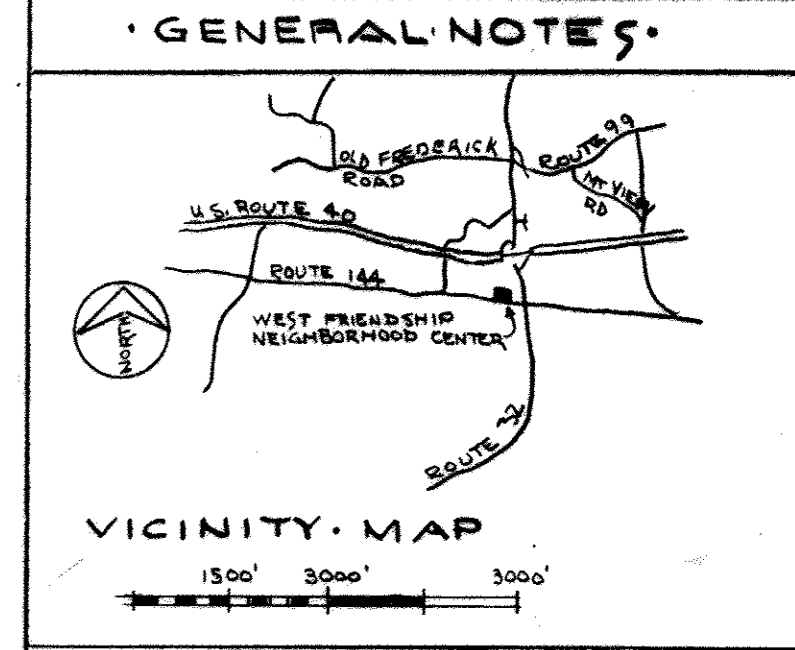
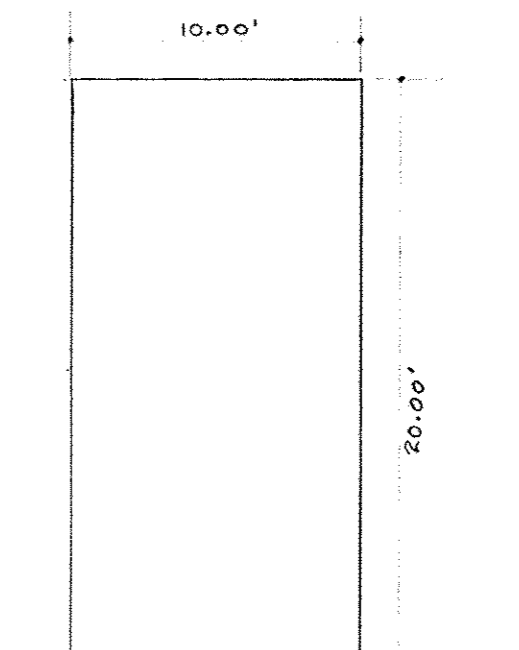


No.	REVISION	DATE
1	SHOW EX. ENTRANCE AT ROUTE 144. PAVING AT REAR OF BUILDING, AND ADD PROPOSED CANOPY	6/7/75
2	REVISE CONTOURS AND CURBLINES ON SOUTH AND WEST SIDES OF BUILDING	8/16/77



PARKING

FLOOR AREA ----- 13,200' TOTAL
 50% AREA FOR SALES SPACE ----- 6,600'
 5 CAR SPACES PER 1000'
 6,600' / 1000' X 5 EQUALS 33 CAR SPACES REQUIRED
 SPACES PROVIDED ----- 25
 SURPLUS ----- 8 CAR SPACES
 SPACE PROVIDED 10' X 20' PER CAR

FACILITY	I-1	S-1	S-2
FINISH GRADE	470.90	470.90	468.30
INVERT ELEVATION IN	470.90	469.00	466.70
INVERT ELEVATION OUT	469.00	468.01	465.50
TYPE INLET	5" SINGLE GRATE		
TYPE ENDWALLS		STANDARD	MODIFIED
ENDWALL LENGTH		2'-3"	4'-6"
WINGWALL LENGTH		2'-3"	2'-3"
SIZE	2' X 4'	18" X 18" ARCH	18" X 18" ARCH
LENGTH		26'-0"	48'-0"
MATERIAL	CAST IRON	B.C.C.M.	B.C.C.M.

NOTE:
 THE ABOVE ARE SPECIFIED PER HOWARD COUNTY ROAD CONSTRUCTION CODE & STANDARD SPEC. DATED 11/27/62.
 PRECAST CONSTRUCTION MAY BE USED IF EQUIVALENT TO THOSE SPECIFIED & APPROVED BY HOWARD COUNTY DEPT. OF PUBLIC WORKS.

REFERENCE DRAWINGS:
 FOR SANITARY SEWERAGE DISPOSAL SYSTEM SEE DWG. S-3
 FOR EROSION CONTROL SEE DWG. S-4
 FOR ON SITE DRAINAGE AREA MAP SEE DWG. S-5
 FOR OFF SITE DRAINAGE SEE DWG. S-6
 FOR FLOOR PLAN SCHEDULE & DETAILS SEE DWG. A-1
 FOR BUILDING ELEVATIONS SEE DWG. A-2
 FOR DETAILS SEE DWG. A-3
 FOR MECH. & ELECTR. SEE DWG. ME-1 & ME-2
 FOR ELECTRICAL SEE DWG. E-1
 FOR SERVICE ROAD DATA SEE S.R.C. DWG. RIGHT OF WAY PLAT NO. 41787 - SHEET 14 OF 102 FOR UPDATED EXISTING CONDITIONS BEHIND BUILDING, SEE DWG. S-7 FOR UPDATED SANITARY SEWERAGE DISPOSAL AREAS, SEE DWG. S-8

LEGEND

BITUMINOUS PAVING & CURB & GUTTER [Symbol] SEE PAVING NOTE

PROPERTY LINE [Symbol] 475'

EXISTING CONTOURS [Symbol] 475'

RELOCATED CONTOURS [Symbol] 485.03'

SPOT GRADES [Symbol]

STORE NUMBERS [Symbol]

5 CARS PER ROW [Symbol]

3RD ELECTION DISTRICT ZONED B-2

DATE	REVISED PER HOWARD COUNTY COMMENTS
4-29-74	4-26-74
4-17-74	4-17-74
3-15-74	3-15-74
1-10-73	1-10-73

WEST FRIENDSHIP NEIGHBORHOOD CENTER FOR MR. CHESTER E. GRIMES
 WEST FRIENDSHIP ROUTE, MD. 144
 HOWARD COUNTY, MARYLAND

HARRISON ASSOCIATES, INC.
 15 DUTTON AVE. BALTO. MD. 21228

SITE DEVELOPMENT PLAN
 SCALE 1/4" = 20 FEET

DATE 8-27-1973	COMM. 7312
DWN. BY: LE F. CH'ID. BY: W.	S-2



SIGN NOTE
 SIZE AND LOCATION OF SIGN TO BE DETERMINED AT TIME OF SIGN PERMIT APPLICATION IN ACCORDANCE WITH HOWARD COUNTY SPEC. INSTRUCTION BY MS. MARY BOLTE 3/19/74 48M.

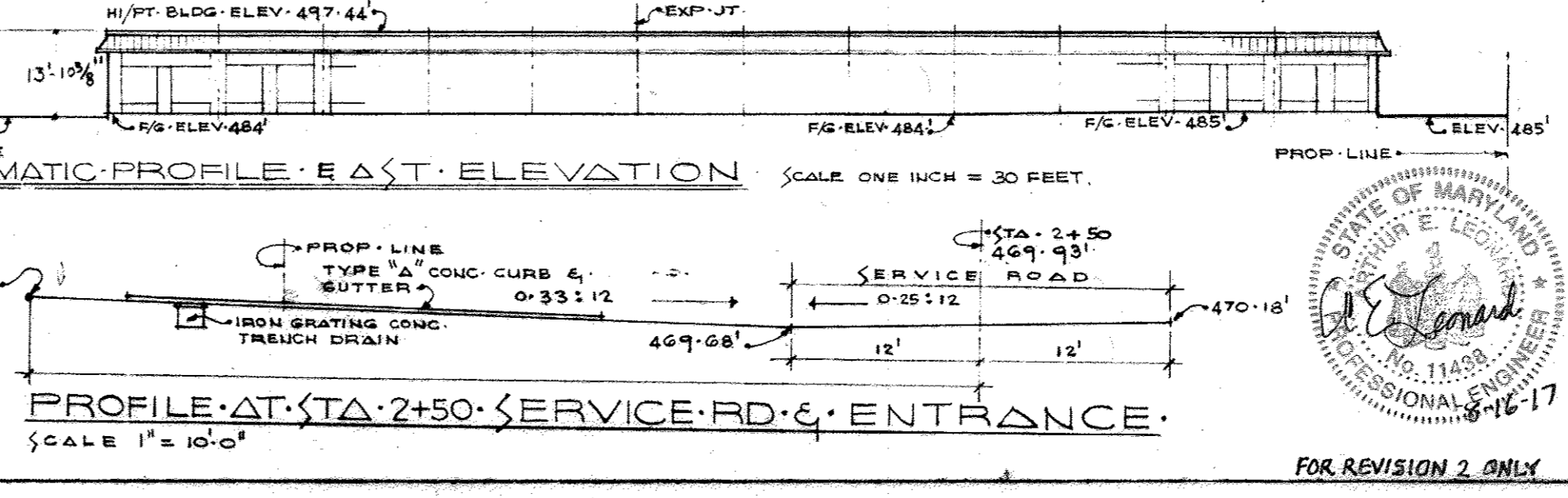
PAVING NOTE
 PAVING WITHIN THE MD. S-H-A R/W TO CONSIST:
 NINE (9) INCH COMPACTED BITUMINOUS CONCRETE (6" BASE - 3" SURFACE) ON 4" CRUSHER RUN.

AREA:
 PARCEL A = 1.27 ACRES
 DO = 0.59 ACRES
 TOTAL EMPLOYEES PER STORE = 3 PERSONS PER STORE = 12 X 20 = 26
 SEPTIC TANK CALCULATED ON 36 PERSONS X 35 GAL. PER PERSON PER DAY

APPROVED FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER [Signature] DATE [Signature]

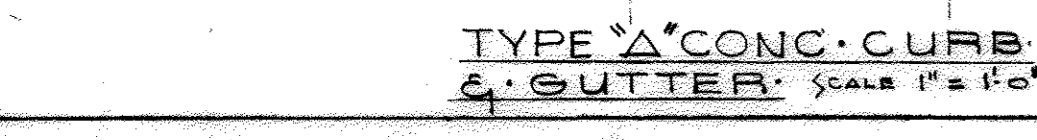
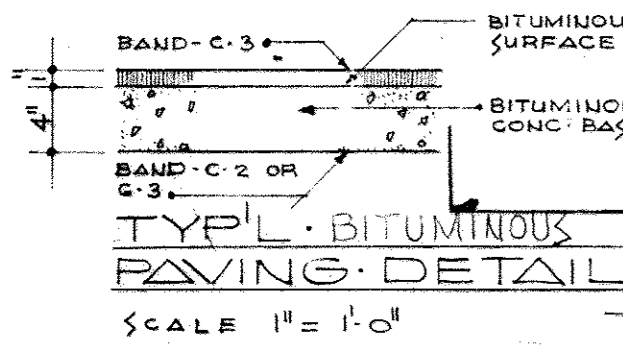
APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 PLANNING DIRECTOR [Signature] DATE 5-17-74
 CHIEF, DIVISION OF LAND DEVELOPMENT AND TRANSPORTATION PLANNING [Signature] DATE 5/17/74

APPROVED FOR PRIVATE WATER, PRIVATE SEWERAGE AND STORM DRAINAGE SYSTEMS AND ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR [Signature] DATE 5/17/74
 CHIEF BUREAU OF HIGHWAYS [Signature] DATE



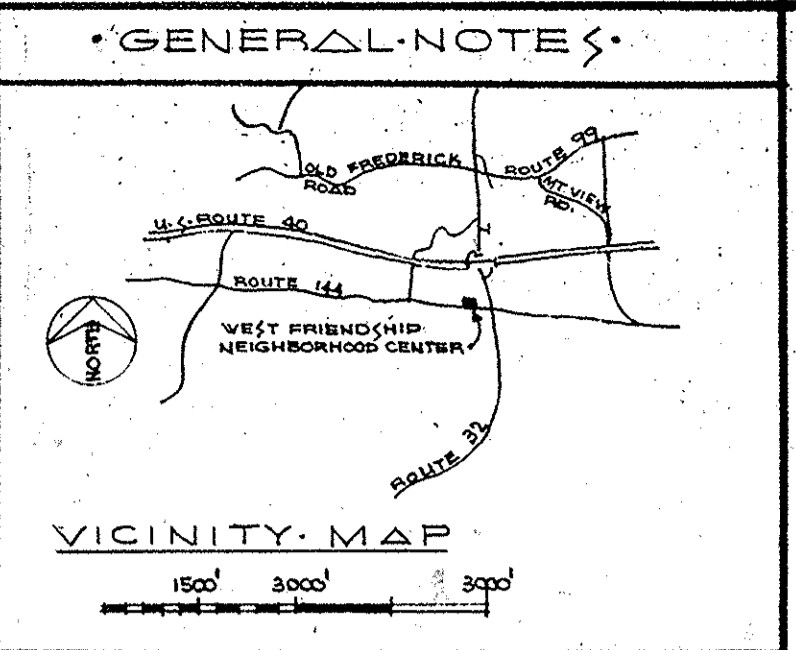
TOPOGRAPHY
 TAKEN FROM DRAWING ENTITLED 'TOPOGRAPHICAL SURVEY PROPERTY OF CHESTER E. GRIMES, 3RD ELECTION DISTRICT, HOWARD COUNTY, MD., MARCH 20 1973.' BY PURDOM & JESCHKE-ENGINEERS; LAND SURVEYORS; 3697 PARK AVE. ELICOTT CITY, MD.

* SEE SHEETS 57 & 58 FOR THE EXISTING AND MOST CURRENT SITE CONDITIONS



FOR REVISION 2 ONLY

No. 1
 REVISION
 SHOW EX. ENTRANCE AT ROUTE 144, PAVING AT REAR OF BUILDING, AND ADD PROPOSED CANOPY
 DATE 8/7/73



PARKING
 FLOOR AREA 13,200 TOTAL
 50% AREA FOR SALES SPACE 6,600
 1 CAR SPACE PER 200 SF
 6,600 / 200 = 33 CAR SPACES REQUIRED
 SPACES PROVIDED 52
 SURPLUS 19 CAR SPACES
 SPACE PROVIDED 10' X 20' PER CAR

**3RD ELECTION DISTRICT
 ZONED - B-2**

SEDIMENT & EROSION CONTROL SEQUENCE OF OPERATION

- ▲ CLEAR & GRUB ENTIRE SITE
- ▲ CONSTRUCT CONTINUOUS EARTH & GRAVEL BERM (SEE DETAIL THIS DRAWING)
- ▲ STRIP ALL TOPSOIL & STOCK PILE WHERE DIRECTED & STABILIZE BY SEEDING
- ▲ EXCAVATE & ROUGH GRADE ANY SURPLUS EARTH SHALL BE REMOVED
- ▲ PROVIDE ANY REQUIRED EARTH BERMS FOR EACH DAY'S GRADING
- ▲ INSTALL CRUSHER RUN PAVING
- ▲ STABILIZE SLOPES WITH MULCH & PLANTING
- ▲ REMOVE EARTH BERMS IN WAY OF ITEMS 7 & 8
- ▲ FINISH GRADE & INSTALL BITUMINOUS PAVING & BITUMINOUS CURBS
- ▲ FINISH GRADE SPREAD TOP SOIL FERTILIZER & SEED LAWN AREAS

REVIEWED FOR COUNTY & MEETS TECHNICAL REQUIREMENTS
 SIGNATURE: James M. Nelson
 DATE: 5-7-74

APPROVED FOR STATE DEPT. OF PUBLIC SAFETY & TRANSPORTATION DISTRICT
 SIGNATURE: Robert J. Gehr
 DATE: 5-7-74

APPROVED FOR STATE DEPT. OF PLANNING & ZONING
 SIGNATURE: Thomas J. Harney
 DATE: 5/17/74

APPROVED FOR PRIVATE WATER AND PRIVATE SEWERAGE
 SIGNATURE: J. H. Clewley
 DATE: 5/17/74

APPROVED FOR STATE DEPT. OF PUBLIC SAFETY AND TRANSPORTATION DISTRICT
 SIGNATURE: W. O. Usher
 DATE: 5/17/74

APPROVED FOR STATE DEPT. OF PUBLIC SAFETY AND TRANSPORTATION DISTRICT
 SIGNATURE: J. M. McKeen
 DATE: 5/17/74

LEGEND

SPOT GRADES	485-88'
STAKE NUMBERS	⑤
5 CARS PER ROW	⑤
EARTH & GRAVEL DIRT	---
PROPERTY LINE	---
EXISTING CONTOURS	---
RELOCATED CONTOURS	---

PAVING WITHIN THE MD. S.H.A. R/W TO CONSIST OF:
 NINE (9) INCH COMPACTED BITUMINOUS CONCRETE (2" BASE-3" SURFACE) ON 4" CRUSHER RUN G.

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 SIGNATURE: William E. Harrison, Jr.
 DATE: 7/6/73

WEST FRIENDSHIP NEIGHBORHOOD CENTER FOR MR. CHESTER E. GRIMES
 WEST FRIENDSHIP
 ROUTE 144
 HOWARD COUNTY, MARYLAND

HARRISON ASSOCIATES, INC.
 15 BUTTON AVE. BALTO., MD. 21228

SITE GRADING & EROSION CONTROL PLAN
 SCALE 1" INCH = 20 FEET

DATE 7-5-1973 COMM. 7312
 DWN BY J.H.W. CHK'D BY H. S-4

GENERAL NOTES

1. Any disturbed area not brought to final grade within 60 days of start of grading shall be stabilized by temporary seeding of Rye grass at the rate of 4 to 5 lbs./1000 sq. ft.; soil shall be prepared for seeding by the application of 50 lbs./1000 sq. ft. of pulverized dolomitic limestone and 25 lbs./1000 sq. ft. of 10-10-10 or equivalent fertilizer. Harrow or disc the lime and fertilizer to a depth of 3 in. min. until a uniform fine firm seedbed is prepared; uniformly mulch immediately after seeding with unweathered wheat straw at the rate of 90 lbs./1000 sq. ft. anchored by emulsified asphalt applied at the rate of 0.04 gal./sq. yd. - all per "Standards and Specifications for Soil Erosion and Sediment Control in Urbanizing Areas" dated Nov. 1969 (hereafter abbreviated "ERSC Std. 11" pages 3,000, 3,001, 3,002, & 3,003 copy available from the architect or Anne Arundel County.

2. At such time as final grading is accomplished as shown, graded areas to be uniformly seeded with Kentucky-31 Tall Fescue at a rate of 5 to 7 lbs./1000 sq. ft.; soil shall be prepared for seeding by the application of 50 lbs./1000 sq. ft. of pulverized dolomitic limestone, 25 lbs./1000 sq. ft. of 10-10-10 or equivalent fertilizer and 23 lbs./1000 sq. ft. of 0-20-0, superphosphate - or equivalent harrow or disc lime and fertilizer to a depth of 3 in. min. until a fine uniform firm seedbed is prepared; uniformly mulch immediately after seeding with unweathered wheat straw at the rate of 90 lbs./1000 sq. ft., mulch to be anchored by emulsified asphalt applied at the rate of 0.04 gal./sq. yd. - all per "ERSC Std. 11" pages 3,100, 3,101, 3,102, 3,103, & 3,104.

- REFERENCE DRAWINGS:**
- For Site Development Plan See Dwg. S-2
 - For Sanitary Sewerage Disposal System See Dwg. S-3
 - For On Site Drainage Area Map See Dwg. S-5
 - For Off Site Drainage See Dwg. S-6
 - For Floor Plan, Schedule & Details See Dwg. A-1
 - For Building Elevations See Dwg. A-2
 - For Details See Dwg. A-3
 - For Mechanical & Electrical See Dwg. ME-1 & ME-2
 - For Electrical See Dwg. E-1
 - For Service Road Data See S.R.C. Dwg. Right of Way Plat No. 41737-Sheet No. 26 of 102

VEGETATIVE COVER OPTIONS

PERIOD	COVERS	OPTIONS
Feb. 1 -- May 1	1. Sod 2. Seed & Mulch	1. Sod
May 1 -- Aug 15	1. Sod 2. Mulch anchor tool then seed during next seeding period.	1. Sod 2. Seed & Mulch
Aug 15 -- Nov 1	1. Sod 2. Seed & Mulch	1. Sod
Nov 1 -- Feb 1	1. Sod 2. Seed & Mulch (Delay until next period if ground is frozen.)	1. Sod

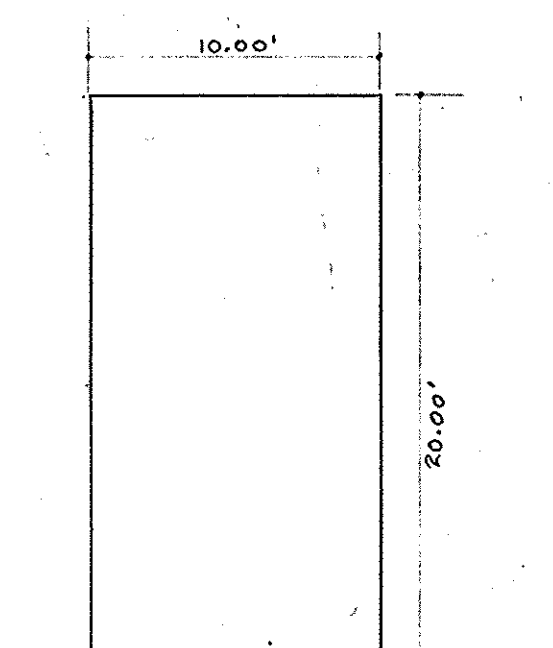
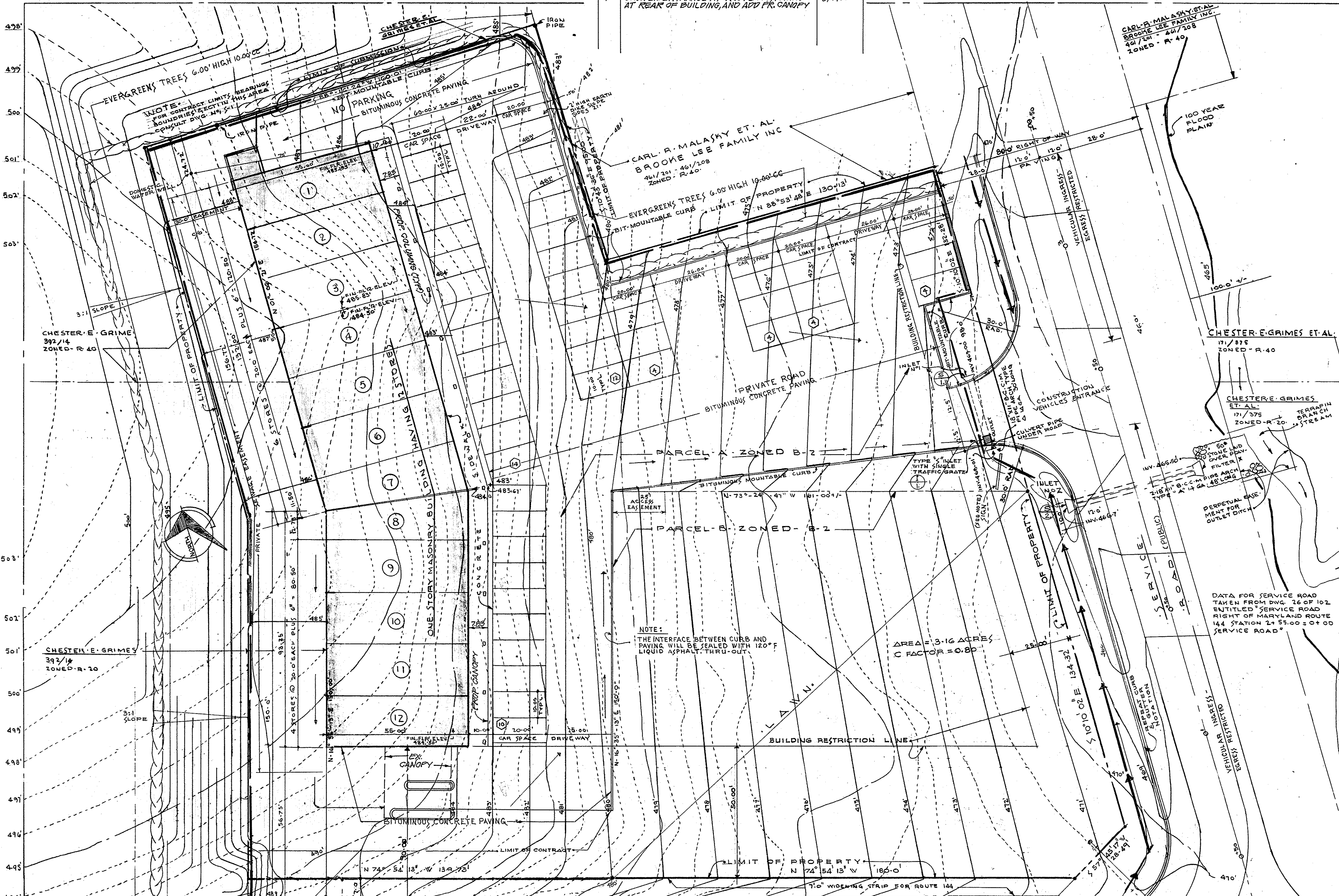
TEMPORARY EARTH DIKE
 NOT TO SCALE

TOPOGRAPHY
 TAKEN FROM DRAWING ENTITLED "TOPOGRAPHICAL SURVEY PROPERTY OF CHESTER E. GRIMES, 3RD ELECTION DISTRICT, HOWARD COUNTY, MD., MARCH 20, 1973." BY PURDUM & JESCHKE ENGINEERS, LAND SURVEYORS - 2697 PARK AVE. ELICOTT CITY - MD.

By the Developer:
 "I certify that all development and/or construction will be done according to this plan of development and plan for Erosion and Sediment Control, and I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary." Deviation from this plan will not be made unless authorized by the Howard Soil Conservation District.
 Signature of Developer: Chester E. Grimes
 Date: 7-6-73

By the Engineer:
 "I certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
 Signature of Engineer: William E. Harrison, Jr.
 Date: July 6, 1973

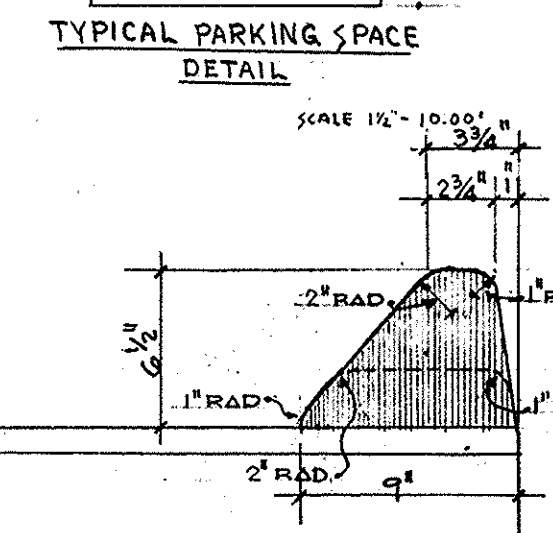
No.	REVISION	DATE
1	SHOW EX. ENTRANCE AT ROUTE 144, PAVING AT REAR OF BUILDING, AND ADD PR. CANOPY	6/7/73



GENERAL NOTES:

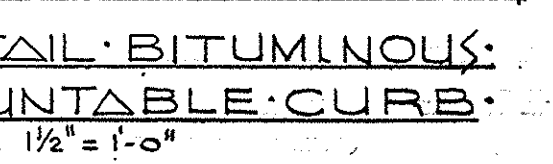
U.S. ROUTE 40
ROUTE 144
WEST FRIENDSHIP NEIGHBORHOOD CENTER

VICINITY MAP
1500' 3000' 3000'



PARKING

FLOOR AREA ----- 13,200' TOTAL
50% AREA FOR SALES SPACE ----- 6,600'
1 CAR SPACE PER 2000'
6,600' / 200' EQUALS 33 CAR SPACES REQUIRED
SPACE PROVIDED ----- 35 CAR SPACES
SURPLUS ----- 18 CAR SPACES
SPACE PROVIDED 10' X 20' PER CAR



FACILITY	I-1	S-1	S-2
FINISH GRADE	470.90'	470.90'	468.30'
INVERT ELEVATION IN	470.90'	469.00'	466.70'
INVERT ELEVATION OUT	469.00'	468.01'	465.50'
TYPE INLET	5 SINGLE GRATE	5 STAND. 'F'	DOORED 'F'
ENDWALL LENGTH	2'-3"	2'-3"	4'-6"
SWINGWALL LENGTH	2'-3"	2'-3"	2'-3"
SIZE	2' X 4'	18" X 18" ARCH	24" X 18" ARCH
LENGTH	26'-0"	26'-0"	48'-0"
MATERIAL	CAST IRON	BITUM. CONC.	BITUM. CONC.

ON-SITE DRAINAGE DATA

COMPUTATIONS BASED ON 10-YR. FREQUENCY STORM DATED 11/27/52
TOTAL SITE DRAINAGE AREA -- 3.316 ACRES
RUN-OFF COEFFICIENT (0.80 X 0.95 + 0.20 X 0.12) C OR 0.78
RAINFALL INTENSITY ----- I = 6.22/HOUR
Q = C I A = 0.78 X 6.22 X 3.316 = 15.28 C.F.S.
ASSUME 2.5" X 18" FRANKLIN B.C.C.P. ARCH WITH A MINIMUM SLOPE OF 0.025
WATERWAY AREA ----- A = 1.1 SQ. FT.
NETTED PERIMETER = P X 1.5/2 = 3.925
R ----- 1/3.925 = 0.28
VELOCITY ----- V = 7.05 F.P.S. (MANNING'S FORMULA)
Q = 7.05 X 1.1 X 2 = 15.51 C.F.S.

NOTE

THE ABOVE ARE SPECIFIED PER HOWARD COUNTY ROAD CONSTRUCTION CODE & STANDARD SPEC DATED 11/27/52
PRECAST CONSTRUCTION MAY BE USED IF EQUIVALENT TO THOSE SPECIFIED & APPROVED BY HOWARD COUNTY DEPT. OF PUBLIC WORKS

PAVING NOTE:

PAVING WITHIN THE MD. S-H-A R/W TO CONSIST:

NINE (9) INCH COMPACTED BITUMINOUS CONCRETE (4" BASE - 3" SURFACE) ON 4" CRUSHER RUN.

REFERENCE DRAWINGS:

FOR SANITARY SEWERAGE DISPOSAL SYSTEM SEE DWG. S-3
FOR EROSION CONTROL SEE DWG. S-4
FOR OFF-SITE DRAINAGE SEE DWG. S-6
FOR FLOOR PLAN SCHEDULE & DETAILS SEE DWG. A-1
FOR BUILDING ELEVATIONS SEE DWG. A-2
FOR DETAILS SEE DWG. A-3
FOR MECH'L. & ELECT. SEE DWG. ME-1 & ME-2
FOR ELECTRICAL SEE DWG. E-1
FOR SERVICE ROAD DATA SEE S.R.C. DWG. RIGHT OF WAY PLAT NO. 41737, SHEET NO. 22 OF 102
FOR SITE DEVELOPMENT PLAN SEE DWG. S-2

LEGEND:

BITUMINOUS PAVING & CURBS & GUTTER SEE PAVING NOTE
PROPERTY LINE
EXISTING CONTOURS 475'
RELOCATED CONTOURS 475'
SPOT GRADES 485.83'
STORE NUMBERS 6
5 CARS PER ROW 5
3RD ELECTION DISTRICT ZONED B-2
LIMITS OF SITE DRAINAGE

APPROVED:

STATE OF MARYLAND
DIVISION OF LAND DEVELOPMENT AND TRANSPORTATION PLANNING
4/21/74
[Signature]

AREA:

PARCEL A = 1.27 ACRES
DO = 0.59 ACRES
TOTAL EMPLOYEES PER STORE = 3 PERSONS PER STORE 12 X 3 OR 36
SEPTIC TANK CALCULATED ON 36 PERSONS X 35 GAL. PER PERSON PER DAY

DATE	REVISION	BY	REVISIONS
4-29-74	REVISED PER HOWARD COUNTY COMMENTS 4-26-74		
4-4-74	REVISED PER HOWARD COUNTY COMMENTS 3-27-74		
5-15-74	REVISED PER HOWARD COUNTY COMMENTS		
4-20-73	6/9 ADDED PD PROFILE AT STA. 2+50 ADDED CURBS & GUTTER DETAIL ADDED		

APPROVED:

STATE OF MARYLAND
DEPT. OF HEALTH
FOR REVISION #1 ONLY

WEST FRIENDSHIP NEIGHBORHOOD CENTER FOR MR. CHESTER E. GRIMES

WEST FRIENDSHIP
ROUTE, MD. 144
HOWARD COUNTY, MARYLAND

APPROVED:

STATE OF MARYLAND
DEPT. OF HEALTH
FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

HARRISON ASSOCIATES, INC.

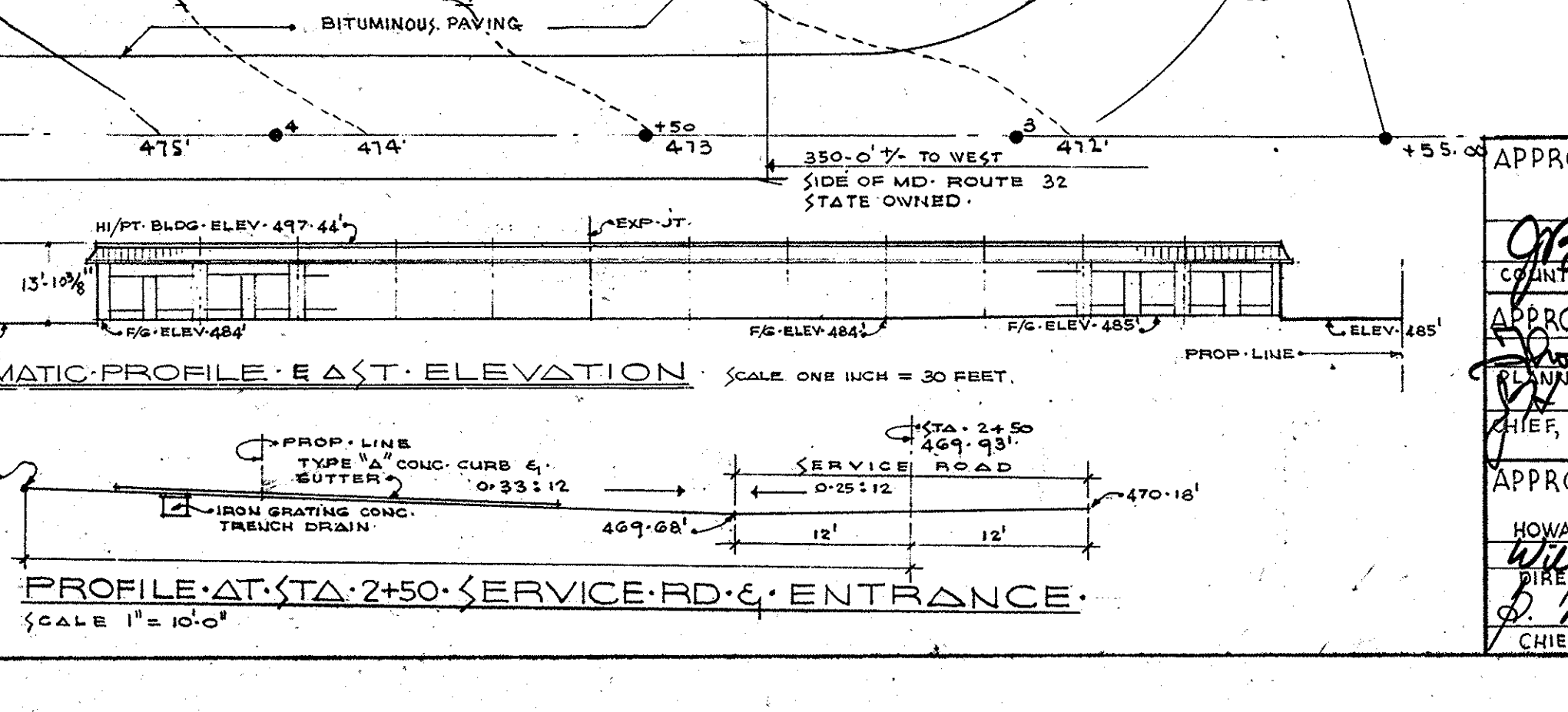
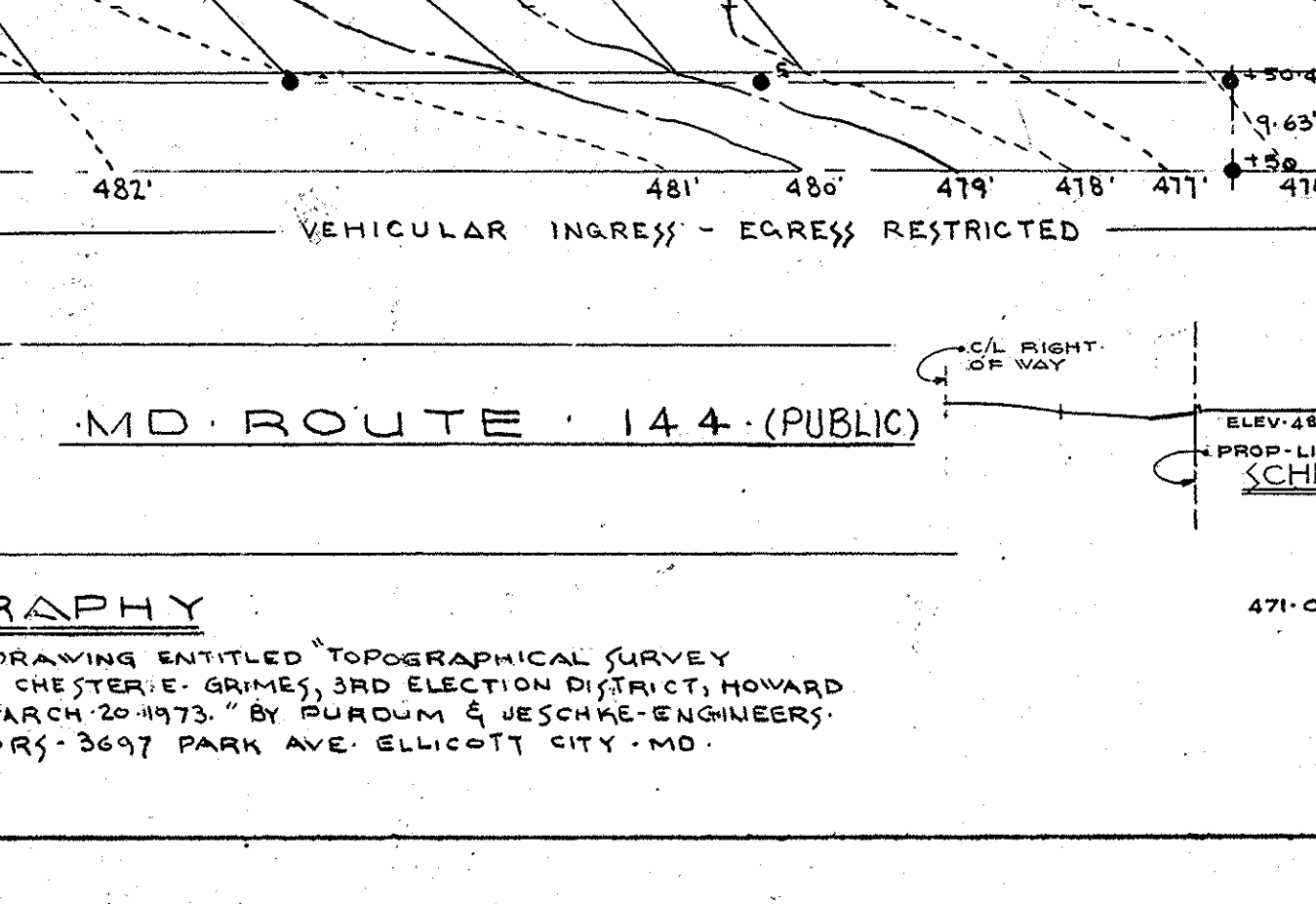
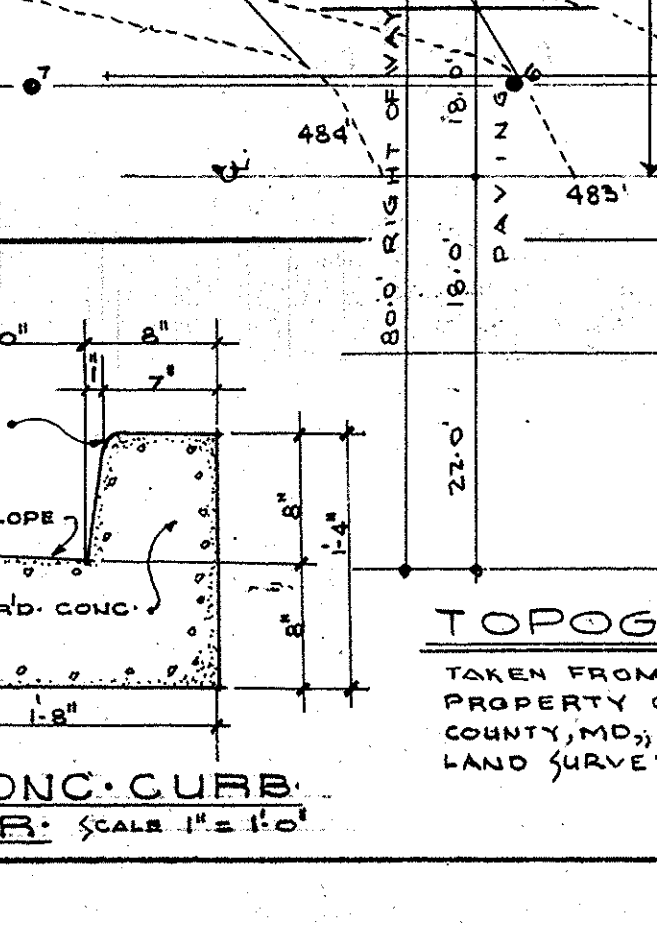
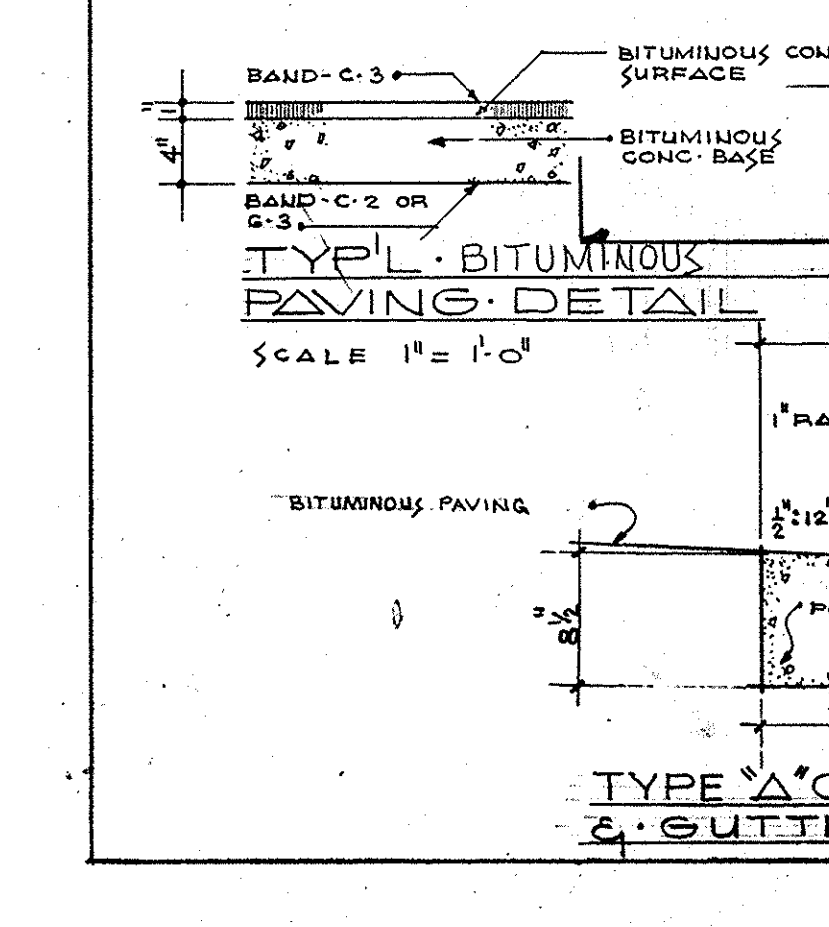
15 DUTTON AVE. BALTO. MD. 21228

APPROVED:

STATE OF MARYLAND
DEPT. OF TRANSPORTATION
FOR PRIVATE WATER, PRIVATE SEWERAGE AND STORM DRAINAGE SYSTEMS AND ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

ON-SITE DRAINAGE AREA MAP

SCALE 1" INCH = 20 FEET
DATE 8-27-1973 COMM. 7312
DWN. BY: L. F. CHWID. BY: V. S-5



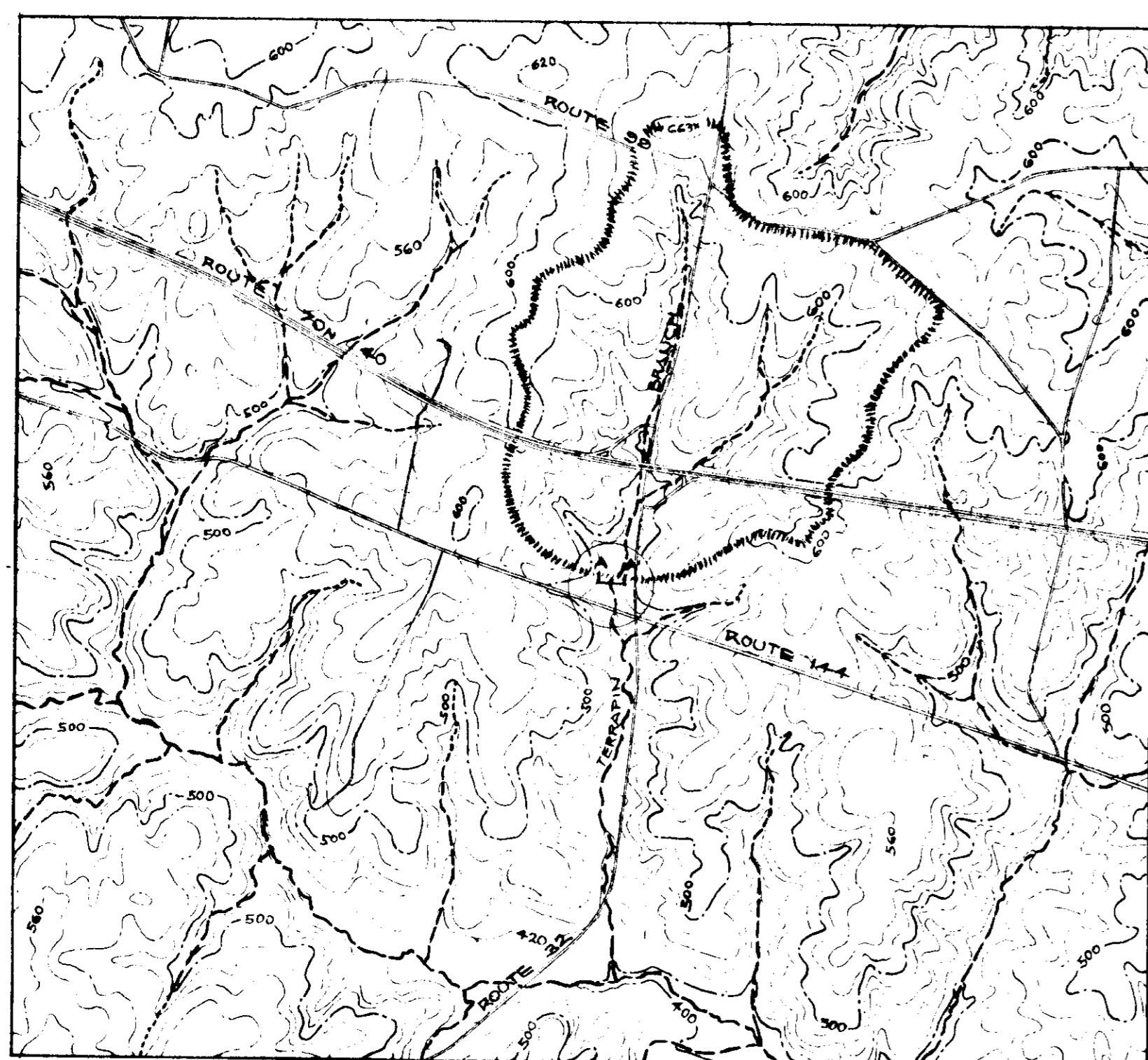
APPROVED:

STATE OF MARYLAND
DEPT. OF TRANSPORTATION
FOR PRIVATE WATER, PRIVATE SEWERAGE AND STORM DRAINAGE SYSTEMS AND ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

APPROVED:

STATE OF MARYLAND
DEPT. OF TRANSPORTATION
FOR PRIVATE WATER, PRIVATE SEWERAGE AND STORM DRAINAGE SYSTEMS AND ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

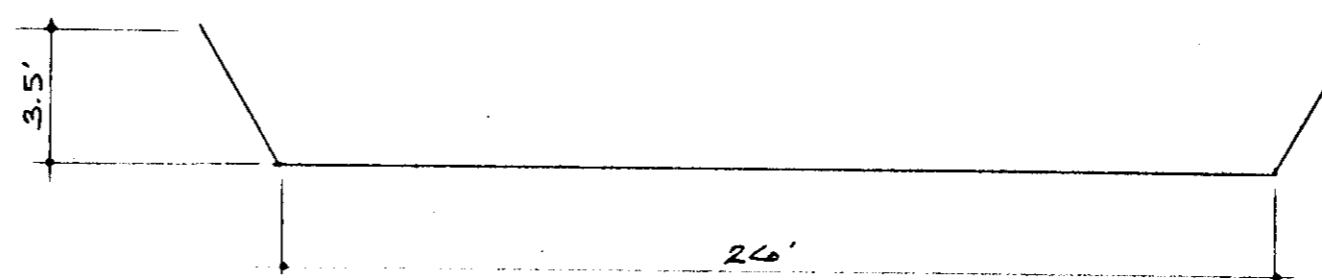
TAKEN FROM UNITED STATES DEPARTMENT OF THE INTERIOR GEOLOGICAL SURVEY SYKESVILLE QUADRANGLE MARYLAND 1953 PHOTOREVISED 1971



SCALE: 1" = 2,000'

HYDRAULIC DESIGN

MAXIMUM FLOOD DISCHARGE = 1220 c.f.s. FOR 100 YEAR FREQUENCY.



SECTION A-A OF CHANNEL EXISTING

SCALE: 1" = 5'-0"

AREA OF CHANNEL = 103.26 SQ. FT.
 HYDRAULIC MEAN DEPTH R = 3.00 FT.
 SLOPE = 0.01 ; n = 0.03 FOR EARTHEN CHANNEL
 VELOCITY V = 10.30 FT/SEC. FROM HYDRAULIC TABLES PER MANNING'S FORMULA.
 DISCHARGE Q = AV
 = (103.26 SQ. FT.) (10.30 FT/SEC.)
 = 1064 c.f.s. < 1220 c.f.s. OF 100 YEARS FREQUENCY
 SLIGHTLY LESS THAN 100 YEARS DISCHARGE
 HENCE THE WATER OVERFLOWS THE BANKS.

CALCULATIONS & ASSUMPTIONS

DRAINAGE AREA = 6.80 SQ. MI.
 = (6.80 SQ. MI.) * (640 ACRES/SQ. MI.)
 = 4352 ACRES.
 FROM DRAINAGE MAP, ASSUME FLOODPLAIN ZONE FOR YMD (MAX) 3.5 AS WORST CASE
 Q FOR 100 YEAR STORM FROM S.I. MULTIPLICATION FACTOR
 Q = (Q 2.33) (3.1) = 200 C.F.S. * 3.1 = 620 C.F.S.
 Q DESIGN = Q (1 + RF + UE + WF - LF)
 WHERE RF = RISK FACTOR 1.0 FOR GREAT DAMAGE
 UE = URBANIZATION FACTOR 1.0
 WF = WOOD FACTOR 1.0
 LF = LIMESTONE FACTOR 1.0
 Q DESIGN = 620 (1 + 0.2 + 0 + 0)
 = 744 C.F.S.
 CHANNEL AREA, A = 103.26 SQ. FT. (SEE CHANNEL PROFILE)
 HYDRAULIC MEAN DEPTH, R = 3.00 FT.
 SLOPE = 0.01
 COEFFICIENT OF ROUGHNESS n = 0.03
 VELOCITY, V = 10.30 F.P.S. (FROM MANNING'S FORMULA)
 DISCHARGE Q = A V
 = (103.26 SQ. FT.) (10.30 F.P.S.)
 = 1064 C.F.S. WHICH IS LESS THAN THE 1220 C.F.S. CALCULATED FOR A 100 YEAR STORM.
 THEREFORE, A 100 YEAR STORM OVERFLOWS THE BANKS OF TERRAIN DRAINAGE. SEE THE ON SITE DRAINAGE AREA MAP FOR THE 100 YEAR FLOOD PLAN AND THE ADJACENT (100 YEAR STORM) FLOOD PLAIN.

REFERENCE DRAWINGS

FOR SITE DEVELOPMENT PLAN - SEE DWG - S-2
 FOR SANITARY SEWERAGE DISPOSAL SYSTEM - SEE DWG - S-3
 FOR EROSION CONTROL - SEE DWG - S-4
 FOR ON SITE DRAINAGE AREA MAP - SEE DWG - S-5

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 HARRISON
 DATE 5/14/74
 TIME 11:00 AM
 ADDED

WEST FRIENDSHIP NEIGHBORHOOD CENTER FOR MR. CHESTER E. GRIMES
 WEST FRIENDSHIP HOWARD COUNTY MARYLAND

5/25/74
 JHE

APPROVED FOR PRIVATE WATER & PRIVATE SEWERAGE SYSTEM HOWARD COUNTY HEALTH DEPT.
 COUNTY HEALTH OFFICER [Signature] DATE 5/14/74

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 PLANNING DIRECTOR [Signature] DATE 5/17/74
 CHIEF, DIVISION OF LAND DEVELOPMENT AND TRANSPORTATION PLANNING

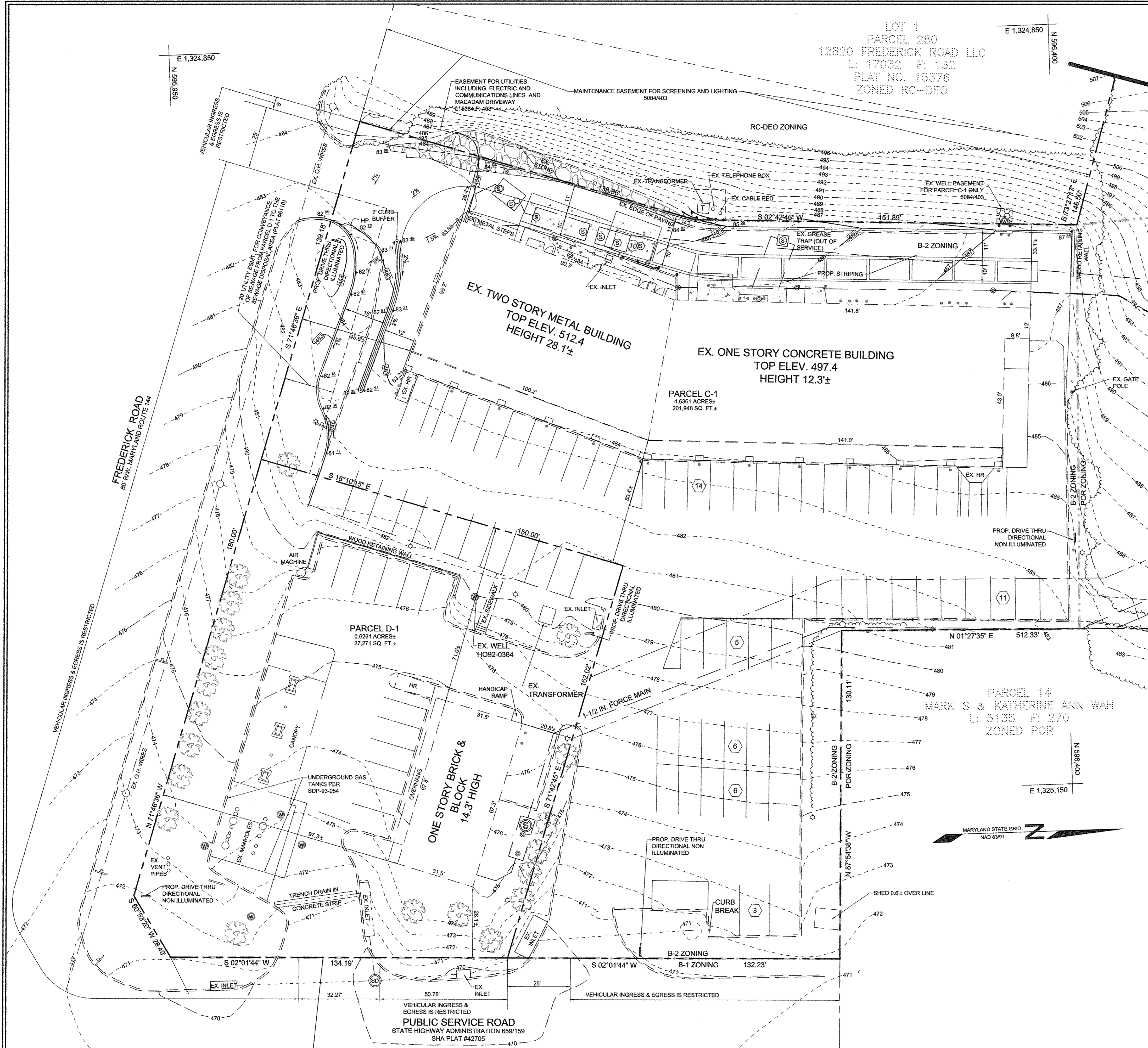
APPROVED: FOR STORM DRAINAGE & PUBLIC ROADS HOWARD COUNTY DEPT. OF PUBLIC WORKS
 DIRECTOR [Signature] DATE 5/14/74
 CHIEF, BUREAU OF HIGHWAYS

HARRISON ASSOCIATES, INC.
 25 DUTTON AVE BALTO. MD 21228

OFF SITE DRAINAGE AREA MAP
 SCALE: AS NOTED

REVISED	DATE	BY	DATE
8-7-73	7312	COMM	

S-6

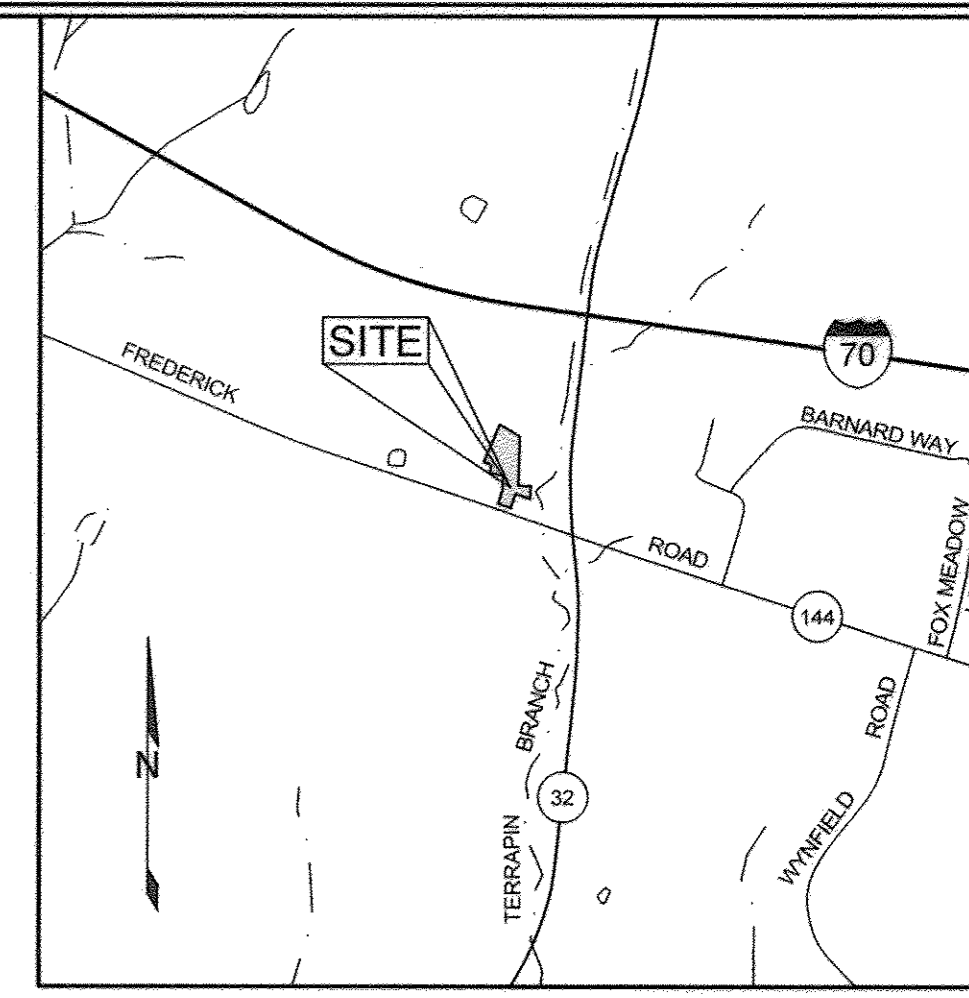
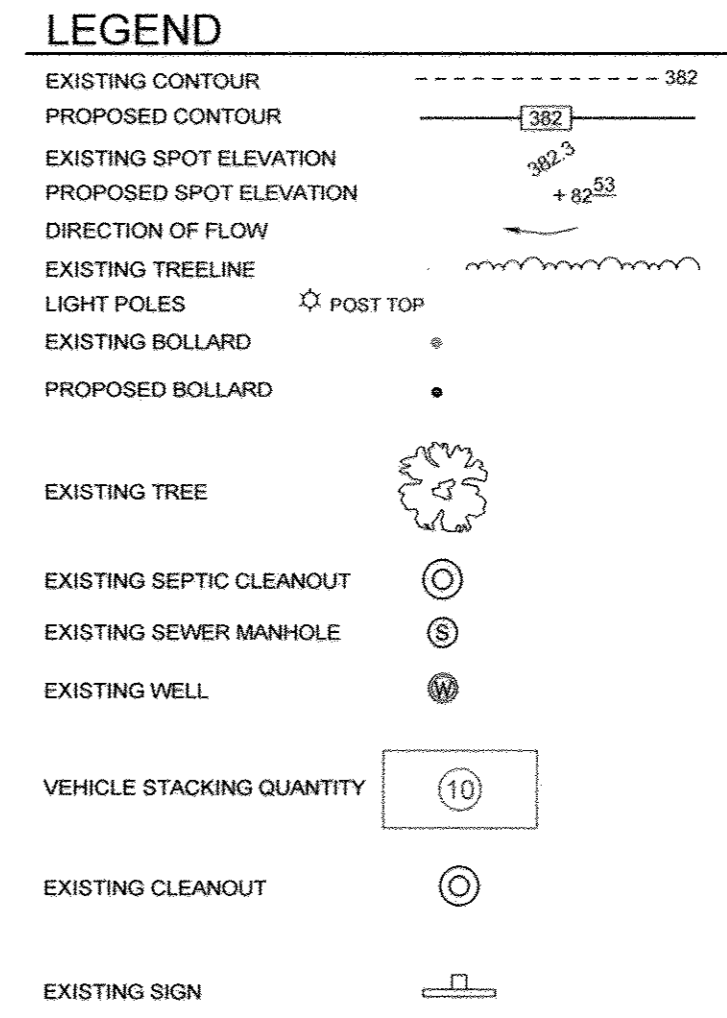


LOT 1
 PARCEL 280
 12820 FREDERICK ROAD LLC
 L: 17032 F: 132
 PLAT NO. 15376
 ZONED RC-DEO

PLAN VIEW
 SCALE: 1"=20'

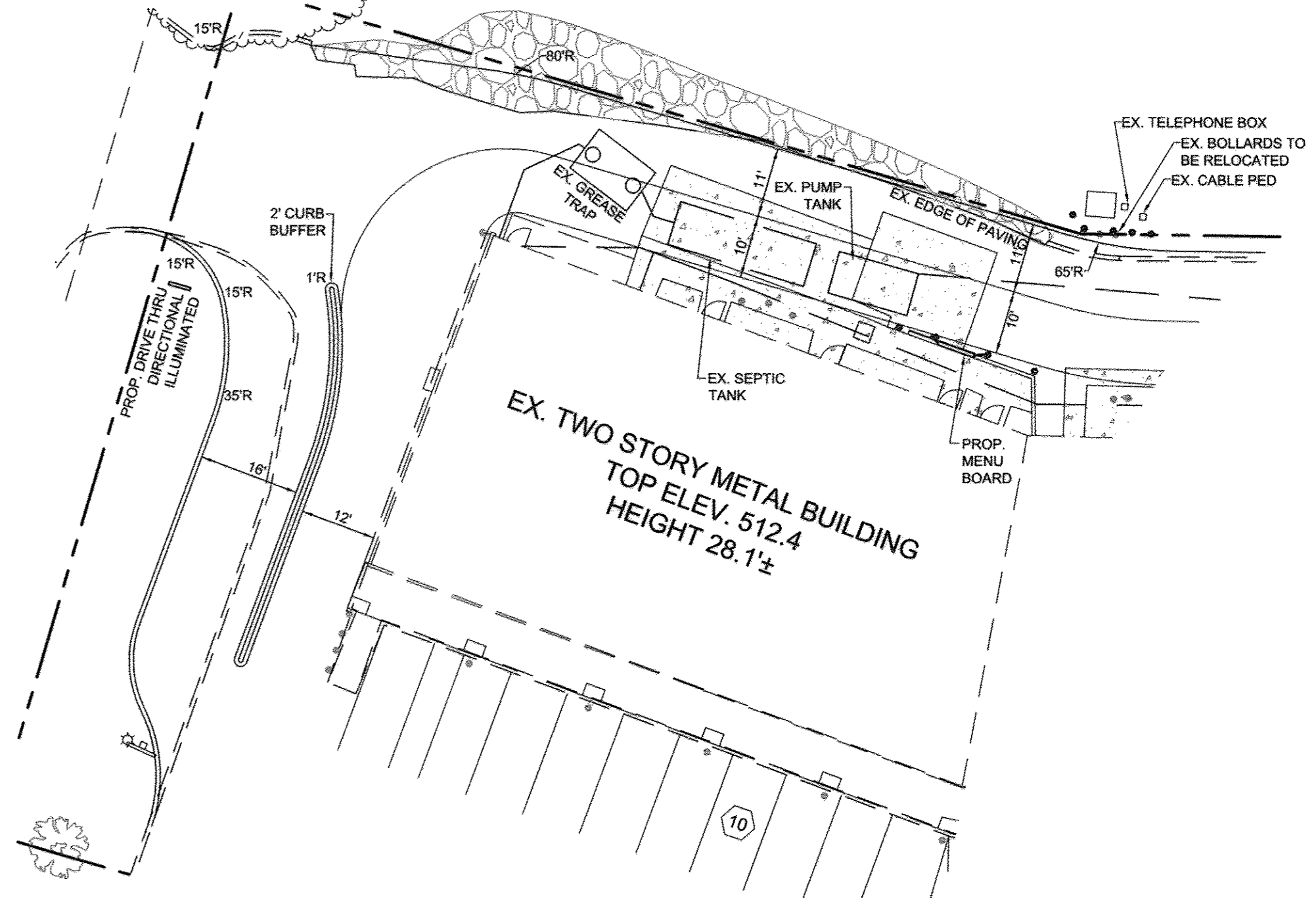
THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO SHOW AS-BUILT CONDITIONS AND REVISED CONTOURS AND CURBLINES ON SOUTH AND WEST SIDES OF BUILDING AND REVISED SEPTIC SYSTEM AS OF THE DATE OF THIS PLAN

MATCHLINE - SHEET S8



GENERAL NOTES

- SUBJECT PROPERTY ZONED B-2 AND POR PER 10/09/13 COMPREHENSIVE ZONING PLAN.
- TOTAL AREA OF PROPERTY = 4.64 AC ±
- PRIVATE WATER AND PRIVATE SEWER WILL BE USED WITHIN THIS SITE.
- THIS AREA DESIGNATES A PRIVATE SEWAGE EASEMENT, OF AT LEAST 10,000 SF AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL (COMAR 26.04.03). IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE EASEMENT. RECORDATION OF A MODIFIED SEWAGE EASEMENT SHALL NOT BE NECESSARY.
- THE BOUNDARY SHOWN HEREON IS BASED ON A FIELD RUN BOUNDARY SURVEY PREPARED BY SHANABERGER & LANE ON MARCH 9, 2017.
- THE TOPOGRAPHY SHOWN WITHIN THE BOUNDARY OF THE SUBJECT LOT IS BASED ON A FIELD RUN TOPOGRAPHIC SURVEY PREPARED BY SHANABERGER & LANE ON MARCH 9, 2017.
- PROPERTY ADDRESS: 12800 NORTH ROUTE 144
- REFERENCES: LIBER 5317, FOLIO 688
- THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP, WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT.
- THIS PROJECT IS EXEMPT FROM THE FOREST CONSERVATION ACT SINCE THE AREA BEING AMENDED IS A PREVIOUSLY DEVELOPED AREA THAT IS COVERED BY IMPERVIOUS SURFACE.
- LIMIT OF DISTURBANCE: 1,982.21 SF ± OR 0.0455 AC ±



DRIVE THRU DETAILS
 SCALE: 1"=20'

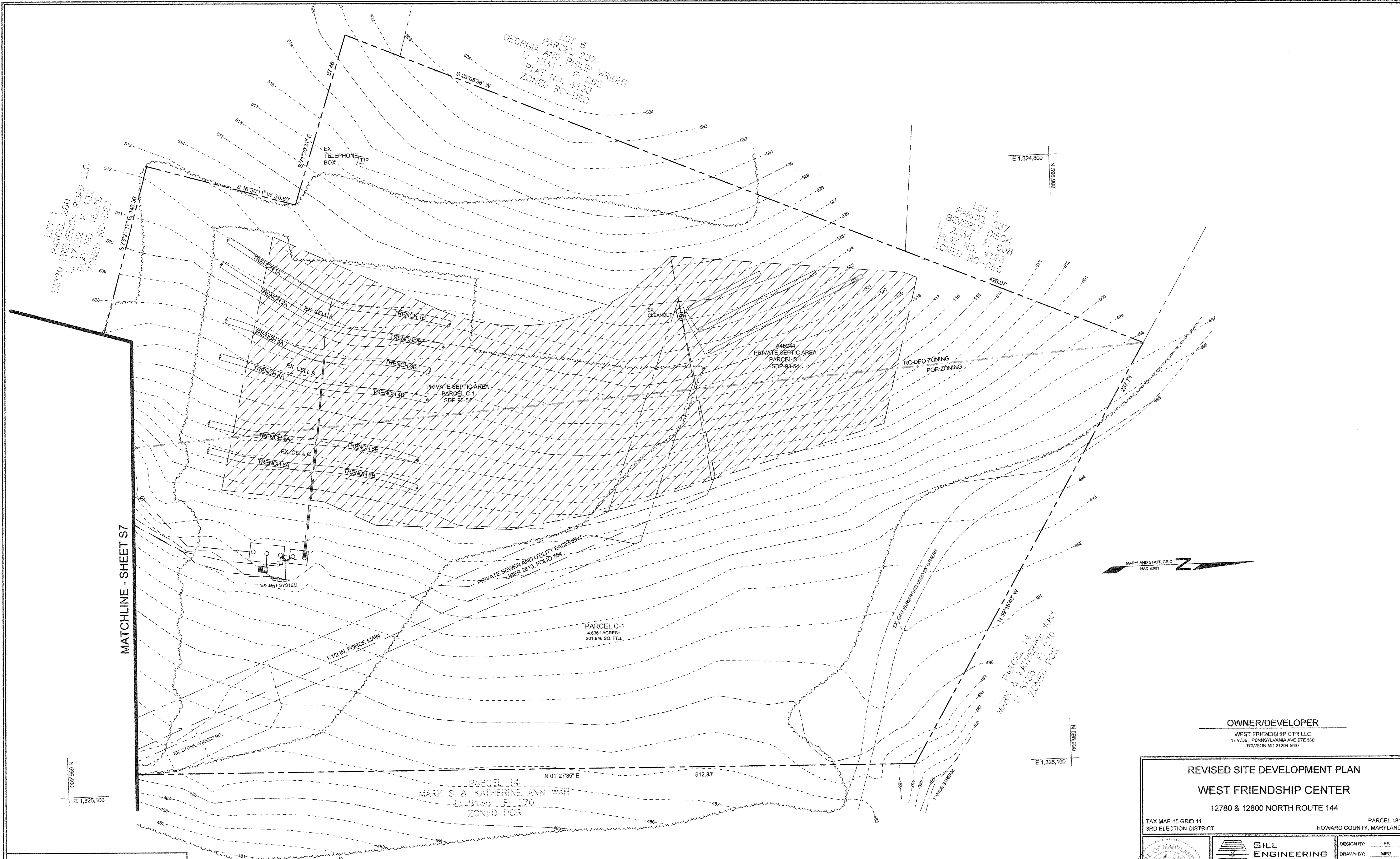
OWNER/DEVELOPER
 WEST FRIENDSHIP CTR LLC
 17 WEST PENNSYLVANIA AVE STE 500
 TOWSON MD 21284-5067

REVISED SITE DEVELOPMENT PLAN
 WEST FRIENDSHIP CENTER
 12780 & 12800 NORTH ROUTE 144
 TAX MAP 15 GRID 11
 3RD ELECTION DISTRICT
 PARCEL 184
 HOWARD COUNTY, MARYLAND

	SILL ENGINEERING GROUP, LLC 11139 Dovedale Court, Suite 200 Marriottsville, Maryland 21104 Phone: 443.325.5076 Fax: 410.696.2022 Email: info@sillengrping.com Civil Engineering for Land Development	DESIGN BY: PS DRAWN BY: MPO CHECKED BY: PS SCALE: AS SHOWN DATE: AUGUST 16, 2017 PROJECT #: 14-027 SHEET #: S7
	PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 32025, EXPIRATION DATE: JUNE 20, 2019.	
	NOTE: THE LOD OF 1,009 SF IS EXEMPT FROM PROVIDING SWM. ANY FUTURE INCREASE EXCEEDING 5,000 SF SHALL BE REQUIRED TO MEET CURRENT SWM CRITERIA.	
	SDP-74-073	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature] 9-5-17
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 8-29-17
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 9-6-17
 Director, Department of Planning & Zoning



MATCHLINE - SHEET S7

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kent L. Howard 9-5-17
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Chad E. Clark 8-29-17
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Nathan J. Jelic 9-6-17
 Director, Department of Planning & Zoning DATE

PLAN VIEW
 SCALE: 1"=20'

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO SHOW AS-BUILT CONDITIONS AND REVISED SEWAGE DISPOSAL AREAS AS OF THE DATE OF THIS PLAN

OWNER/DEVELOPER
 WEST FRIENDSHIP CTR LLC
 17 WEST PENNSYLVANIA AVE STE 500
 TOWSON MD 21284-5067

REVISED SITE DEVELOPMENT PLAN
WEST FRIENDSHIP CENTER
 12780 & 12800 NORTH ROUTE 144

TAX MAP 15 GRID 11 PARCEL 184
 3RD ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SILL ENGINEERING GROUP, LLC
 11130 DOWDLE COURT, SUITE 200
 MARIETTSVILLE, MARYLAND 21104
 Phone: 443.325.5076
 Fax: 410.696.2022
 Email: info@sillengineering.com
 Civil Engineering for Land Development

DESIGN BY: PS
 DRAWN BY: MPO
 CHECKED BY: PS
 SCALE: AS SHOWN
 DATE: AUGUST 16, 2017
 PROJECT #: 14-027
 SHEET #: 58

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 32023, EXPIRATION DATE: JUNE 20, 2019

SDP-14-027-SDP-74-013