not be made unless authorized by the Howard Soil Conservation District.

John A. Motz 10-16-75
Executive Vice President Date

CERTIFICATION BY THE ENGINEER
I certify that this plan for Erosion & Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Kenneth A. McCord 10-16-75
KENNETH A. McCORD - P.E. 1974 Date

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
James W. ... 12/16/75
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
Thomas J. ... 12-17-75
DIRECTOR DATE
William ... 12/17/75
CHIEF DIVISION OF LAND DEVELOPMENT AND TRANSPORTATION PLANNING DATE

APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
W. O. ... 12-17-75
DIRECTOR DATE
W. M. ... 12/17/75
CHIEF BUREAU OF HIGHWAYS DATE

WHITMAN, REQUARDT & ASSOCIATES
ENGINEERS
1904 ST. PAUL STREET
BALTIMORE MARYLAND 21202

Kenneth A. McCord
Kenneth A. McCord P.E. No. 1974

WASHINGTON HOMES, INC.
BUILDER
6152 OXON HILL ROAD
SUITE 400
OXON HILL, MARYLAND 20022

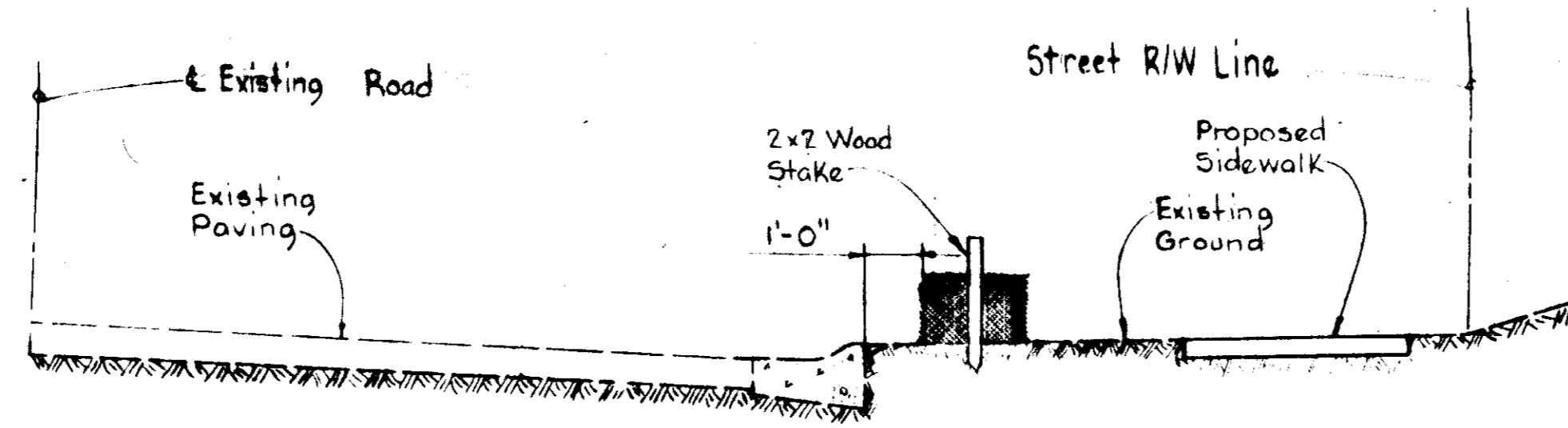
Earth Diversion Dike
see sections sheet 3 of 3

OAKLAND MILLS ROAD

Earth Diversion Dike
For location see sections sheet 3 of 3

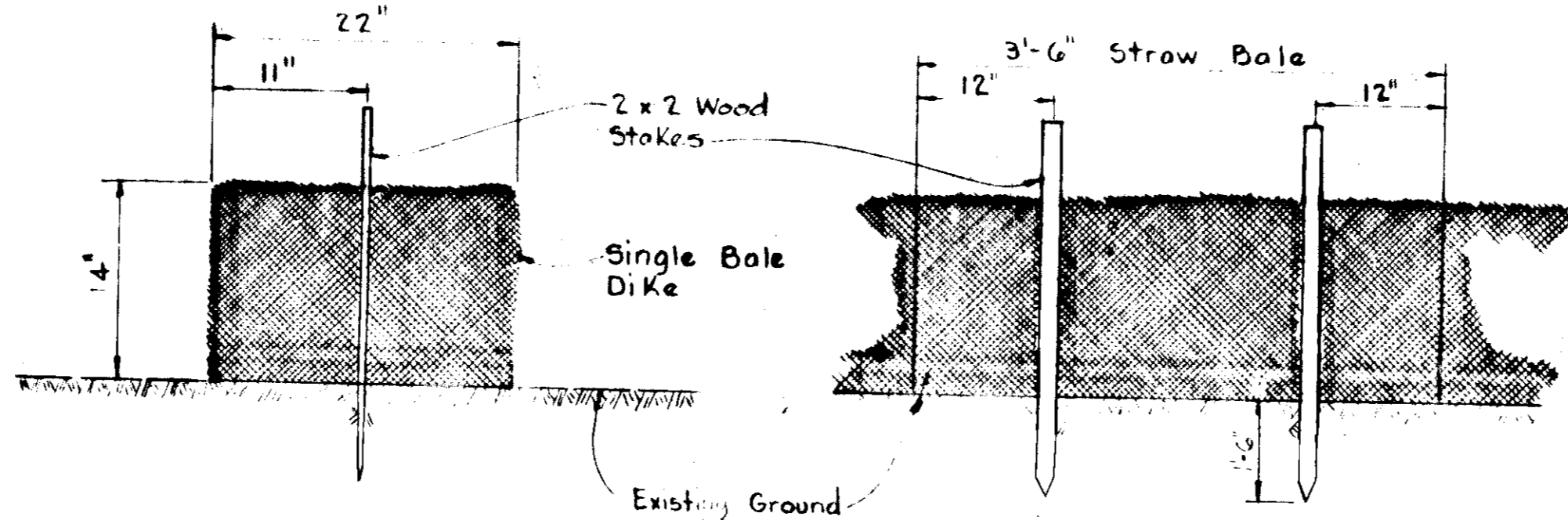
SEDIMENT CONTROL NOTES

1. Prior to starting grading the contractor shall give 24 hrs notice to the Howard Soil Conservation District and the Howard County Bureau of Licenses, Inspections, and Permits.
2. All sediment control measures must be constructed and stabilized according to notes 4 & 5 prior to any other grading on the site.
3. No temporary sediment control structure may be removed or destroyed without approval of the Howard County Soil Conservation District.
4. All areas to be temporarily seeded shall receive Italian rye grass at the rate of 40#/acre. Sow with mechanical spreader, rake minimum of two (2) passes with "Yark Rake," cover and compact with cultipacker. Surface preparation to include ground limestone over topsoil surface area at the rate of One Ton/Acre, (50#/1000) commercial fertilizer (5-10-10) at the rate of 1/2 Ton/Acre (25#/1000).
5. Mulch areas with straw at rate of 50#/1000* or One Ton/Acre. Anchor with asphalt at rate of 400 Gallons/Acre. Drainage swales with slopes greater than 2% will be mulched as stated but the mulch in the center of the channel will be anchored with plastic netting 1/2' according to manufacturer's recommendations.
6. All earthwork stockpiles that will not be disturbed for 4 months or longer, shall immediately after piling be fertilized, limed and seeded with annual Rye grass at the rate of 1#/1000*, and mulched according to note 5.
7. Earthen Dikes, and Drainage Swales shall be stabilized immediately after construction of same according to notes 4 & 5.
8. No Ingress or Egress is allowed along "BRUSH RUN" during grading construction. Where access is decided upon grading contractor shall provide a 20' wide, 50' long, and 8 inch in depth stone entrance road from the paved street. The grading contractor shall keep all paved street surfaces free of soil accumulation that may be caused by the grading operation and traffic.
9. The straw bale dikes, and earth diversion dikes with stone filters must be maintained throughout the construction duration, or on a daily basis.
10. All straw bale dikes which are removed for sidewalk and utility access and construction shall be replaced at the end of each working day and after completion of the work by the sidewalk and/or utility contractors.
11. The contractor shall verify the location of the 12" Gas main, 8" sanitary sewers and storm drains including manholes along the eastern boundary. The earth diversion dike shall not be placed over existing utilities except where crossings occur. In no case shall the earth dike be placed over existing manholes.

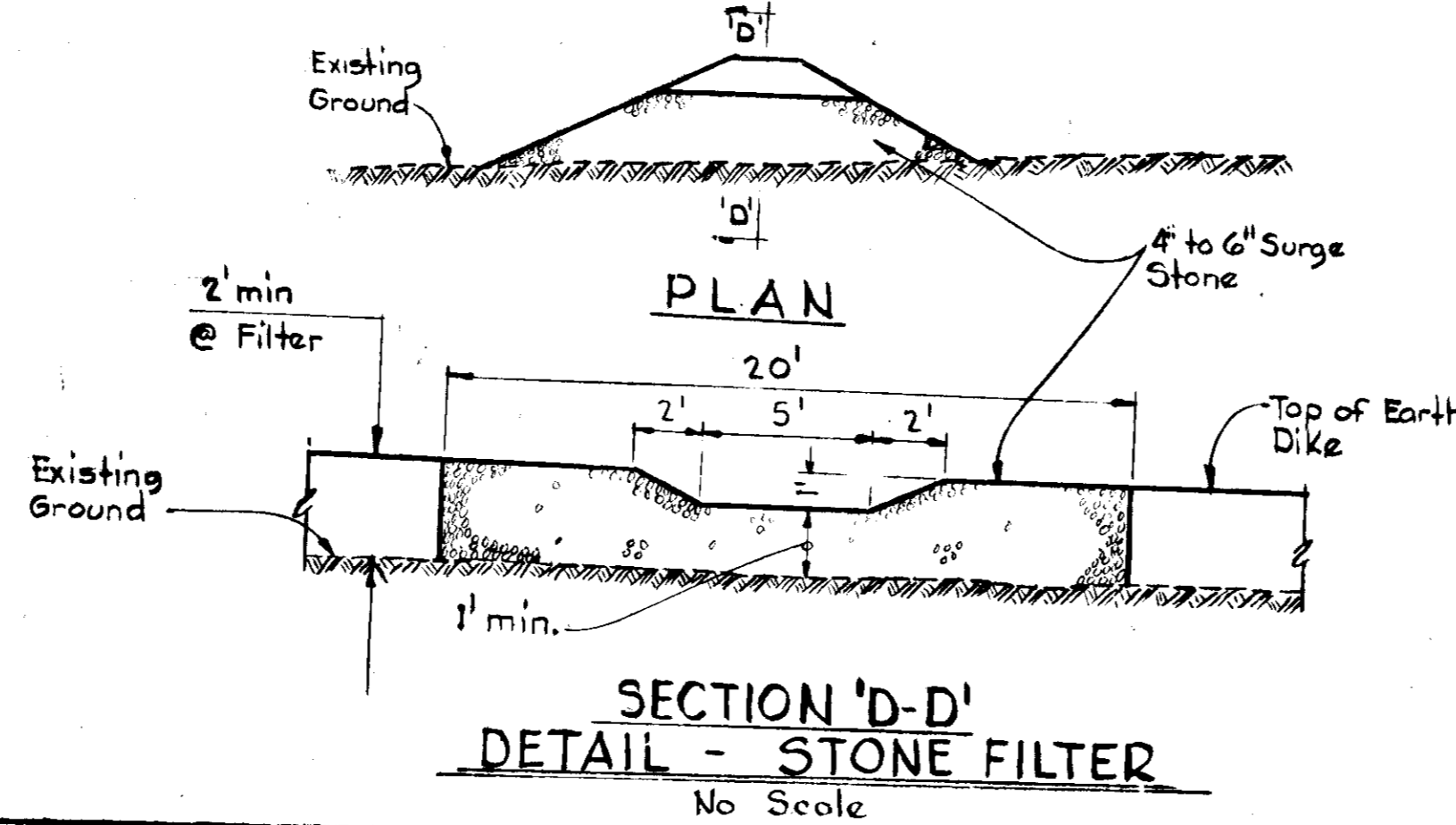


TYPICAL HALF SECTION ALONG STREET R/W
Scale: 3/8" = 1'-0"

- NOTES:
1. Each straw bale shall be properly anchored with two (2) wood stakes.
 2. Straw Bales must be bound with nylon or wire.



SECTION DETAIL - STRAW BALE DIKE
Scale: 1" = 1'-0"

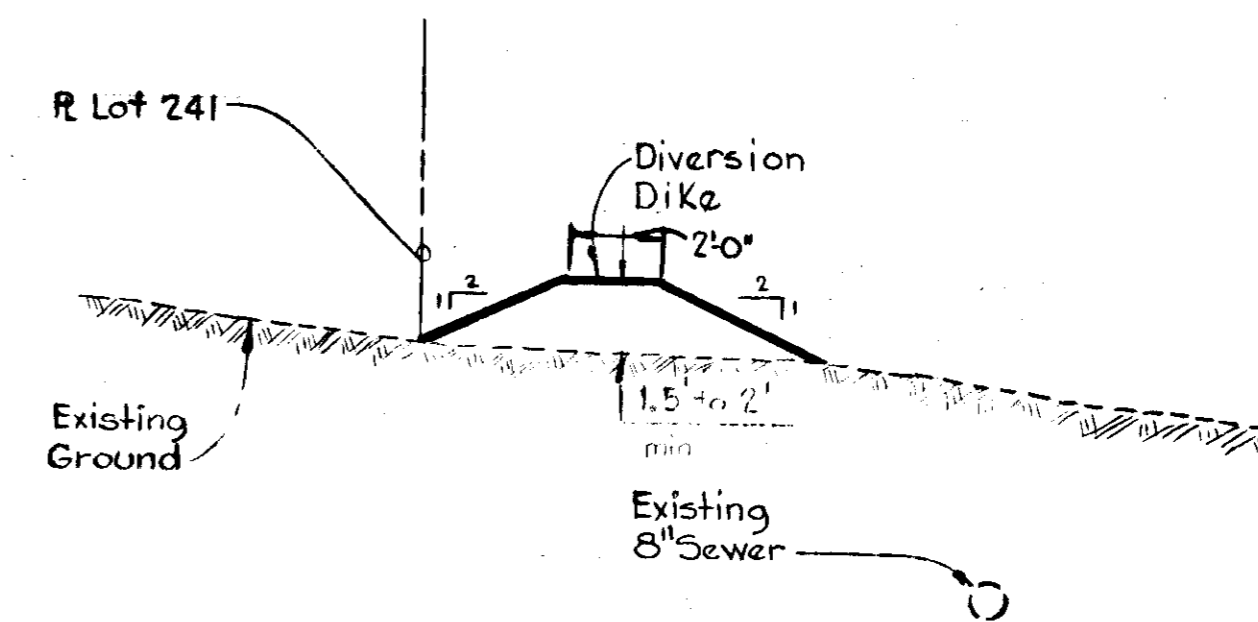


SECTION 'D-D' DETAIL - STONE FILTER
No Scale

HOUSE CONSTRUCTION PHASES	
PHASE	LOTS
1	264 thru 273
2	246 thru 263
3	221 thru 245
4	205 thru 220

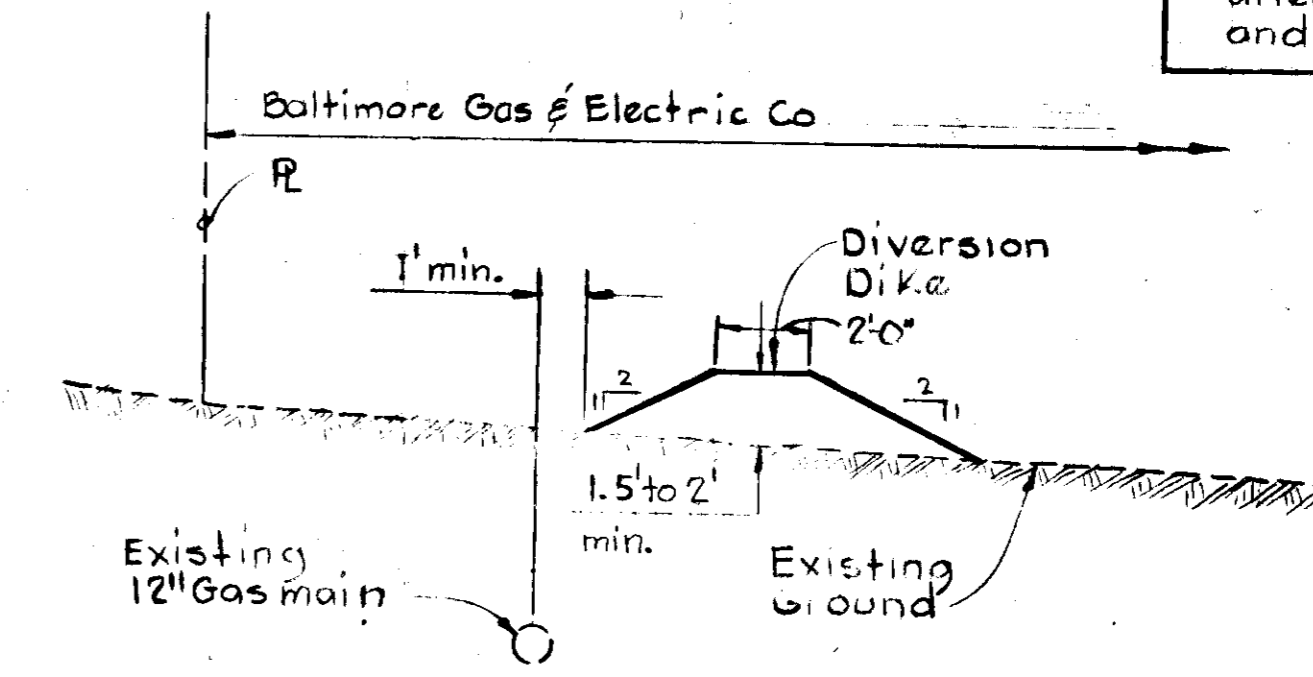
CONSTRUCTION SEQUENCE

1. Place the straw bale dikes and the earth diversion dikes with stone filters as shown on the plan. Cap all inlet openings as per detail this sheet.
2. Stabilize the earth diversion dikes according to notes 4 & 5 of Sediment Control Notes.
3. Strip the area to be graded and stabilize topsoil stockpiles according to notes 4 & 5 of the Sediment Control Notes.
4. Grade the site as required. Clean existing paved street surfaces during grading operations.
5. Complete grading, utility, house, sidewalk, and driveway construction and stabilize all lawn areas according to Permanent Seeding Note. Clean the paved street surfaces during development construction.
6. Clean existing storm drain systems. Clean the paved street surfaces.
7. Remove the sediment control structures after all construction is complete and grass is established in the contributing drainage area. In accordance with the Permanent Seeding Note, stabilize areas where sediment control structures have been removed and other areas where little or poor vegetation has been secured.

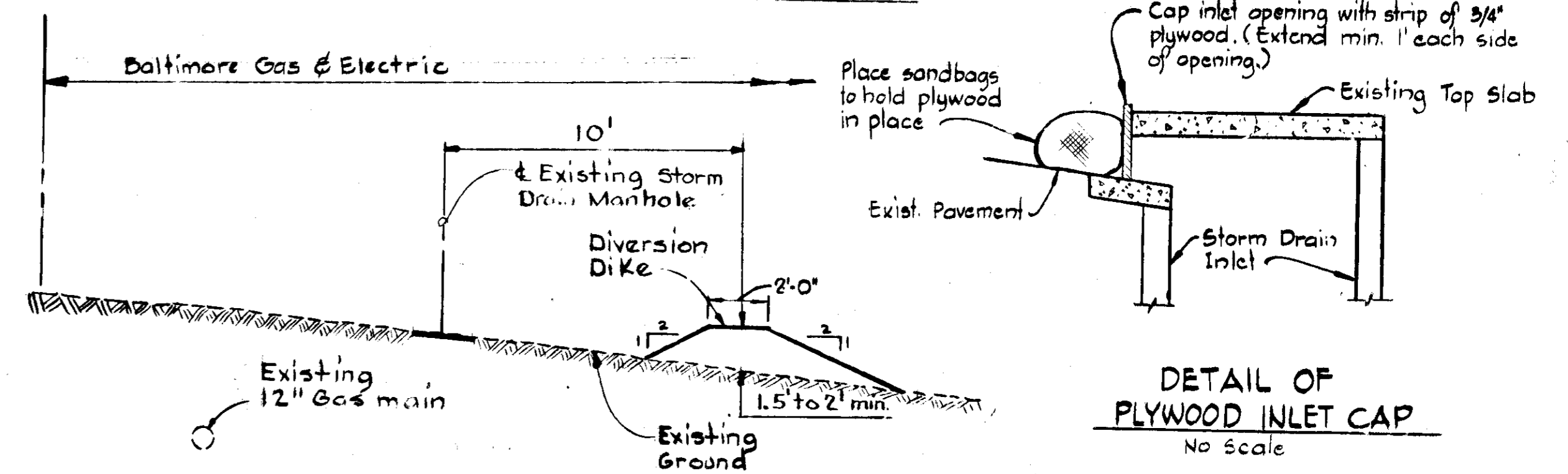


SECTION BEHIND LOT 241

NOTE:
Top of side slopes of Earth Diversion Dikes shall be stabilized immediately after construction, see notes 4 and 5 this sheet.



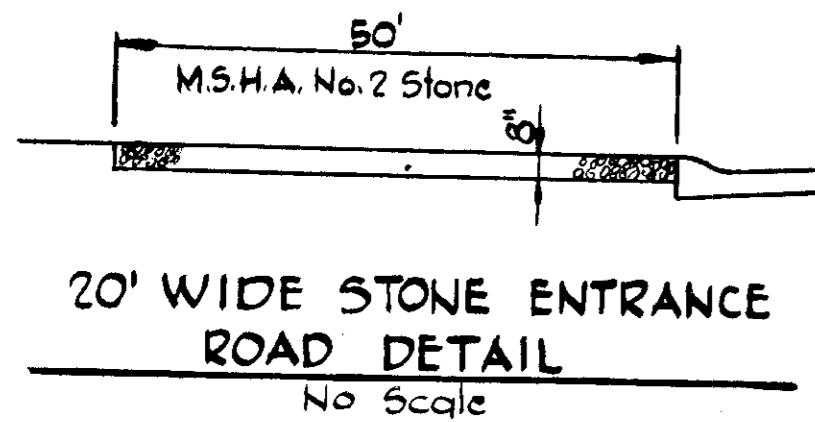
SECTION BEHIND LOTS 209 THRU 223



SECTION @ STORM DRAIN, OPEN SPACE LOT 332

SECTIONS - EARTH DIVERSION DIKES
No Scale

APPROVED
DIVISION OF LAND DEVELOPMENT
AND TRANSPORTATION PLANNING
HOWARD COUNTY, MARYLAND
DATE: 12-5-75
JWC



PERMANENT SEEDING

Lime: 1 ton/Acre agricultural ground limestone = 50#/1000*
Fertilizer: 1000 lbs./Acre (5-10-10) = 25#/1000*
Seeding: 100 lbs./Acre of the following:
20% Kentucky Blue Grass
20% Marion Blue Grass
55% Creeping Red Fescue
5% Redtop
Mulch as stated under note 5 above
Stabilization of slopes steeper than 3:1 shall be planted with crownvetch inoculated 15 lbs./Acre (0.54 lbs./1000*), Kentucky 31" Tall Fescue 40 lbs./Acre (11 lbs./1000*).

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
COUNTY HEALTH OFFICER
DATE: 12/10/75

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
DIRECTOR
DATE: 12-17-75

APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DIRECTOR
DATE: 12-17-75

CERTIFICATION BY THE ENGINEER
"I certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
KENNETH A. McCORD - P.E. 1974
DATE: 10-15-75

CERTIFICATION BY THE BUILDER
"I certify that all development and/or construction will be done according to this plan of development and plan for Erosion and Sediment Control, and I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary. Deviation from this plan will not be made unless authorized by the Howard Soil Conservation District."
John A. McLean
EXECUTIVE VICE-PRESIDENT
DATE: 10-15-75

THIS PLAN HAS BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.
Eric W. Hanson
U.S. SOIL CONSERVATION SERVICE DATE: 12/10/75

THIS PLAN FOR SOIL EROSION AND SEDIMENT CONTROL MEETS THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
APPROVED: Kenneth A. McCord
HOWARD S.C.D. DATE: 12/10/75
PLAN NUMBER: SDP-76-37

HOWARD RESEARCH AND DEVELOPMENT CORPORATION
OWNER
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21045

WASHINGTON HOMES, INC.
BUILDER
6192 OXON HILL ROAD
SUITE 400
OXON HILL, MARYLAND 20022

WHITMAN, REQUARDT & ASSOCIATES
ENGINEERS
1804 ST. PAUL STREET
BALTIMORE, MARYLAND 21202
Kenneth A. McCord, P.E. No. 1974

No.	DATE	DESCRIPTION OF REVISIONS

COLUMBIA
SEDIMENT CONTROL PLAN
FOR
VILLAGE OF OWEN BROWN
SECTION 2 AREA 3
LOTS 205 THRU 273
SHEET 3 OF 3
ELECTION DISTRICT No. 6, HOWARD COUNTY, MARYLAND
DATE: December 2, 1975
SCALE: AS SHOWN
SDP-76-37c