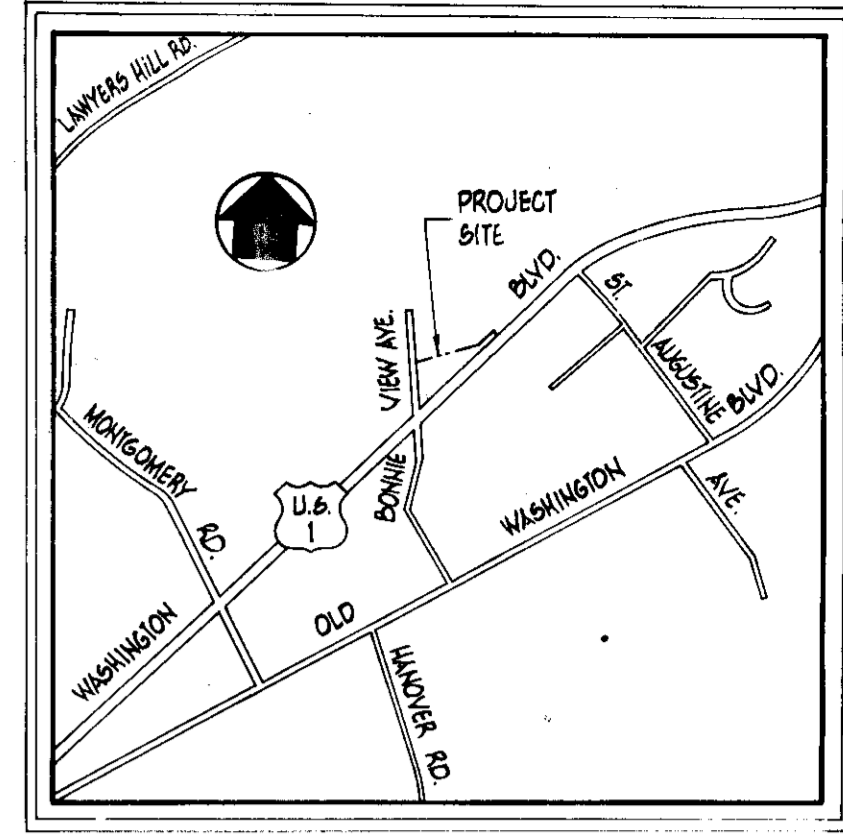
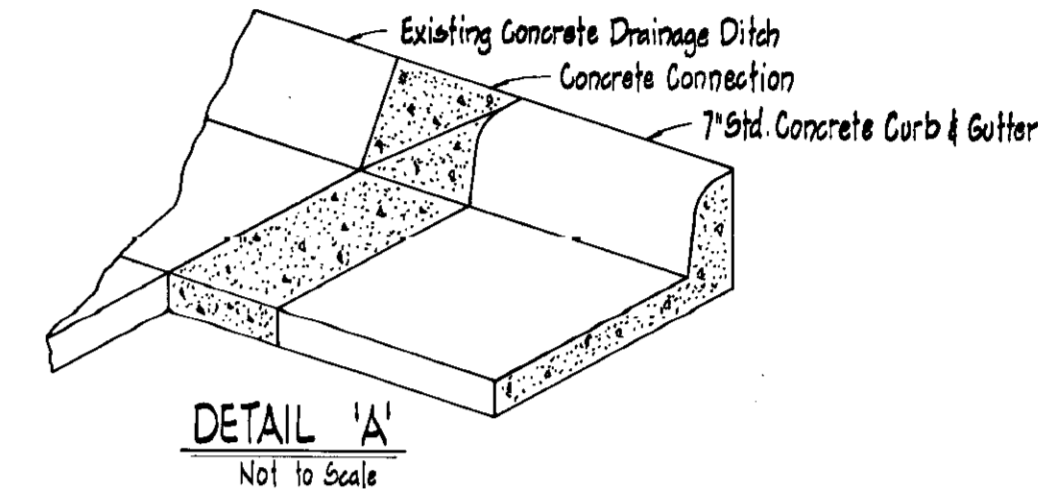


GENERAL NOTES (cont.)

16. All curbs to be Howard County Standard 7" combination curb and gutter an per Standard Detail No. D-40.
17. Minimum building setback restrictions from property lines to R/W line of any public road or street to be in accordance with Howard County Zoning Regulations.
18. The contractor shall notify the following utility companies a minimum of 3 days in advance of construction operations.
Bell Telephone System 393-3649
Long Distance Cable Division 393-3553
Baltimore Gas and Electric Co. 539-8000
19. No fences or walls shall be constructed on this site.
20. All sidewalks to be 5'-0" wide concrete, 4" thick.
21. Total No. of Employees - 4
22. Total No. of Parking Spaces Required - 42
Total No. of Parking Spaces Provided - 43
23. Base will be primed in accordance with Section C-30-3 as provided in the Howard County Road Construction Code and Standard Specifications.
24. Tack Coat is required in accordance with Section C-31-4 of the Howard County Road Construction Code and Standard Specifications.
25. The existing topography was obtained from a survey done by Meredith Helm, L.S., Hyattsville, Maryland July, 1969 and was provided by the client.



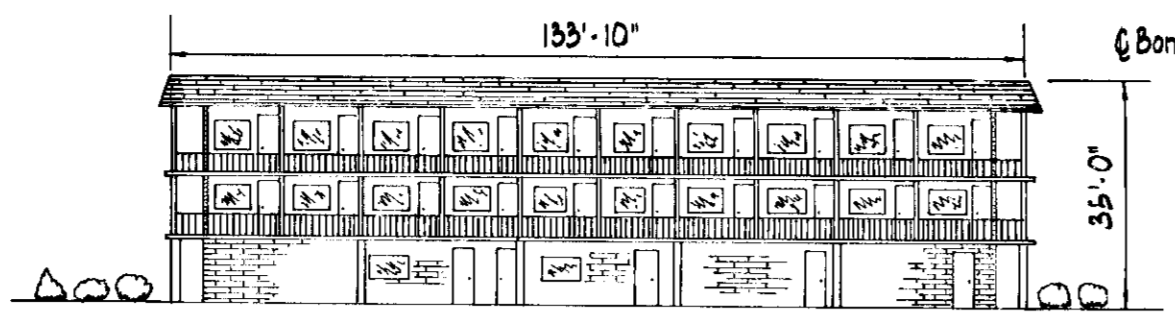
VICINITY MAP
Scale: 1" = 1200'



DETAIL 'A'
Not to Scale

GENERAL NOTES

1. Present Zoning - M-1.
 2. Total area of Parcel - 1.78 Ac.±
 3. Total floor space - 12,390 sq.ft.
a) First Floor - 2,870 sq.ft.
b) Second Floor - 4,760 sq.ft.
c) Third Floor - 4,760 sq.ft.
 4. Number of motel units - 40
a) 8 units - Single room
b) 32 units - Double room
 5. Minimum area of each unit
a) Single - 192 sq.ft.
b) Double - 216 sq.ft.
 6. All parking spaces to be 10' x 20'.
 7. All interior roads shall be privately owned.
 8. Public water and sewerage systems will be used.
 9. Proposed grades contours represent finished grades, contractor shall make allowances to subgrade for topsoil, paving and other surface finishes as required.
 10. Contours and elevations are controls only. All grading is to be smooth and continuous.
 11. All construction materials and details shall be in accordance with the latest revisions of the Howard County Road Construction Code and Standard Specifications.
 12. All areas disturbed by grading or contractor's operations, not being paved, shall be topsoiled, seeded and mulched in accordance with the following:
a) Place 3" compacted layer of topsoil to finished grade.
b) Spread pulverized dolomitic limestone at the rate of one ton/acre.
c) Spread 5-10-10 commercial grade fertilizer at the rate of 1000 lbs./acre and immediately disc into topsoil to a depth of 3".
d) Seed prepared areas at the rate of 200 lbs./acre using Kentucky Fescue No. 31.
e) Mulch all areas immediately after seeding with unweathered small grain straw or hay at the rate of 1.5 tons/acre; spray mulch with emulsified asphalt at the rate of 0.24 gals./sq.yd.
 13. Locations of existing utilities is approximate and is obtained from recorded drawings.
 14. See architectural drawings for building dimensions.
 15. All parking lot paving shall consist of 4" Crusher Run Base Course, 3" Bituminous Concrete Binder and 1" Bituminous Surface Course Band C-3.
- Note: The Contractor Shall Save All Existing Trees, Where Possible, On The Project Site Removing Only Undesirable Species.



SCHEMATIC BUILDING PROFILE
Scale: 1" = 30'

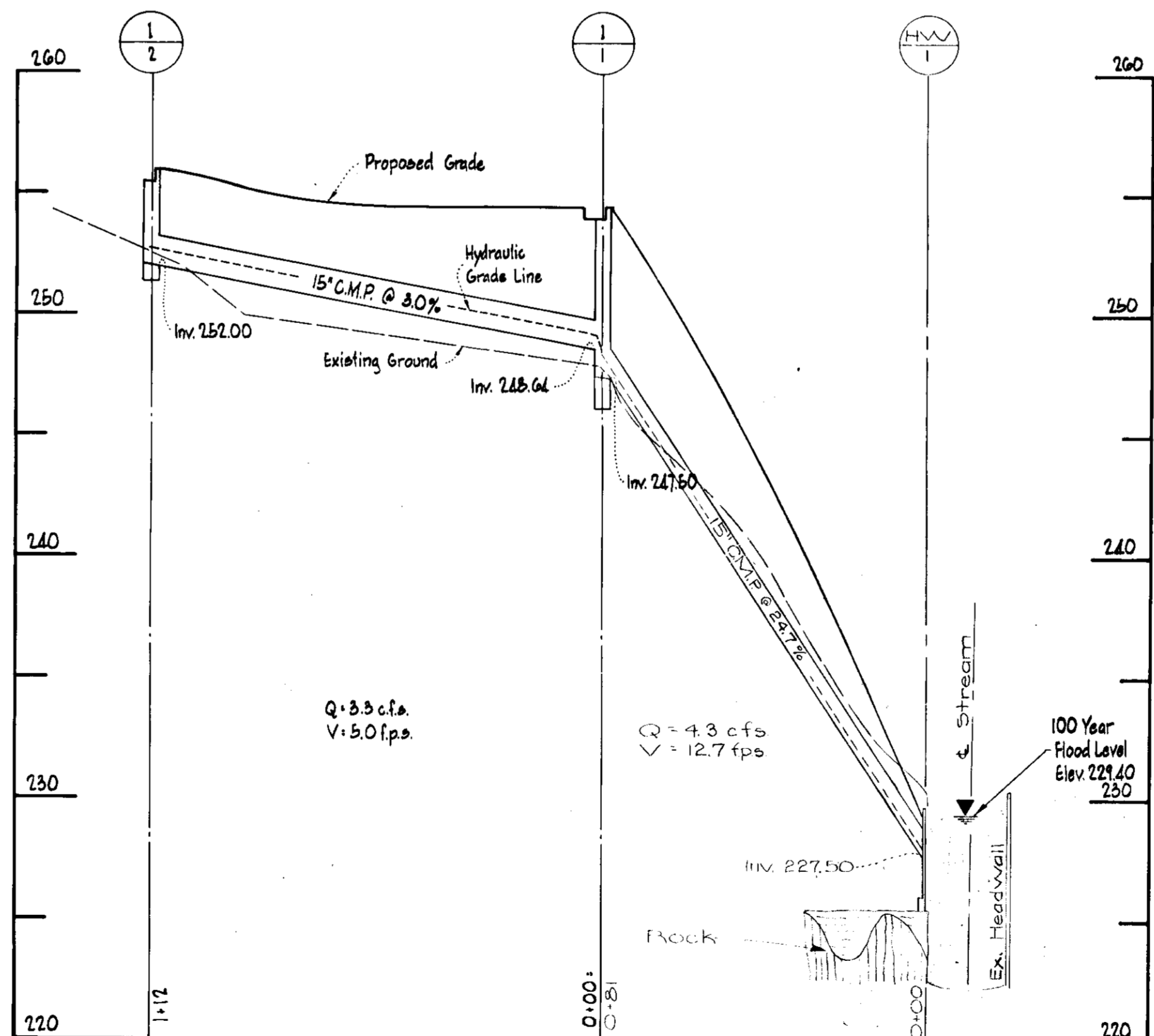


TYPICAL ROAD WIDENING BONNIE VIEW LN.
Scale: 1" = 6'

Bituminous Concrete Surface	1"	Band C-3
Bituminous Concrete Binder	3"	Gravel Mix
Crusher Run	4"	

8" PAVEMENT SECTION
Not to Scale

SITE PLAN
Scale: 1" = 30'



STORM DRAIN PROFILE
Scale: Horiz. 1" = 50'
Vert. 1" = 5'

- Bench Mark #1 - Elev. 280.00
Top of Pipe
- Bench Mark #2 - Elev. 224.44
Top of Stone
- Bench Mark #3 - Elev. 255.66
Top of Pipe
- Bench Mark #4 - Elev. 251.36
Top of Pipe

STRUCTURE		SCHEDULE		Remarks
No.	Type	Inv. In	Inv. Out	
I-2	15' Comb.	252.00	255.50	Howard County Standard D-99
I-1	15' Comb.	248.64	247.50	Howard County Standard D-99
HW-1	ES		227.50	Howard County BDD-71

Note: All 15' C.M.P. to be 16 Gauge.

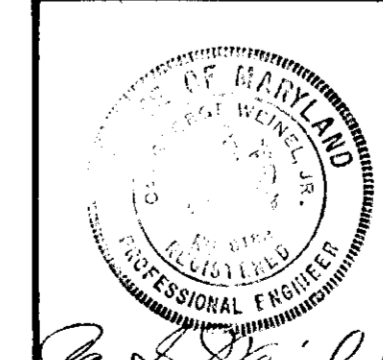
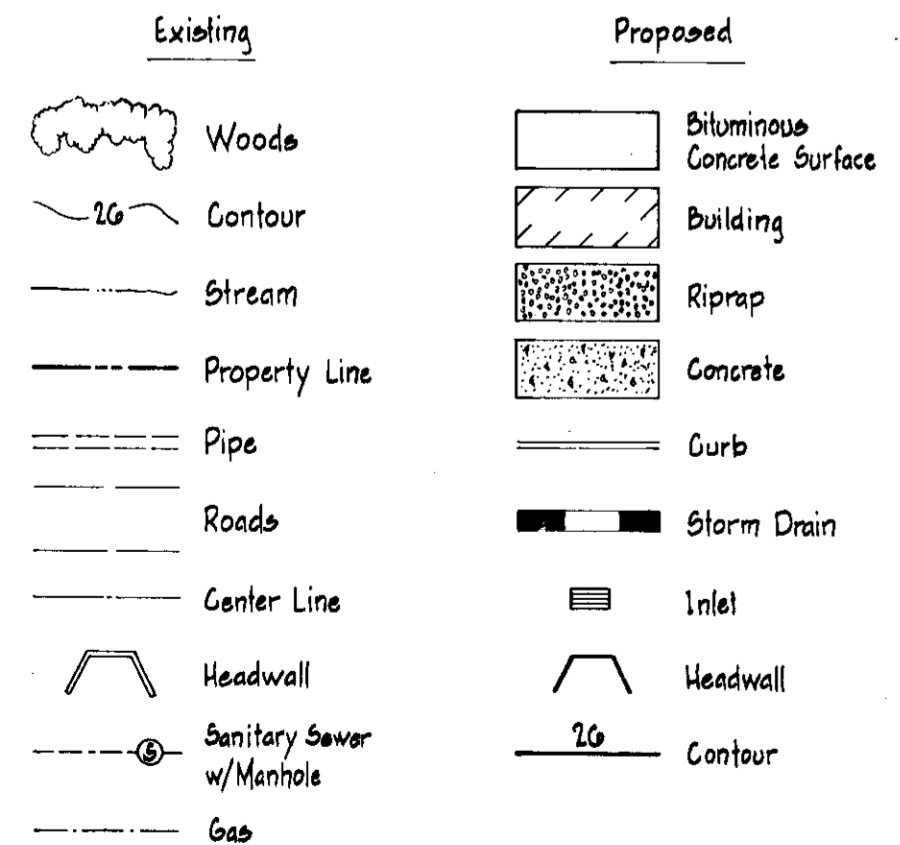
BONNIE VIEW LANE

WASHINGTON BLVD.

ROUTE 1

U.S.

LEGEND



APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Director: *[Signature]* 8/14/74
 DATE: 8/14/74

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 Planning Director: *[Signature]* 8/14/74
 DATE: 8/14/74

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 County Health Officer: *[Signature]* 8/13/74
 DATE: 8/13/74

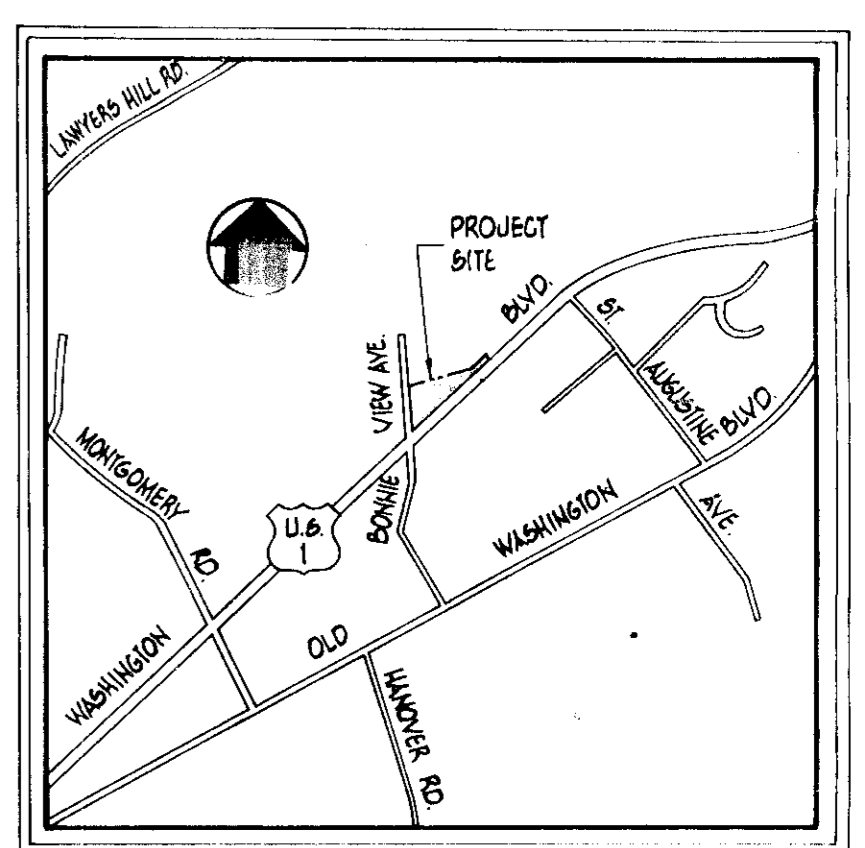
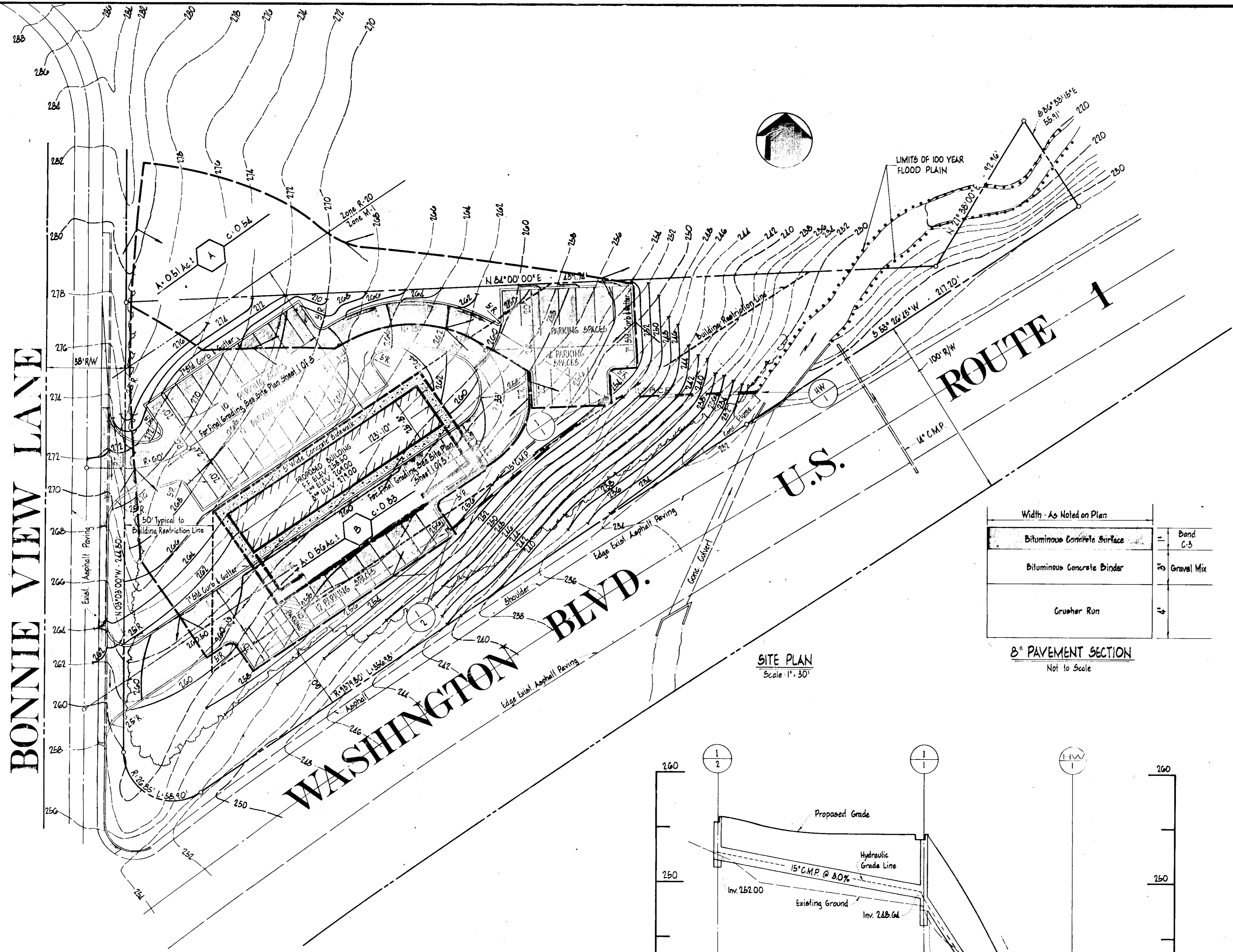
SITE DEVELOPMENT PLAN
MILINER MOTEL
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 TAX MAP NO. 38 PARCEL NO. 39

OWNER & DEVELOPER
 JAMES A. MILINER, JR.
 CHESAPEAKE MOTEL
 ROUTE 301 & ROUTE 50
 GRASONVILLE, MARYLAND 21638
 301/827-7272

PURDUM & JESCHKE
 CONSULTING ENGINEERS
 LAND SURVEYORS
 1023 North Calvert Street
 Baltimore, Maryland 21202 301/837-0194

Design: R. BEIGH
 Drawn: B. BURTON
 Checked: M. FLEMINGHAM

Scale: AS NOTED
 Date: MAY 9, 1974
 Sheet No. 1 of 3



VICINITY MAP
Scale: 1" = 1200'

Width - As Noted on Plan

Bituminous Concrete Surface	=	Dand C-3
Bituminous Concrete Binder	=	Gravel Mix
Grusher Run	=	

8" PAVEMENT SECTION
Not to Scale

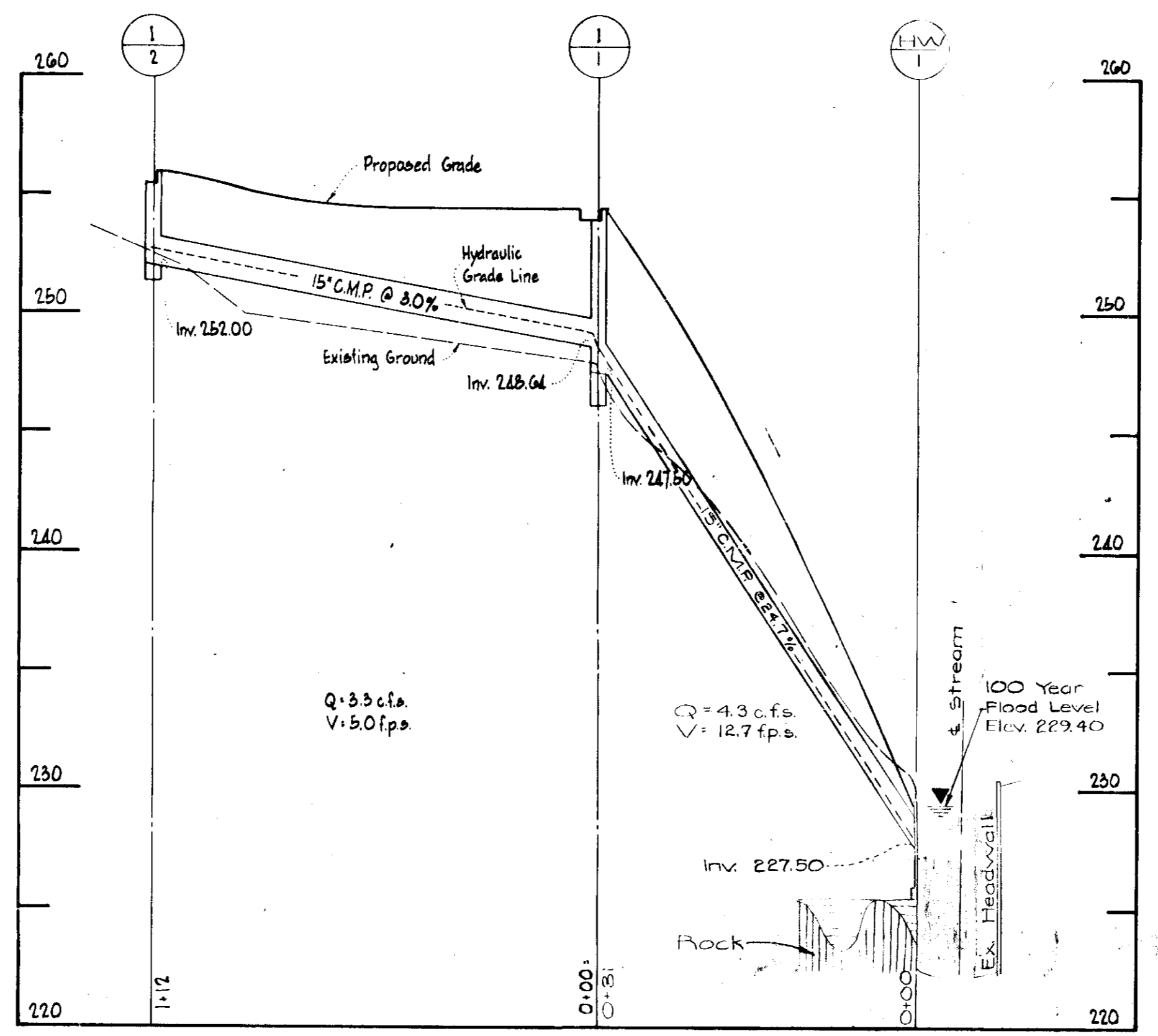
SITE PLAN
Scale: 1" = 30'

LEGEND

	Existing		Proposed
	Woods		Bituminous Concrete Surface
	Contour		Building
	Stream		Riprap
	Property Line		Contour
	Pipe		Curb
	Roads		Storm Drain
	Center Line		Inlet
	Headwall		Headwall

STRUCTURE SCHEDULE

No.	Type	Inv In	Inv Out	Top Grate	Remarks
I-2	'5' Comb.	252.00	255.50	255.50	How. Co. Standard 11-99
I-1	'5' Comb.	248.64	247.50	253.50	How. Co. Standard 11-99
HW-1	'5'	227.50			Howard Co. SDD-21



STORM DRAIN PROFILE
Scale: Horiz. 1" = 30', Vert. 1" = 5'

8-1-74
JAC

2	July 16, 1974	Revised storm drain outfall as per H.S.C.D.
1	June 20, 1974	100 Year Flood Plain Study, Widened & Extended Bonnie View Avenue

DRAINAGE AREA MAP
MILINER MOTEL
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
TAX MAP NO. 38 PARCEL NO. 39

OWNER & DEVELOPER
JAMES A. MILINER, JR.
CHESAPEAKE MOTEL
ROUTE 301 & ROUTE 50
GRASONVILLE, MARYLAND 21638
301/827-7272

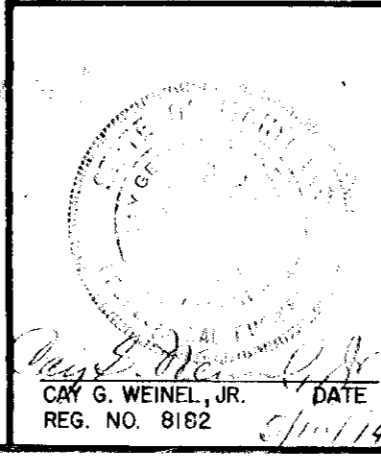
PURDUM & JESCHKE
CONSULTING ENGINEERS
LAND SURVEYORS
1023 North Calvert Street
Baltimore, Maryland 21202 301/837-0194

Design: R. BERGICH Scale: AS NOTED
Drawn: B. BURTON Date: MAY 2, 1974
Checked: M. ELMENSHAWY Sheet No. 2 of 3

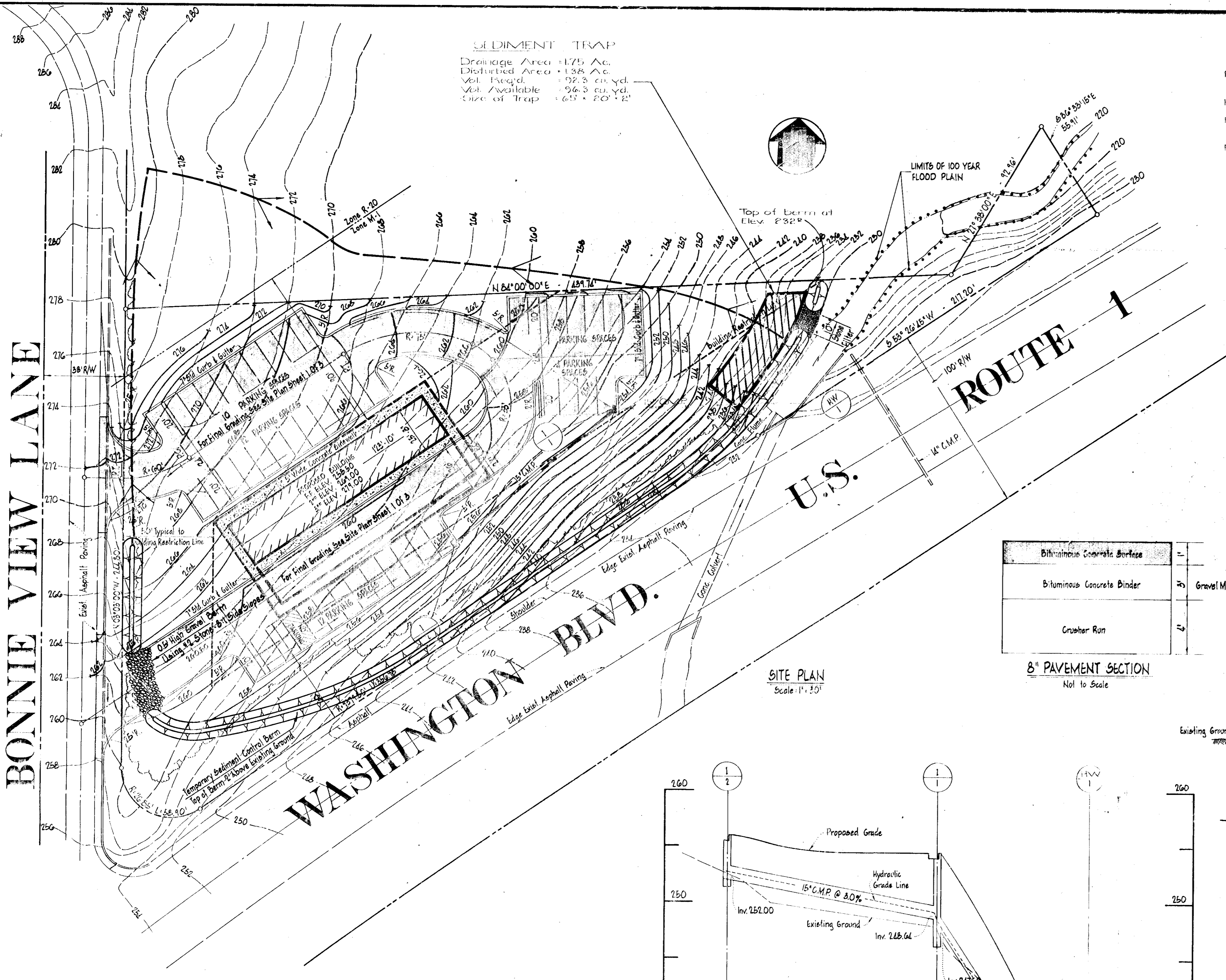
APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
JAMES A. MILINER, JR. DIRECTOR DATE: 5/14/74
CHIEF, BUREAU OF HIGHWAYS DATE: 5/14/74

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
JAMES A. MILINER, JR. PLANNING DIRECTOR DATE: 5/14/74
CHIEF, DIVISION OF LAND DEVELOPMENT AND TRANSPORTATION PLANNING DATE: 5/14/74

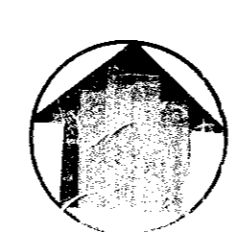
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
D. W. WEINER, JR. COUNTY HEALTH OFFICER DATE: 5/14/74



BONNIE VIEW LANE

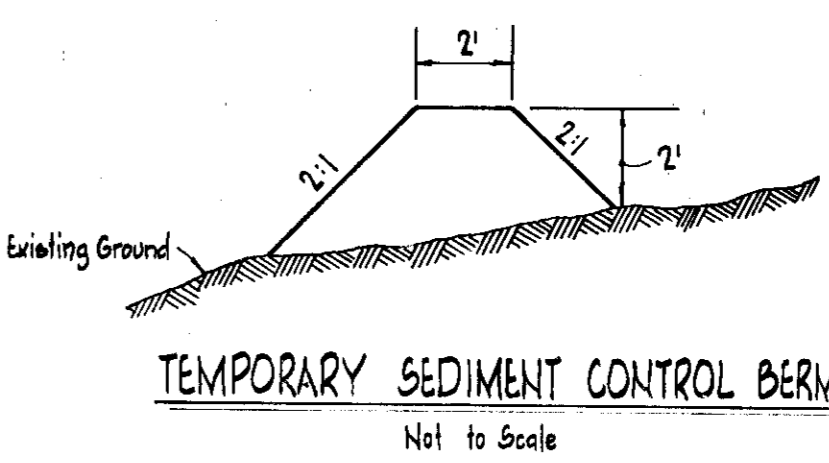


SEDIMENT TRAP
 Drainage Area: 1.75 Ac.
 Disturbed Area: 1.38 Ac.
 Vol. Trapped: 92.3 cu. yd.
 Vol. Available: 96.3 cu. yd.
 Size of Trap: 65' x 20' x 2'



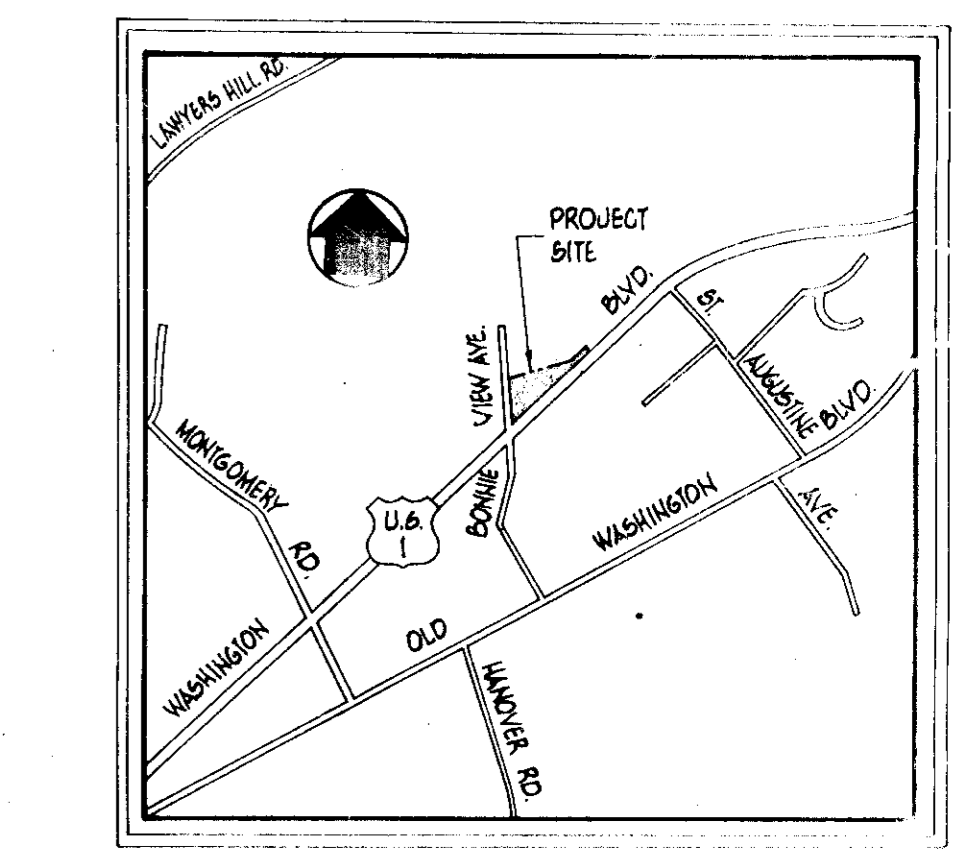
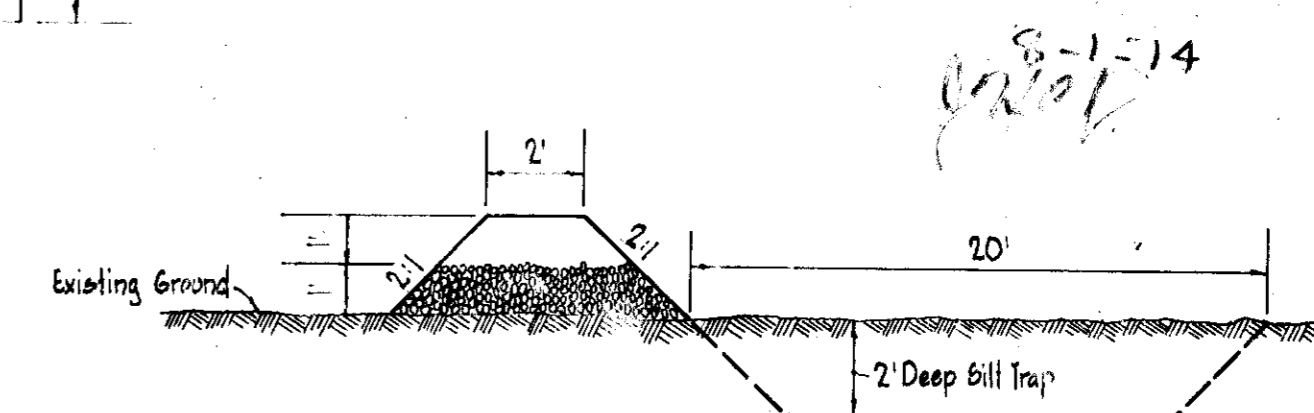
- SEDIMENT CONTROL CONSTRUCTION SEQUENCE**
- Phase 1: a) Install sediment trap, dike, stone filter and stabilize them. b) Rough grade the site.
 - Phase 2: a) Build storm drain system - cap all inlets until paving is complete.
 - Phase 3: a) Building construction. b) Install curb and gutter. c) Pave all designated areas.
 - Phase 4: a) Remove sedimentation dike & stone filter. b) Final grade all areas requiring it. c) Establish all vegetative cover.

Note: For Final Grading Plan See Site Development Plan Sheet No. 1 of 3



8" PAVEMENT SECTION
 Not to Scale

Bituminous Concrete Surface	1"	
Bituminous Concrete Binder	3"	Gravel Mix
Crusher Run	4"	



SEDIMENT CONTROL PLAN

- The developer shall notify the Howard County Soil Conservation District at least 24 hours prior to beginning any construction shown herein.
- All sediment control measures to be constructed and stabilized prior to any onsite grading or disturbance to any existing surface material. The method of stabilizing shall be as follows:
 - A. Site preparation:
 - Harrow or disc all areas to be seeded the following materials at the specified rate to a depth of 3":
 - a) Pulverized limestone at 1 ton/acre.
 - b) Commercial Fertilizer 5-10-10 at 1000 lbs./acre.
 - Seeding all surfaces:
 - Sow the following seed mixture at the rate of 100 lbs./acre:
 - a) 20% Annual Rye Grass
 - b) 80% Kentucky 31 Fescue
 - Mulching:
 - Seeded areas shall be uniformly mulched immediately after seeding with unweathered small grain straw at the rate of 1 1/2 to 2 tons/acre.
 - Tie mulch down with liquid asphalt at 0.1 gal./sq.yd. or emulsified asphalt at 0.24 gal./sq.yd. or mulch netting.
- All sediment control structures to remain in place until permission for their removal has been obtained from the Howard Soil Conservation District. (465-5000 Ext. 328)
- All disturbed areas not to be paved or built upon within 3 months shall be stabilized in accordance with note No. 2.
- No sediment control measure may be removed until all areas upstream have been stabilized.
- The open end of all storm drain pipes must be capped at the end of each day with plywood sheathing and held in place with sand bags.
- All inlets not protected by sediment control measures will be capped until all areas upstream have been stabilized.
- In all drainage ways and swales steeper than 3%, a light weight plastic or cotton netting must be stapled over mulch according to manufacturer's recommendations.
- The method of stabilizing slopes of 3:1 or steeper shall be as set forth in Note #2 above, except that the seeding shall be 15 lb. of Crown Vetch (Inoculated) per acre and 40 lb. of Kentucky 31 Fescue per acre.

SITE ANALYSIS

1. Total Area of Site	= 1.78 Ac. ±
2. Area to be Paved	= 0.69 Ac. ±
3. Area to be revegetated	= 0.72 Ac. ±
4. Net Area not to be disturbed	= 0.37 Ac. ±

WASHINGTON BLVD.

ROUTE 1

U.S.

SITE PLAN
 Scale: 1" = 30'

8" PAVEMENT SECTION
 Not to Scale

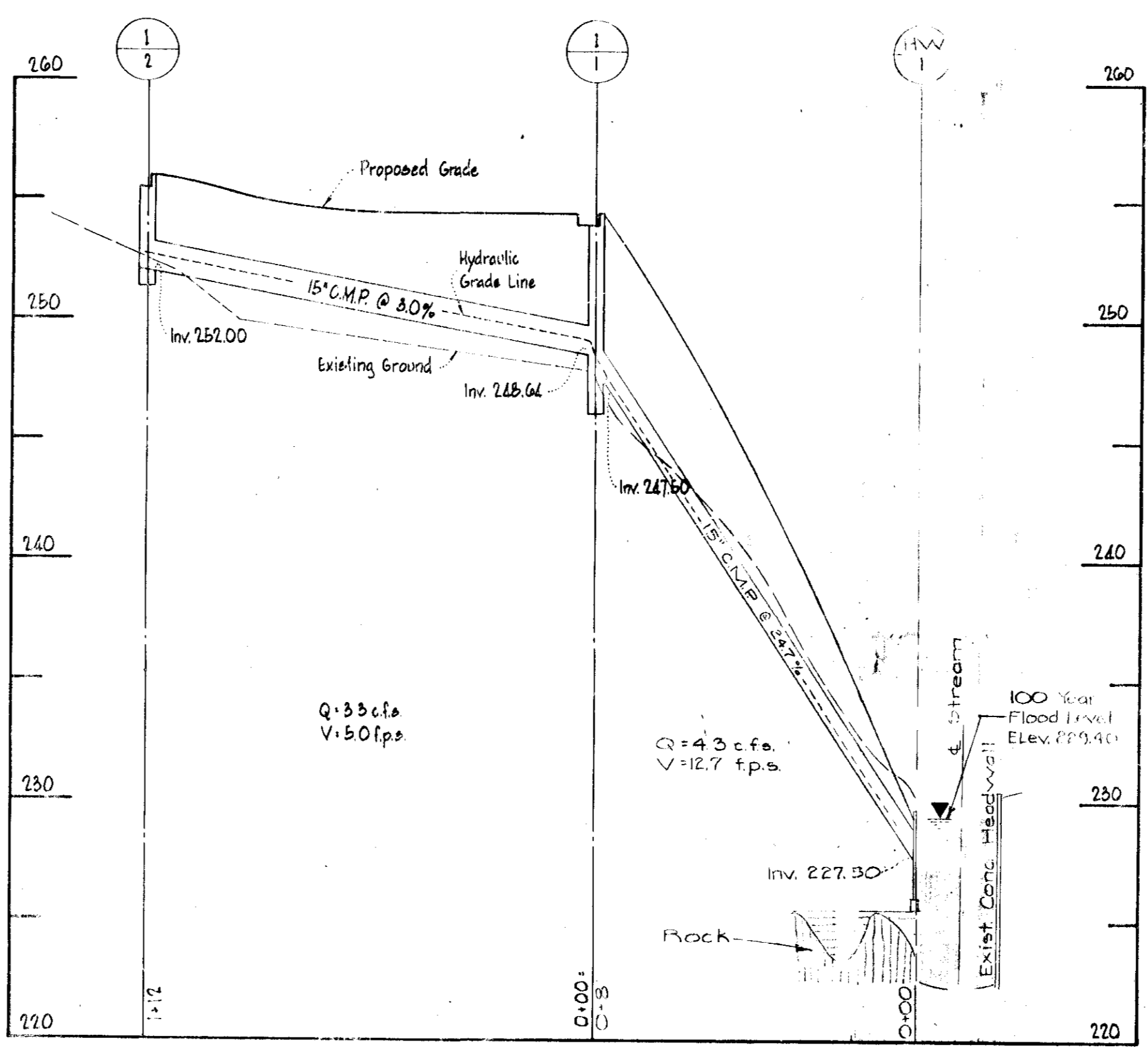
STONE FILTER DIKE
 Not to Scale

LEGEND

- | Existing | Proposed |
|----------|----------|
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

STRUCTURE SCHEDULE

No.	Type	Inv. In	Inv. Out	Top Grade	Remarks
I-2	5' Comb		252.00	255.50	Howard County Standard 29
I-1	5' Comb	248.64	247.50	253.50	Howard County Standard 29
HW-1	5'		247.50		Howard County BDD-21



APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS. <i>[Signature]</i> DIRECTOR CHIEF, BUREAU OF HIGHWAYS	APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING. <i>[Signature]</i> PLANNING DIRECTOR CHIEF, DIVISION OF LAND DEVELOPMENT AND TRANSPORTATION PLANNING	APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT. <i>[Signature]</i> COUNTY HEALTH OFFICER
--	---	--

Reviewed for H.S.C.D. and meets technical requirements
 Signature: *[Signature]* Date: 8-5-74
 This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.
 Approved: *[Signature]* Date: 8-5-74
 HOWARD SOIL CONSERVATION DISTRICT DEVELOPER

I certify that all development and/or construction will be done according to this plan of development and plan for Erosion and Sediment Control and I also authorize periodic onsite inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary. Deviation from this plan will not be made unless authorized by the Howard Soil Conservation District.
 Signature: *[Signature]* Date: 8-10-74
 PROFESSIONAL ENGINEER
 Cay B. Deibel, Jr.
 Reg. No. 8182

SEDIMENT CONTROL PLAN
MILINER MOTEL
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 TAX MAP NO. 3E PARCEL NO. 39

OWNER & DEVELOPER
 JAMES A. MILINER, JR.
 CHESAPEAKE MOTEL
 ROUTE 301 & ROUTE 50
 GRASONVILLE, MARYLAND 21638
 301/827-7272

PURDUM & JESCHKE
 CONSULTING ENGINEERS
 LAND SURVEYORS
 1023 North Colvert Street
 Baltimore, Maryland 21202 301/837-0194

Design: M. BURTON Scale: AS NOTED
 Drawn: B. BURTON Date: MAY 9, 1974
 Checked: M. ELMENSHAWY Sheet No. 3 of 3