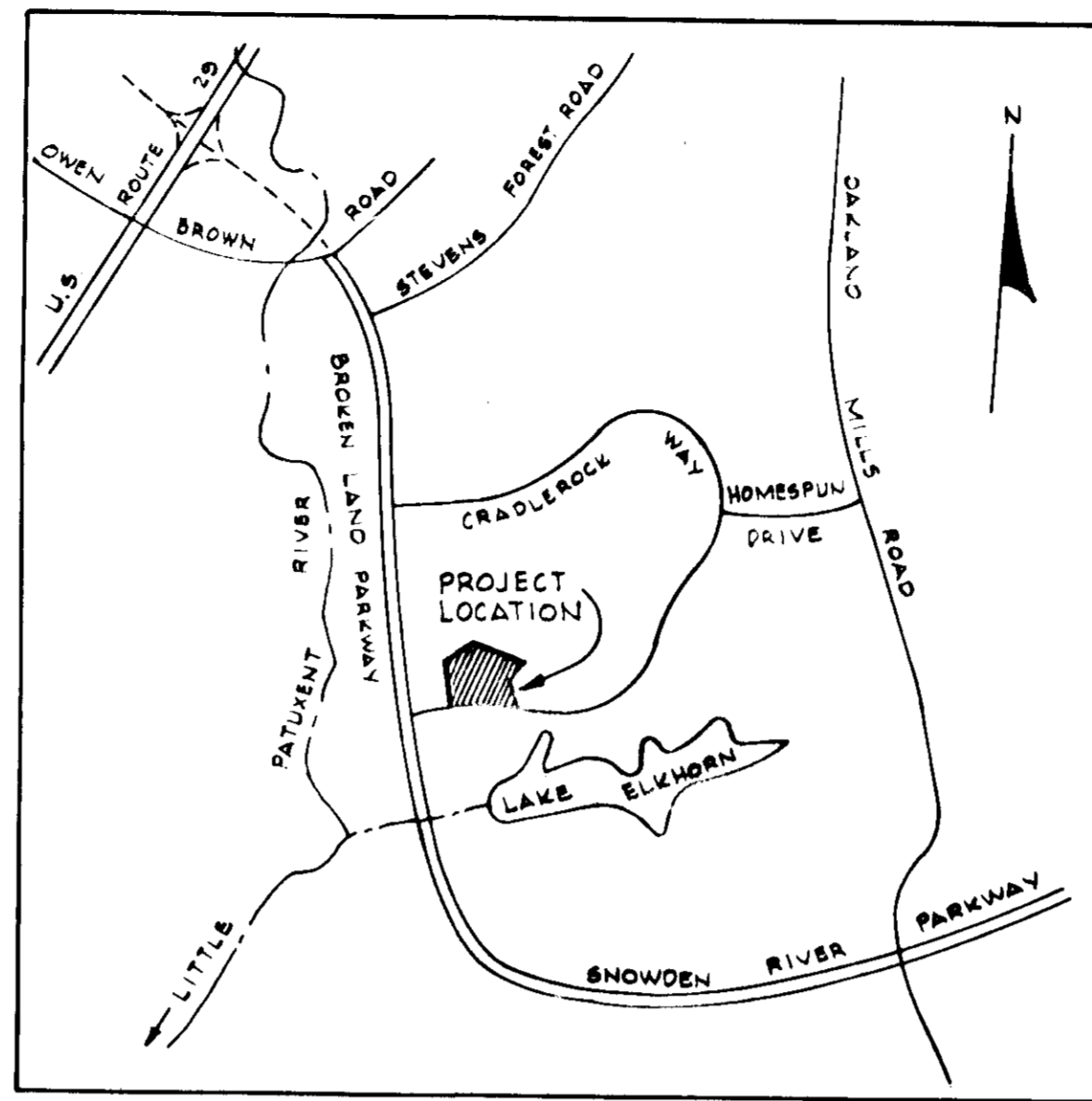


GENERAL NOTES

1. Topography taken from aerial topo prepared by Maps Incorporated and verified by field-run survey.
2. Recording reference for lots E-49 Thru E-190 is **No. 3341**
3. Public water and sewer facilities are to be provided.
4. Community Owned lots which include parking spaces and sidewalks shall be owned and maintained by a home owners association. Only the 25' travelled way portion of the 50' right-of-way shall be publicly maintained.
5. The minimum gross floor area of each unit excluding basement shall be 1,080 square feet.
6. All entrance walks to dwellings shall be 3' wide.
7. All other sidewalks shall be 4' wide concrete unless otherwise noted.
8. Curb return radii for roadways shall be 25' unless otherwise specified.
9. Dwellings shown hereon are 3 bedroom 2 story group dwellings with basements.
10. Minimum setback from all public streets shall be 30' unless otherwise approved by Howard County Planning Board.



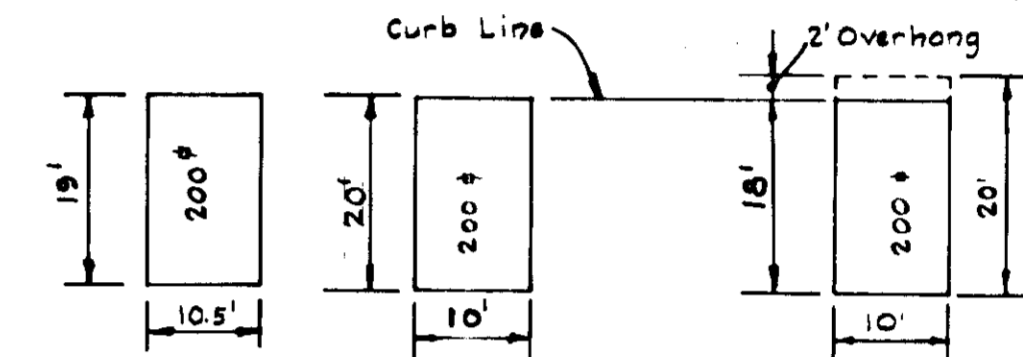
VICINITY MAP
Scale: 1" = 2000'

SITE ANALYSIS

Existing Zoning - Apartments (Single Family Attached)
Final Development Plan - Phase II-B-A-III Plat Book 28 Folios 149 to 192
Area of Lots E-49 thru E-190 **6.616**

Area of Lots	5768 Ac.
Area of Roads	0.848 Ac.
Area of Open Space	0.0 Ac.
Dwelling Units Permissible	80
Dwelling Units Proposed	80
Parking Spaces Required	160
Parking Spaces Proposed	160 *

* Includes 39 carports



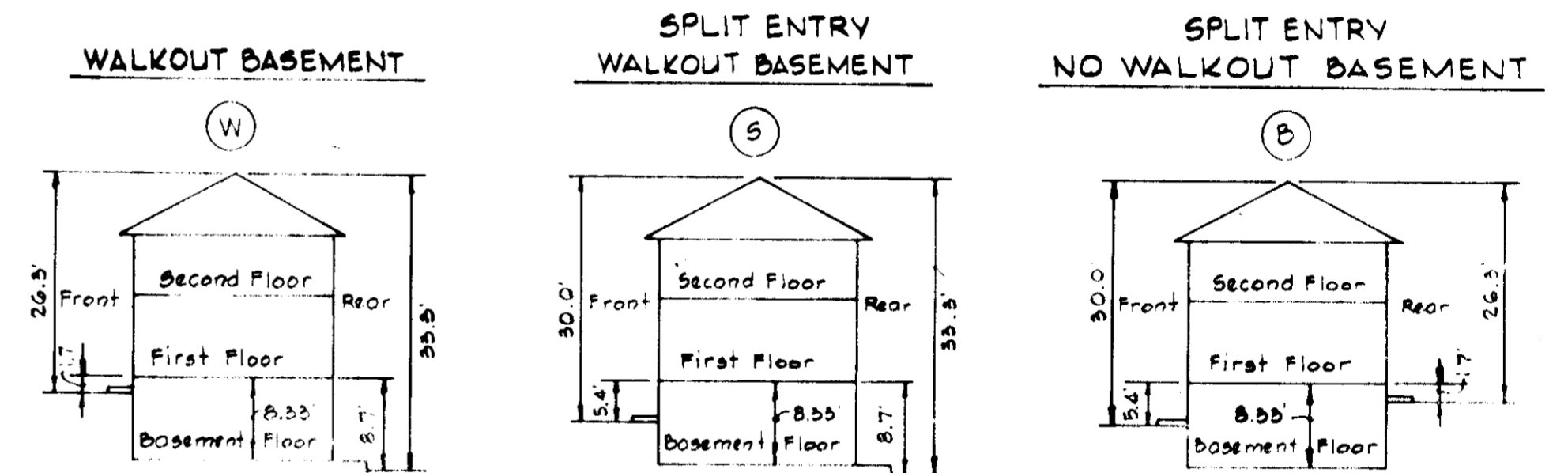
TYPICAL PARKING SPACES
No Scale

SPECIAL NOTES

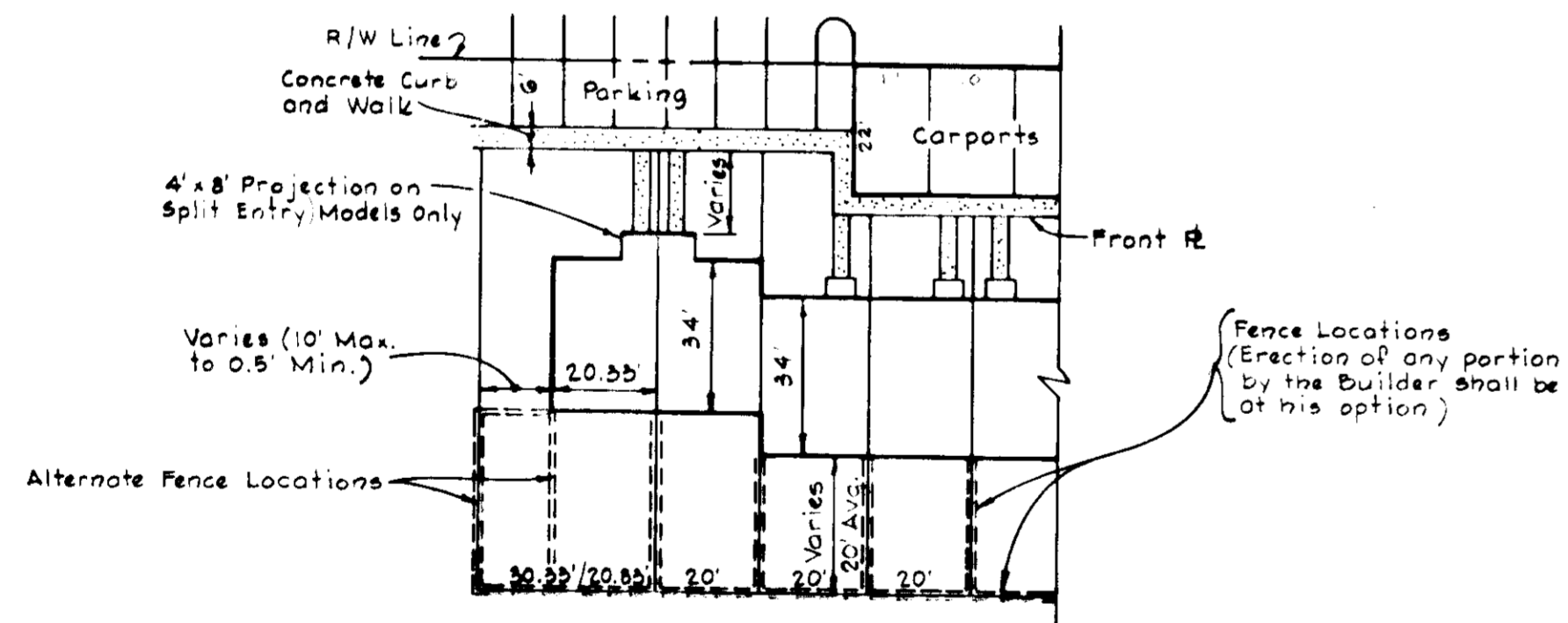
This development plan includes all applicable information outlined in Data Sheet 150 Neighborhood Standards, F.H.A. Land Planning Bulletin No. 3 V.A. Pamphlet 4 A 8 and conforms with lot improvements and detail lot grading of Chapter XII F.H.A. Minimum Property Requirements dated May 1965, and to all applicable ordinances and regulations.

Drainage structures have been designed in accordance with sound engineering practice using recognized formulae and rainfall data currently prescribed by local authorities. These exhibits comply with the F.H.A. objectives, Minimum Property Standards, local acceptable standards and neighborhood requirements conform to all applicable local government ordinances and regulations and represent the best professional judgement of the designer.

SHEET INDEX	
NO.	DESCRIPTION
1	TITLE SHEET
2	GRADING PLAN
3	DETAIL SHEET
4	SEDIMENT CONTROL PLANS
5	SEDIMENT CONTROL PLANS
6	SEDIMENT CONTROL PLANS
7	SEDIMENT CONTROL PLANS
8	SEDIMENT CONTROL PLANS
9	LANDSCAPE PLAN



TYPICAL DWELLING ELEVATIONS
No Scale



TYPICAL DWELLING
No Scale

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT	<i>[Signature]</i> 1/16/75
APPROVED FOR PLANNING AND ZONING, HOWARD COUNTY OFFICE OF PLANNING AND ZONING	<i>[Signature]</i> 12-18-75
APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS	<i>[Signature]</i> 12/18/75
APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS	<i>[Signature]</i> 12-15-75
APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS	<i>[Signature]</i> 12/12/75

HOWARD HOMES COMMUNITIES, INC.
OWNER AND DEVELOPER
P.O. BOX 802, COLUMBIA MARYLAND

WHITMAN, REQUARDT & ASSOCIATES
ENGINEERS
1804 ST. PAUL STREET
BALTIMORE MARYLAND 21202
[Signature]
Kenneth A. McCord P.E. No. 1974

APPROVED
DEPARTMENT OF LAND DEVELOPMENT
FOR TRANSPORTATION PLANNING
HOWARD COUNTY MARYLAND
10-24-75
[Signature]

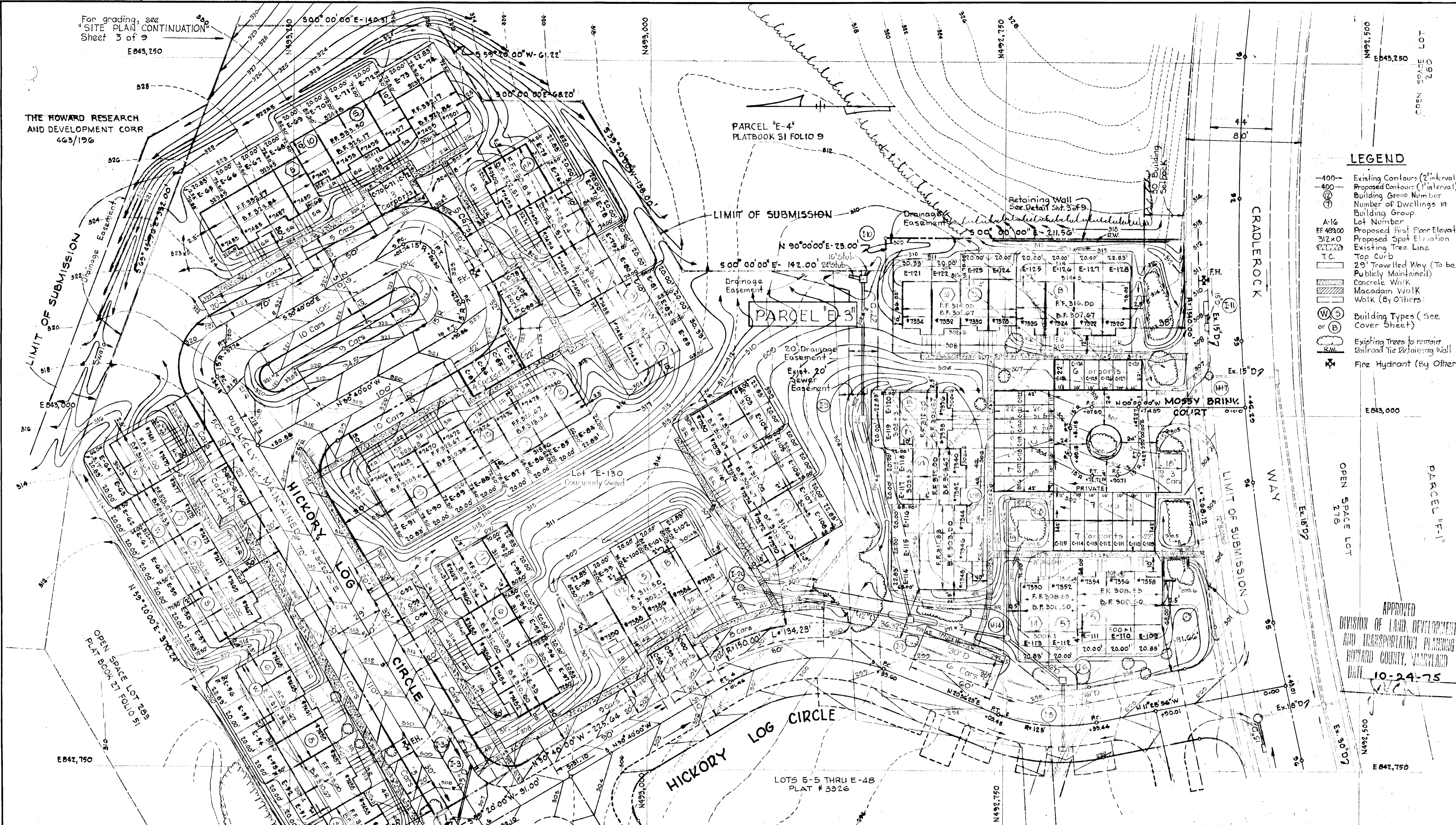
COLUMBIA
SITE PLANS
FOR
VILLAGE OF OWEN BROWN
SECTION I AREA I
LOTS E-49 THRU E-190
A RESUBDIVISION OF PARCELS E-3
TITLE SHEET
SHEET 1 OF 9
ELECTION DISTRICT NO. 6, HOWARD COUNTY, MARYLAND
DATE: NOV. 4, 1975 SCALE: AS SHOWN

For grading, see
"SITE PLAN CONTINUATION"
Sheet 3 of 9
E 845,250

THE HOWARD RESEARCH
AND DEVELOPMENT CORP
463/196

PARCEL "E-4"
PLATBOOK 31 FOLIO 9

- LEGEND**
- 400- Existing Contours (2' Interval)
 - 400- Proposed Contours (1' Interval)
 - (7) Building Group Number
 - (10) Number of Dwellings in Building Group
 - A-16 Lot Number
 - FF 489.00 Proposed First Floor Elevation
 - 3/2x0 Proposed Spot Elevation
 - Existing Tree Line
 - T.C. Top Curb
 - Publicly Traveled Way (To be Maintained)
 - Concrete Walk
 - Macadam Walk
 - Walk (By Others)
 - (W) Building Types (See Cover Sheet)
 - (B) Cover Sheet
 - Existing Trees to remain
 - Railroad Tie Retaining Wall
 - Fire Hydrant (By Others)



PARCEL "E-1"
OPEN SPACE LOT
178

APPROVED
DIVISION OF LAND DEVELOPMENT
AND TRANSPORTATION PLANNING
HOWARD COUNTY, MARYLAND
DATE 10-24-75

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
[Signature] 12/16/75
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
[Signature] 12-18-75
PLANNING DIRECTOR DATE

APPROVED: DIVISION OF LAND DEVELOPMENT AND TRANSPORTATION PLANNING
[Signature] 12/17/75
CHIEF DIVISION OF LAND DEVELOPMENT AND TRANSPORTATION PLANNING DATE

APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
[Signature] 12-18-75
DIRECTOR DATE

[Signature] 12/18/75
CHIEF, BUREAU OF HIGHWAYS DATE

HOWARD HOMES COMMUNITES, INC.
OWNER AND DEVELOPER
R.O. Box 802, COLUMBIA MARYLAND

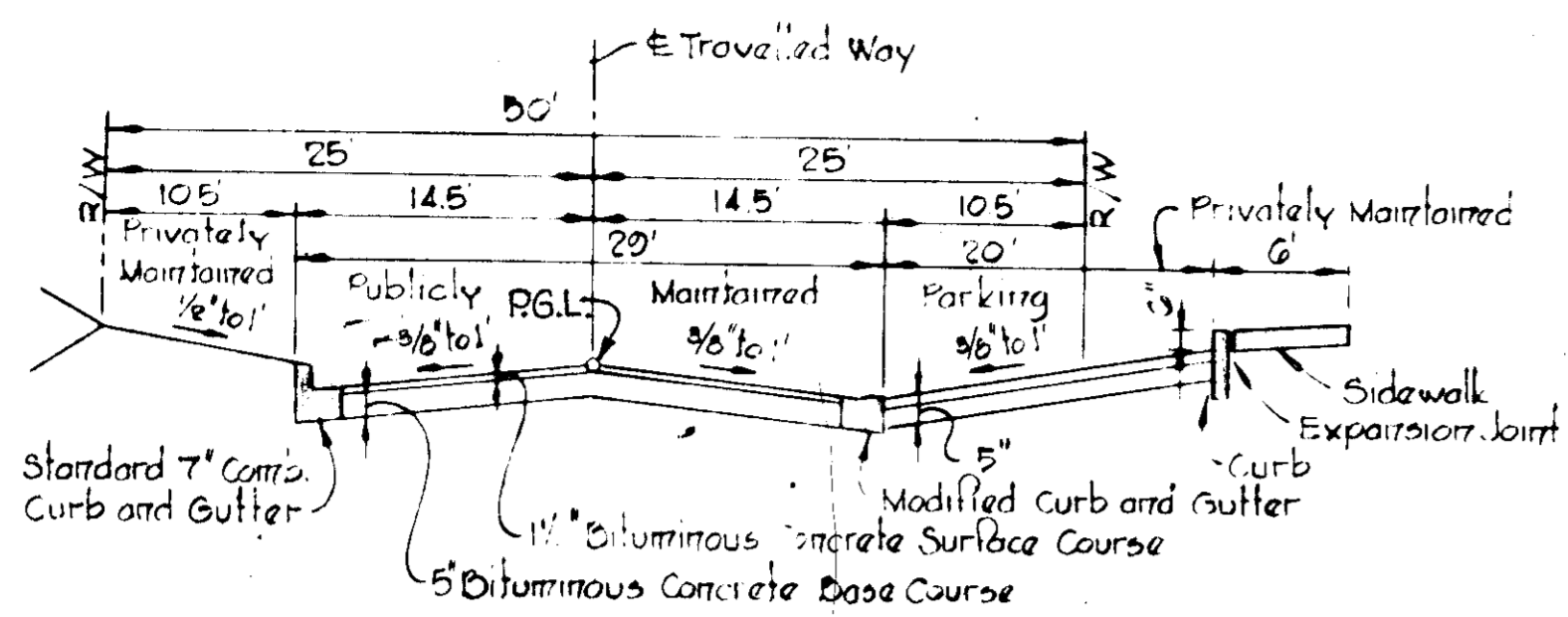
LAND DESIGN/RESEARCH
PLANNER
AMERICAN CITIES BUILDING
COLUMBIA, MARYLAND

WHITMAN, REQUARDT & ASSOCIATES
ENGINEERS
1304 ST. PAUL STREET
BALTIMORE, MARYLAND 21202

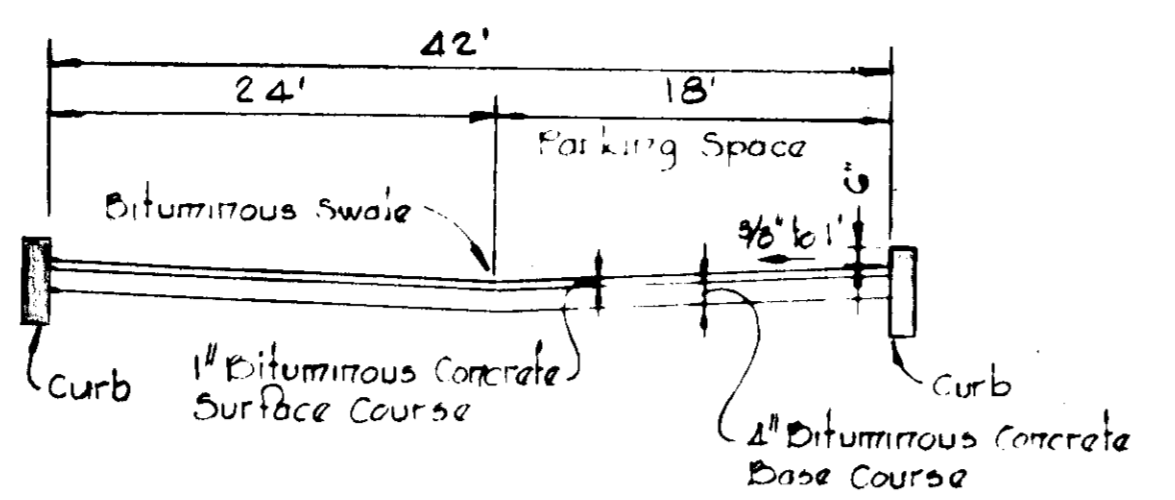
[Signature]
Kenneth A. McCord, P.E. No. 1574

Note:
Gutters, downspouts, leaders and conductors shall be provided as required.

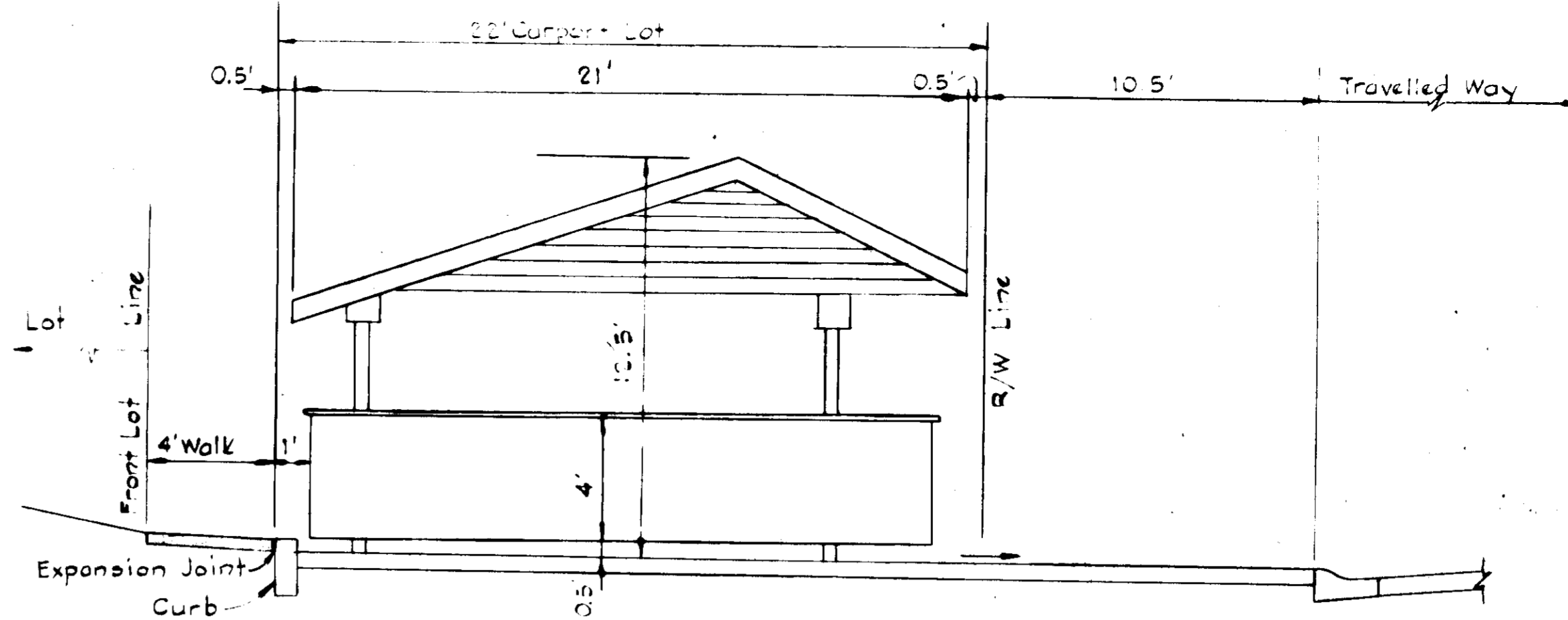
COLUMBIA
SITE PLANS
FOR
VILLAGE OF OWEN BROWN
SECTION I AREA I
LOTS E-49 THRU E-130
A RESUBDIVISION OF PARCEL E-3
GRADING PLAN
SHEET 2 OF 9
ELECTION DISTRICT No. 6, HOWARD COUNTY, MARYLAND
DATE: Nov. 4, 1975 SCALE: 1"=30'
SDP-76-24c



TYPICAL SECTION - PUBLIC ROAD AND PARKING
No Scale



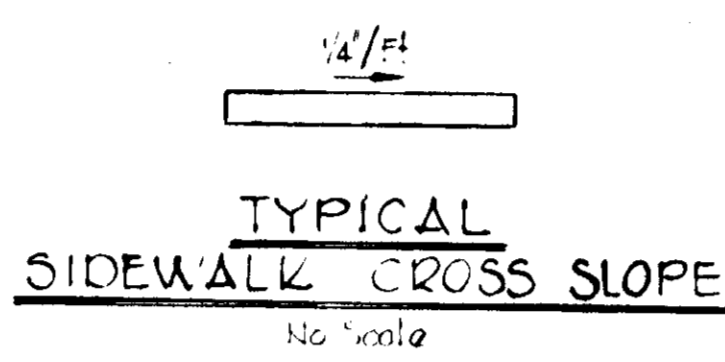
TYPICAL SECTION - PRIVATE PARKING
No Scale



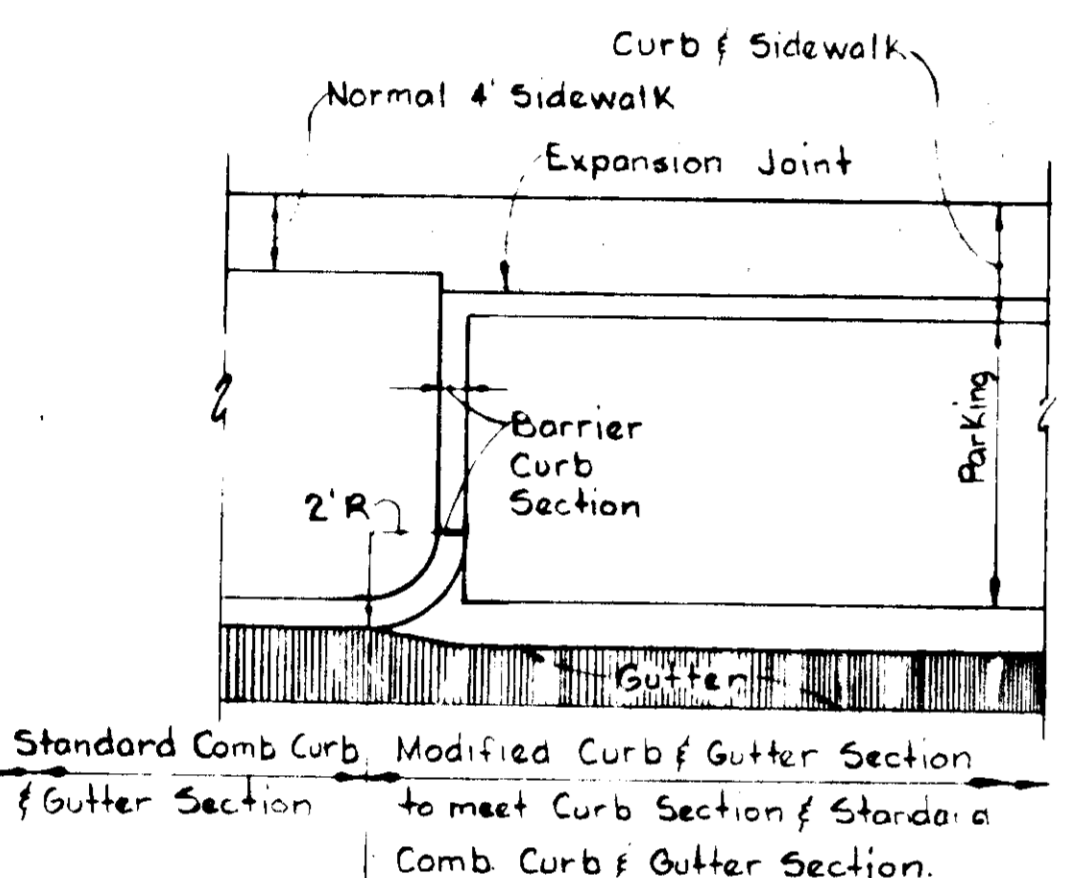
TYPICAL CARPORT ELEVATION
Scale: 1" = 4'

NOTES:

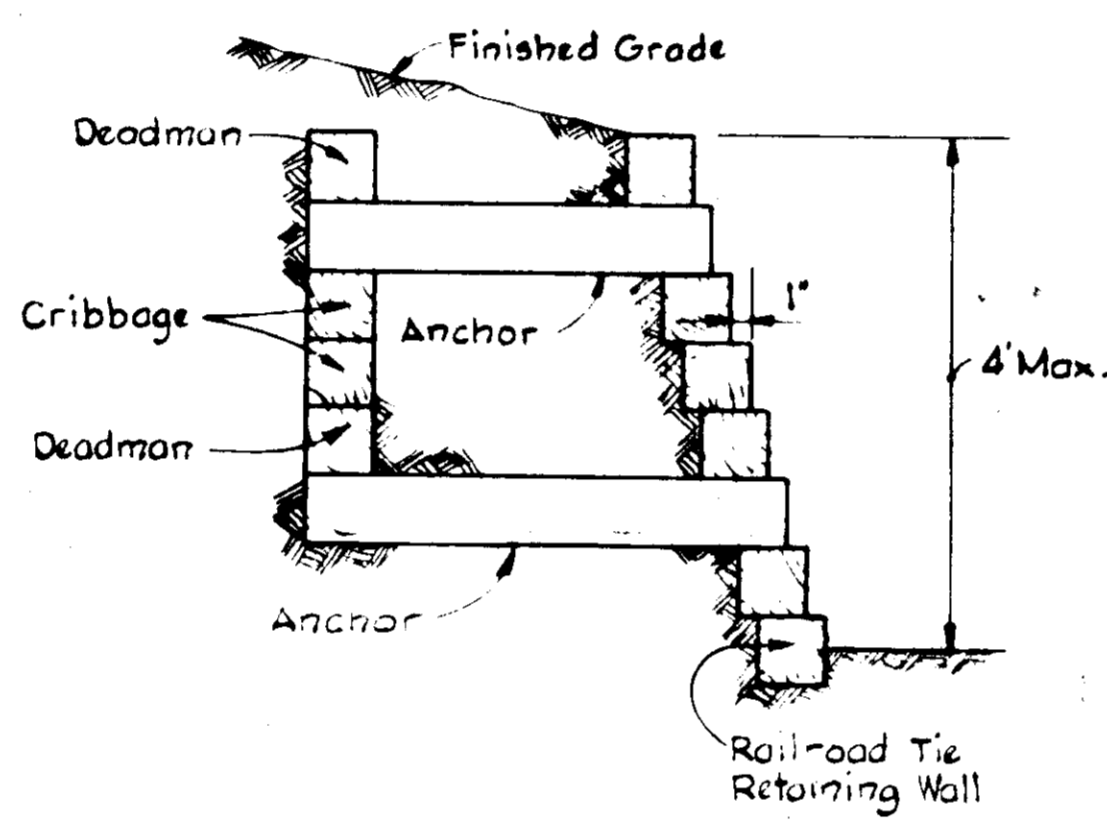
1. Base will be primed in accordance with C-50.3 as provided in the Howard County Road Construction Code and Standard Specifications.
2. Tack Coat is required in accordance with Section C-31.4 of the Howard County Road Construction Code and Standard Specifications.
3. All the materials and work required for the construction of the public streets shall be in accordance with the Howard County Road Construction Code and Standard Specifications. See Road Construction Drawings Village of Owen Brown Section 1 Area 1 Resubdivision of Parcels E 2 and E 3.
4. Standard 7" Comb Curb and Gutter shall be in accordance with County Standard D-40, Page 95.
5. Paving (3/8") shall be in accordance with County Standard D-11, Page 66.
6. Paving (5") shall be in accordance with County Standard D-13, Page 68.



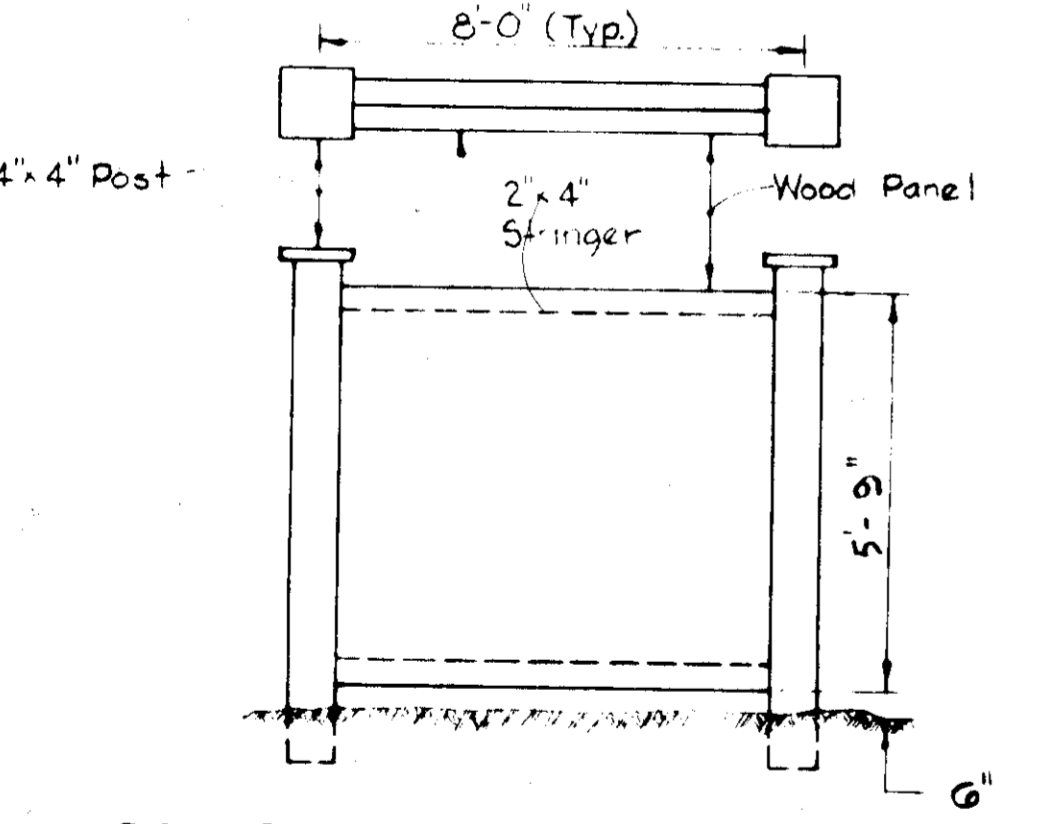
TYPICAL SIDEWALK CROSS SLOPE
No Scale



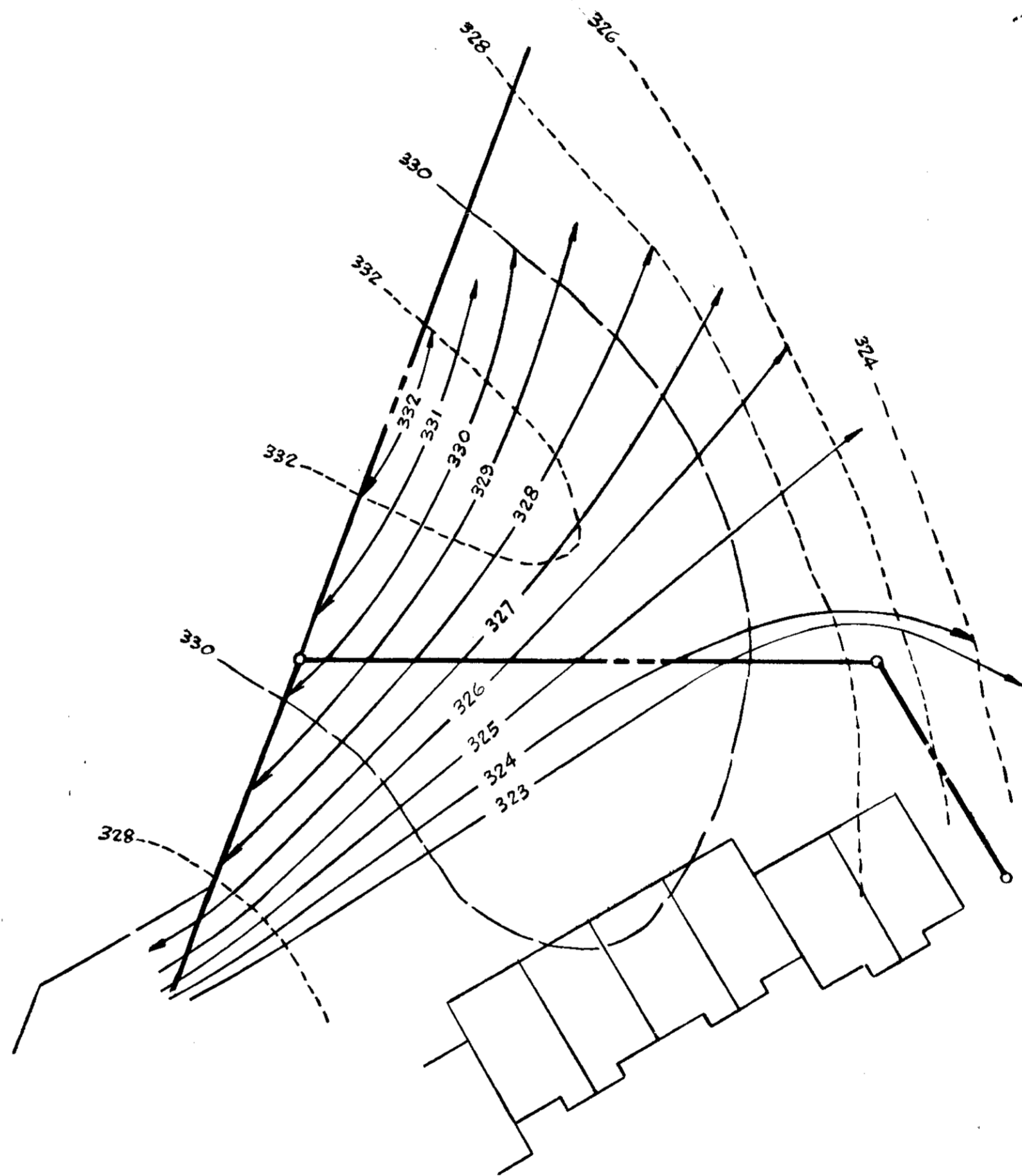
CURB & GUTTER TRANSITION DETAIL
No Scale



RETAINING WALL DETAIL
No Scale



SOLID WOOD PRIVACY FENCE
No Scale



SITE PLAN CONTINUATION
FROM SHEET 2 of 9
Scale: 1" = 30'

APPROVED
DIVISION OF LAND DEVELOPMENT
AND TRANSPORTATION PLANNING
HOWARD COUNTY, MARYLAND
DATE 10-24-75

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
[Signature] 12/10/75
COUNTY HEALTH OFFICER / DATE

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING
[Signature] 12-18-75
PLANNING DIRECTOR / DATE

[Signature] 12/10/75
CHIEF DIVISION OF LAND DEVELOPMENT AND TRANSPORTATION PLANNING

APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
[Signature] 12-15-75
DIRECTOR / DATE

[Signature] 12/12/75
CHIEF BUREAU OF HIGHWAYS / DATE

HOWARD HOMES COMMUNITES, INC.
OWNER AND DEVELOPER
PO Box 802, COLUMBIA MARYLAND

WHITMAN, REQUARDT & ASSOCIATES
ENGINEERS
1304 ST PAUL STREET
BALTIMORE, MARYLAND 21202

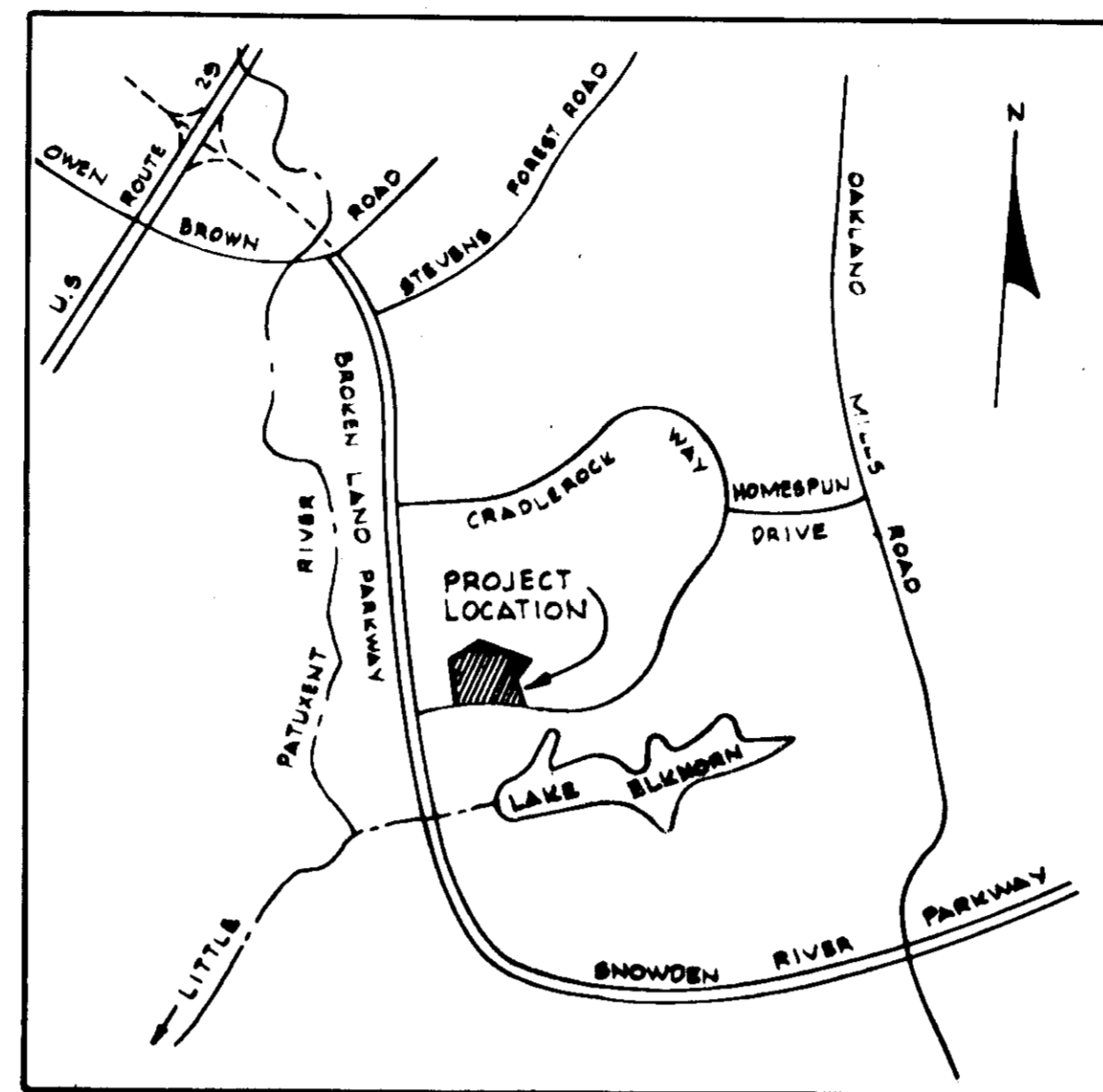
[Signature]
Kenneth A. McCord PE No 974

COLUMBIA
SITE PLANS
FOR
VILLAGE OF OWEN BROWN
SECTION 1 AREA 1
LOTS E-49 THRU E-130
A RESUBDIVISION OF PARCELS 3
DETAIL SHEET
SHEET 3 OF 9

ELECTION DISTRICT NO 6, HOWARD COUNTY, MARYLAND
DATE: NOV. 4, 1975
SCALE: AS SHOWN
SDP-76-24c

GENERAL NOTES

1. Topography taken from aerial topo prepared by Maps Incorporated and verified by field-run survey.
2. Recording reference for Parcel E-2 and E-3 is HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, RECORDING REFERENCE 12/12/75.
3. Water and sewer facilities are to be provided.
4. ~~These~~ lots which include parking spaces and sidewalks shall be owned and maintained by a home owners association. Only the 25' travelled way portion of the 50' right-of-way shall be publicly maintained.
5. The minimum gross floor area of each unit excluding basement shall be 1,080 square feet.
6. All entrance walks to dwellings shall be 3' wide.
7. All other sidewalks shall be 4' wide concrete unless otherwise noted.
8. Curb return radii for roadways shall be 25' unless otherwise specified.
9. Dwellings shown hereon are 3 bedroom 2 story group dwellings with basements.
10. Minimum setback from all public streets shall be 30' unless otherwise approved by Howard County Planning Commission Board.
11. See Architectural plans for building details.



VICINITY MAP
Scale: 1" = 2000'

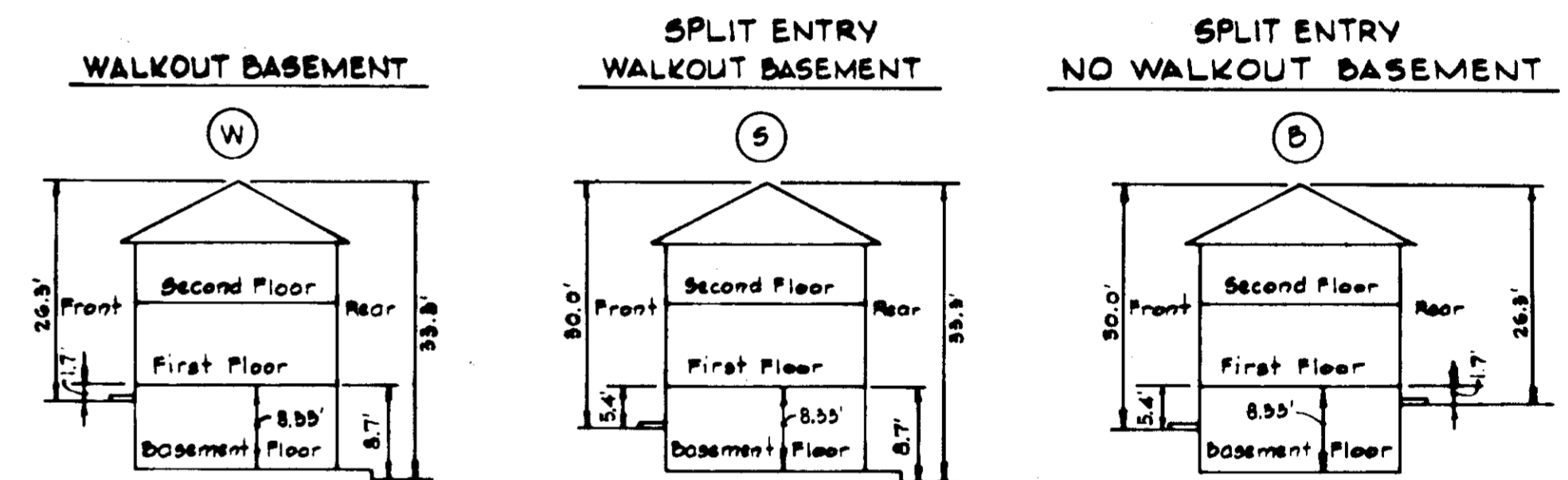
SPECIAL NOTES

This development plan includes all applicable information outlined in Data Sheet 150 Neighborhood Standards F.H.A. Land Planning Bulletin No. 3 V.A. Pamphlet 4 & 8 and conforms with lot improvements and detail lot grading of Chapter XII F.H.A. Minimum Property Requirements dated May 1963, and to all applicable ordinances and regulations.

Drainage structures have been designed in accordance with sound engineering practice using recognized formulae and rainfall data currently prescribed by local authorities. These exhibits comply with the F.H.A. objectives, Minimum Property Standards, local acceptable standards and neighborhood requirements conform to all applicable local government ordinances and regulations and represent the best professional judgement of the designer.

SEQUENCE OF CONSTRUCTION

1. Construct and stabilize the Sediment Basin as shown on the Plans and as specified.
2. Clear and Grub the areas required for the construction of Parcel "E-2" and "E-3".
3. Construct and stabilize the Diversion Dikes. (See Sediment Control Notes 3, 4)
4. Strip the site, construct and stabilize topsoil stockpiles. (See Sediment Control Note 6.)
5. Provide stone at entrances from Cradlerock Way.
6. Grade the area and stabilize ditches, and swales. (See Sediment Control Notes 3, 4 & 7)
7. Construct the storm drain systems and cap all inlets. Stabilize the outfall ditches.
8. Complete construction of utilities, houses, roadways, parking areas, sidewalks, etc., and stabilize all lawn areas.
9. Clean the storm drain systems.
10. Remove the Diversion Dikes and Sediment Basin after all construction in Parcels "E-2" and "E-3" is complete and grass is established in the contributing drainage area.



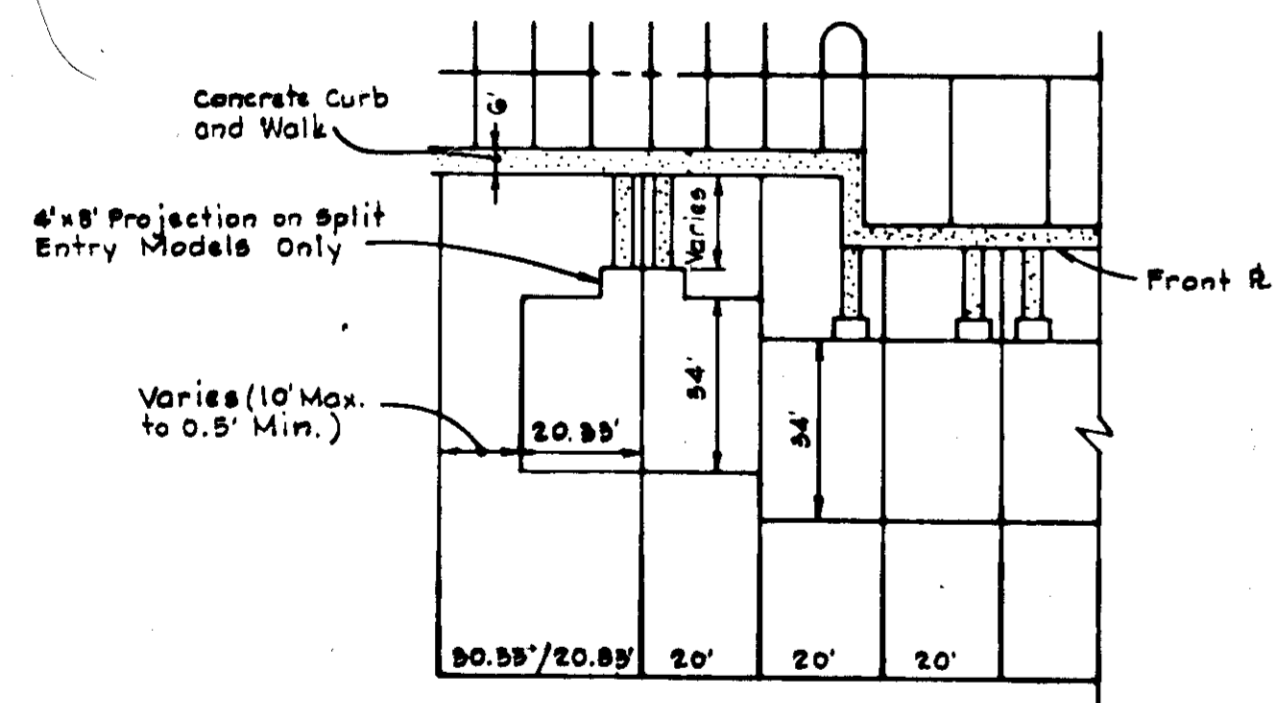
TYPICAL DWELLING ELEVATIONS

No Scale

SOIL CONSERVATION DATA

Area to be paved	2.7 Ac. - 24%
Area to be roofed	2.0 Ac. - 18%
Area to be revegetated	5.3 Ac. - 48%
Area to remain natural	1.1 Ac. - 10%
	11.1 Ac. - 100%

APPROVED
DIVISION OF LAND DEVELOPMENT
AND TRANSPORTATION PLANNING
HOWARD COUNTY, MARYLAND
DATE 10-24-75



TYPICAL DWELLING
No Scale

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
[Signature] 12/12/75
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
[Signature] 12/12/75
PLANNING DIRECTOR DATE

APPROVED: DIVISION OF LAND DEVELOPMENT AND TRANSPORTATION PLANNING
[Signature] 12/12/75
CHIEF DIVISION OF LAND DEVELOPMENT DATE

APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
[Signature] 12/12/75
DIRECTOR DATE

[Signature] 12/12/75
CHIEF BUREAU OF HIGHWAYS DATE

CERTIFICATION BY THE DEVELOPER
"I certify that all development and/or construction will be done according to this plan of development and plan for Erosion and Sediment Control, and I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents as are deemed necessary. Deviation from this plan will not be made unless authorized by the Howard Soil Conservation District."
[Signature] 7-10-75
Signature of Developer Date

CERTIFICATION BY THE ENGINEER
"I certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
[Signature] 6-27-75
KENNETH A. McCORD - P.E. 1974 Date

THIS PLAN HAS BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.
[Signature] 12/14/75
ERIC W. HARRIS 12/14/75
HOWARD S.C.D. Date
SDP-76-246 PLAN NUMBER

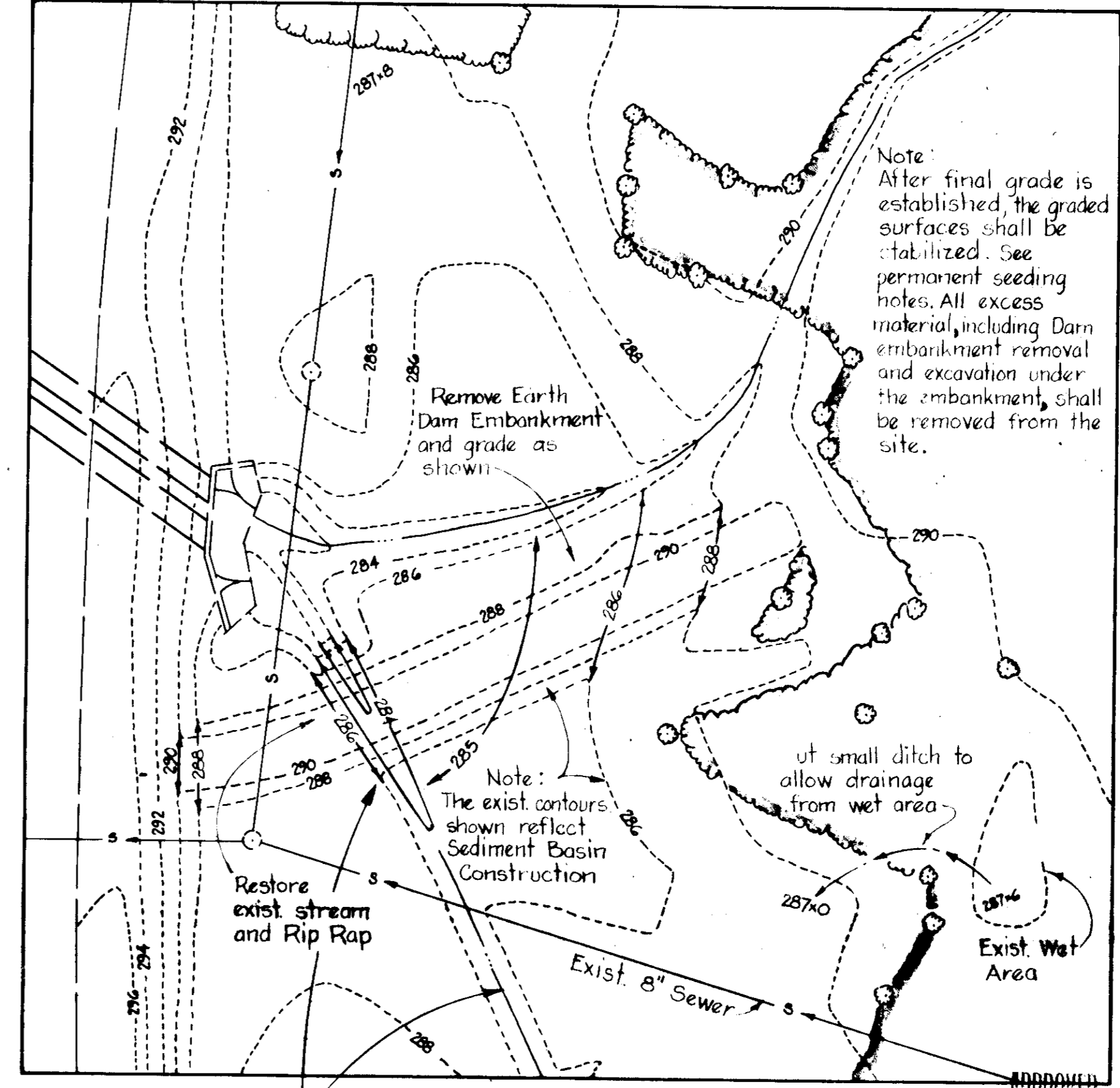
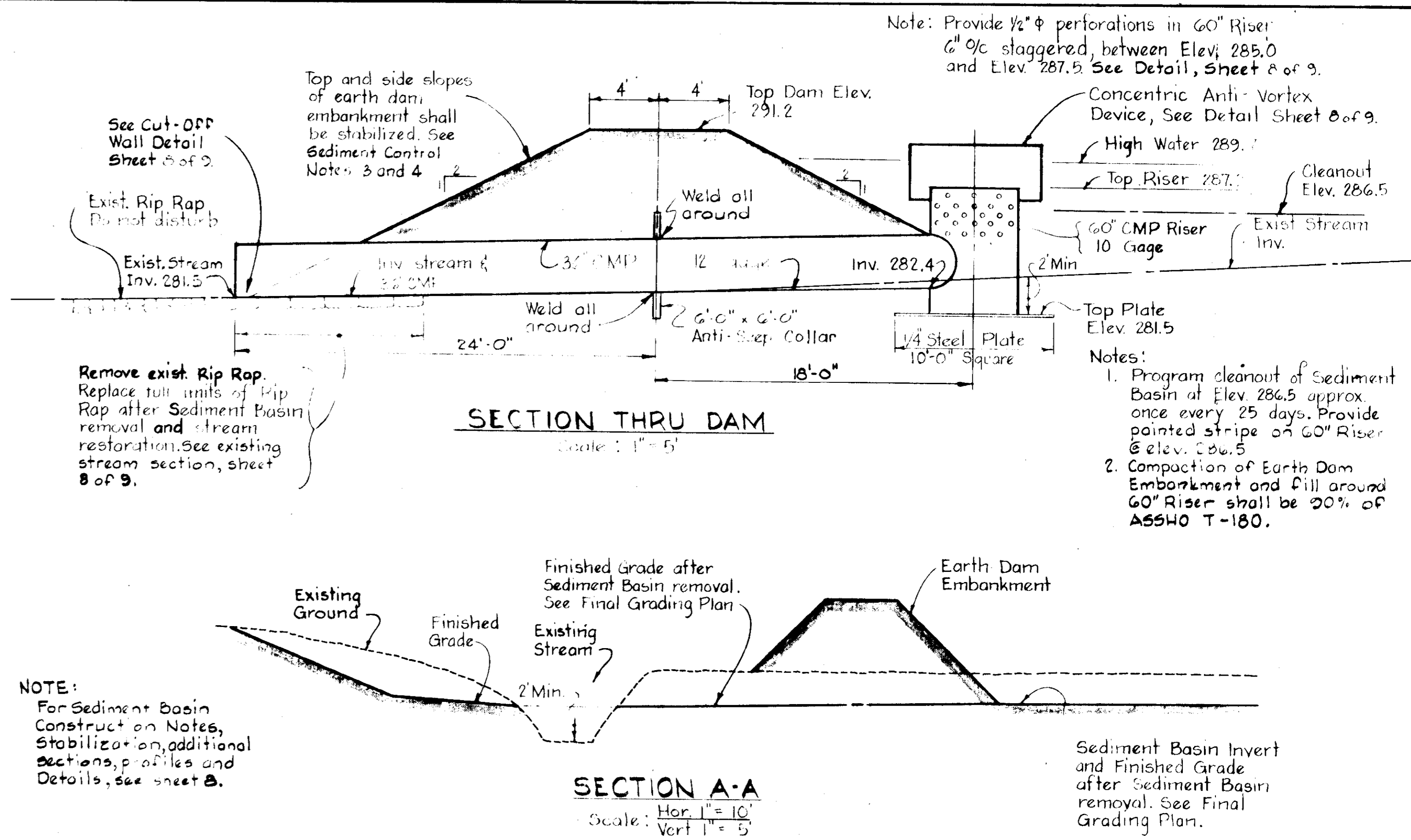
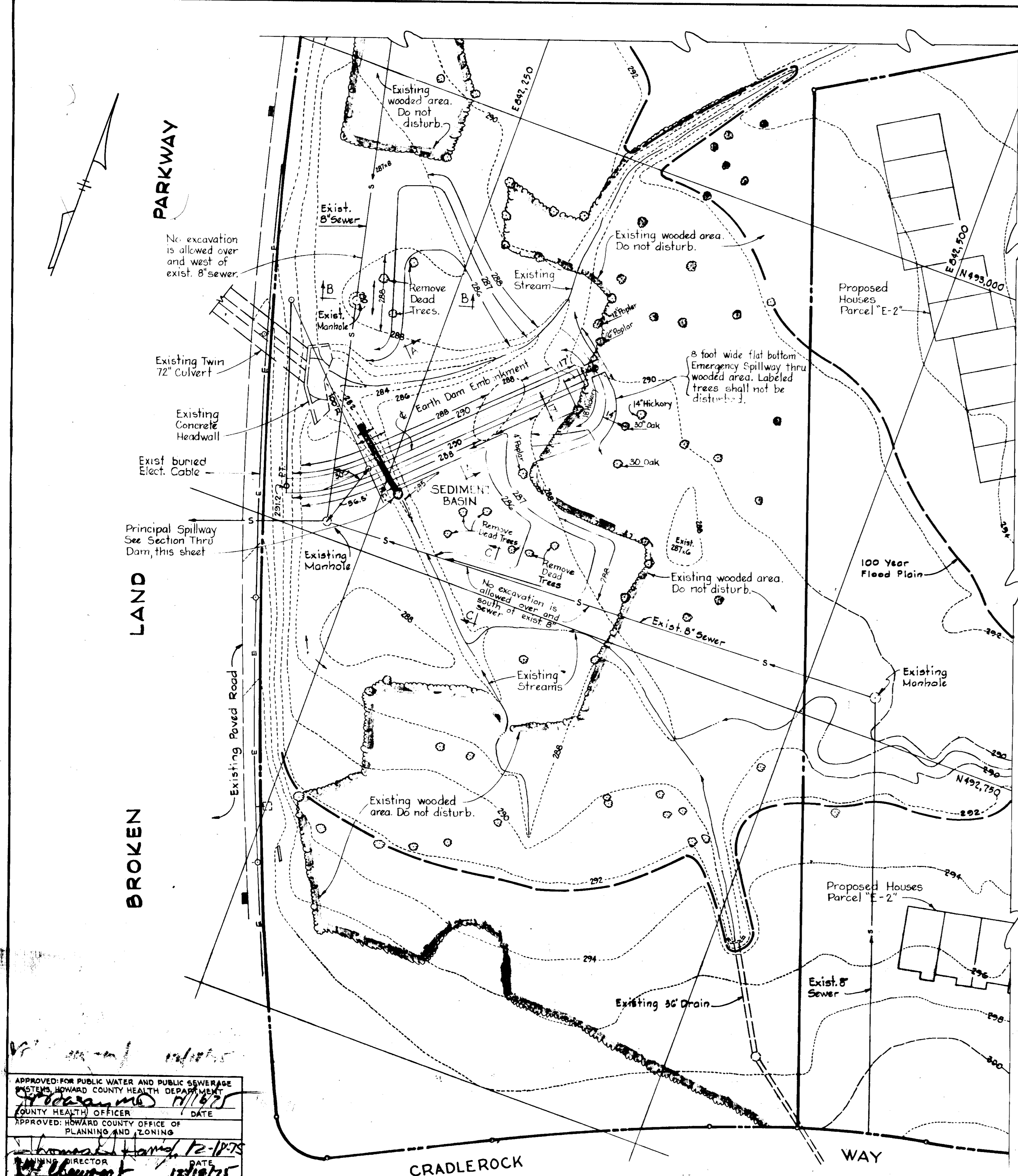
THIS PLAN FOR SOIL EROSION AND SEDIMENT CONTROL MEETS THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
[Signature] 12/14/75
HOWARD S.C.D. Date
SDP-76-246 PLAN NUMBER

HOWARD HOMES COMMUNITIES, INC.
OWNER AND DEVELOPER
P.O. BOX 802, COLUMBIA, MARYLAND

WHITMAN, REQUARD & ASSOCIATES
ENGINEERS
1804 ST. PAUL STREET
BALTIMORE, MARYLAND 21202
[Signature]
KENNETH A. McCORD P.E. No. 1974

COLUMBIA
SEDIMENT CONTROL PLANS
FOR
VILLAGE OF OWEN BROWN
SECTION 1 AREA 1
LOTS E-49 THRU E-130
A RESUBDIVISION OF PARCEL E-3
TITLE SHEET
SHEET 4 OF 9

ELECTION DISTRICT NO. 6, HOWARD COUNTY, MARYLAND
DATE: Nov. 4, 1975
SCALE: AS SHOWN



CERTIFICATION BY THE DEVELOPER
"I certify that all development and or construction will be done according to this plan of development and plan for Erosion and Sediment Control, and I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents as are deemed necessary. Deviation from this plan will not be made unless authorized by the Howard Soil Conservation District."
Signature of Developer: *Kenneth A. McCord* Date: 7-10-75

CERTIFICATION BY THE ENGINEER
"I certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
Signature of Engineer: *Kenneth A. McCord* Date: 6-27-75

THIS PLAN HAS BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.
APPROVED: *Eric V. Hansen* 12/14/75
U.S. SOIL CONSERVATION SERVICE DATE: 12/14/75
HOWARD S.C.D. Date: 12/14/75
PLAN NUMBER: SDP-76-24C

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
William D. Williams 11/14/75
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
James H. Hays 12-18-75
PLANNING DIRECTOR DATE

APPROVED: DIVISION OF LAND DEVELOPMENT AND TRANSPORTATION PLANNING
W. H. McNeill 12/14/75
CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DIVISION OF LAND DEVELOPMENT AND TRANSPORTATION PLANNING
HOWARD COUNTY, MARYLAND
DATE: 10-24-75

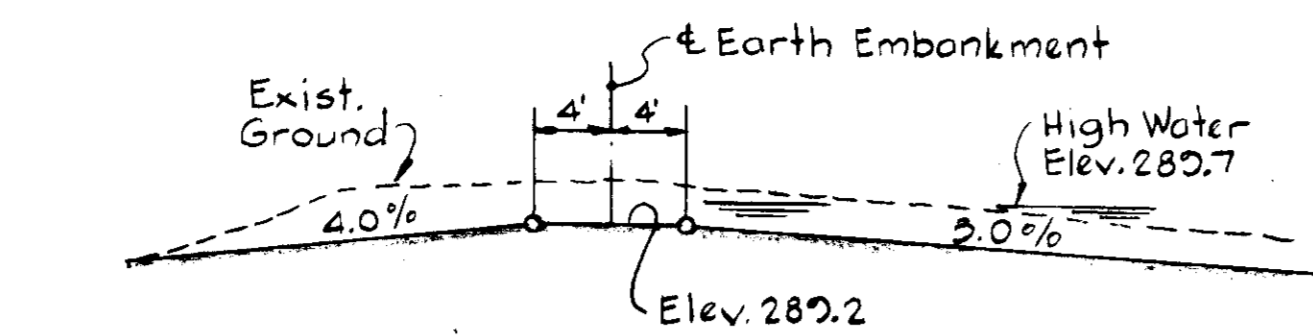
HOWARD HOMES COMMUNITIES, INC.
OWNER / DEVELOPER
P.O. BOX 802, COLUMBIA MARYLAND

WHITMAN, REQUARDT & ASSOCIATES
ENGINEERS
1504 ST. PAUL STREET
BALTIMORE MARYLAND 21202
Kenneth A. McCord
Kenneth A. McCord P.E. No. 1974

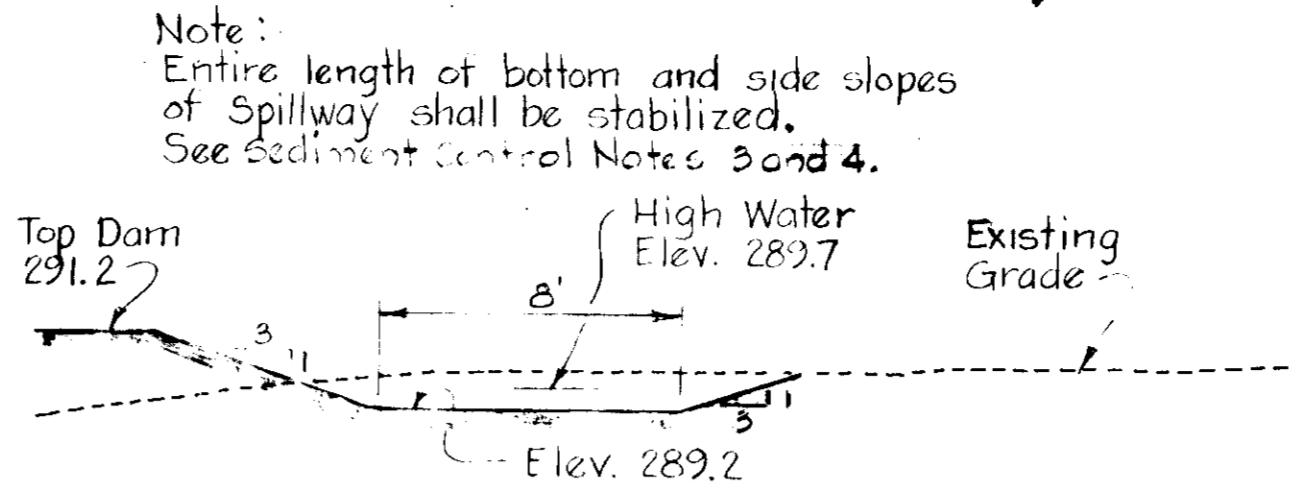
COLUMBIA
SEDIMENT CONTROL PLANS
FOR
VILLAGE OF OWEN BROWN
SECTION 1 AREA 1
LOTS E-49 THRU E-130
A RESUBDIVISION OF PARCEL E-3
SEDIMENT BASIN PLAN AND DETAILS
SHEET OF 9
ELECTION DISTRICT, No. 6, HOWARD COUNTY, MARYLAND
DATE: Nov. 4, 1975
SCALE: AS SHOWN
SDP-76-24C

SEDIMENT CONTROL NOTES

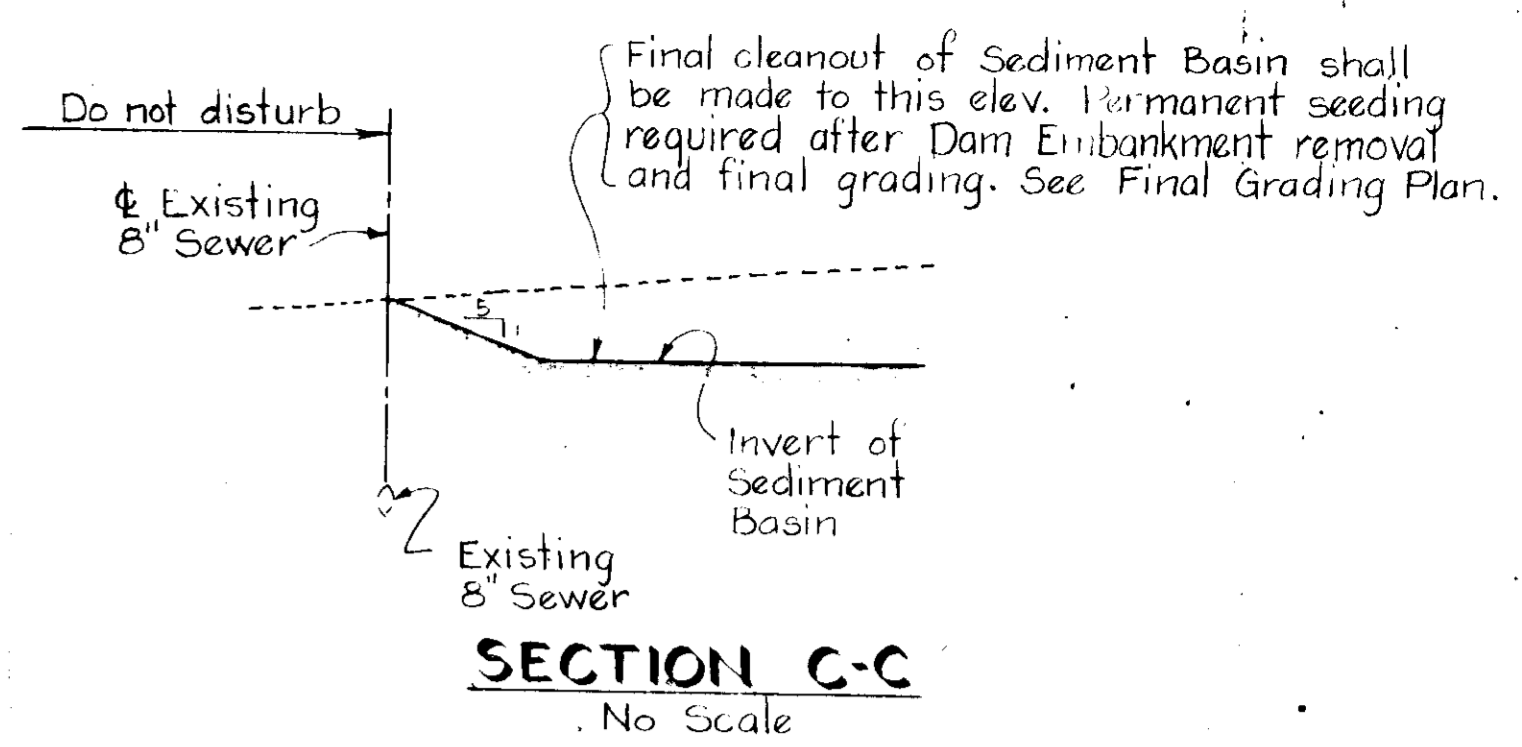
- All sediment control measures must be constructed and stabilized according to notes B & 4 prior to any other grading on the site.
- No temporary sediment control structure may be removed or destroyed without approval of the Howard County Soil Conservation District.
- All areas to be seeded shall receive Italian rye grass at the rate of 40#/acre. Saw with mechanical spreader, rake minimum of two (2) passes with "York Rake", cover and compact with cultipacker. Surface preparation to include ground limestone over topsoil surface area at the rate of One Ton/Acre (50%/1000#) commercial fertilizer (5-10-10) at the rate of 3/4 Ton/Acre (35%/1000#).
- Mulch areas with straw at rate of 50#/1000# or One Ton/Acre. Anchor with asphalt at rate of 480 gallons/Acre. Drainage swales with slopes greater than 2% will be mulched as stated but the mulch in the center of the channel will be anchored with plastic setting 1/8" according to manufacturers recommendations.
- Prior to starting grading, the contractor shall give 24 hrs. notice to the Howard Soil Conservation District and the Howard County Bureau of Licenses, Inspections and Permits.
- All earthwork stockpiles that will not be disturbed for 4 months or longer, shall immediately after piling be fertilized, limed and seeded with annual Ryegrass at the rate of 1#/1000 #, and mulched according to notes B & 4.
- All Dikes, Basins and Drainage Swales shall be stabilized immediately after construction of same according to notes B & 4.



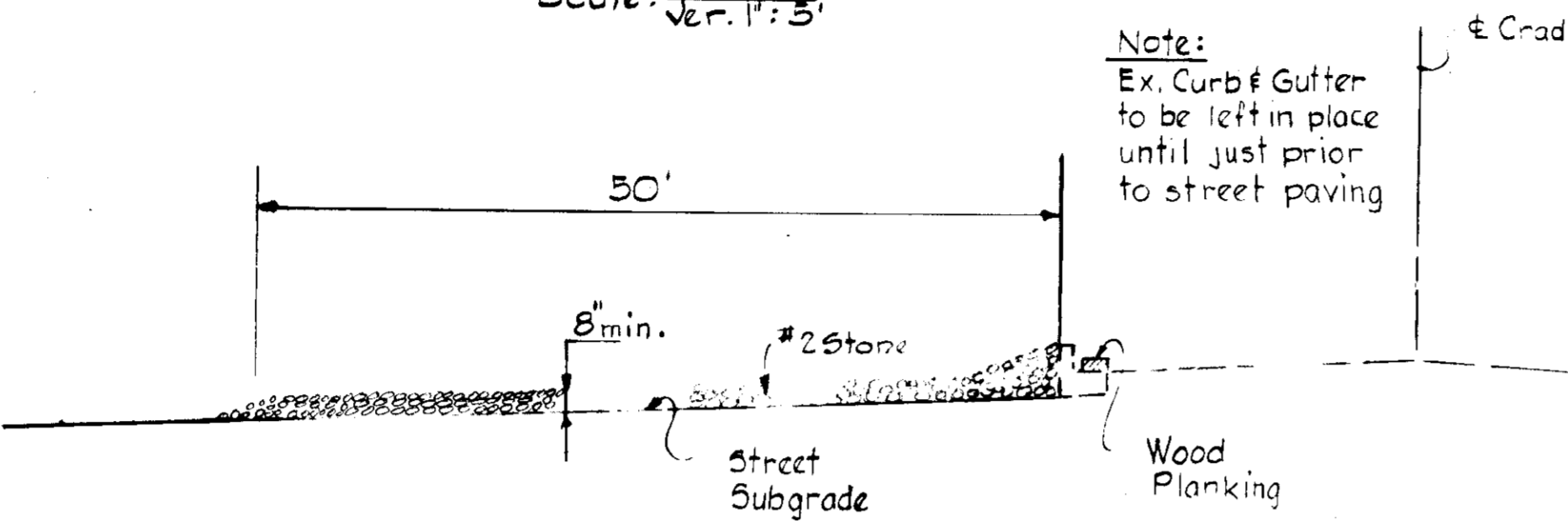
EMERGENCY SPILLWAY PROFILE
Scale: Hor. 1"=10' Ver. 1"=5'



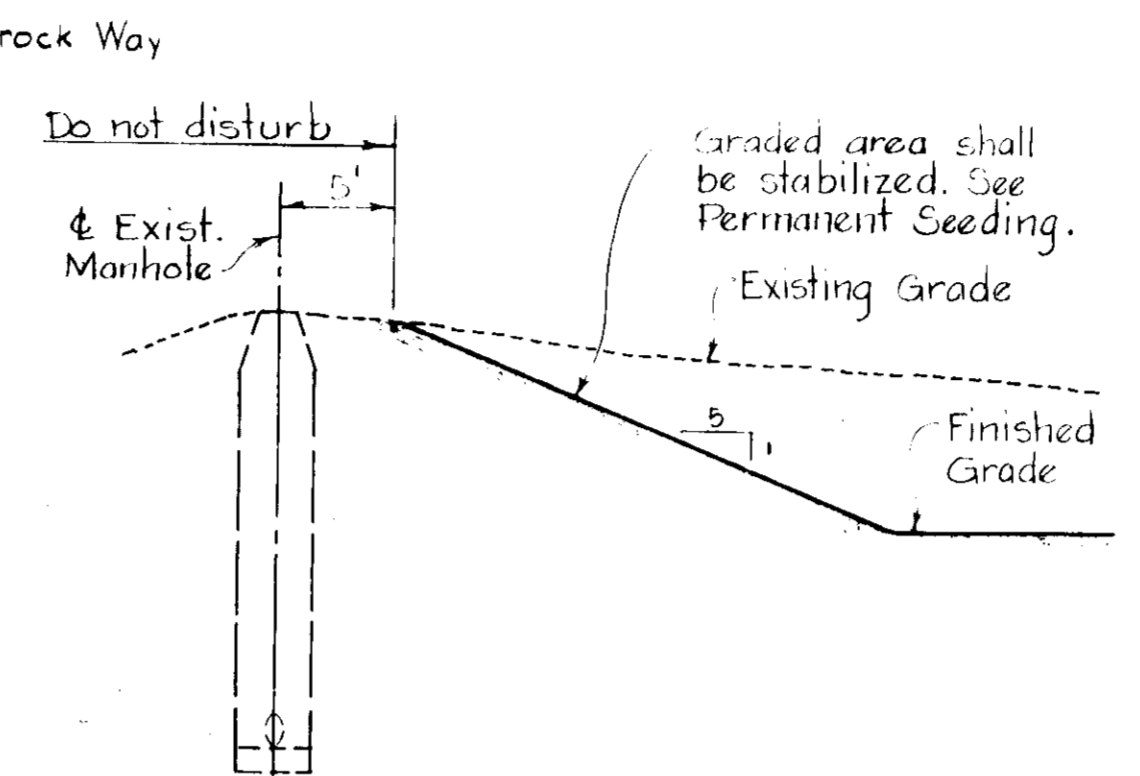
EMERGENCY SPILLWAY SECTION @ DAM
Scale: 1"=5'



SECTION C-C
No Scale



SECTION - STONE ENTRANCE
No Scale



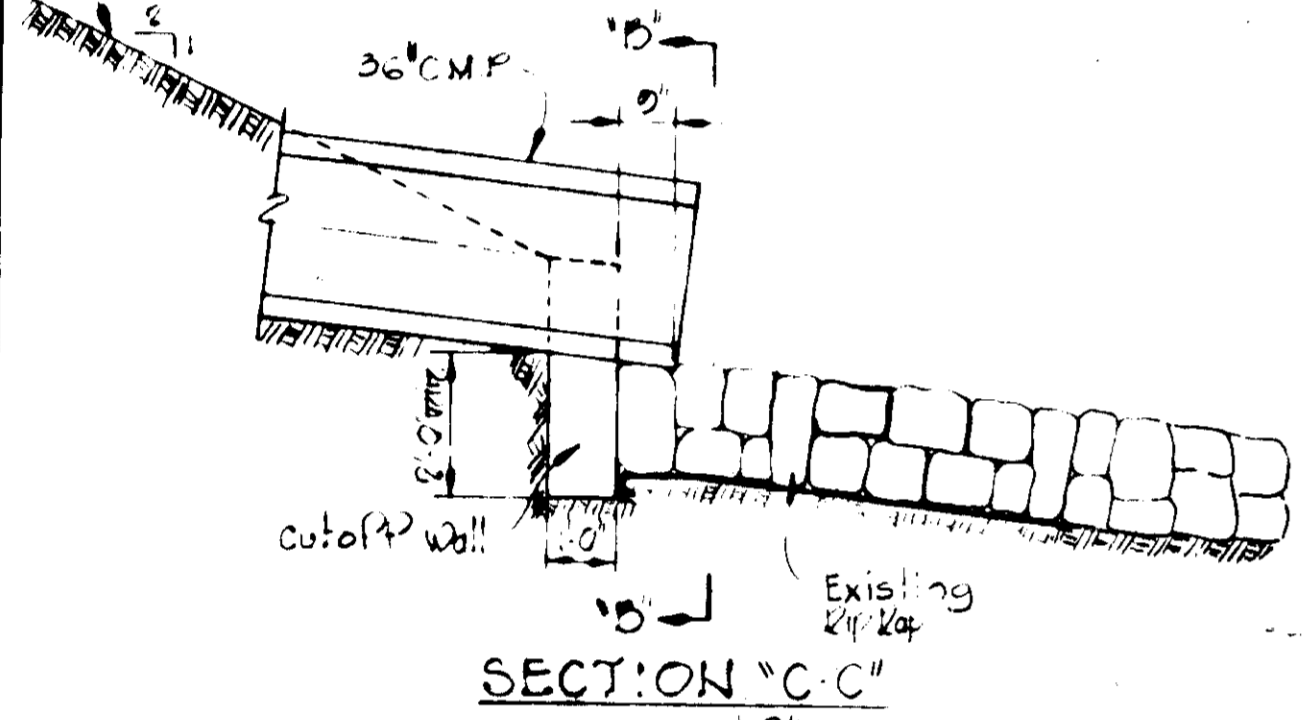
SECTION B-B
No Scale

PERMANENT SEEDING

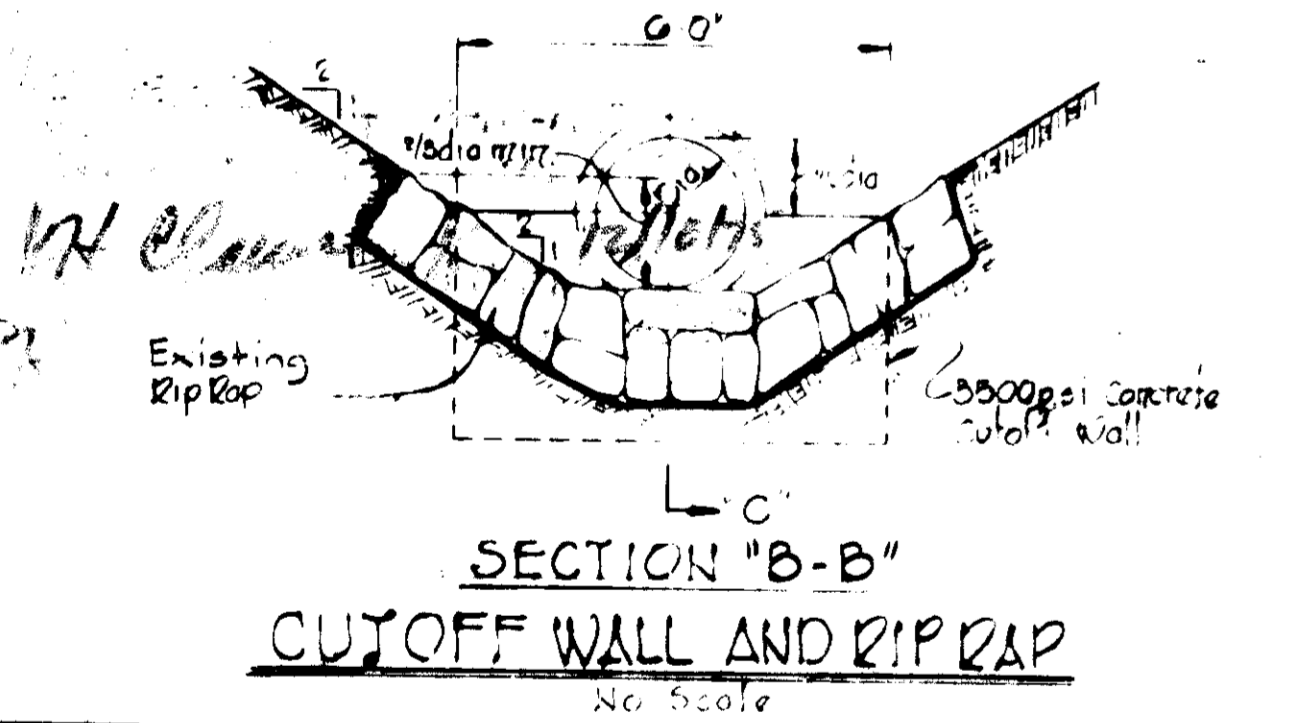
Limit: 1 Ton/Acre agricultural limestone.
Fertilizer: 1,000 lbs./Acre (50% P2O5)
Seeding: 100 lbs./Acre of the following:
20% Kentucky Blue Grass
20% Orchard Grass
50% Creeping Red Fescue
5% Redtop
Mulch as stated under note 2 above.
Stabilization of slopes steeper than 3:1 shall be planted with crownvetch, inoculated 15#/acre (0.54#/1000#), Kentucky 31 tall fescue 40#/Acre (1#/1000#).

CONSTRUCTION NOTES
(Sediment Basin)

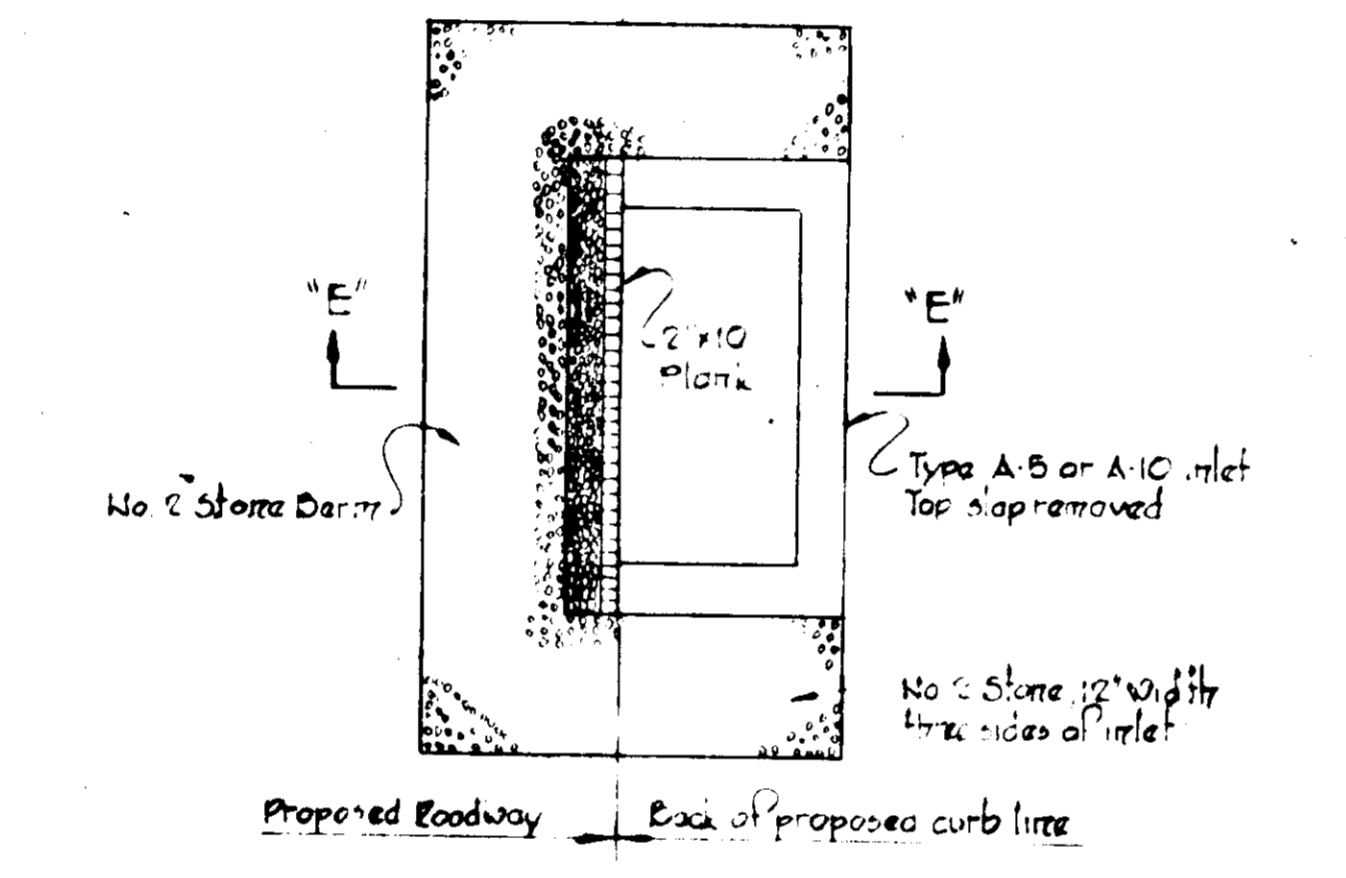
- Prior to any work, the contractor shall locate and flag the existing sanitary sewers on the west and south sides of the proposed work. See Plan and Sections B-B and C-C for excavation limits.
- The dead trees as shown on the Plan shall be removed from the site. Small trees and brush in the way of Emergency Spillway construction shall be flagged for removal from the site by the Engineer in the field. The labeled trees adjacent to the embankment and Emergency Spillway shall not be disturbed. All other trees outside of the construction area shall not be disturbed.
- Stone Rip Rap in the existing stream shall be removed to allow for placement of the Principal Spillway and the Earth Embankment. See "Section Thru Dam" on Sheet 7. The stone Rip Rap shall be replaced in the stream after Sediment Basin removal.
- The Earth Embankment and Emergency Spillway shall be stabilized according to Sediment Control Notes B and 4. Permanent seeding is required in the excavated area north of the Earth Embankment.
- Permanent seeding is required on all graded and disturbed surfaces after Sediment Basin removal. See "Final Grading Plan".
- Stream flow in the existing stream north of the Earth Embankment shall be maintained at all times during Sediment Basin construction.



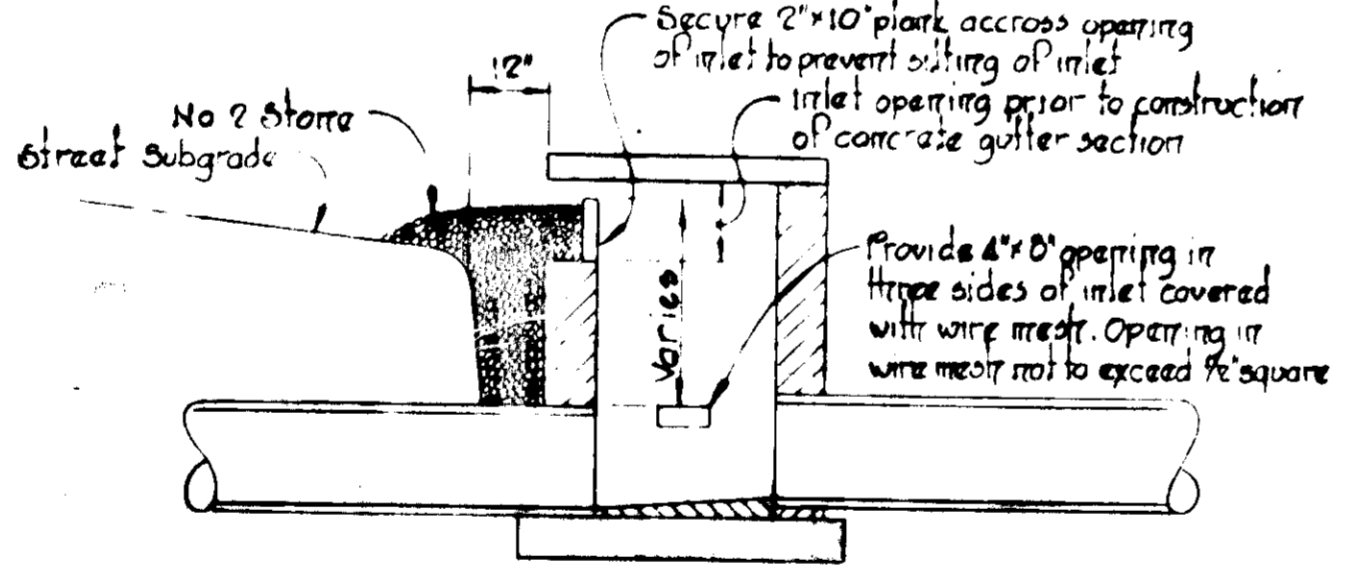
SECTION 'C-C'



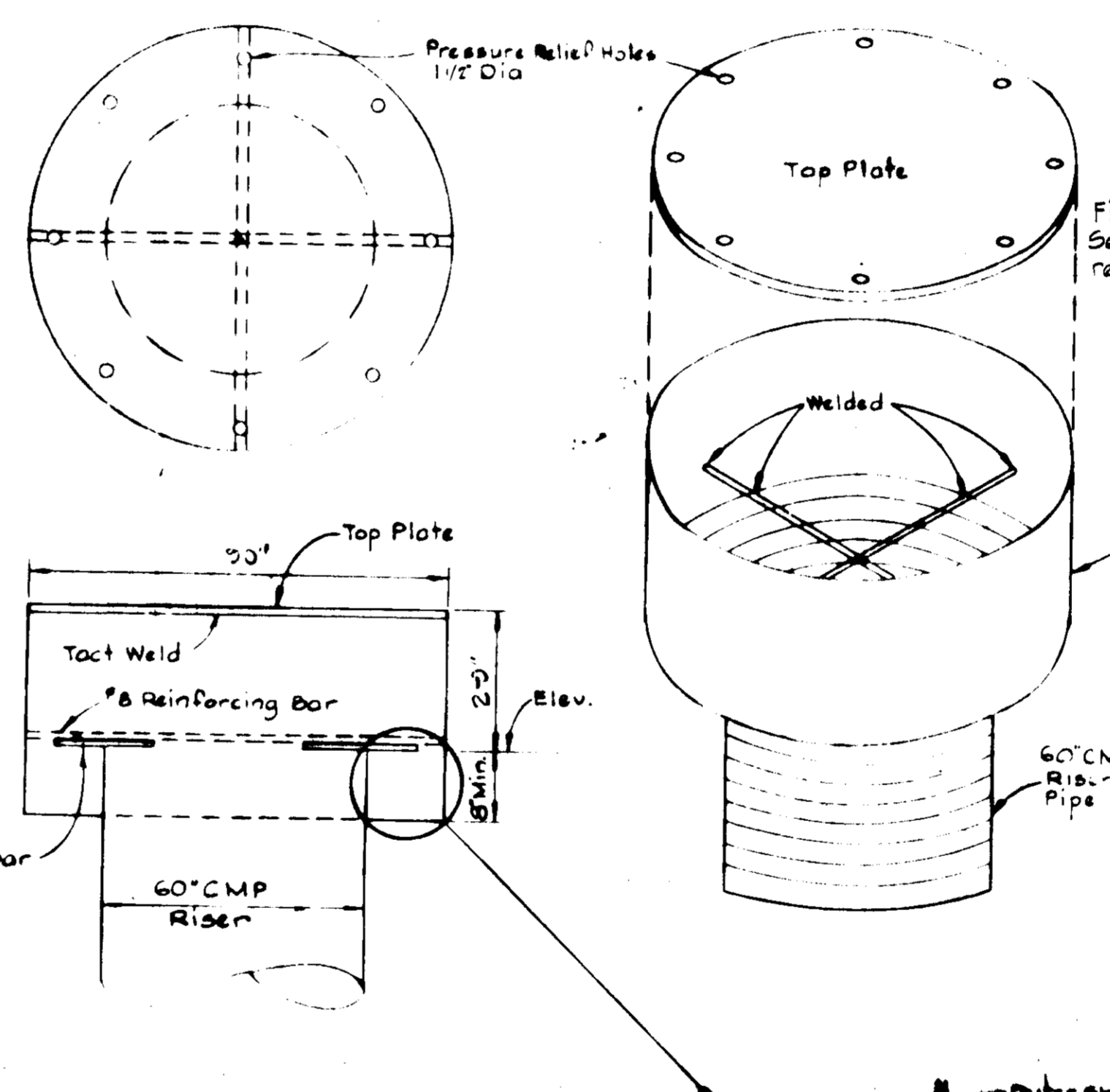
SECTION 'B-B'
CUTOFF WALL AND RIP RAP
No Scale



PLAN

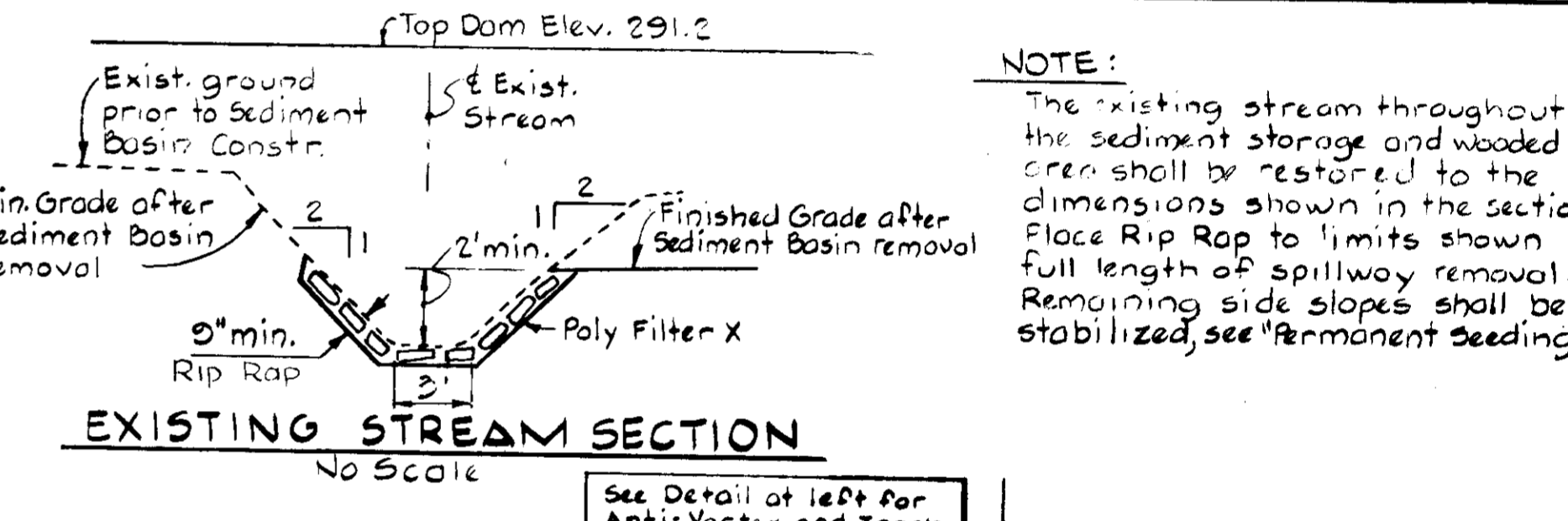


SECTION 'E-E'
ROADWAY INLET DETAIL
No Scale



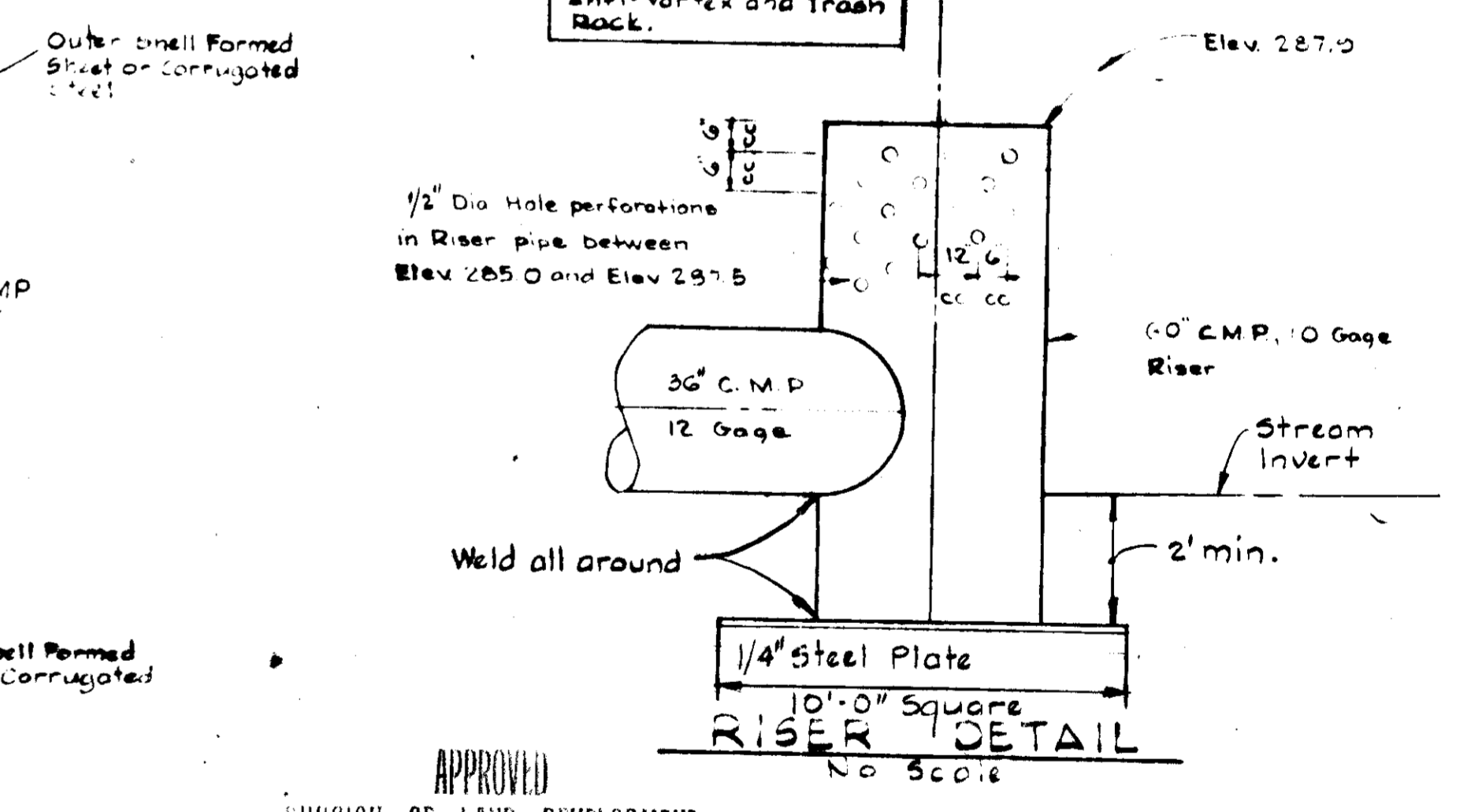
- NOTES:**
- Top Plate to be 1/8" Steel Plate.
 - Outer Shell to be of same gage metal as the riser, may be formed sheet steel or corrugated steel.

ANTI-VORTEX AND TRASH RACK
No Scale



EXISTING STREAM SECTION
No Scale

NOTE:
The existing stream throughout the sediment storage and wooded area shall be restored to the dimensions shown in the section. Place Rip Rap to limits shown full length of spillway removal. Remaining side slopes shall be stabilized, see "Permanent Seeding".



RISER DETAIL
No Scale

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 APPROVED FOR PLANNING AND ZONING
 APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

THIS PLAN HAS BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.
 APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL MEETS THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

CERTIFICATION BY THE DEVELOPER
 I certify that all development and/or construction will be done according to this plan of development and plan for Erosion and Sediment Control, and I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as one deems necessary. Deviation from this plan will not be made unless authorized by the Howard Soil Conservation District.
 Signature of Developer: *James B. ...* 7-10-75 Date

CERTIFICATION BY THE ENGINEER
 I certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature of Engineer: *Kenneth A. McCord* 6-27-75 Date

APPROVED
 DIVISION OF LAND DEVELOPMENT AND TRANSPORTATION PLANNING
 HOWARD COUNTY, MARYLAND
 DATE: 10-24-75

HOWARD HOMES COMMUNITES, INC.
 OWNER/DEVELOPER
 P.O. Box 802, COLUMBIA MARYLAND
WHITMAN, REQUARDI & ASSOCIATES
 ENGINEERS
 1304 ST. PAUL STREET
 BALTIMORE, MARYLAND 21202
Kenneth A. McCord
 KENNETH A. MCCORD - P.E. 1974

COLUMBIA
SEDIMENT CONTROL PLANS
 FOR
VILLAGE OF OWEN BROWN
 SECTION 1 AREA 1
 LOTS E-49 THRU E-130
 A RESUBDIVISION OF PARCEL E-3
DETAIL SHEET
 SHEET 2 OF 9
 ELECTION DISTRICT NO. 6, HOWARD COUNTY, MARYLAND
 DATE: Nov. 4, 1975 SCALE: AS SHOWN



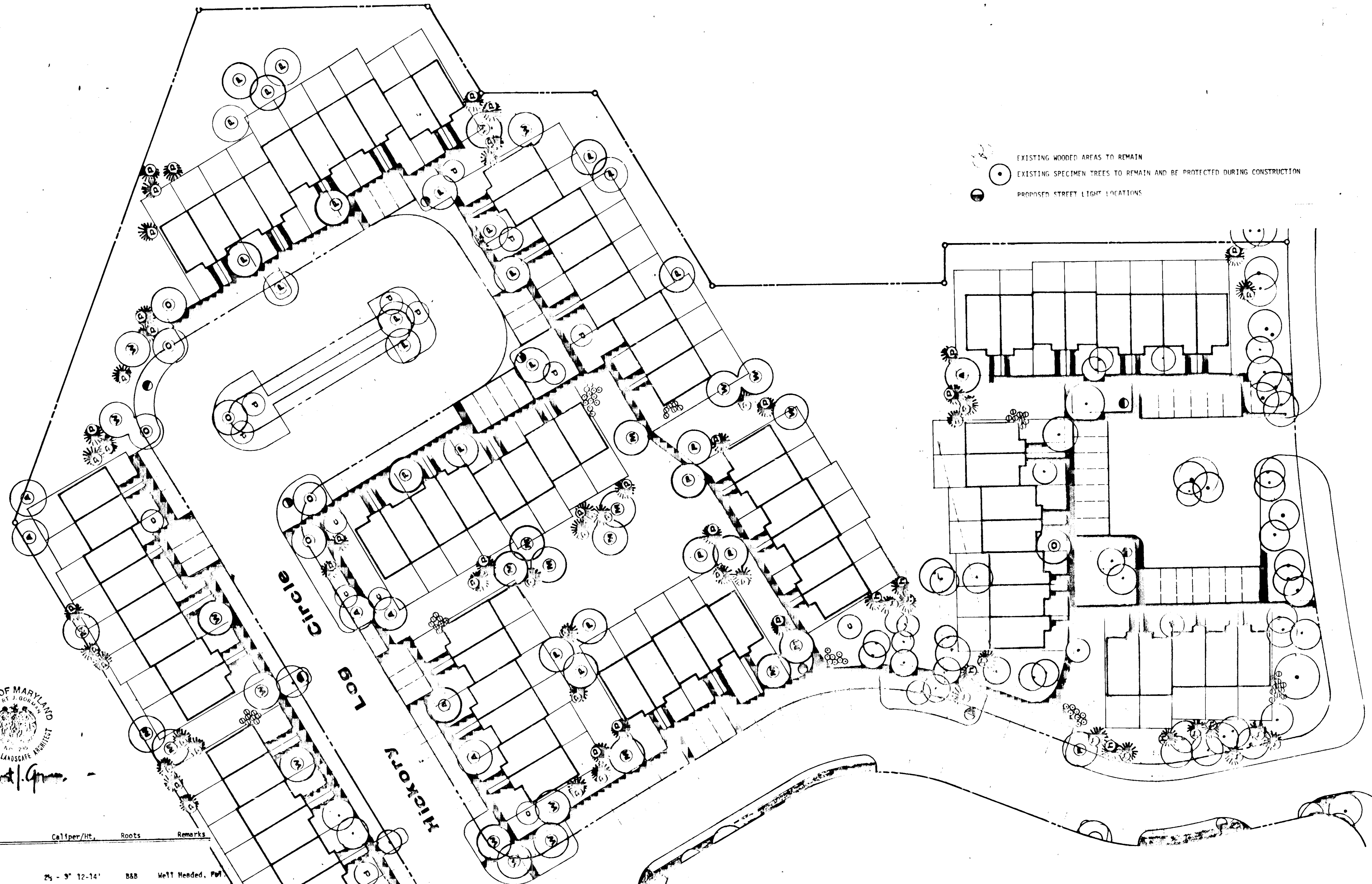
Robert J. Gorman

APPROVED FOR PUBLIC WATER & PUBLIC SEWERAGE
 ORDINANCE, HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER DATE
 APPROVED: HOWARD COUNTY OFFICE OF
 PLANNING AND ZONING
 PLANNING OFFICER DATE
 STATE OF MARYLAND
 ROBERT J. GORMAN
 BEVERLY LANDSCAPE ARCHITECT
 DATE 10-24-75
 CITY BELLEVILLE, MARYLAND



Robert J. Gorman

EXISTING WOODED AREAS TO REMAIN
 EXISTING SPECIMEN TREES TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
 PROPOSED STREET LIGHT LOCATIONS

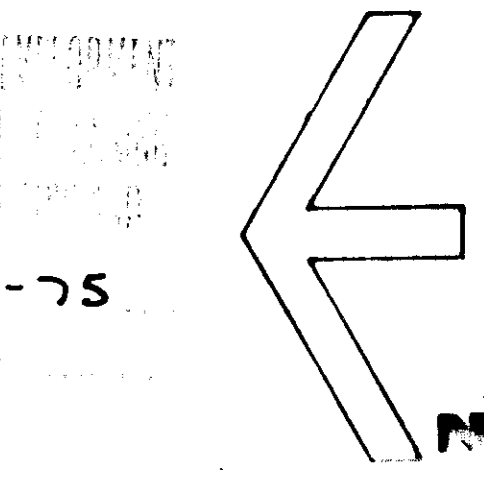


Plant List

Symbol	Quantity	Name	Caliper/Ht.	Roots	Remarks
DECIDUOUS TREES					
(A)	12	ACER PLATANOIDES, Norway Maple	2 1/2 - 3" 12-14'	B&B	Well Headed, Full
(B)	7	FRAXINUS PENNSYLVANICA LANCEOLATA, Ash	2 1/2 - 3" 12-14'	B&B	Well Headed, Full
(C)	26	PLATANUS ACERIFOLIA, London Plane	2 1/2 - 3" 12-14'	B&B	Well Headed, Full
(D)	7	QUERCUS PALUSTRIS, Pin Oak	2 1/2 - 3" 12-14'	B&B	Well Headed, Full
(E)	14	QUERCUS PHELLOS, Willow Oak	2 1/2 - 3" 12-14'	B&B	Well Headed, Full
FLOWERING TREES					
(F)	0	CERCIS CANADENSIS, Eastern Redbud	2 1/2 - 3" 8 - 10'	B&B	Well Headed, Natural Form
(G)	10	CORNUS KOUSA, Kousa Dogwood	2 1/2 - 3" 8 - 10'	B&B	Well Headed, Natural Form
(H)	9	MALUS KATHERINE, Katherine Crabapple	2 1/2 - 3" 8 - 10'	B&B	Well Headed, Natural Form
EVERGREENS					
(I)	50	PINUS NIGRA, Austrian Pine	2 1/2 - 3" 6 - 8'	B&B	Natural Shape, Full
(J)	17	TSUGA CANADENSIS, Canada Hemlock	2 1/2 - 3" 6 - 8'	B&B	Natural Shape, Full
SHRUBS					
(K)	28	EUONYMUS ALATA COMPACTA, Compact Winged Euonymus	18-24" Spread	B&B	Natural Shape, Full
(L)	42	VIBURNUM BURKWOODI, Burkwood Viburnum	24-36" Spr. & Ht.	B&B	Natural Shape, Full

'WOODLAKE'
 Village of Owen Brown
 Parcel E3
 Landscape Development Plan
 for: Howard Homes Communities, Inc.
 Land Design/ Research, Inc.
 Columbia, Maryland 21044

APPROVED
 DEPARTMENT OF LAND MANAGEMENT
 10-24-75



July 24, 1975
 REVISED AUG 28 1975
 909 SDP-76-