

CONCRETE DEMOLITION



ASPHALT PAVEMENT DEMOLITION



CURB AND GUTTER DEMOLITION

-/-/-/--/--/-- FENCE LINE REMOVAL

GENERAL DEMOLITION NOTES

- THE CONTRACTOR SHALL BE LIMITED TO STORING MATERIALS WITHIN THE LIMITS OF DISTURBANCE FOR THIS PROJECT.
- 2. ALL CONSTRUCTION ACTIVITY SHALL BE COORDINATED WITH HCPSS.
- 3. CONTRACTOR SHALL PROVIDE REQUIRED SIGNAGE AND FLAGMEN ALONG ALL PUBLIC STREETS ADJACENT TO THE SITE, TO ASSURE THE SAFETY OF ALL VEHICULAR AND PEDESTRIAN TRAFFIC IF REQUIRED. ALL TRAFFIC CONTROLS MUST BE IN ACCORDANCE WITH THE MOST CURRENT MUTCD AND MIMUTCD REQUIREMENTS AND WITH THE MOST CURRENT HOWARD COUNTY DOT WORK ZONE TRAFFIC CONTROL STANDARDS AND DETAILS.
- 4. ALL WORK SHALL BE PERFORMED IN STRICT CONFORMANCE WITH THE MOST CURRENT APPLICABLE EPA, OSHA, AND MOSHA REGULATIONS AND MUST COMPLY WITH THE MOST CURRENT FEDERAL, STATE AND/OR LOCAL REGULATIONS AND CODES APPLICABLE TO SAID WORK.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WORK WITH REPRESENTATIVE UTILITY COMPANIES AND IMPLEMENTING REQUIRED UTILITY-RELATED WORK ACCORDINGLY.
- 6. THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR OWNERS REPRESENTATIVE IMMEDIATELY UPON ENCOUNTERING ANY HAZARDOUS MATERIALS. THE CONTRACTOR SHALL DOCUMENT SAME TO THE OWNER TO OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
- WHERE NEW WORK IS TO BE DONE, CARE SHALL BE TAKEN TO PROTECT ALL EXISTING ADJACENT SURFACES, STRUCTURES, AND AREAS FROM DAMAGE. ANY ITEM SHOWN TO REMAIN THAT IS DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- 8. CONTRACTOR SHALL BACKFILL EXCAVATED AREAS WITH ACCEPTABLE MATERIAL, AS SPECIFIED IN THE CONTRACT DOCUMENTS.
- 9. THE CONTRACTOR SHALL SHEET/SHORE AND BRACE ANY AND ALL STRUCTURES EXPOSED BY EXCAVATION/CONSTRUCTION IF REQUIRED AND SHALL CONTAIN ALL EXCAVATION WITHIN THE LIMITS OF DISTURBANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN OF SHEETING AND SHORING IN ACCORDANCE WITH LOCAL, STATE, OR FEDERAL REQUIREMENTS.
- 10. IN THE EVENT THAT, DURING DEMOLITION OR CONSTRUCTION ACTIVITIES THE CONTRACTOR ENCOUNTERS ANY EXISTING UTILITIES/STRUCTURES NOT SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER FOR DIRECTIONS PRIOR TO PROCEEDING WITH ANY WORK.
- 11. ALL SAWCUTS ARE TO BE STRAIGHT AND EVEN, JAGGED EDGES WILL NOT BE ACCEPTED.

- 12. IT IS THE INTENT OF THE DEMOLITION PHASE TO PROVIDE A SITE CLEAR OF ALL PHYSICAL CONSTRUCTIONS THAT WILL IMPEDE NEW CONSTRUCTION. PHASE STORM DRAIN REMOVAL AND GRADING AS NECESSARY TO MAINTAIN POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION.
- 13. THE DEMOLITION PLAN IS INTENDED TO PROVIDE AN OVERALL INTENT OF DEMOLITION THAT WILL BE PERFORMED THROUGHOUT CONSTRUCTION. SOME DEMOLITION IS PHASED AND PROGRESSES AS CONSTRUCTION CONTINUES. ALL DEMOLITION, AND MOST IMPORTANTLY UTILITY DEMOLITION, MUST BE PERFORMED IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND THE SEQUENCE OF CONSTRUCTION.
- 14. BEFORE ANY EXCAVATION BELOW SUBGRADE IS ALLOWED, THE CONTRACTOR SHALL VERIFY THAT NO UTILITY PIPING IS IN THE VICINITY OF EXCAVATION.
- 15. THE CONTRACTOR SHALL CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL UNDERGROUND UTILITIES IN THE AREA OF PROPOSED WORK ARE LOCATED PRIOR TO COMMENCING CONSTRUCTION WORK.
- 16. THE CONTRACTOR IS ALSO RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES (NOT LOCATED BY MISS UTILITY) WITHIN THE PROPERTY AT THEIR EXPENSE. ALL UTILITIES SHOWN ON THE PLANS ARE PROVIDED FOR INFORMATION ONLY AND SHALL BE CONSIDERED APPROXIMATE. ANY UTILITIES OR OTHER UNDERGROUND FACILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE.
- 16. PRIOR TO THE START OF CONSTRUCTION AN ON-SITE MEETING WITH THE PROPERTY OWNER AND THEIR GENERAL CONTRACTOR SHALL BE HELD TO DISCUSS TIMING OF OPERATIONS AND CONSTRUCTION COORDINATION.
- 17. WHEN AN ITEM IS STATED TO BE REMOVED, IT SHALL INCLUDE REMOVAL OF ANY AND ALL APPURTENANCES ABOVE OR BELOW GRADE ASSOCIATED WITH SAID ITEM.
- 18. ALL SIDEWALKS ARE TO BE REMOVED AT THE NEAREST WHOLE
- 19. ANY MANHOLE, VALVE, OR OTHER UTILITY THAT IS TO REMAIN WITHIN THE LIMITS OF DISTURBANCE SHALL HAVE THEIR LIDS MODIFIED TO MEET PROPOSED GRADE.



CLARK | AZAR & ASSOCIATE 20440 Century Blvd, Suite 220 Germantown, MD. 20874 T(301) 528-2010 www.clarkazar.com A Woman Owned Small Business



PROFESSIONAL CERTIFICATION: CERTIFY THAT THESE DOCUMENTS WERE PREPARE OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 31168

EXPIRATION DATE: 01/12/2023

APARTMENTS E REMODEL

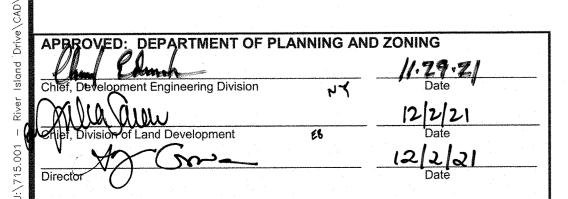
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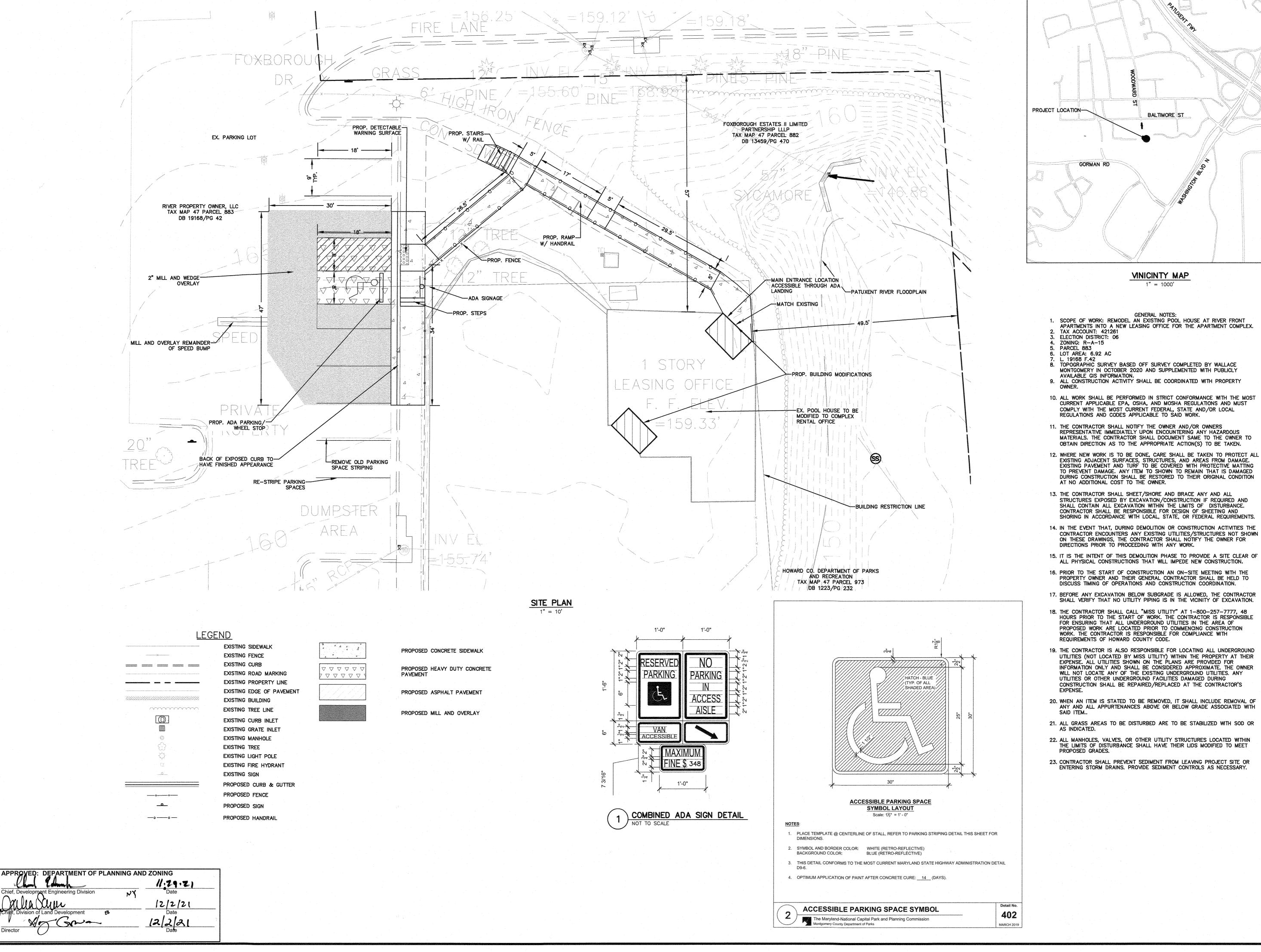
AUG 2021

CAA PROJECT NO.: 715.001 CHECKED BY: SHEET TITLE

> DEMOLITION PLAN

SHEET 2 OF 5 SDP-73-011







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LICENSE NO. 31168 EXPIRATION DATE: 01/12/2023

FRONT APARTMENT L HOUSE REMODEL RIVER F POOL

905 S

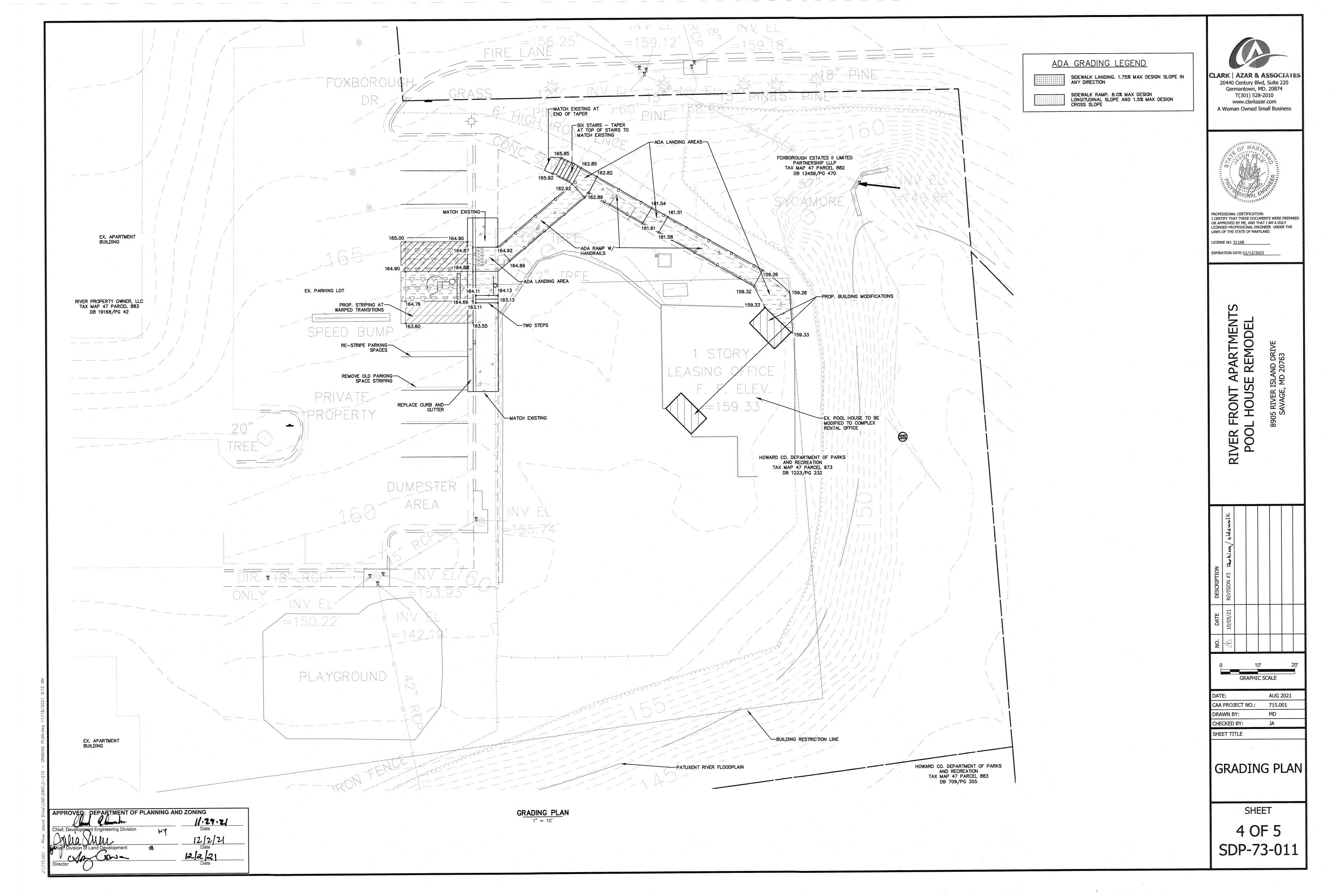
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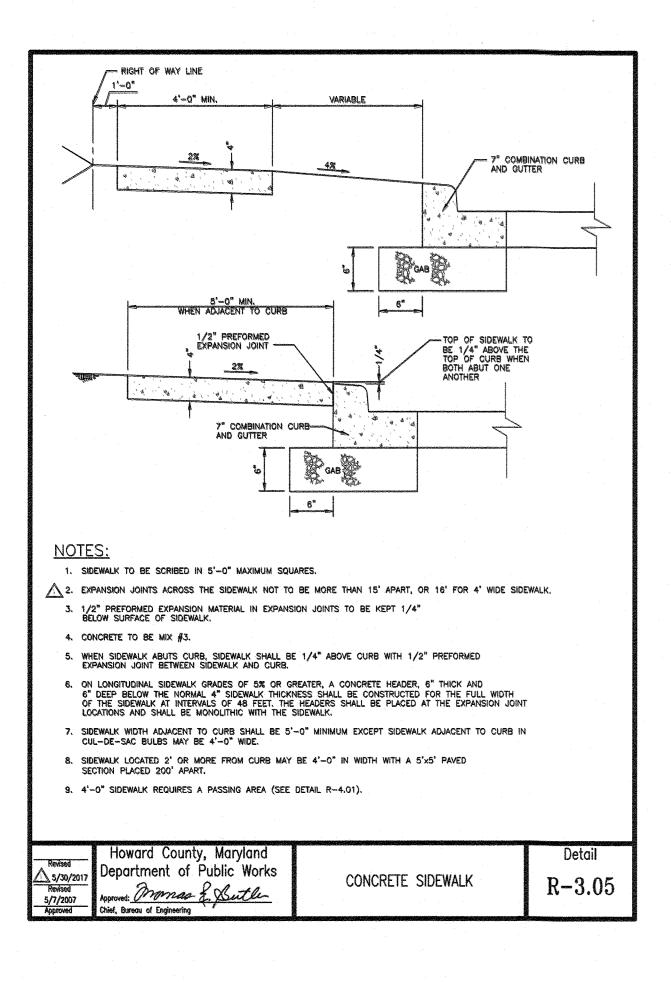
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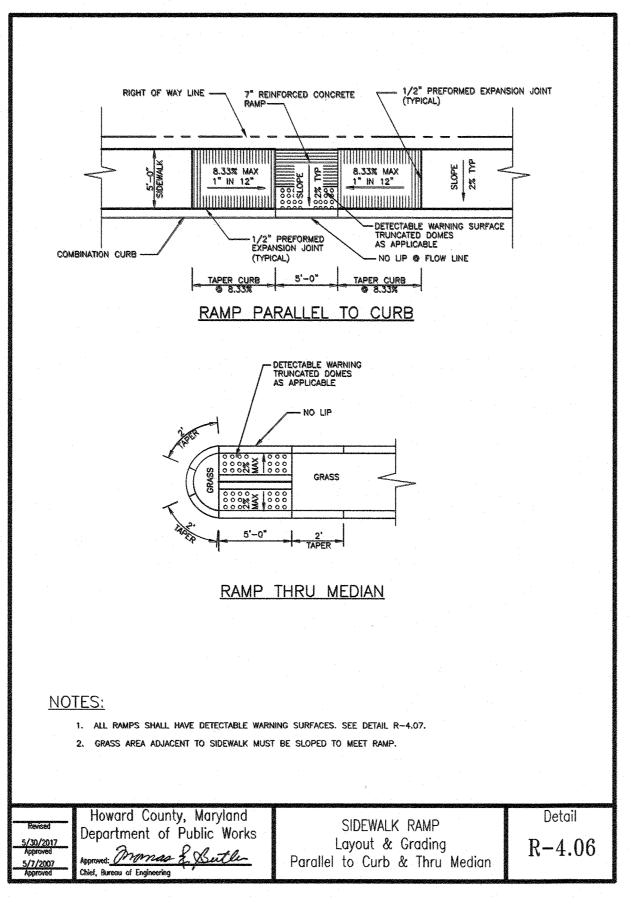
DATE:	AUG 2021
CAA PROJECT NO.:	715.001
DRAWN BY:	MD
CHECKED BY:	JA
SHEET TITLE	

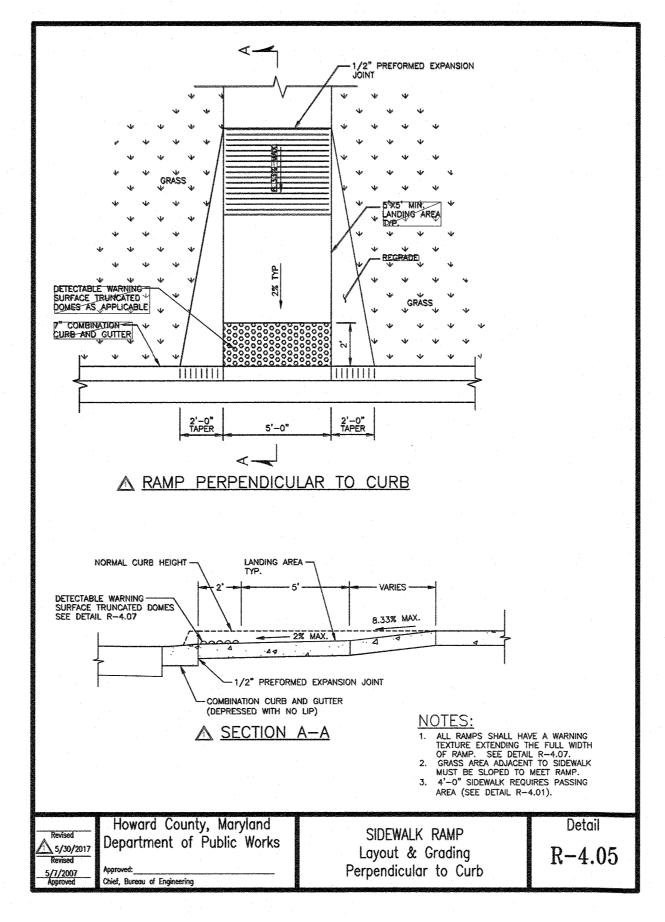
SITE PLAN

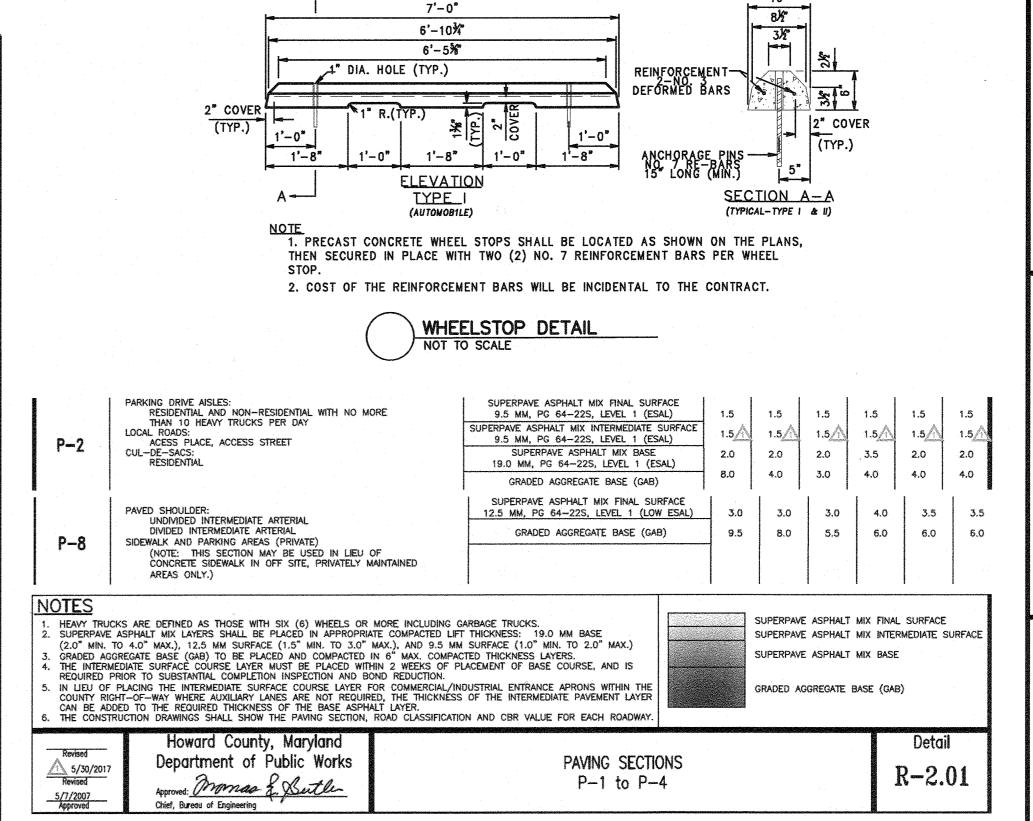
SHEET 3 OF 5 SDP-73-011



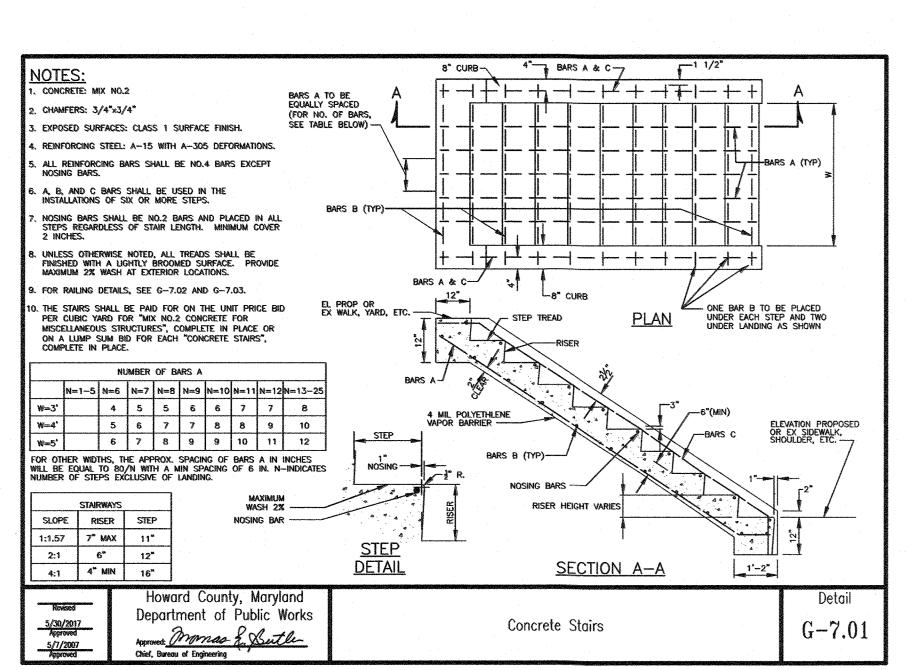


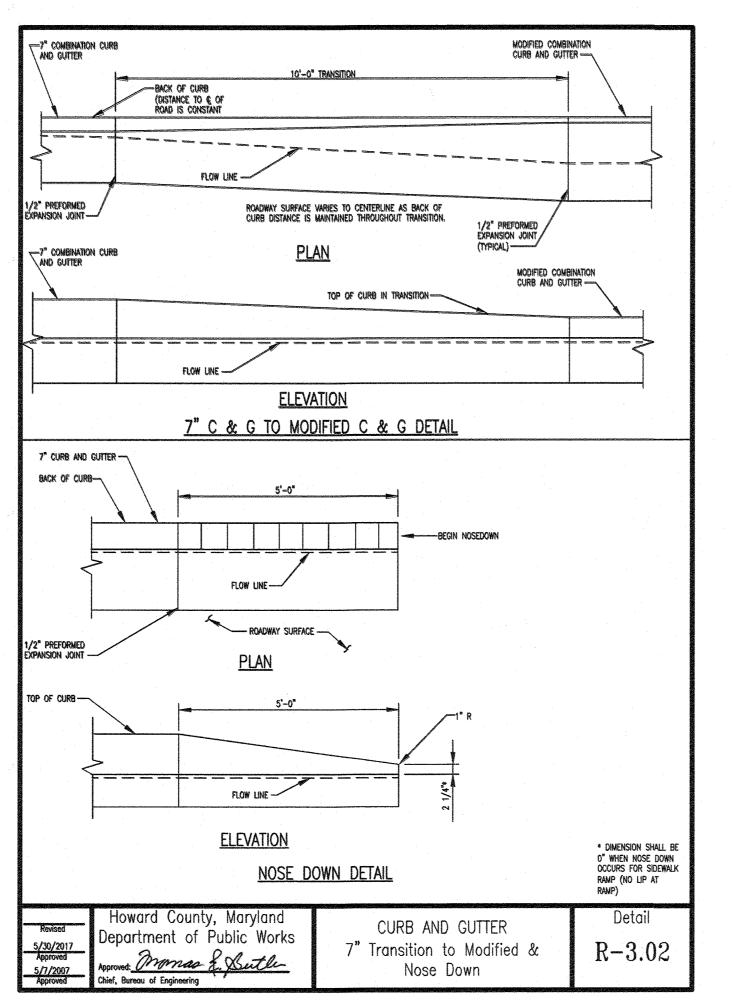


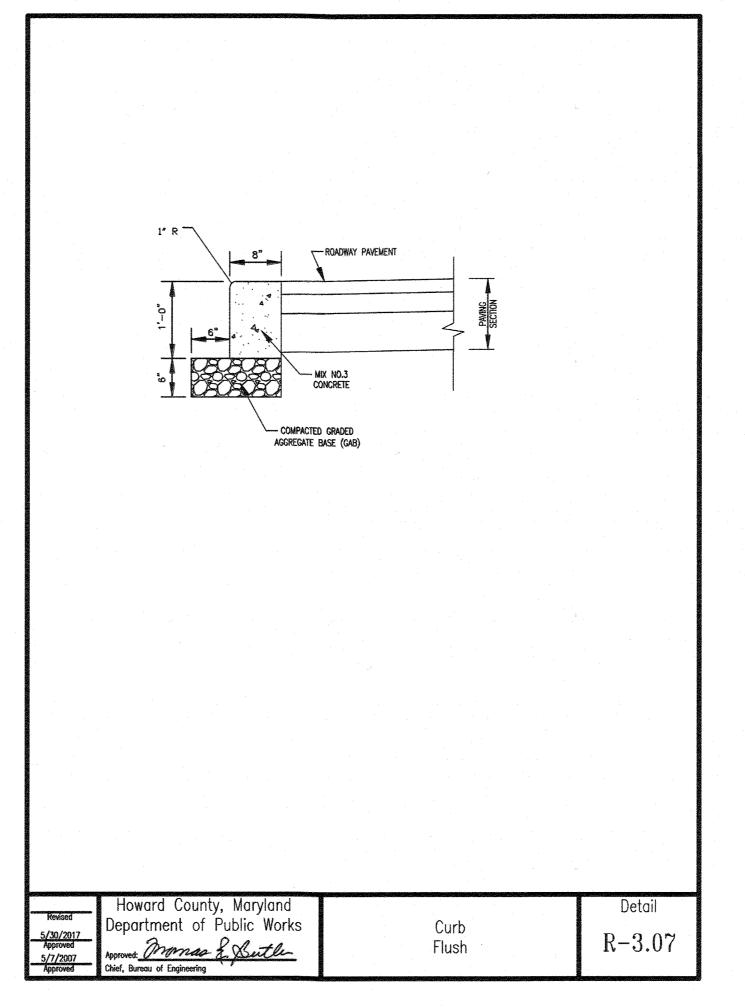


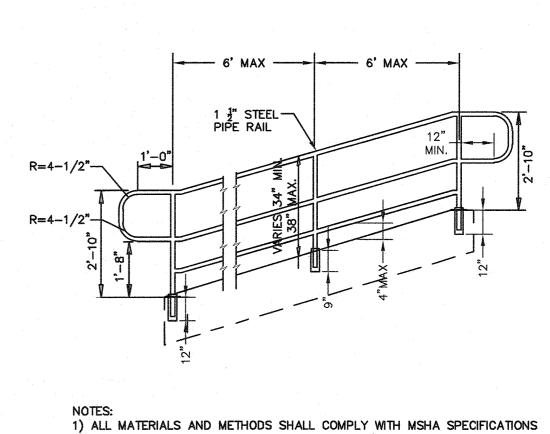


PAVING SECTIONS: R-2.01 & R-2.02



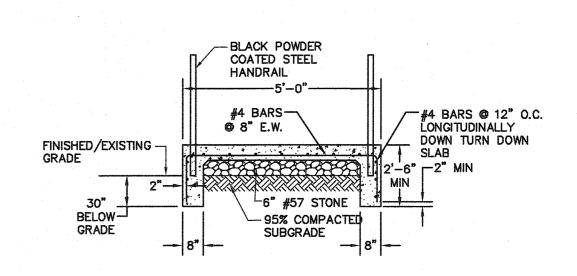






2) THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION OF THE HANDRAILS 3) THE COLOR OF THE HANDRAILS SHALL BE BLACK 4) POWDER COAT FINISH SHALL BE SHOP APPLIED. 5) SEE RAILING POST DETAIL FOR FASTENING METHODS. 6) A HANDRAIL SHALL BE PROVIDED ON BOTH SIDES OF THE RAMP WHERE INDICATED ON THE SITE PLAN





RAMP CROSS SECTION NOT TO SCALE



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LICENSE NO. 31168

EXPIRATION DATE: 01/12/2023

APARTMENT E REMODEL SOOT 8

NO. DATE DESCRIPTION 10/05/21 REVISION#3 Parking /チiduwalk					
10/05/21		/41dawalk			
10/05/21	N	Parking			
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AUG 2021 CAA PROJECT NO .: 715.001 DRAWN BY: MD CHECKED BY: JΑ SHEET TITLE

SITE DETAILS

SHEET 5 OF 5 SDP-73-011

