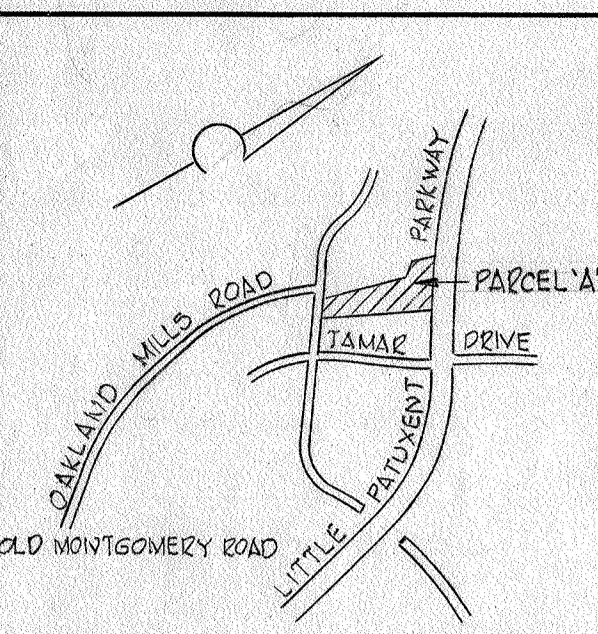


APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPT.
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 APPROVED: DIVISION OF LAND DEVELOPMENT AND TRANSPORTATION PLANNING
 APPROVED: FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District

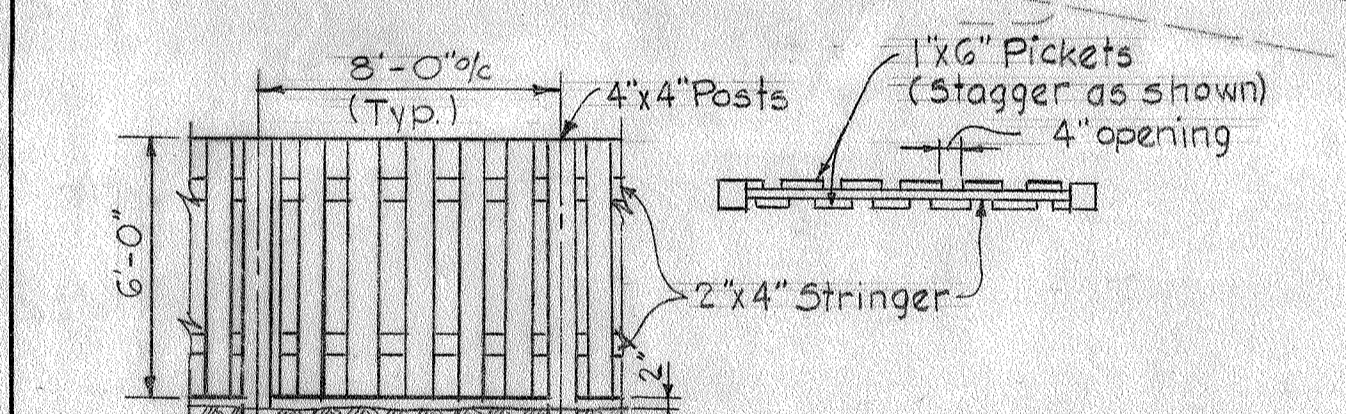


VICINITY MAP
 Scale: 1" = 2000'

LEGEND

--- Existing Contours (2' Interval)	--- Proposed Contours (1' Interval)	--- Alleyway System
⊙ Building Group Number	⊙ Number of Dwellings in Building Group	--- Optional Covered Parking Spaces
A-1 Lot Number	Prop. 1st Floor Elevation	--- Non-Optional Covered Parking Spaces
Prop. 2nd Floor Elevation	Prop. Spot Elevation	--- Street Address
--- Existing "Tree Line"	--- Existing "Tree Line"	--- Top Curb
		--- Retaining Wall
		--- Solid Wood Privacy Fence
		--- Wood Screen Fence (50% Open)
		--- Wood Privacy Fence (Type optional)

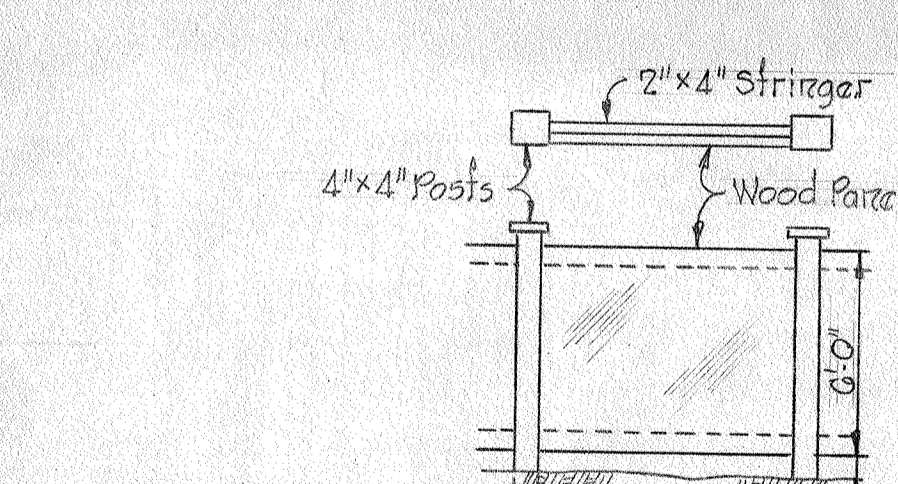
APPROVED
 DIVISION OF LAND DEVELOPMENT AND TRANSPORTATION PLANNING
 HOWARD COUNTY, MARYLAND
 DATE: OCTOBER 31, 1972



WOOD PRIVACY FENCE (REAR ONLY)
 No Scale

NOTE:
 This development plan includes all applicable information outlined in Data Sheet 150, Neighborhood Standards, F.H.A. Land Planning Bulletin No. 3, V.A. Pamphlet 44-5, and conforms with lot improvements and detail lot grading of Chapter XII F.H.A. Minimum Property Requirements, dated May 1965, and to all applicable ordinances and regulations.

Drainage structures have been designed in accordance with sound engineering practice using recognized formulae and rainfall data currently prescribed by local authorities. These exhibits comply with the F.H.A. objectives, Minimum Property Standards, local acceptable standards and neighborhood requirements, conform to all applicable local government ordinances and regulations, and represent the best professional judgement of the designer.

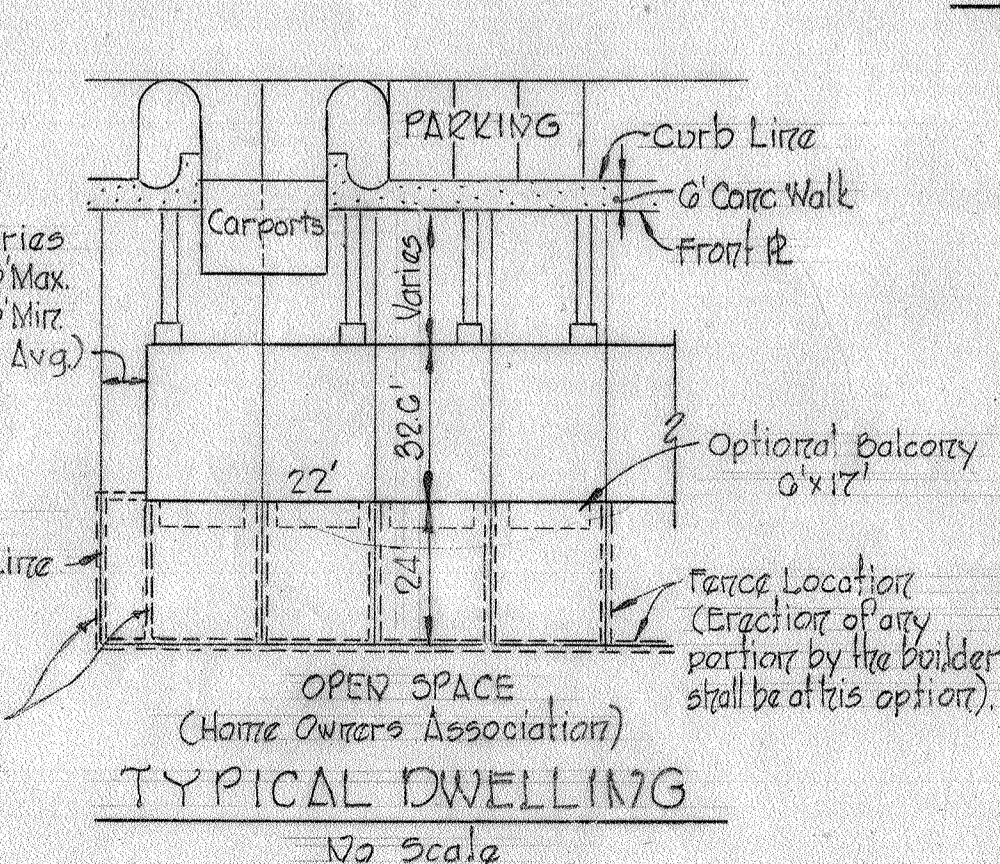


SOLID WOOD PRIVACY FENCE (FRONT ONLY)
 No Scale

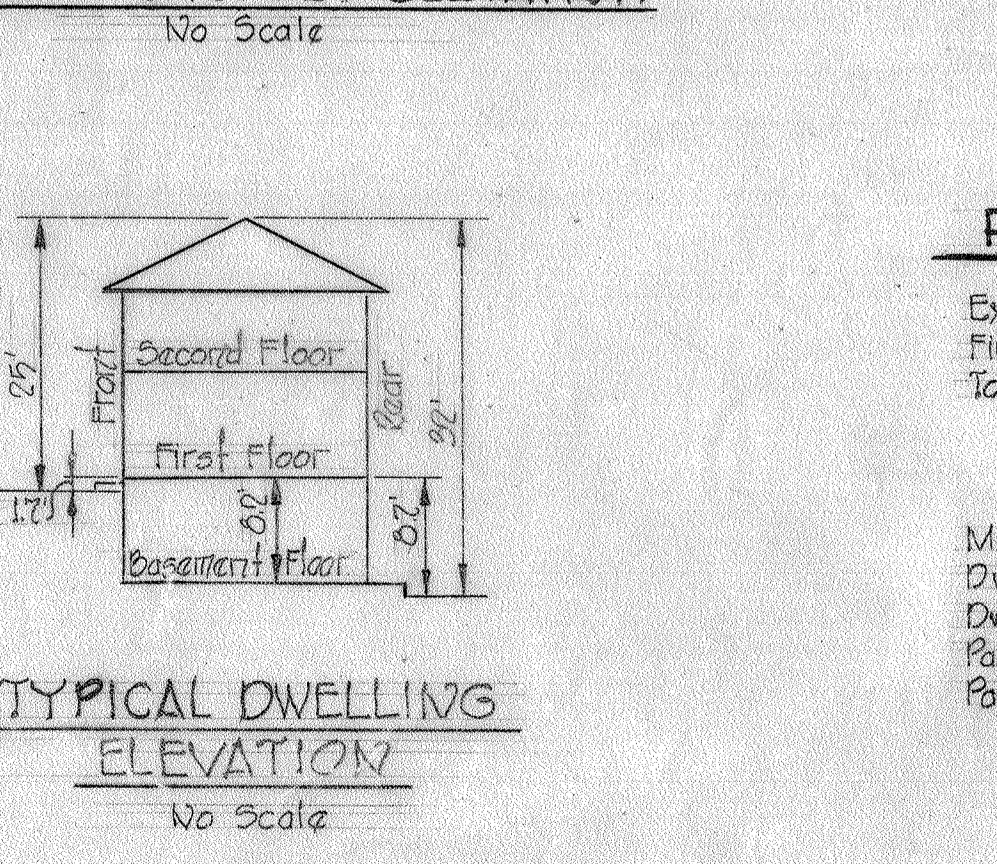
HOWARD HOMES INC.
 OWNER AND DEVELOPER
 20 BOX 202 COLUMBIA, MD. 21045
 WHITMAN, REEDER & ASSOCIATES
 ENGINEERS
 1304 ST. PAUL STREET
 BALTIMORE, MARYLAND
 Kenneth A. McComb PE 1974

- SPECIAL NOTES**
- Topography taken from aerial photo prepared by Maps, Inc. and verified by field-run surveys.
 - Recording reference for Parcel 'A' is Plat Book 22, Folio 10.
 - Water and sewer facilities to be provided.
 - Open space lots which include parking spaces and sidewalks shall be owned and maintained by a Home Owners Association. Only the 20' traveled way portion of the 50' road right-of-way shall be publicly maintained.
 - The minimum gross floor area of each building unit, excluding basement, shall be 1000 square feet.

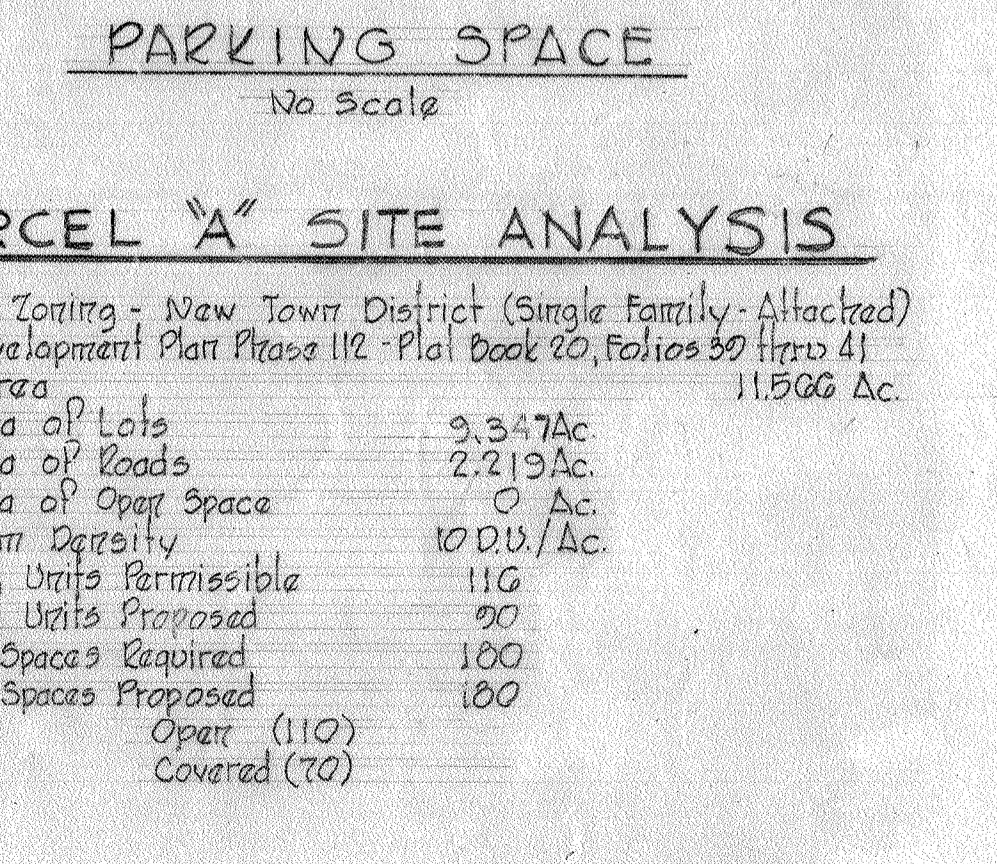
- GENERAL NOTES**
- All entrance walls to dwellings shall be concrete 6" wide.
 - All other sidewalks shall be 4" wide concrete, unless otherwise noted.
 - Curb return radii for roadways shall be 20' unless otherwise noted.
 - Curb return radii for parking areas shall be 8'.
 - Minimum setback from all public streets shall be 30', unless otherwise approved by Howard County Planning Commission.
 - Dwellings shown terrace are 2 bedroom 2 story group dwellings with basements.



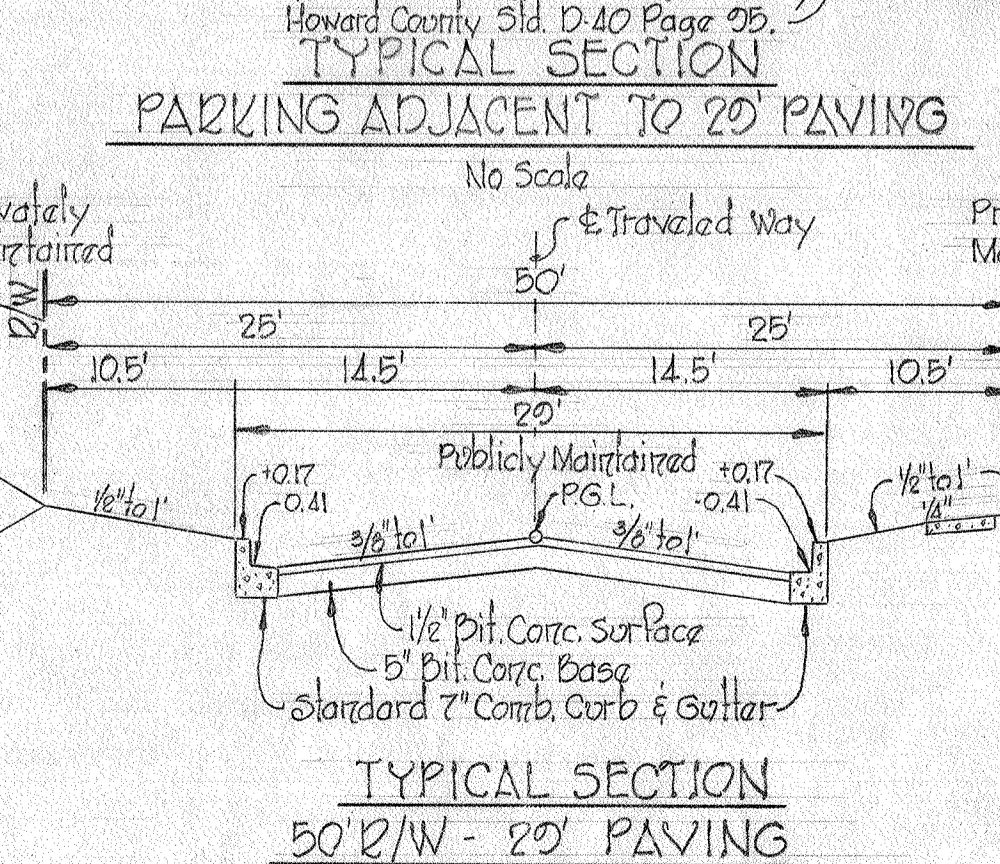
TYPICAL DWELLING ELEVATION
 No Scale



TYPICAL CARPORT ELEVATION
 No Scale



TYPICAL PARKING SPACE
 No Scale



TYPICAL SECTION
 20' PAVING - 20' PAVING
 No Scale

PARCEL 'A' SITE ANALYSIS

Existing Zoning - New Town District (Single Family - Attached)	11,500 Ac.
Final Development Plan Phase 1B - Plat Book 22, Folios 50 thru 61	11,500 Ac.
Total Area	11,500 Ac.
Area of Lots	9,347 Ac.
Area of Roads	2,219 Ac.
Maximum Density	5 Ac.
Dwelling Units Permissible	1000/100 Ac.
Dwelling Units Proposed	90
Parking Spaces Required	100
Parking Spaces Proposed	100
Open (110)	
Covered (10)	

Revisions

1	Added note regarding public water and sewerage systems.
2	Added note regarding drainage systems.
3	Added note regarding parking spaces.
4	Added note regarding setbacks.
5	Added note regarding fence types.

COLUMBIA
 ELECTION DISTRICT NO. 4
 HOWARD COUNTY, MARYLAND
 SITE PLAN
 FOR
 VILLAGE OF LONGREACH
 SECTION 1 AREA
 RESUBDIVISION OF PARCEL 'A' AND LOT 13
 SHEET 1 OF 1
 DATE: 9/10/72
 SCALE: 1" = 30'

LEGEND

- Existing Contours (5' Interval)
- Concrete Sidewalk
- Easement

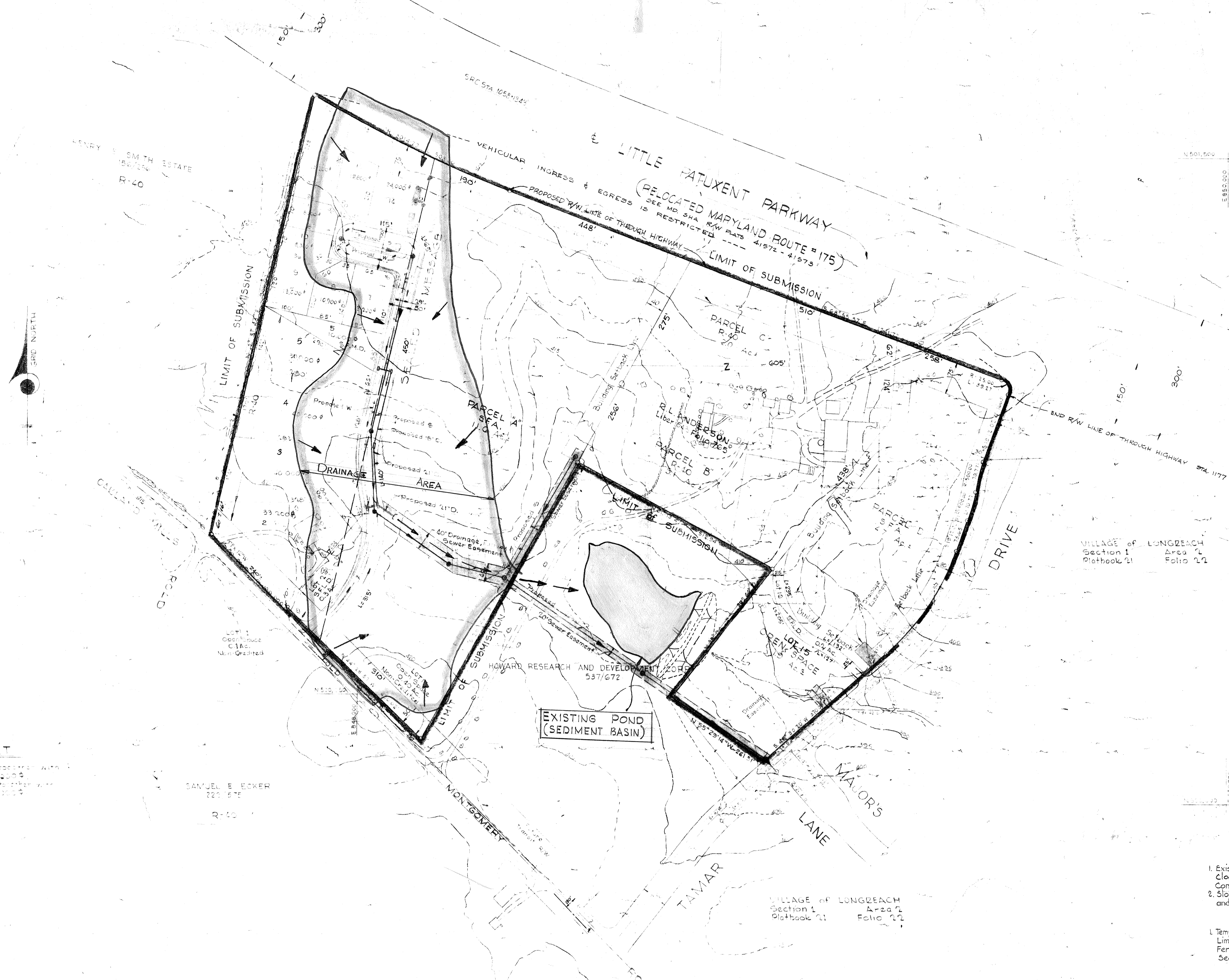
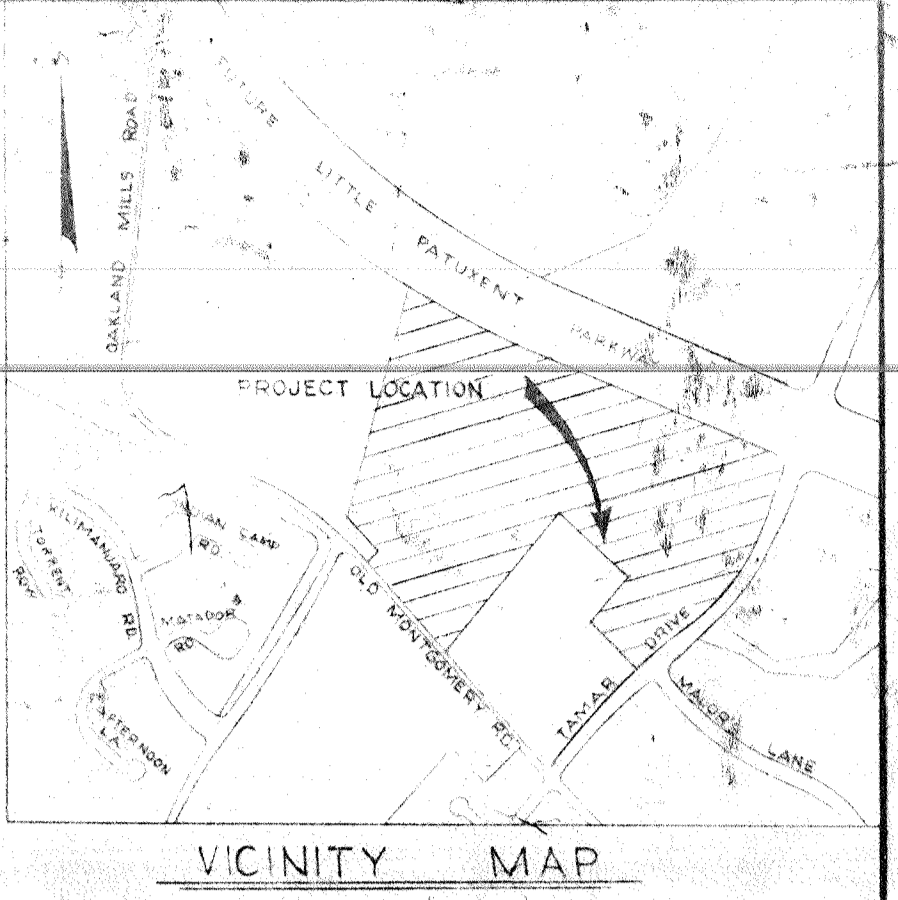
SPECIAL NOTES

1. Topography taken from aerial photo prepared by M&S Inc.
2. Water & Sewer Facilities are to be provided by Howard County Department of Public Works.
3. Proposed street is to be public.
4. Design speed for "SEALED MESSAGE" is 25 mph.
5. Paving section for "SEALED MESSAGE" per drawing D-11 of Howard County New Town Standard Road/Street Details.

SITE ANALYSIS

1. Zoning - New Town except where noted as R-40
2. Total Number of Lots (Including Open Space and Parcels) - 21
 - 2.40 Lots - 4
 - S.F.A. Lots - 2
 - S.F.L.D. Lots - 4
 - Open Space Lots - 3
 - 2.40 Parcels - 2
 - S.F.A. Parcels - 2
3. Total Area - 34.1 Ac.
 - Open Space - 1.5
 - 2.40 Lots - 3.7
 - S.F.M.D. Lots - 2.6
 - S.F.L.D. Lots - 0.5
 - Open Space Lots - 2.4
 - 2.40 Parcels - 7.0
 - APT. (S.F.A.) Parcels - 16.3

TYPICAL HALF SECTION
50' R/W
NOT TO SCALE



NOTE OF INTENT

1. Lot 1 (S.F.L.D.) will be sold separately with Lot 2 (2.40) to provide Access.
2. Lot 24 (S.F.M.D.) will be sold to provide water and sewer service to Lot 25.

SAMUEL E. ECKER
221 97
R-40

This development plan is approved for soil erosion and sediment control by the Howard County Conservation District.
 Revised *James M. D. V. M.* 5-24-72
 Approved *Robert W. Zahm* 5-24-72
 Howard County Conservation District

SEDIMENT CONTROL NOTES

1. Existing pond to be periodically cleaned so debris does not clog system or as required by the Howard County Soil Conservation District.
2. Slope areas and other areas subject to erosion will be seeded and mulched upon completion of grading operations.

SEEDING

1. Temporary Seeding
 Lime: 2 tons/acre agricultural ground Limestone
 Fertilizer: 500 lbs/acre (5-10-0)
 Seeding: Date and Rate of application as per "Protecting Erosion Areas with Short Term Seeding" Section III-A,B,C, of the Erosion and Sediment Control Technical Handbook, Howard County Soil Conservation District.

SEDIMENT CONTROL PLAN

DATE	NO.	DESCRIPTION
11-12-71	1	PREPARED PLAN AS TO COMMENTS FROM S.H.A.
11-17-71	1	REVISED PLAN AS TO SEEDING QUANTITY COMMENTS
11-17-71	2	REVISED PLAN AS TO ADDITIONAL HOWARD COUNTY COMMENTS

COLUMBIA
 ELECTION DISTRICT NO. 6
 HOWARD COUNTY, MARYLAND
PRELIMINARY PLAN
 FOR
VILLAGE OF LONGREACH
 SECTION I AREA G

DATE: September 20, 1971 SCALE: 1"=100'

HOWARD RESEARCH AND DEVELOPMENT CORPORATION
 COLUMBIA, MARYLAND 21043

WHITMAN REQUARDT & ASSOCIATES
 ENGINEERS
 2 W. PRESTON STREET
 BALTIMORE, MARYLAND

