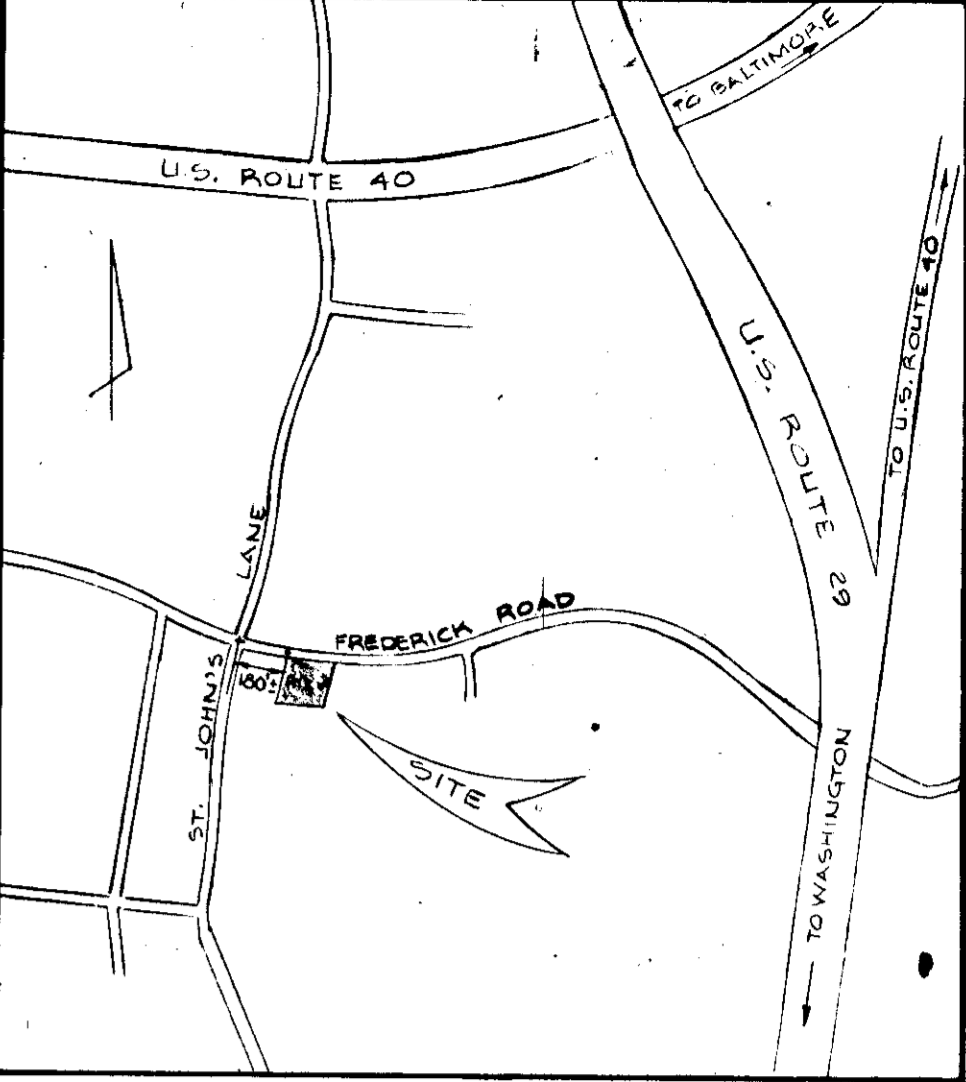


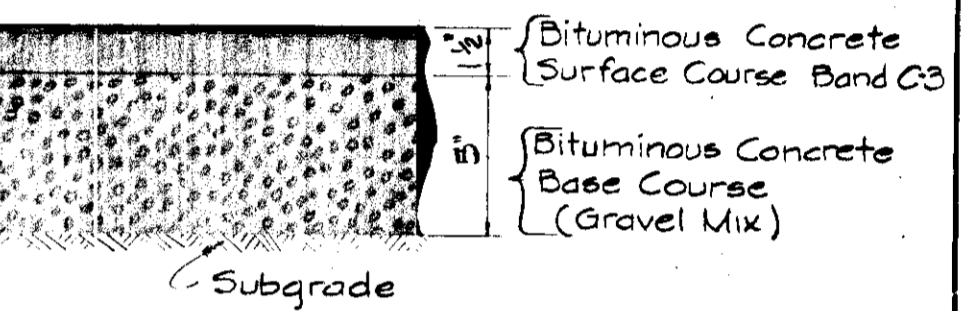
GENERAL NOTES

- SITE ANALYSIS
 - AREA OF PARCEL = 1.0 AC.±
 - PRESENT ZONING = B-2
 - TOTAL NUMBER OF EMPLOYEES = 40
 - TOTAL FLOOR SPACE = 23,100 SF.
 - TOTAL SALES AREA = 37,000 SF.
 - SUBDIVISION PLAT REFERENCE = PLATBOOK 26, FOLIO 75
 - TAX MAP 24, PARCEL 821
- PARKING
 - REQUIRED = 57 SPACES
 - PROVIDED = 58 SPACES
- ALL PARKING SPACE TO BE 10' X 20'.
- NO FENCES OR SIGNS WILL BE CONSTRUCTED ON THIS SITE.
- PUBLIC WATER AND SEWERAGE WILL BE USED.
- ALL SITE DEVELOPMENT WORK SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 12.01 TO 12.05 INCLUSIVE OF THE HOWARD COUNTY ZONING REGULATIONS.
- ALL CONSTRUCTION MATERIALS AND DETAILS SHALL BE IN ACCORDANCE WITH THE LATEST REVISIONS TO THE HOWARD COUNTY ROAD CONSTRUCTION CODE AND STANDARD SPECIFICATIONS (H.C.R.C.C. & S.S.)
- THE EXISTING CONTOUR LINES AND EXISTING UTILITIES ARE FROM A TOPOGRAPHIC SURVEY DONE BY THE DOLLENBERG BROTHERS, CIVIL ENGINEERS & LAND SURVEYORS, OF TOWSON, MARYLAND, DATED JUNE 12, 1973.
- PROPOSED GRADE CONTOURS REPRESENT FINISHED GRADES. CONTRACTOR SHALL MAKE ALLOWANCE TO SUBGRADE FOR TOPSOIL, PAVING, AND OTHER SURFACE FINISHES AS REQUIRED.
- CONTOURS AND ELEVATIONS ARE CONTROLS ONLY. ALL GRADING IS TO BE SMOOTH AND CONTINUOUS.
- LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE ONLY. CONTRACTOR SHALL NOTIFY "MISS UTILITIES" AT 559-0100 3 DAYS PRIOR TO CONSTRUCTION.
- BASE WILL BE PRIMED IN ACCORDANCE WITH SECTION C-30-3 AS PROVIDED FOR IN THE H.C.R.C.C. & S.S.
- TACK COAT IS REQUIRED IN ACCORDANCE WITH SECTION C-31-4 OF THE H.C.R.C.C. & S.S.
- FOR CURBS, USE STANDARD 7" COMBINATION CURB & GUTTER (DWG. NO. D-40 OF H.C.R.C.C. & S.S.), STANDARD BITUMINOUS CONCRETE MOUNTABLE CURB (DWG. NO. D-39 OF H.C.R.C.C. & S.S.), OR STANDARD 7" CONCRETE BARRIER CURB (DWG. NO. D-40 OF H.C.R.C.C. & S.S.) WHERE INDICATED ON THE SITE PLAN.
- SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS, AND RETAINING WALLS
- MODIFY EXISTING JUNCTION CHAMBER TO TYPE "A" INLET WITH 15' CURB OPENING AS PER H.C.R.C.C. & S.S. DWG. NO. D-64A.

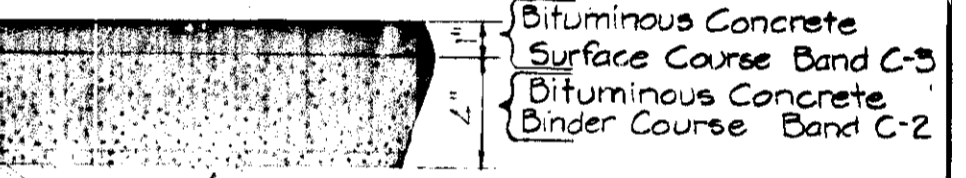
APPROVED
 DIVISION OF LAND DEVELOPMENT
 AND TRANSPORTATION PLANNING
 HOWARD COUNTY, MARYLAND
 DATE 11/8/74



VICINITY MAP
 SCALE: 1" = 800'
BEUCHMARK
 Spike in Gas and Electric Pole No. 25710 at
 Northwest Corner of Frederick Road and St.
 Johns Lane. Elevation = 380.15

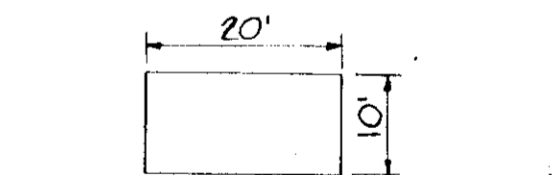


TYPICAL PAVMENT SECTION FOR
 WIDENING OF FREDERICK ROAD
 No Scale



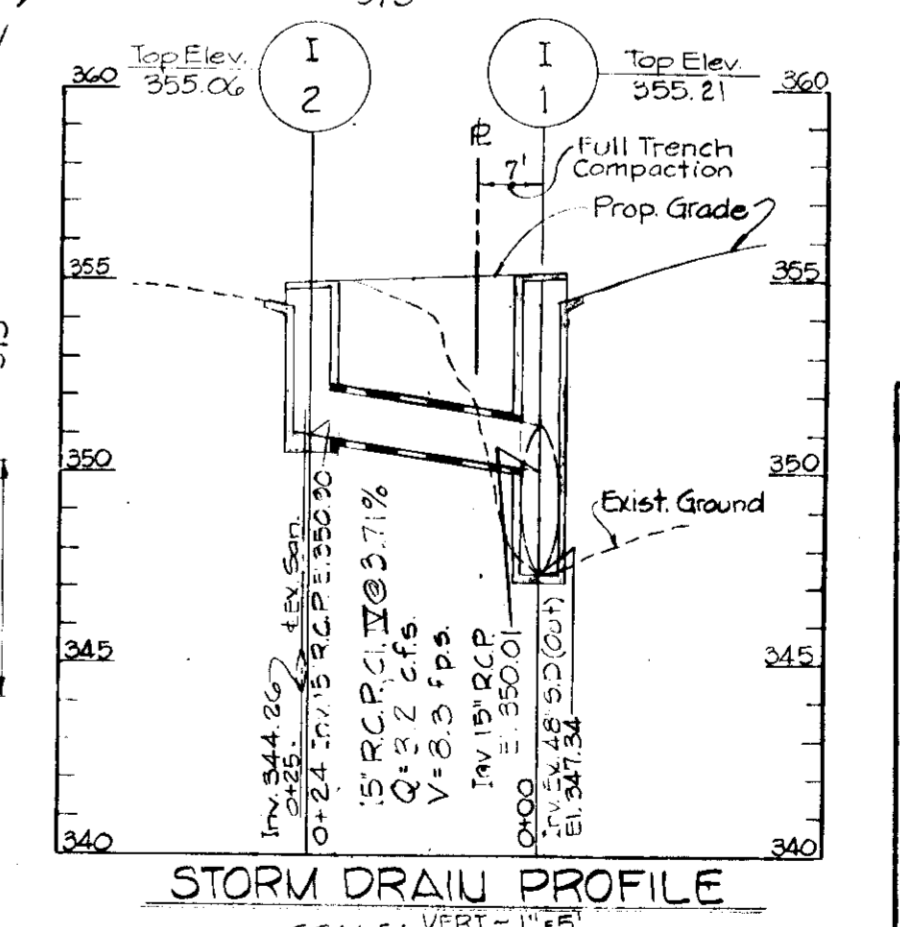
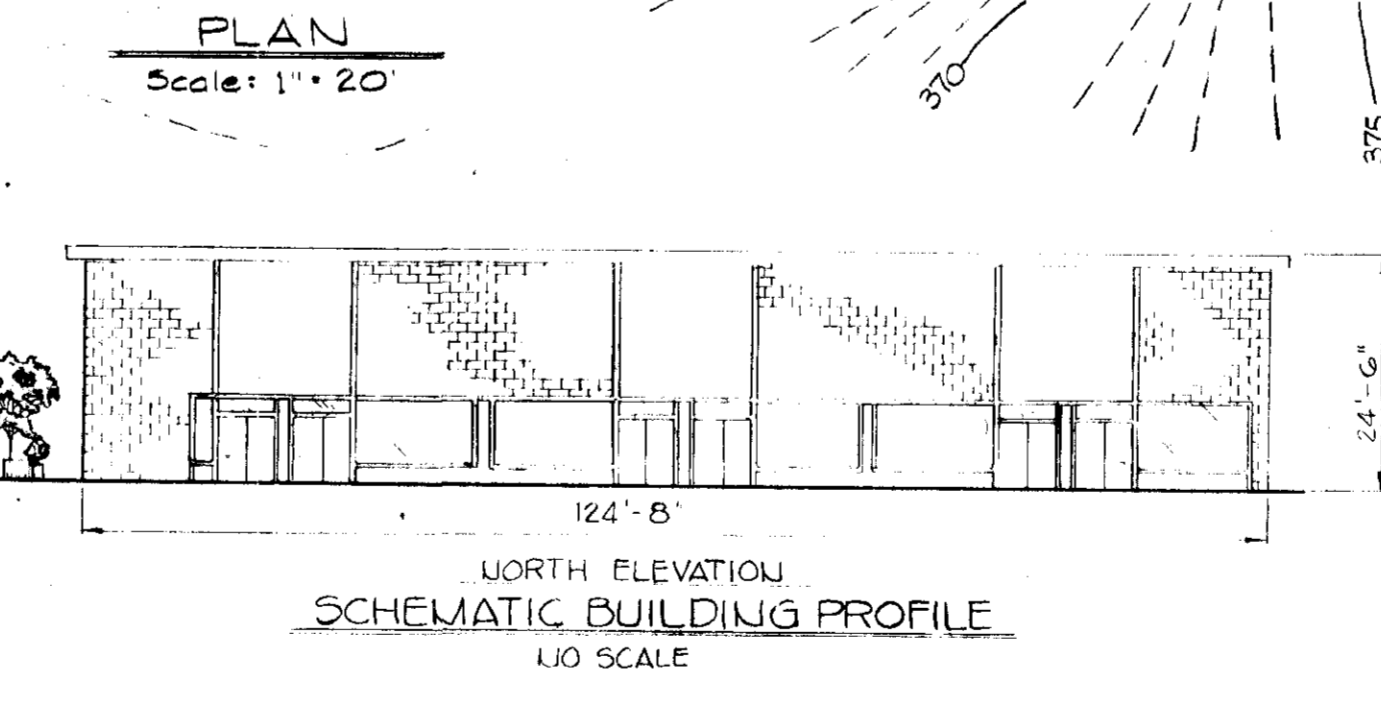
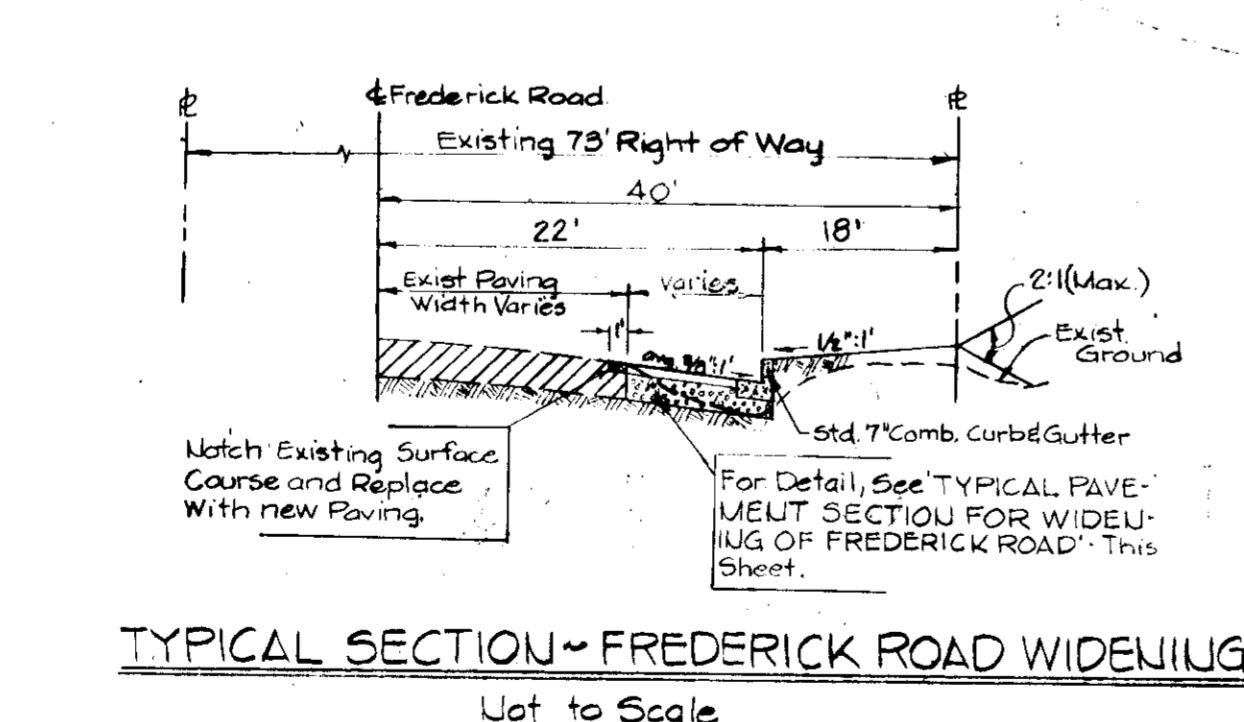
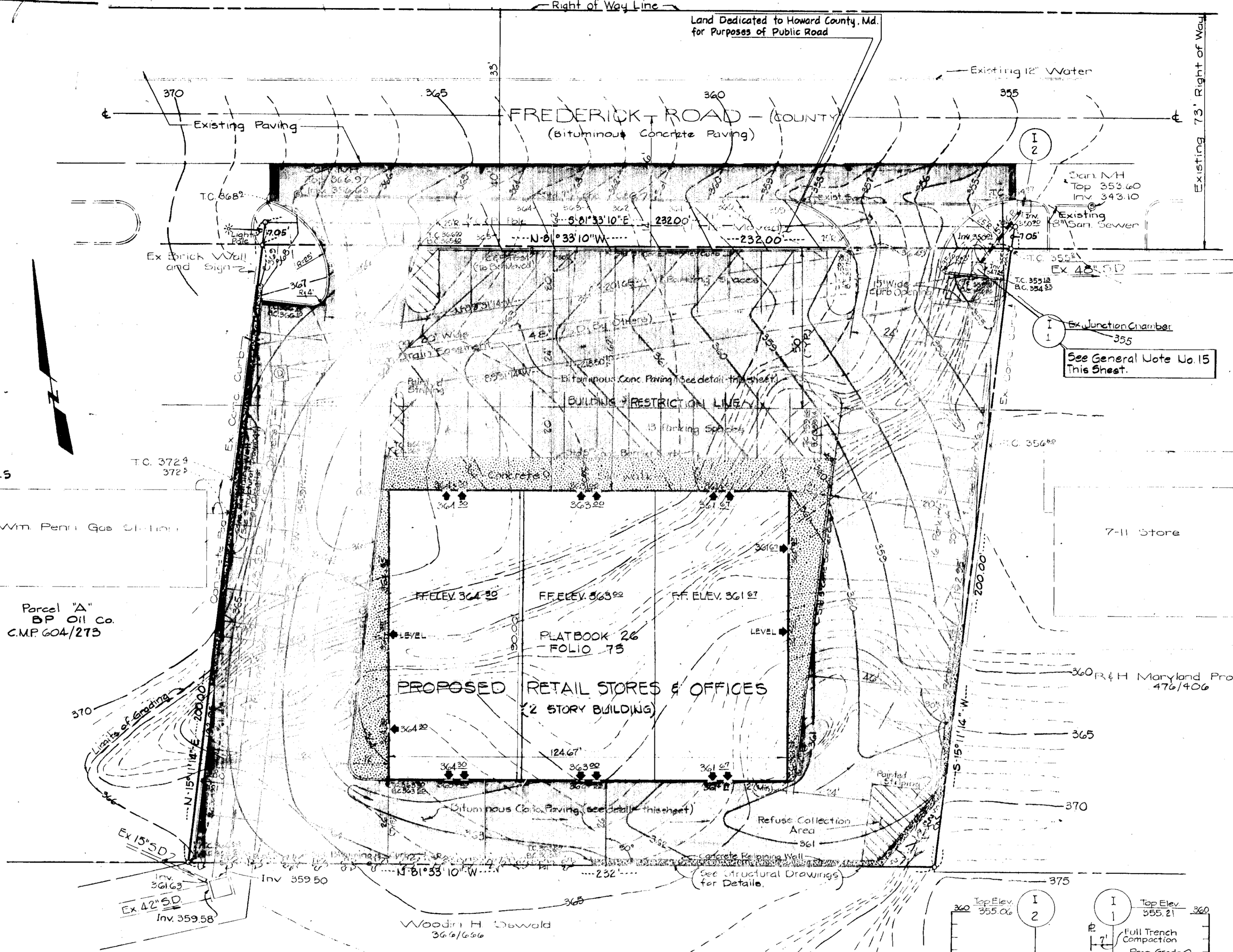
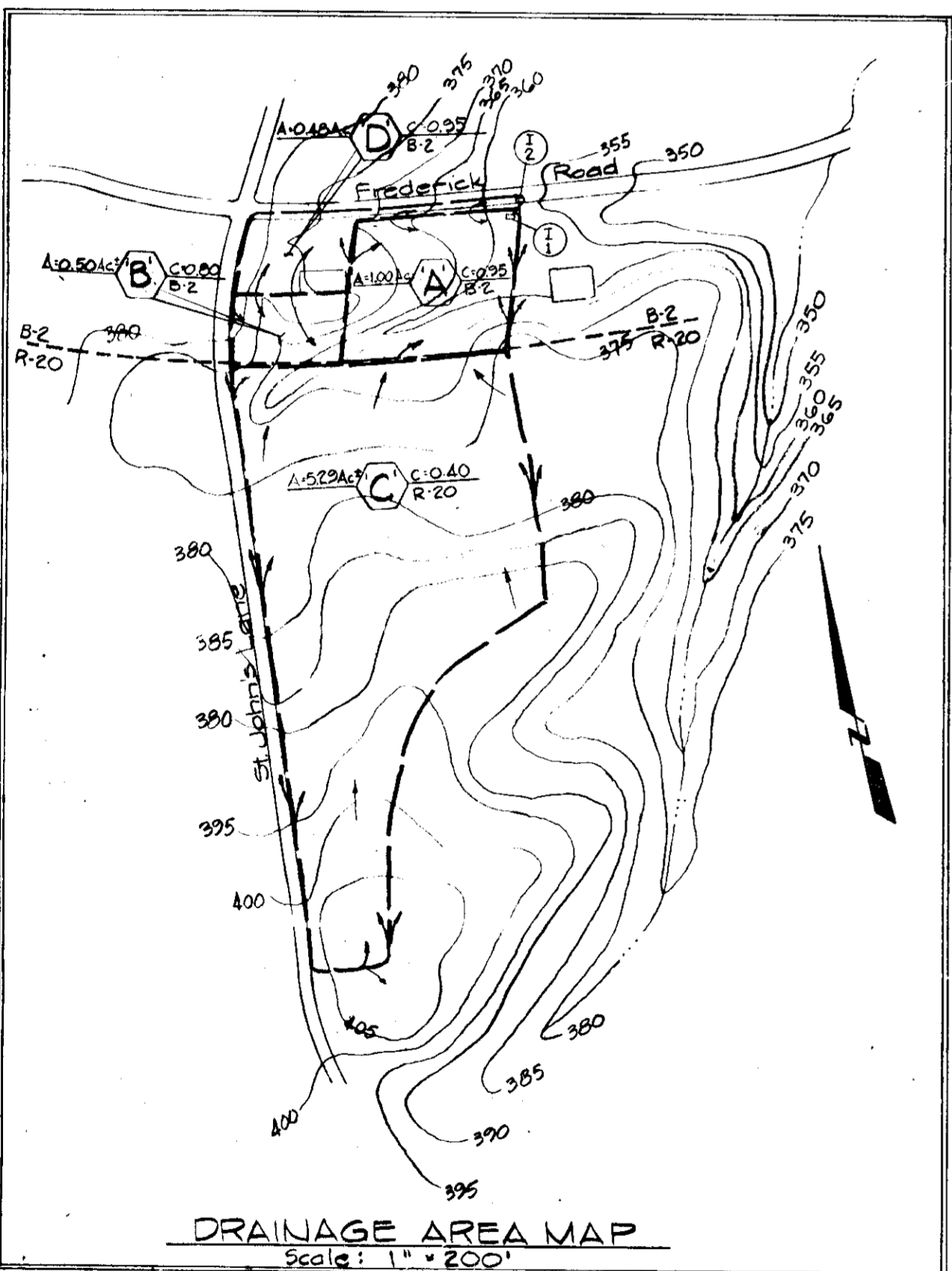
TYPICAL ON-SITE PAVMENT SECTION
 No Scale

STRUCTURE SCHEDULE					
No.	Type	Invert In	Invert Out	Top Elev.	Remarks
I-1	EXIST. JUNCTION CHAMBER	350.01	347.24	355.21	See General Note #15 This Sheet
I-2	"B"	350.00	350.00	355.06	H.C.R.C.C. & S.S. DWG. D-64-B



TYPICAL PARKING SPACE
 NOT TO SCALE

LEGEND	
Existing	Proposed
- Building	- Building
- Macadam Road	- Paving
- Property Line	- Concrete Sidewalk
- Sanitary Sewer w/Manhole	- Retaining Wall
- Storm Drain w/Inlet & Manhole	- Sanitary Sewer
- Water Main	- Storm Drain w/Inlet and Manhole
- Curb	- Water Main w/Valve
- Contour	- Curb
- Utility Pole	- Contour
- Centerline	
- Light Pole	



NO.	BY	DATE	REVISION
1	S.L.F.	10/11/74	Revised as per Ho Co Comments (by letter 10-2-74)
2	S.D.B.	11/16/74	Revised as per Ho Co Comments (by letter 11-8-74)

PURDUM and SCHIKE
 ENGINEERS and
 LAND SURVEYORS
 1023 N. CALVERT ST.
 BALTIMORE, MARYLAND
 21202

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 Designed By: S.L. FADER, D. HUNGERFORD
 Drawn By: S.L. FADER
 Checked By: M. ELMENSHAW

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 Planning Director: [Signature]
 Chief, Division of Land Development and Transportation Planning: [Signature]

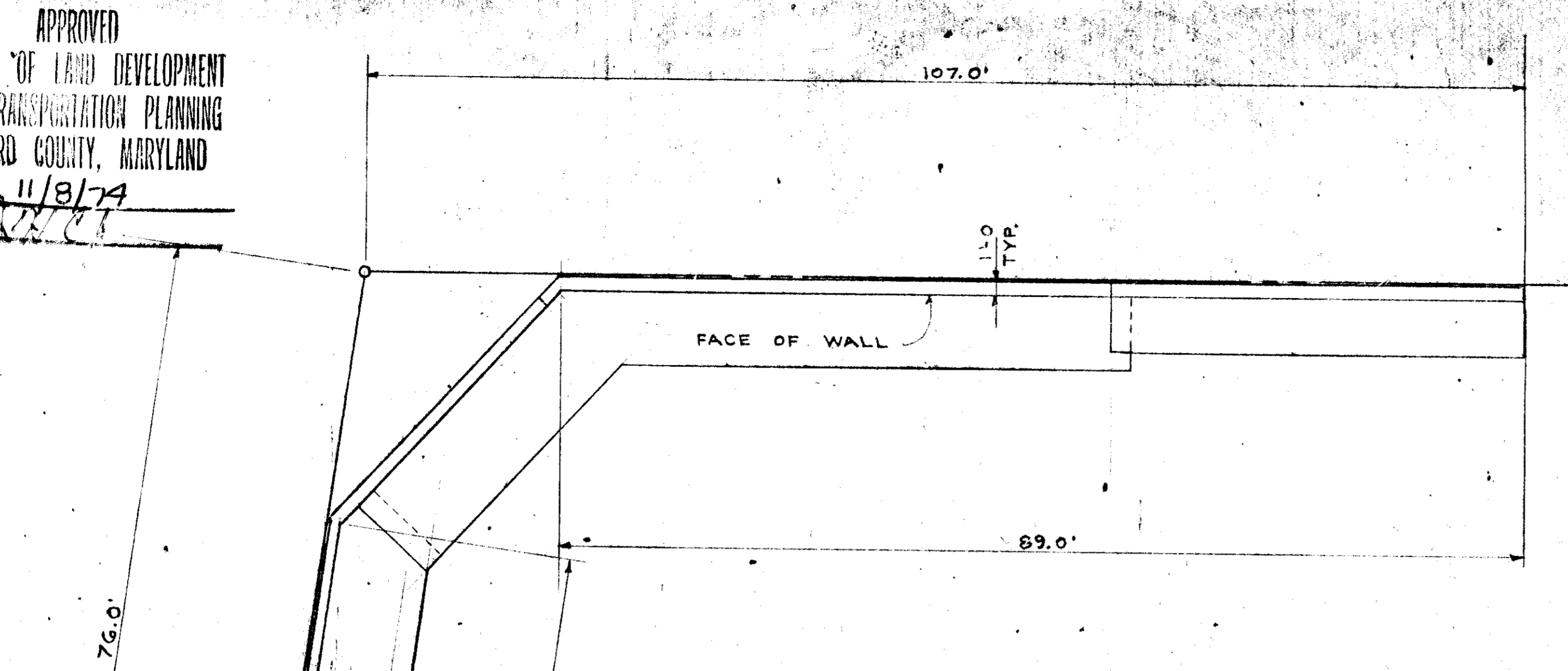
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
 Director: [Signature]
 Chief, Bureau of Highways: [Signature]

OWNER-DEVELOPER
 SAMUEL B. BECHKES, ET AL.
 8-12 N. CALVERT ST.
 BALTIMORE, MARYLAND, 21202
 PHONE: 727-5249

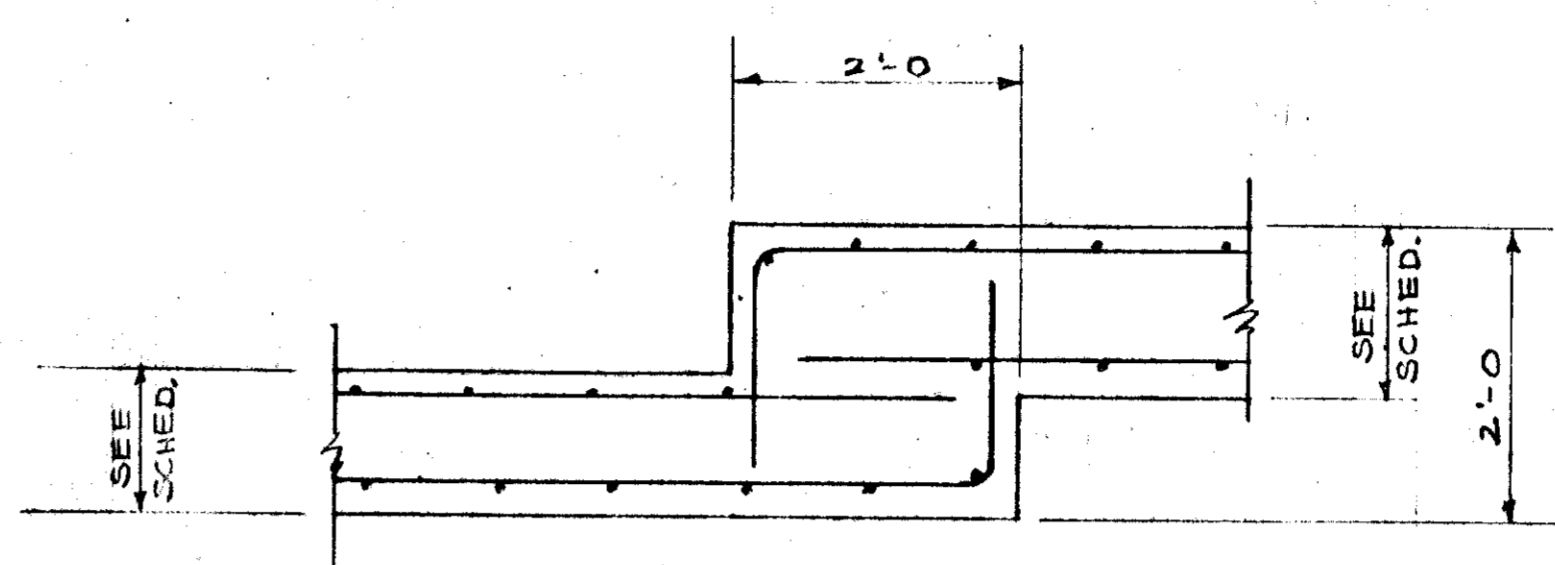
SITE DEVELOPMENT PLAN FOR THE PROPERTY OF:
 SAMUEL B. BECHKES, ET AL.
 BEING PARCEL "B"
 THE WOODIN H. OSWALD PROPERTY
 SECOND ELECTION DISTRICT HOWARD COUNTY, MD.
 SCALE: AS SHOWN
 AUGUST 27, 1974

SHEET
 1
 OF
 2

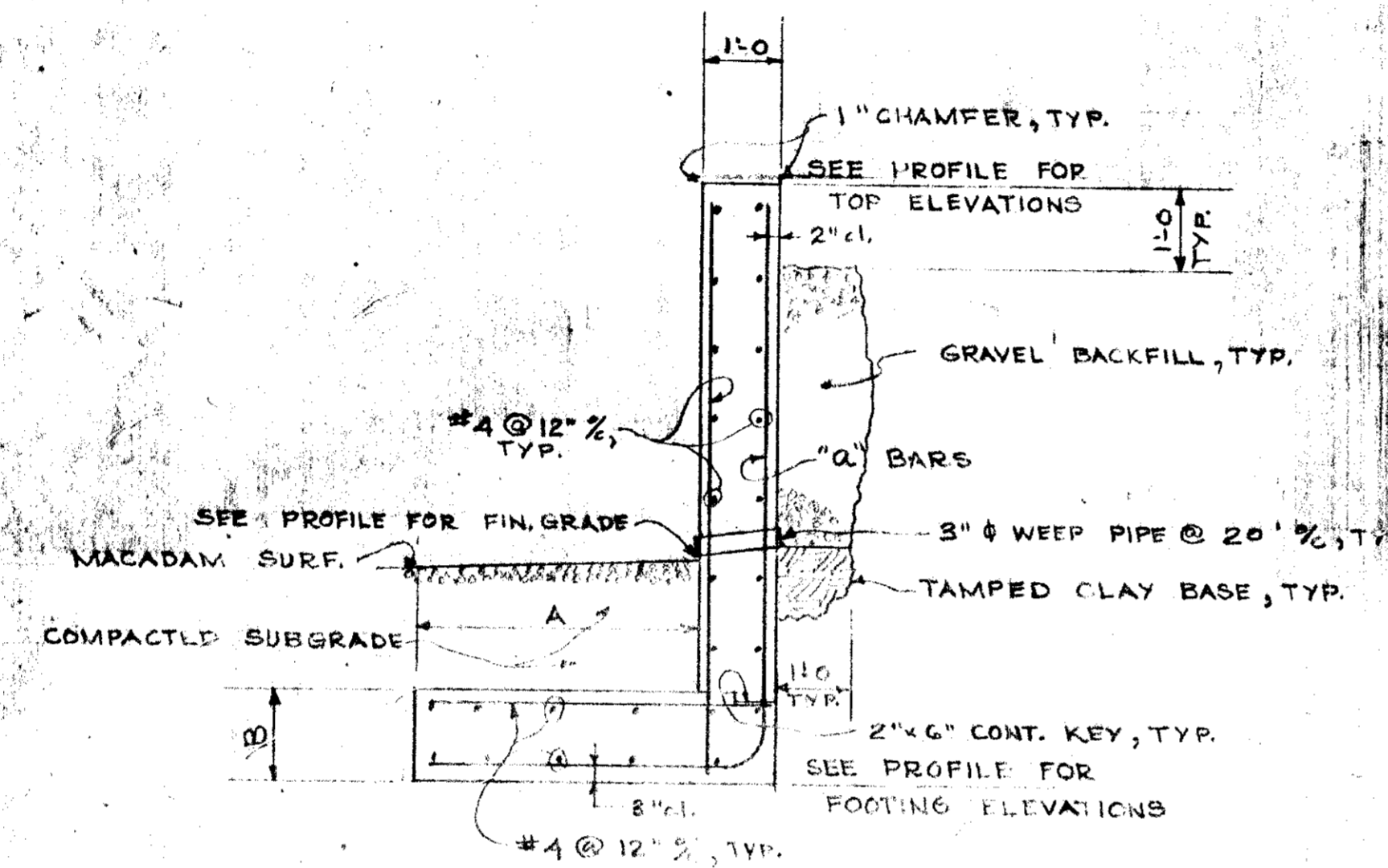
APPROVED
 DIVISION OF LAND DEVELOPMENT
 AND TRANSPORTATION PLANNING
 HOWARD COUNTY, MARYLAND
 DATE 11/8/74



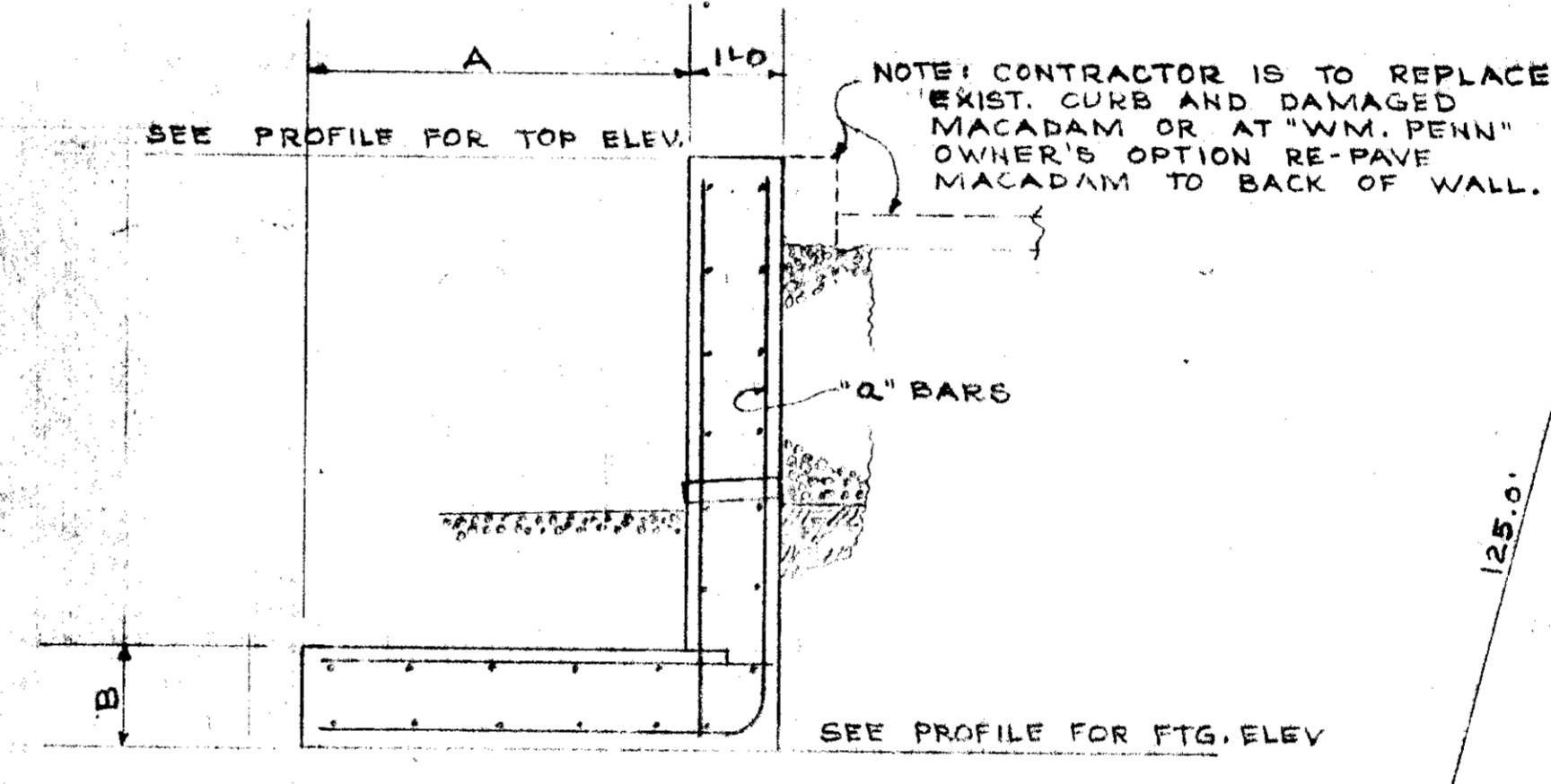
EAST RETAINING WALL PLAN - SCALE 1"=10.0'



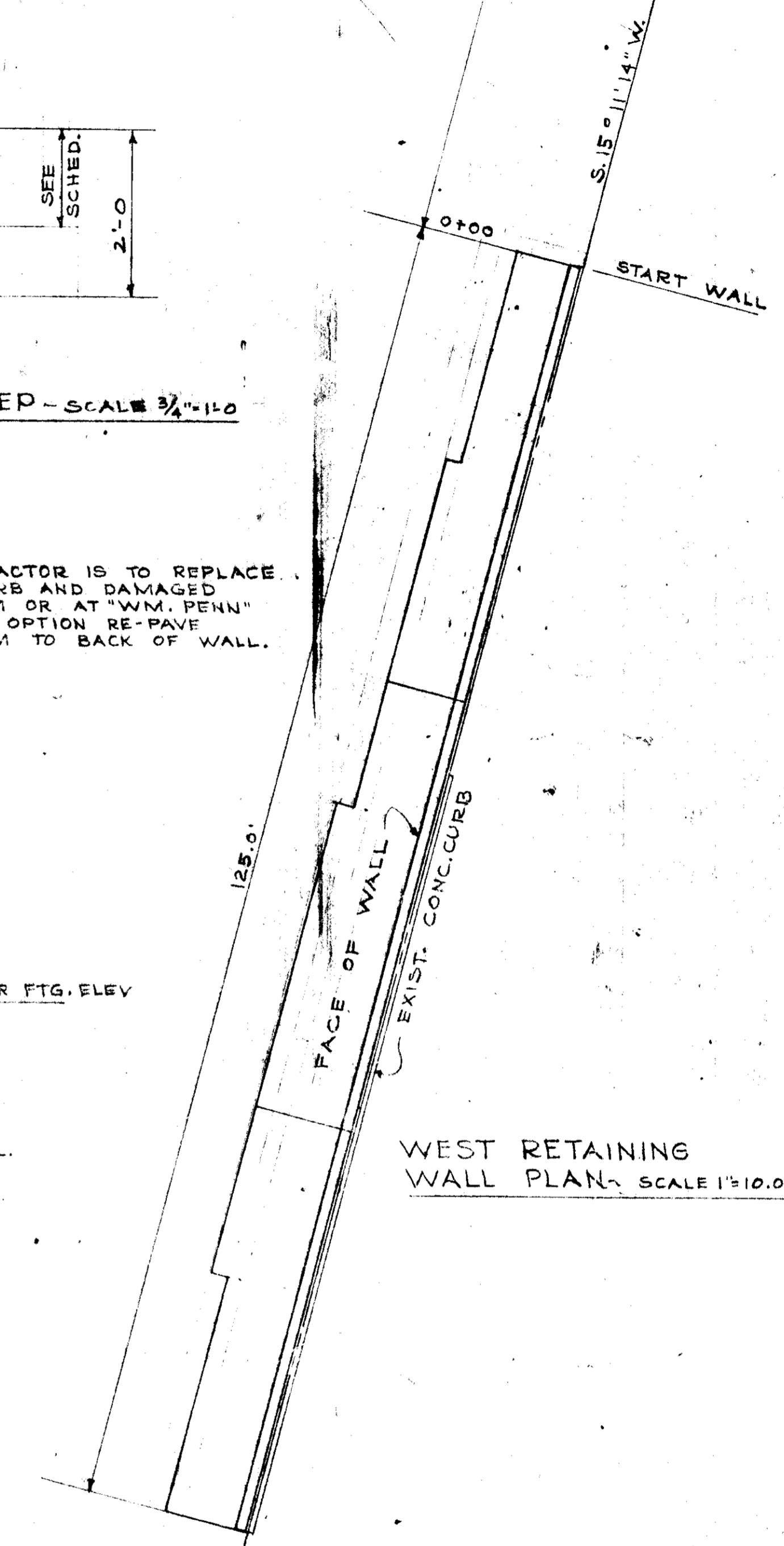
TYP SECTION THROUGH FTG. STEP - SCALE 3/4"=1.0'



EAST RETAINING WALL DETAILS - NO SCALE

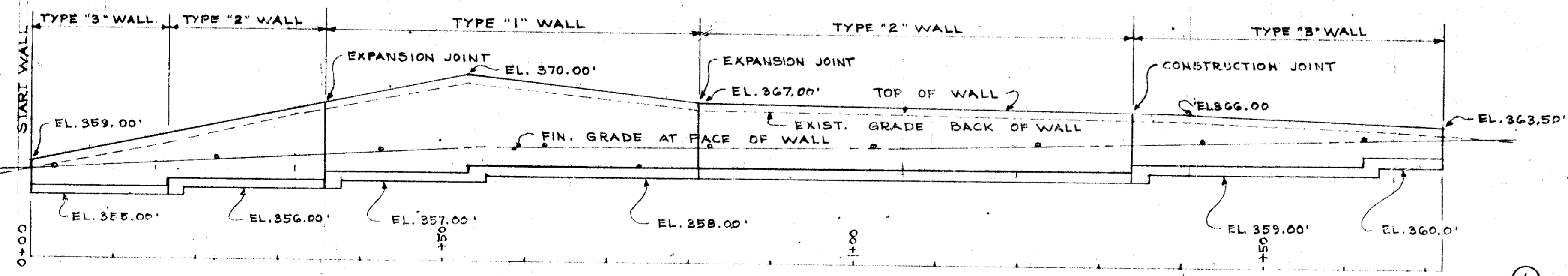


WEST RETAINING WALL DETAILS - NO SCALE
 NOTE: REPEAT NOTES FROM EAST RETAINING WALL.

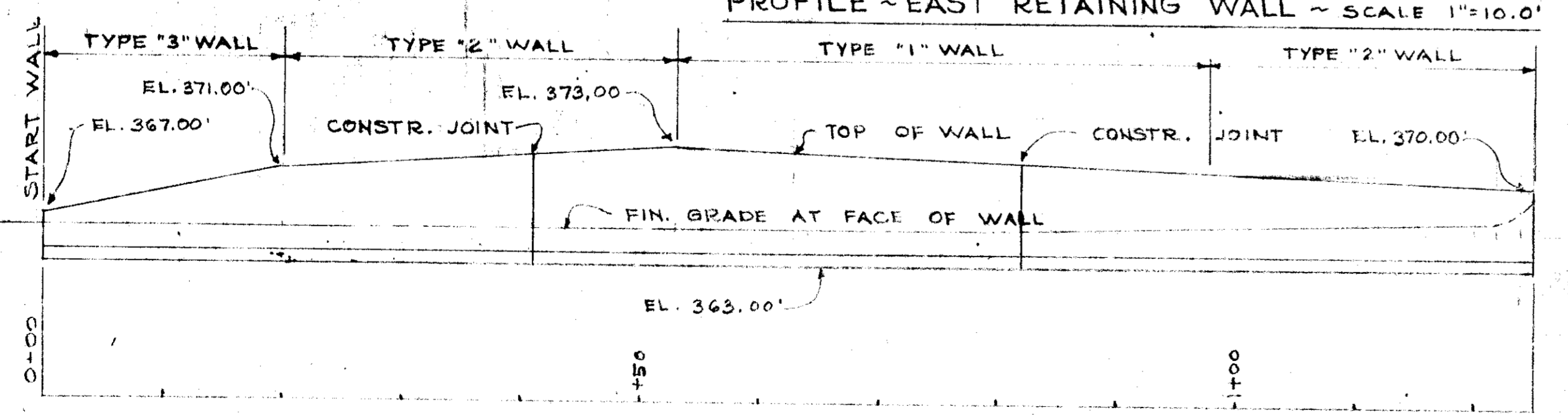


WEST RETAINING WALL PLAN - SCALE 1"=10.0'

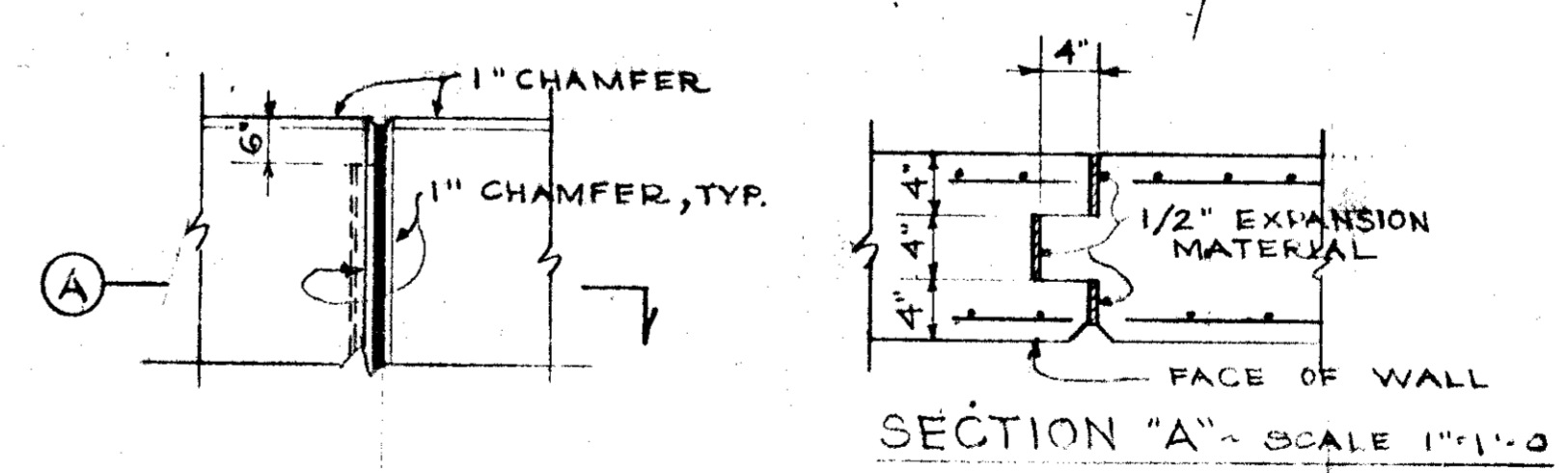
RETAINING WALL SCHEDULE			
TYPE	A	B	"A" BARS
1	8'-6"	1'-2"	#6 @ 6" TYP.
2	6'-6"	1'-2"	#6 @ 12" TYP.
3	5'-0"	1'-0"	#5 @ 12" TYP.
4			



PROFILE - EAST RETAINING WALL - SCALE 1"=10.0'



PROFILE - WEST RETAINING WALL - SCALE 1"=10.0'

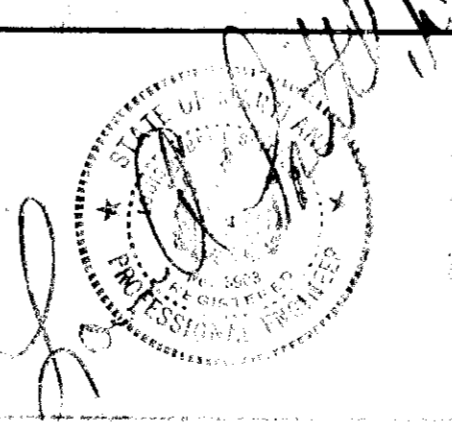


EXPANSION JOINT DETS.

NOTES: 1. SECTION THROUGH FOOTING JOINT SIMILAR EXCEPT NO EXP. MATERIAL OR CHAMFER REQ'D AND REINFORCEMENT IS CONTINUOUS THROUGH JOINT.
 2. SECTION THROUGH CONSTRUCTION JOINTS SIMILAR EXCEPT NO EXP. MATERIAL REQ'D.

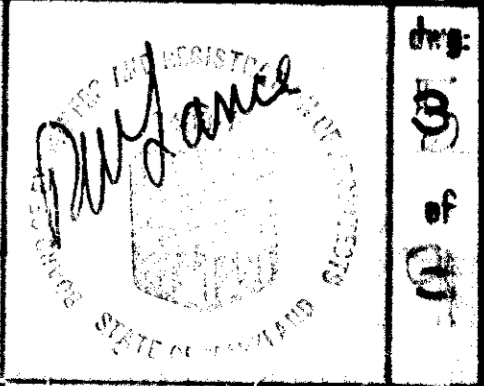
NOTE: FOUNDATION OF ALL RETAINING WALLS SHALL BE COMPACTED TO A CAPACITY OF 2 TONS PER SQ. FT.

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS & ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DATE 11/8/74
 APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 DATE 11/7/74
 APPROVED DIVISION OF LAND DEVELOPMENT AND TRANSPORTATION PLANNING
 DATE 11/7/74
 APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT
 DATE 11/7/74



RETAIL STORES & OFFICES
 FREDERICK ROAD NEAR ST. JOHN'S LANE
 HOWARD COUNTY - MARYLAND

R.W. LANCE ASSOCIATES ARCHITECT A.I.A.
 6285 MAIN ST., P.O. BOX 183, ELICOTT CITY, MD. 21043 465-7888



DATE: 11-10-74
 NO: SDP-75-16