

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE BY S. S.M.S. HOWARD COUNTY HEALTH DEPT.

Chloey M.D. 4/5/73
 COUNTY ENGINEER

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING

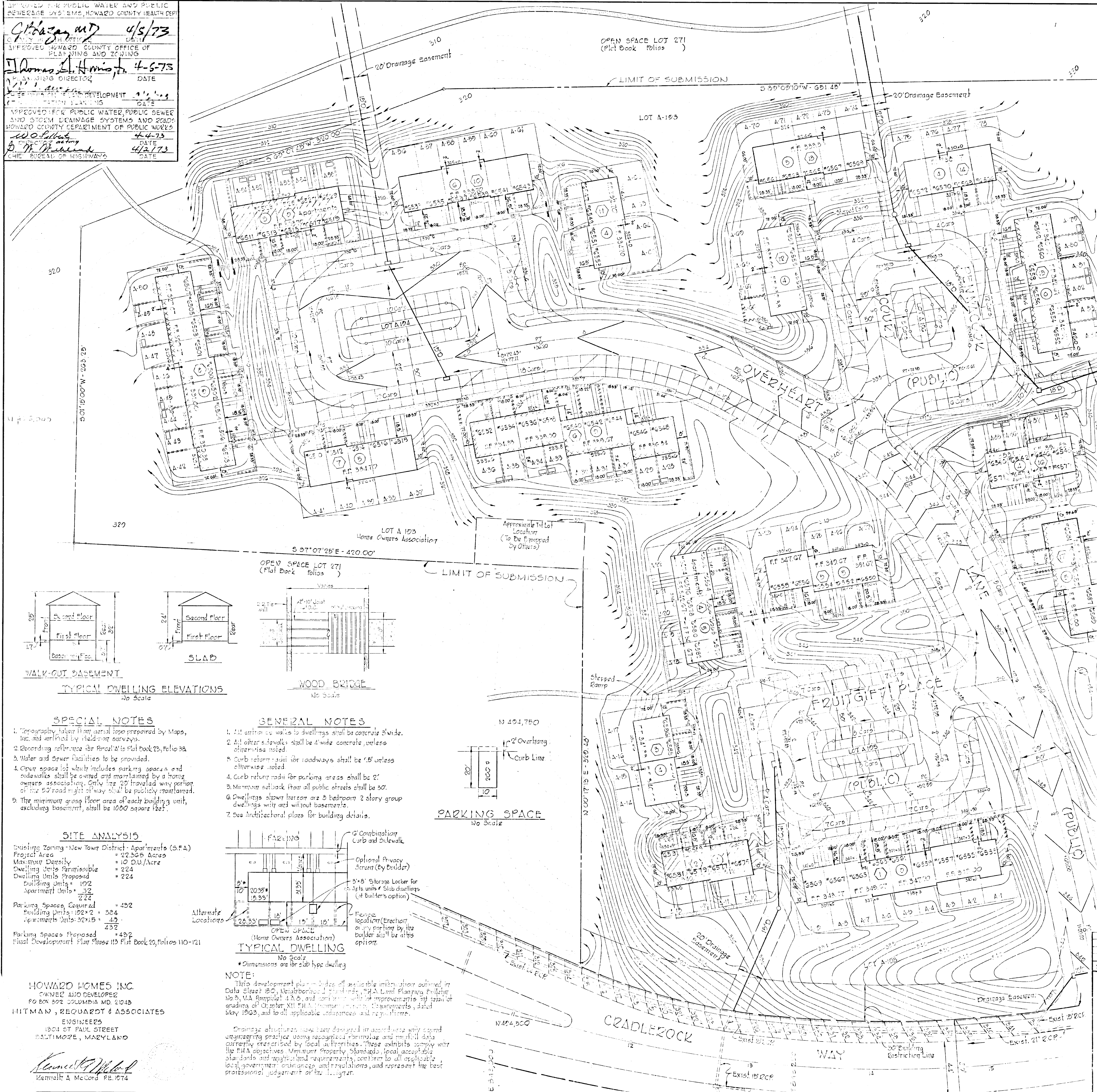
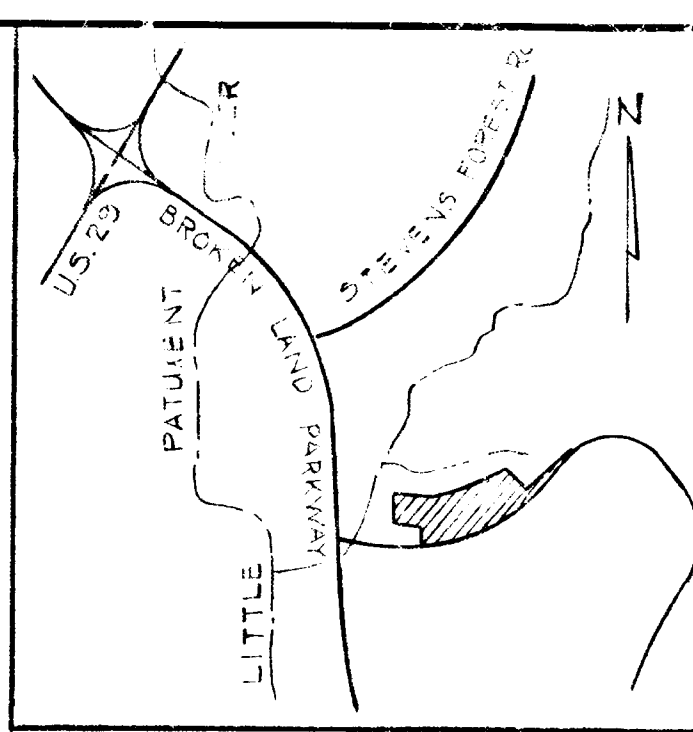
Thomas A. H. Smith 4-5-73
 COUNTY PLANNING DIRECTOR

APPROVED FOR DEVELOPMENT DATE 4/5/73

APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

W. O. White 4-4-73
 COUNTY ENGINEER

B. M. McConrad 4/2/73
 CHIEF BUREAU OF HIGHWAYS



SEE SHEET 2 OF 2

APPROVED DIVISION OF LAND DEVELOPMENT AND TRANSPORTATION PLANNING HOWARD COUNTY, MARYLAND DATE 9/26/72

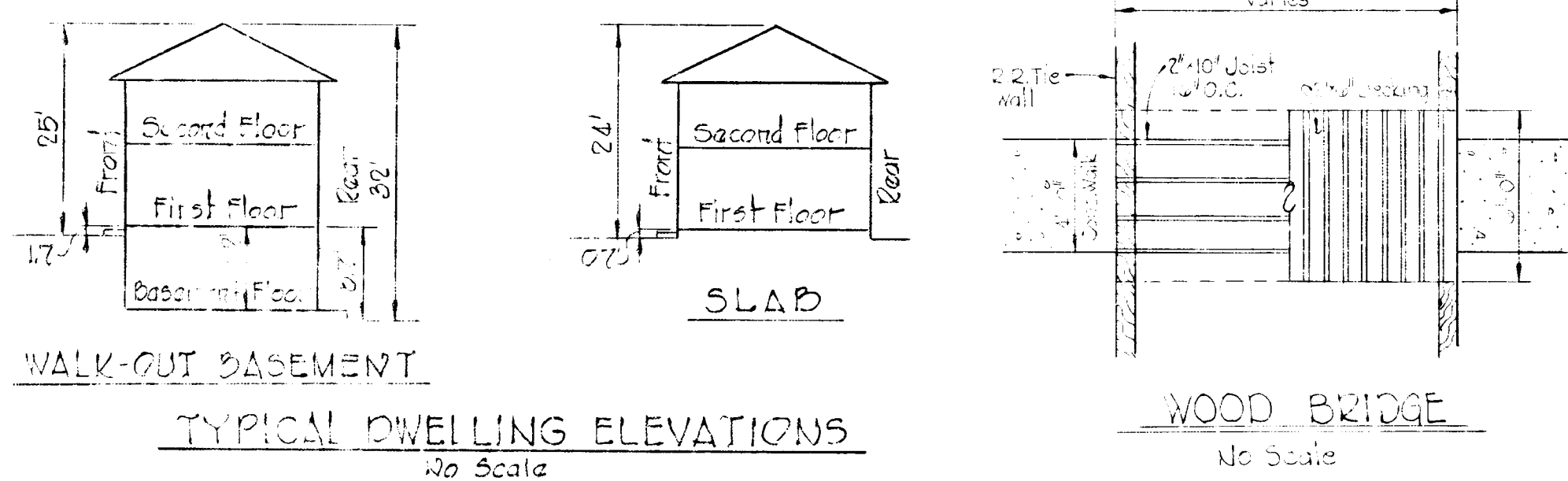
LEGEND

- 400 --- Existing Contours (2' Interval)
- - - 320 - - - Proposed Contours (1' Interval)
- ⊙ Building Group Number
- ⊙ Number of Dwellings in Building Group
- A-1 Lot Number
- FF 439.00 Proposed First Floor Elevation
- 12.0 Proposed Spot Elevation
- Existing Tree Line
- TC Top Curb
- 29' Travelled Way (To Be Publicly Maintained)
- Walkway System
- 8965 Street Address
- Dwelling With Walk-out Basement
- Dwelling With Apartment in Walk-out Basement
- Dwelling With Slab on Grade
- Railroad Tie Wall
- Wood Bridge
- Wooden Privacy Fence 6' High
- ***** Wooden Privacy Fence 50% Open 5' High

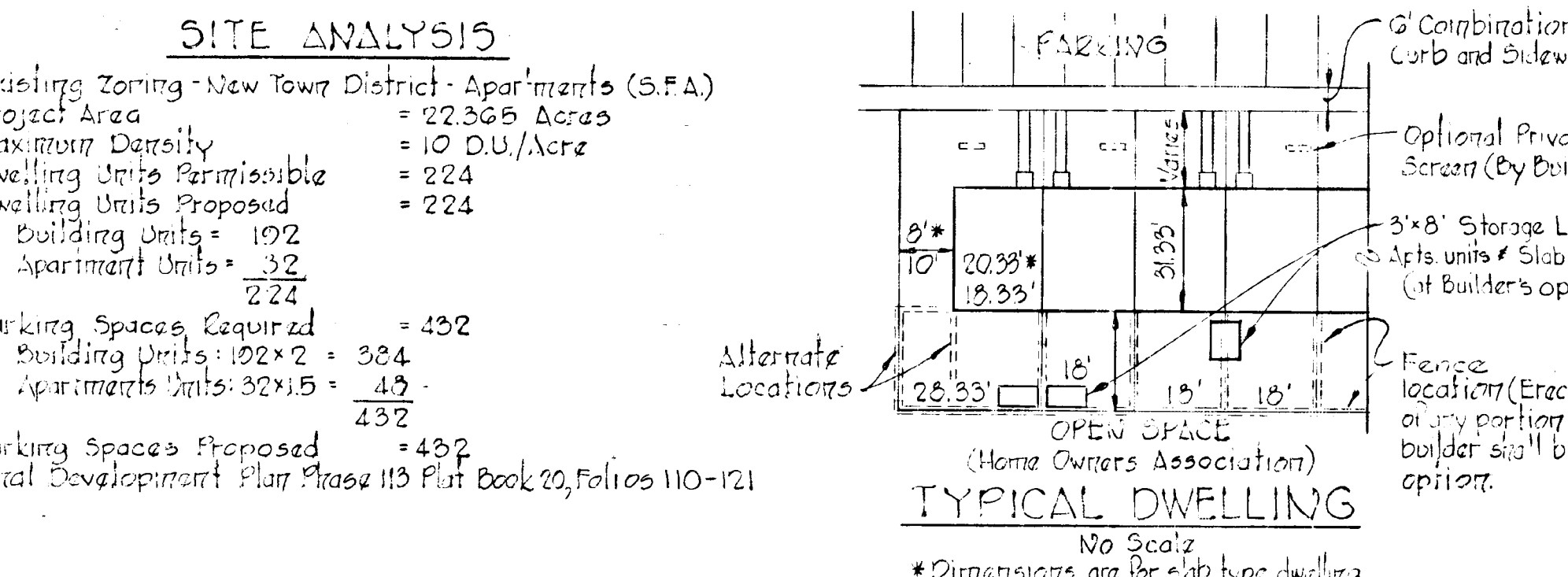
NO.	DATE	DESCRIPTION OF REVISION

COLUMBIA
 SECTION DISTRICT NO. 5
 HOWARD COUNTY, MARYLAND
SITE PLAN
 FOR
VILLAGE OF OWEN BROWN
 SECTION 1 AREA 1
 28308 DIVISION OF PARCEL PLAN
 SHEET 1 OF 2

DATE: MARCH 23, 1973 SCALE: 1" = 40'



- SPECIAL NOTES**
1. Topography shown in this plan was prepared by Maps, Inc. and verified by field survey.
 2. Recording reference for Parcel No. is Plat Book 23, Folio 38.
 3. Water and Sewer Facilities to be provided.
 4. Open space to which includes parking spaces and sidewalks shall be owned and maintained by a Home Owners Association. Only the 20' traveled way portion of the 50' road right of way shall be publicly maintained.
 5. The minimum gross floor area of each building unit, excluding basement, shall be 1000 square feet.
- GENERAL NOTES**
1. All exterior walls to dwellings shall be concrete 8" wide.
 2. All other exterior walls shall be 4" wide concrete, unless otherwise noted.
 3. Curb return radii for roadways shall be 25' unless otherwise noted.
 4. Curb return radii for parking areas shall be 20'.
 5. Minimum setback from all public streets shall be 30'.
 6. Dwellings shown herein are 2 story group dwellings with and without basements.
 7. See Architectural plans for building details.



HOWARD HOMES INC.
 OWNER AND DEVELOPER
 PO BOX 902 COLUMBIA MD 21048

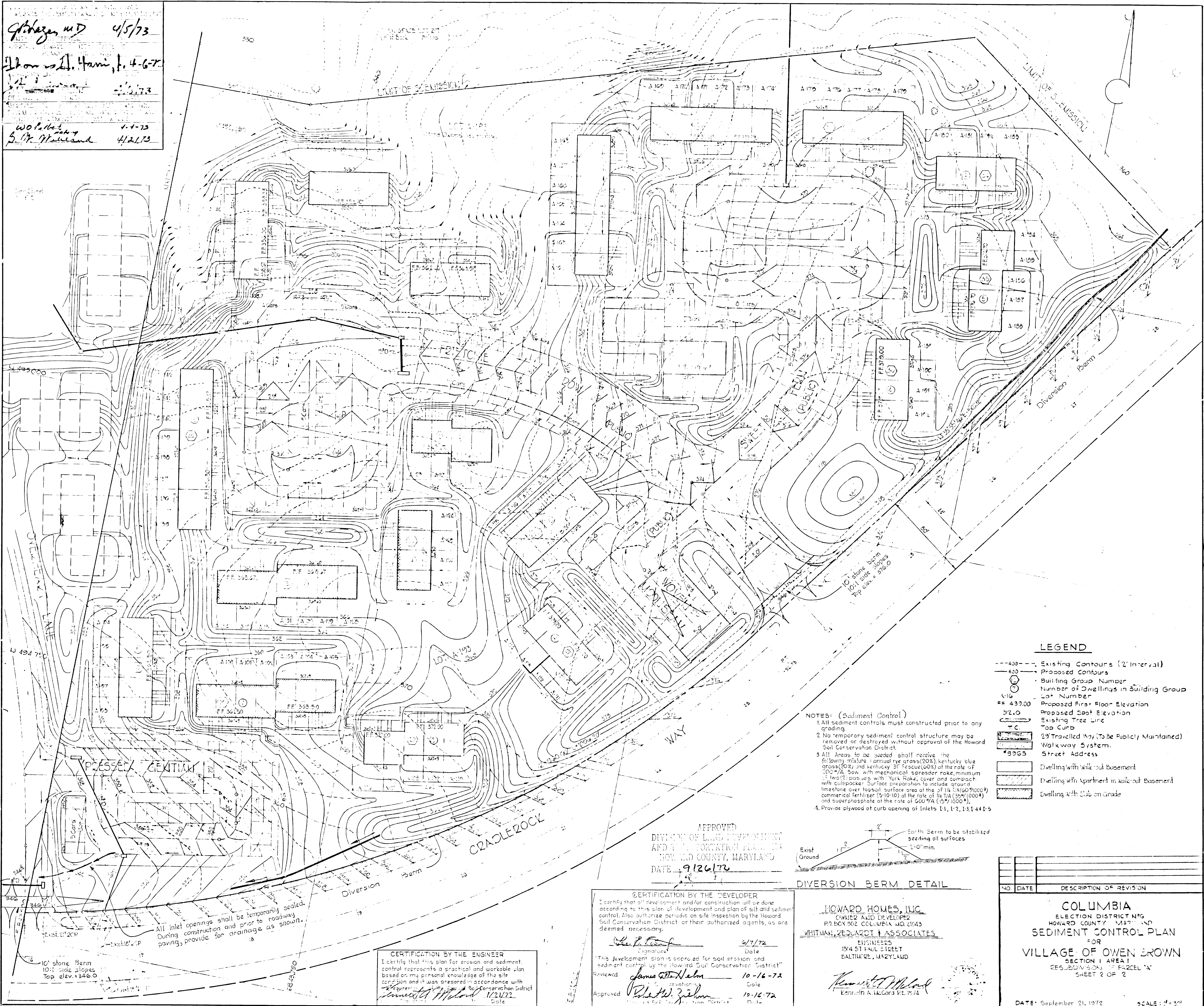
HITMAN, REQUART & ASSOCIATES
 ENGINEERS
 1804 ST PAUL STREET
 BALTIMORE, MARYLAND

Samuel M. McConrad
 Kenneth A. McConrad P.E. 1074

NOTE:
 This development plan includes all applicable utility lines shown in Data Sheet 180, Metropolitan 1 Standards, S.F.A. Land Planning Bulletin No. 9, V.A. Pamphlet 140, and any other utility improvement projects in total of grading of Chapter XII. E.H.A. Minimum Standards, Amendments, dated May 1968, and to all applicable ordinances and regulations.

Drainage structures have been designed in accordance with sound engineering practice using regional climatology and rainfall data currently provided by local authorities. These exhibits comply with the E.H.A. objectives. Minimum Property Standards, local applicable standards and regulatory requirements, conform to all applicable local government ordinances and regulations, and represent the best professional judgment of the Engineer.

Gibson, MD 4/5/73
 Done with Ham, 4-6-73
 W.P. McHenry 1-1-73
 S.W. McHenry 4/2/73

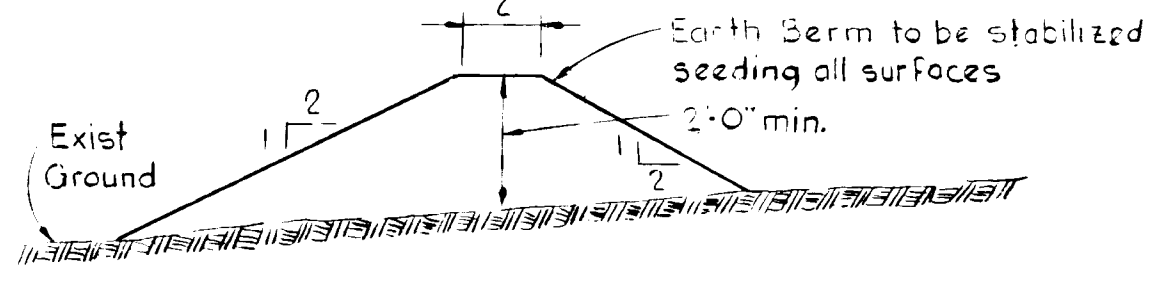


LEGEND

- 400--- Existing Contours (2' Interval)
- 430--- Proposed Contours
- Building Group Number
- Number of Dwellings in Building Group
- △ Lot Number
- FF 439.00 Proposed First Floor Elevation
- FF 372.0 Proposed Spot Elevation
- Existing Tree Line
- Top Curb
- 23' Travelled Way (To Be Publicly Maintained)
- Walkway System
- Street Address
- Dwelling with Walk-out Basement
- Dwelling with Apartment in Walk-out Basement
- Dwelling with slab on grade

NOTES: (Sediment Control)
 1. All sediment controls must be constructed prior to any grading.
 2. No temporary sediment control structure may be removed or destroyed without approval of the Howard Soil Conservation District.
 3. All Areas to be seeded shall receive the following mixture: annual ryegrass (20%), Kentucky bluegrass (20%) and Kentucky 31 Fescue (60%) at the rate of 500#/A. Sow with mechanical spreader rake, minimum 1/2" (2) passes with York Rake, cover and compact with cultipacker. Surface preparation to include ground limestone over topsoil surface area of the 3/4" (1460/1000#) commercial fertilizer (5-10-10) at the rate of 3/4 T/A (35#/1000#) and superphosphate at the rate of 600#/A (15#/1000#).
 4. Provide plywood of curb opening of Inlets 1, 1-2, 1-3, 1-4 & 1-5

APPROVED
 DIVISION OF LAND DEVELOPMENT
 AND RECREATION PLANNING
 HOWARD COUNTY, MARYLAND
 DATE 9/26/72



All inlet openings shall be temporarily sealed. During construction and prior to roadway paving, provide for drainage as shown.

CERTIFICATION BY THE ENGINEER
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site condition and it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature: Kenneth A. McCard
 Date: 10/20/72

CERTIFICATION BY THE DEVELOPER
 I certify that all development and/or construction will be done according to this plan of development and plan of soil and sediment control. Also authorize periodic on site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.
 Signature: James W. Helm
 Date: 5/1/72
 Reviewed: James W. Helm
 Date: 10-16-72
 Approved: Robert W. Ziem
 Date: 10-16-72

HOWARD HOMES, INC.
 OWNER AND DEVELOPER
 P.O. BOX 902 COLUMBIA, MD 21043
WHITMAN, ZOUZATI & ASSOCIATES
 ENGINEERS
 1314 ST. PAUL STREET
 BALTIMORE, MARYLAND
 Signature: Kenneth A. McCard
 Date: 10/20/72

NO.	DATE	DESCRIPTION OF REVISION

COLUMBIA
 ELECTION DISTRICT NO. 1
 HOWARD COUNTY, MARYLAND
SEDIMENT CONTROL PLAN
 FOR
VILLAGE OF OWEN BROWN
 SECTION 1 AREA 1
 RESUBDIVISION OF PARCEL 1A
 SHEET 2 OF 2

DATE: September 21, 1972 SCALE: 1" = 30'

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH OFFICE

DATE 5/15/73

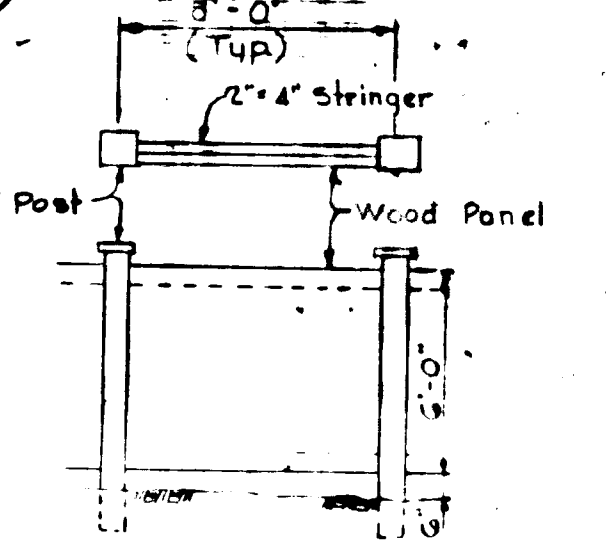
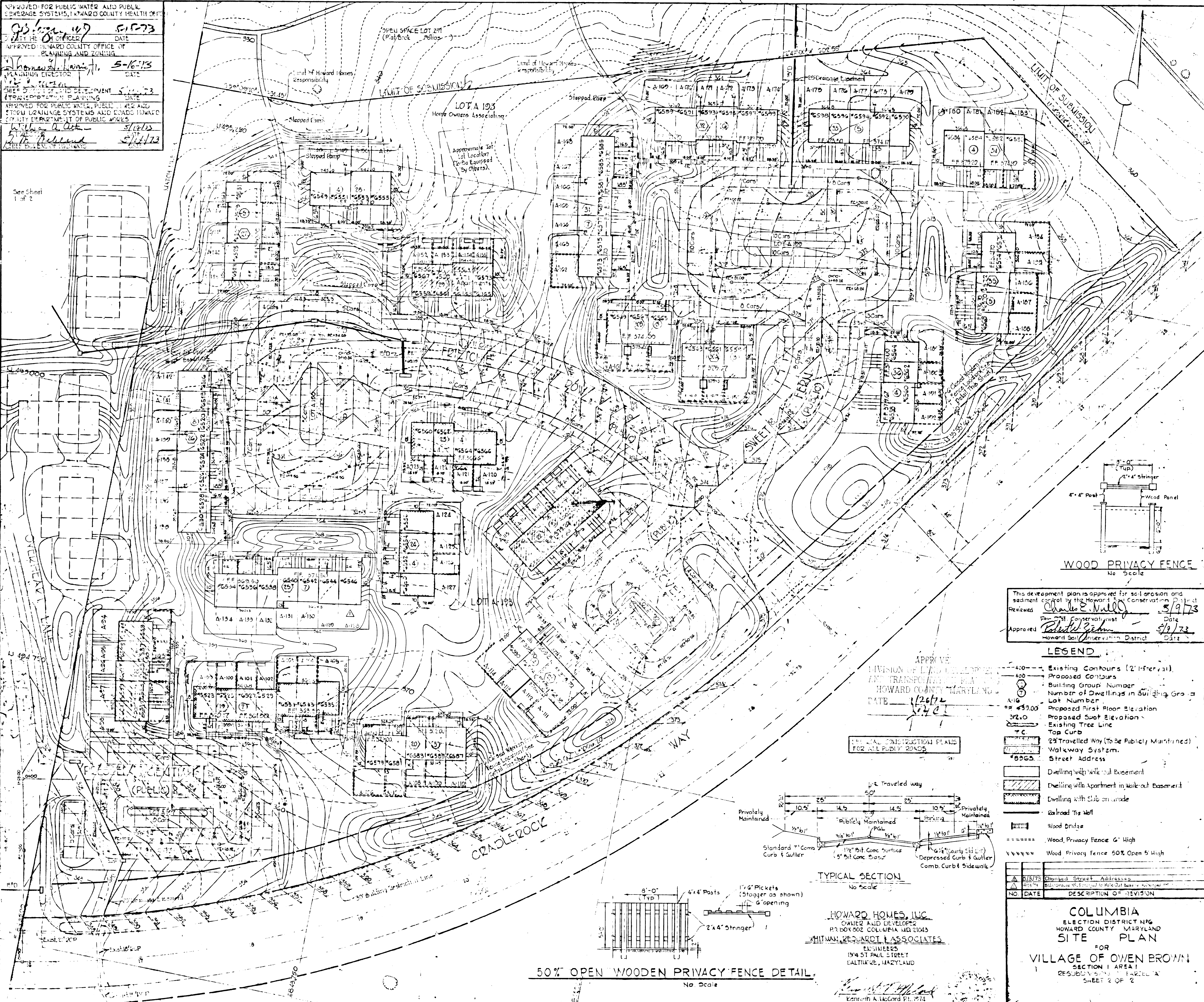
APPROVED FOR PLANNING AND ZONING

DATE 5-16-73

DATE 5/15/73

DATE 5/14/73

See Sheet 1 of 2



This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District

Reviewed Charles E. Niles Date 5/9/73

Approved Robert Zehm Date 5/9/73

Howard Soil Conservation District

- LEGEND**
- 400- Existing Contours (2' Interval)
 - 400- Proposed Contours
 - ⊙ Building Group Number
 - ⊙ Number of Dwellings in Building Group
 - ⊙ Lot Number
 - FF 49.00 Proposed First Floor Elevation
 - FF 32.0 Proposed Spot Elevation
 - - - Existing Tree Line
 - ⌒ Top Curb
 - ⌒ 23' Traveled Way (To Be Publicly Maintained)
 - ⌒ Walkway System
 - ⌒ Street Address
 - ⌒ Dwelling with Walk-out Basement
 - ⌒ Dwelling with Apartment in Walk-out Basement
 - ⌒ Dwelling with Club on Grade
 - ⌒ Railroad Tie Wall
 - ⌒ Wood Bridge
 - ⌒ Wood Privacy Fence 6' High
 - ⌒ Wood Privacy Fence 50% Open 5' High

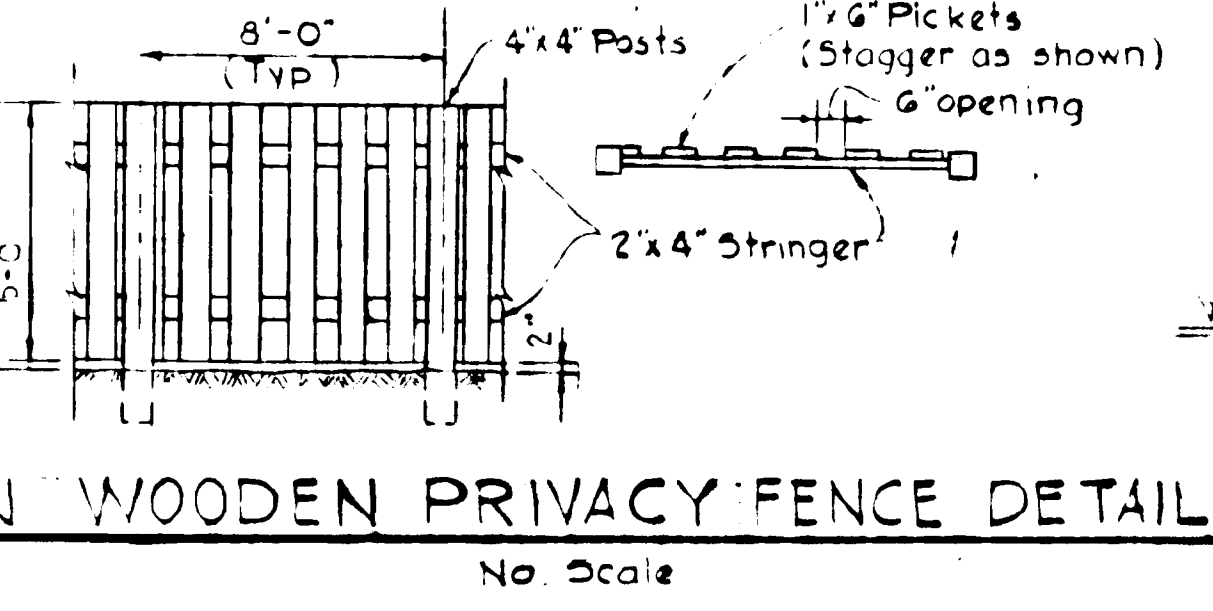
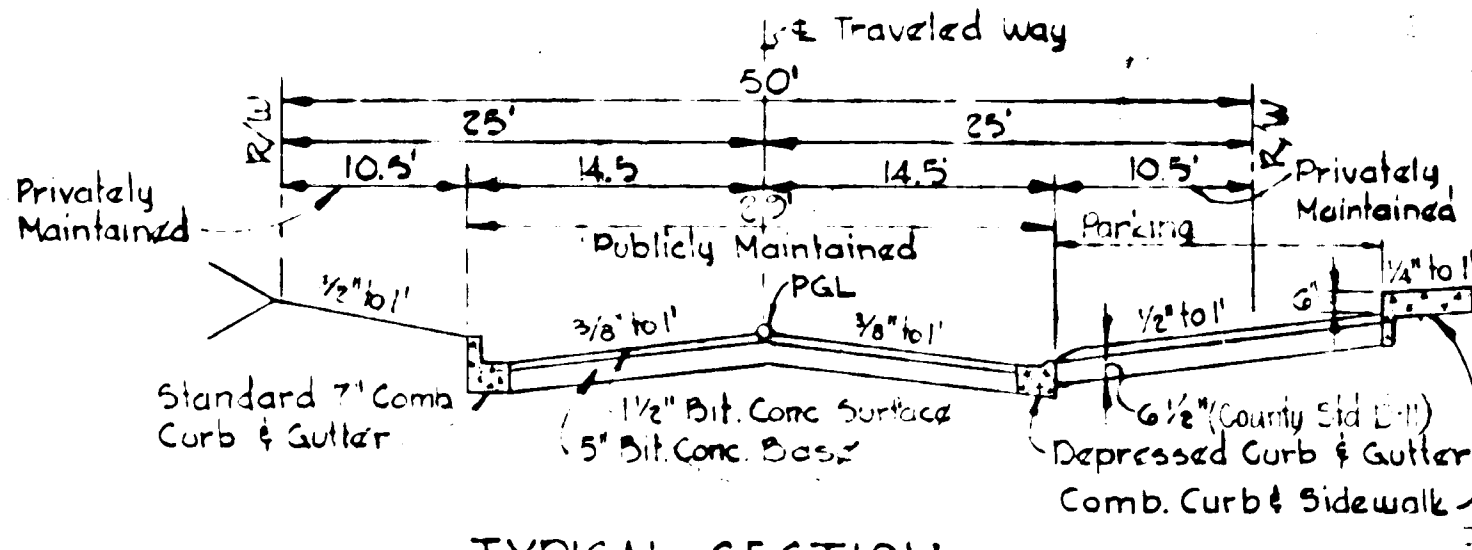
APPROVE

DIVISION OF LAND DEVELOPMENT AND TRANSPORTATION PLANNING

HOWARD COUNTY, MARYLAND

DATE 12/6/72

FOR ALL CONSTRUCTION PLANS FOR ALL PUBLIC WORKS



HOWARD HOMES, INC.
OWNER AND DEVELOPER
P.O. BOX 502 COLUMBIA, MD 21043

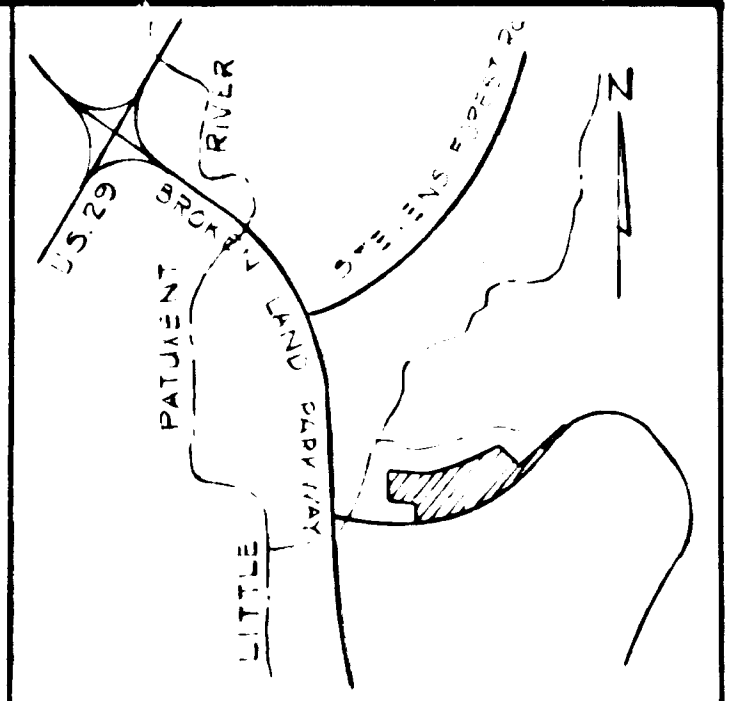
WHITMAN, REQUARDT & ASSOCIATES
ENGINEERS
124 ST. PAUL STREET
BALTIMORE, MARYLAND

NO.	DATE	DESCRIPTION OF REVISION

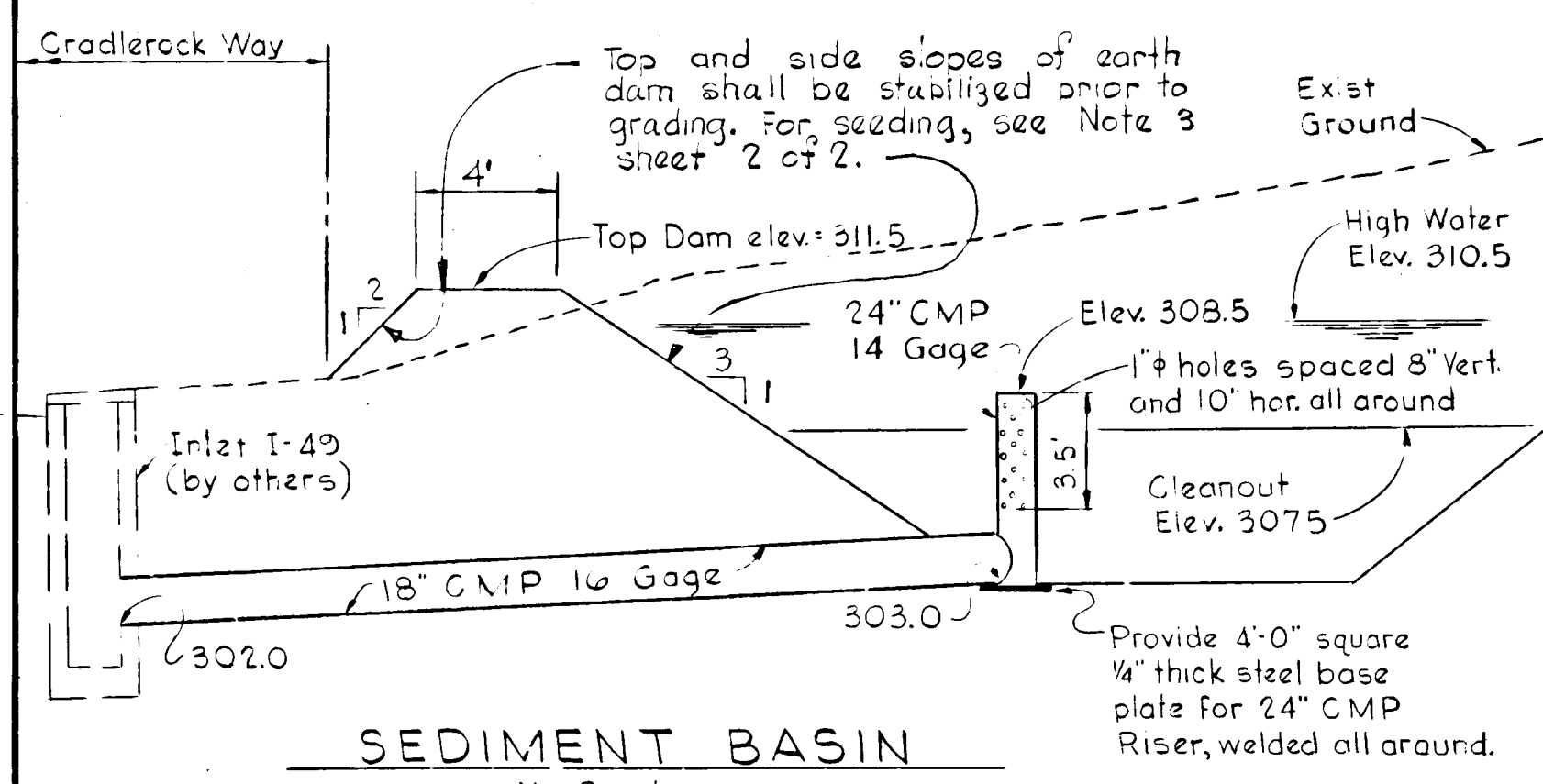
COLUMBIA
ELECTION DISTRICT 176
HOWARD COUNTY, MARYLAND
SITE PLAN
FOR
VILLAGE OF OWEN BROWN
SECTION 1 AREA 1
RESUBDIVISION PARCEL A
SHEET 2 OF 2

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPT.
 4/5/72
 APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 4-6-73
 APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND STADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 4-4-73
 4-2-73

North and East areas of Parcel "A" drain to exist stream above exist sediment basin. See sediment control plans for Village of Oak Brown



N 499, 250
 MATCH LINE A-A
 VICINITY MAP
 Scale 1" = 2,000'



SITE ANALYSIS
 Existing Zoning: Low Town District - Apartments (S.F.A.)
 Project Area: 22.568 Acres
 Maximum Density: 10 DU/Acre
 Dwelling Units Permissible: 224
 Dwelling Units Proposed: 224
 Building Units: 192
 Apartment Units: 32
 Parking Spaces Required: 432
 Building Units: 224 x 2 = 384
 Apartment Units: 224 x 1.5 = 40
 432
 Parking Spaces Proposed: 432
 Final Development Plan Phase III Plat Book, Folios

- LEGEND**
- - - 400 - Existing Contours (2' Interval)
 - - - 420 - Proposed Contours (1' Interval)
 - ⊙ Building Group Number
 - ⊙ Number of Dwellings in Building Group
 - 10-C Lot Number
 - FF 439.00 Proposed First Floor Elevation
 - 12.0 Proposed Spot Elevation
 - Existing Tree Line
 - TC Top Curb
 - 29' Travelled Way (To Be Publicly Maintained)
 - Walkway System
 - 8965 Street Address
 - Dwelling With Walk-out Basement
 - Dwelling With Apartment in Walk-out Basement
 - Dwelling With Slab on Grade

CERTIFICATION BY THE ENGINEER
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the condition and it was prepared in accordance with the requirements of the Howard County Department of Public Works.
 Kenneth A. McCord
 Signature
 11/21/72
 Date

HOWARD HOMES INC.
 OWNER AND DEVELOPER
 PO BOX 502 COLUMBIA MD 21045
WHITMAN, REQUARDT & ASSOCIATES
 ENGINEERS
 1304 ST PAUL STREET
 BALTIMORE, MARYLAND
 Kenneth A. McCord
 Kenneth A. McCord P.E. 1974

CERTIFICATION BY THE DEVELOPER
 I certify that all development and/or construction will be done according to this plan of development and plan of soil and sediment control. Use will be periodic on site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.
 Signature: [Signature] Date: 4/7/72
 Reviewed: James M. Nelson Date: 10-16-72
 Conservation District
 Approved: Robert W. Nelson Date: 10-16-72
 Howard Soil Conservation District

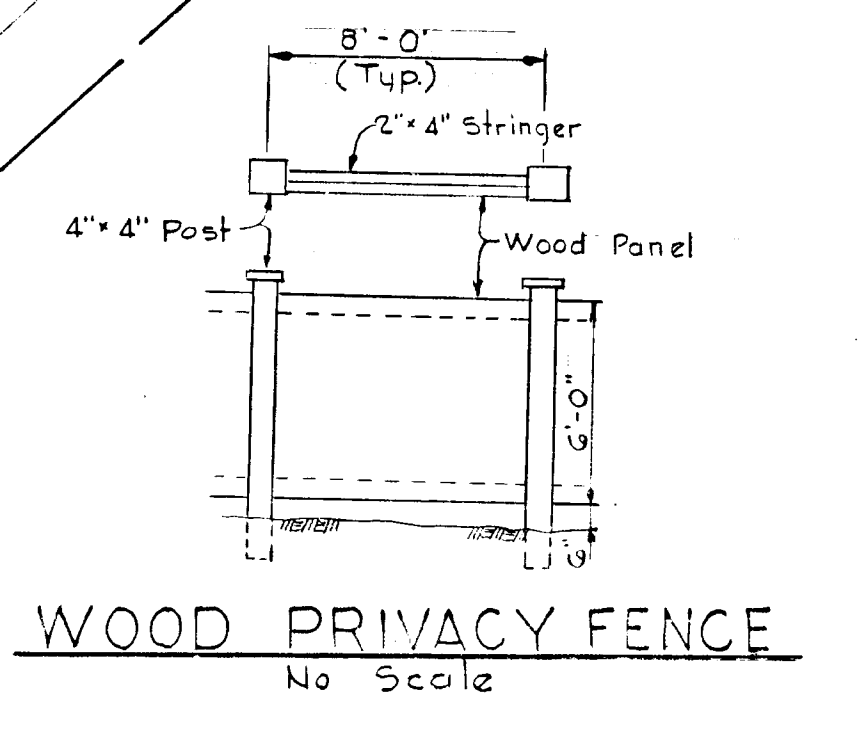
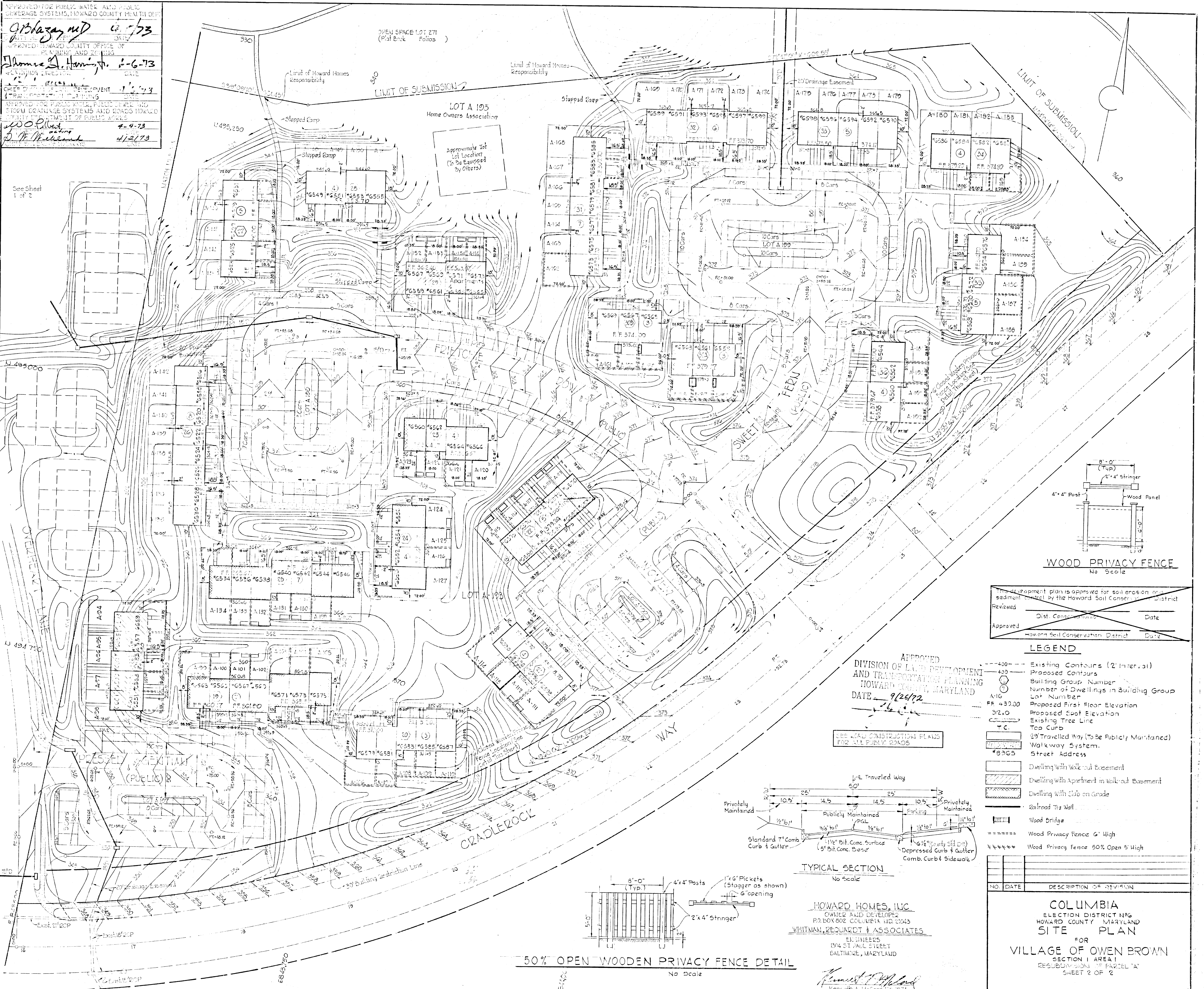
NO	DATE	DESCRIPTION OF REVISION

COLUMBIA
 ELECTION DISTRICT NO. 3
 HOWARD COUNTY, MARYLAND
SEDIMENT CONTROL PLAN
 FOR
VILLAGE OF OAK BROWN
 SECTION 1 A22
 RESUBDIVISION OF PARCEL "A"
 SHEET 1 OF 2

DATE: September 21, 1972 SCALE: 1" = 30'

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPT.
G. Blazynski 4-7-73
 APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY OFFICE OF PLANNING AND ZONING
Thomas A. Harving 4-6-73
 CHIEF OF PLANNING DEPARTMENT
 APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS HOWARD COUNTY OFFICE OF PUBLIC AFFAIRS
W. P. Pickett 4-9-73
D. F. McKeown 4-2-73

See Sheet 1 of 2

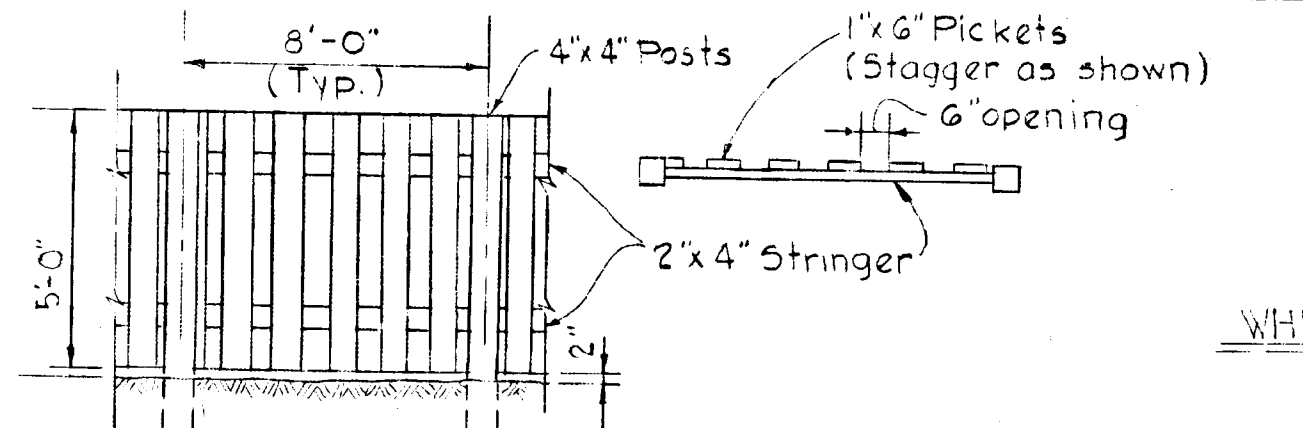
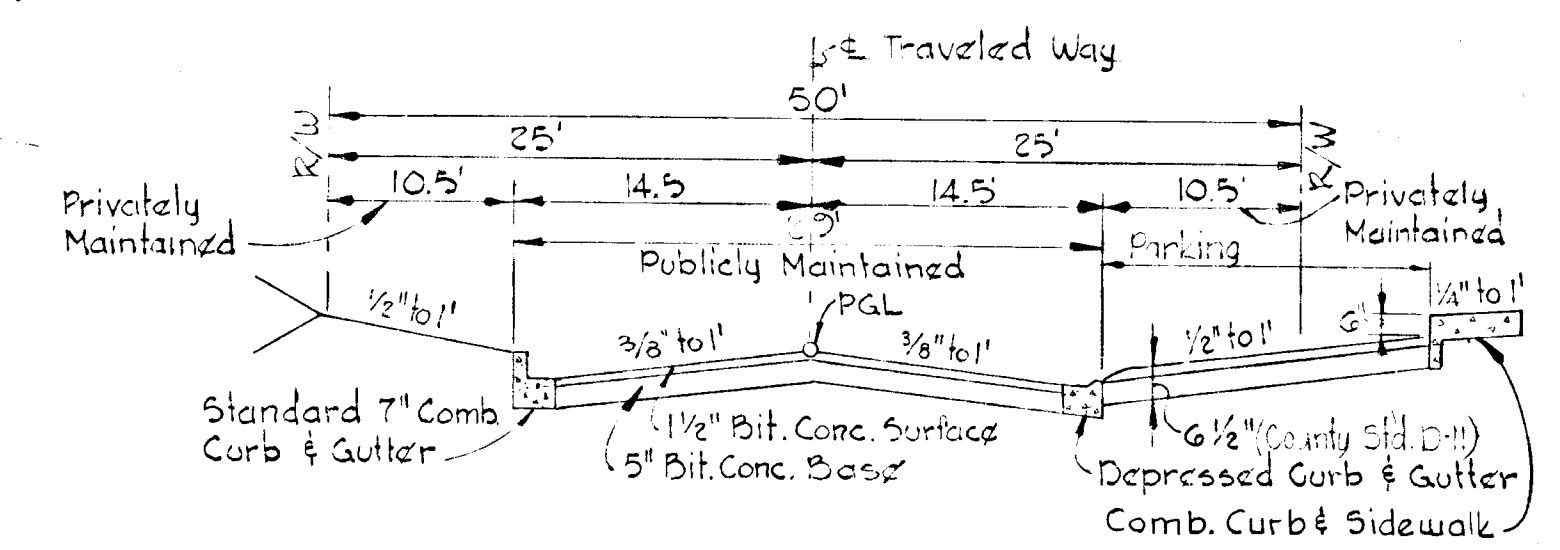


This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.
 Reviewed _____ Date _____
 Approved _____ Date _____
 Howard Soil Conservation District

- LEGEND**
- - - - - Existing Contours (2' Interval)
 - Proposed Contours
 - Building Group Number
 - Number of Dwellings in Building Group
 - A-116 Lot Number
 - FF 439.00 Proposed First Floor Elevation
 - 92.0 Proposed Spot Elevation
 - Existing Tree Line
 - Top Curb
 - 29' Travelled Way (To Be Publicly Maintained)
 - Walkway System
 - Street Address
 - Dwelling with Walk-out Basement
 - Dwelling with Apartment in Walk-out Basement
 - Dwelling with Club on Grade
 - Railroad Tie Wall
 - Wood Bridge
 - ===== Wood Privacy Fence 6' High
 - ===== Wood Privacy Fence 50% Open 5' High

APPROVED
 DIVISION OF LAND DEVELOPMENT
 AND TRANSPORTATION PLANNING
 HOWARD COUNTY, MARYLAND
 DATE 9/25/72

SEE ROAD CONSTRUCTION PLANS FOR ALL PUBLIC ROADS



HOWARD HOMES, INC.
 OWNER AND DEVELOPER
 P.O. BOX 802 COLUMBIA, MD 21043
 WHITMAN, REQUARDT & ASSOCIATES
 ENGINEERS
 1274 ST. PAUL STREET
 BALTIMORE, MARYLAND

Robert J. McLeod
 Kenneth A. McLeod P.E. 1974

NO.	DATE	DESCRIPTION OF REVISION

COLUMBIA
 ELECTION DISTRICT 176
 HOWARD COUNTY, MARYLAND
SITE PLAN
 FOR
VILLAGE OF OWEN BROWN
 SECTION 1 AREA 1
 RESUBDIVISION OF PARCEL "A"
 SHEET 2 OF 2

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPT.

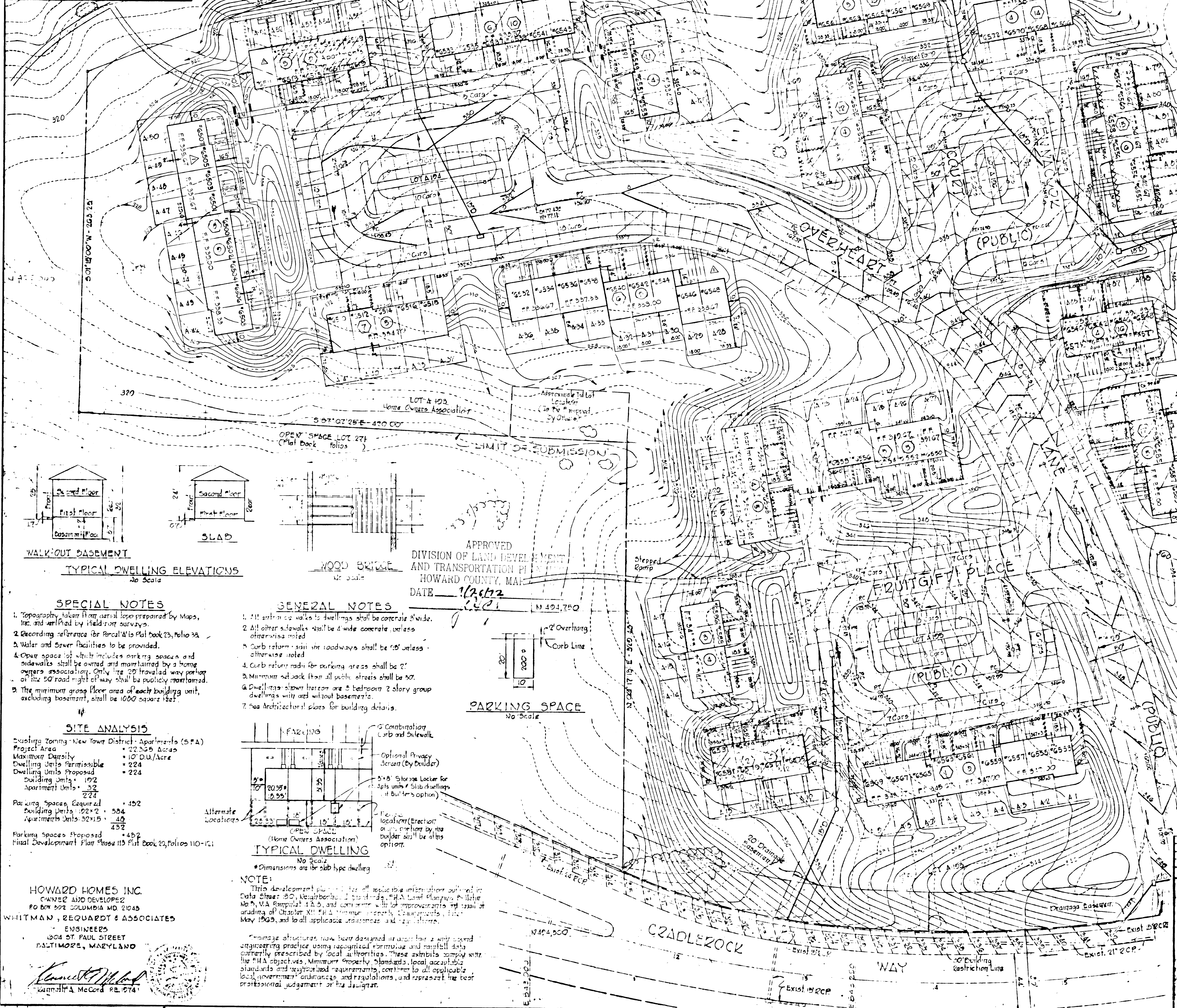
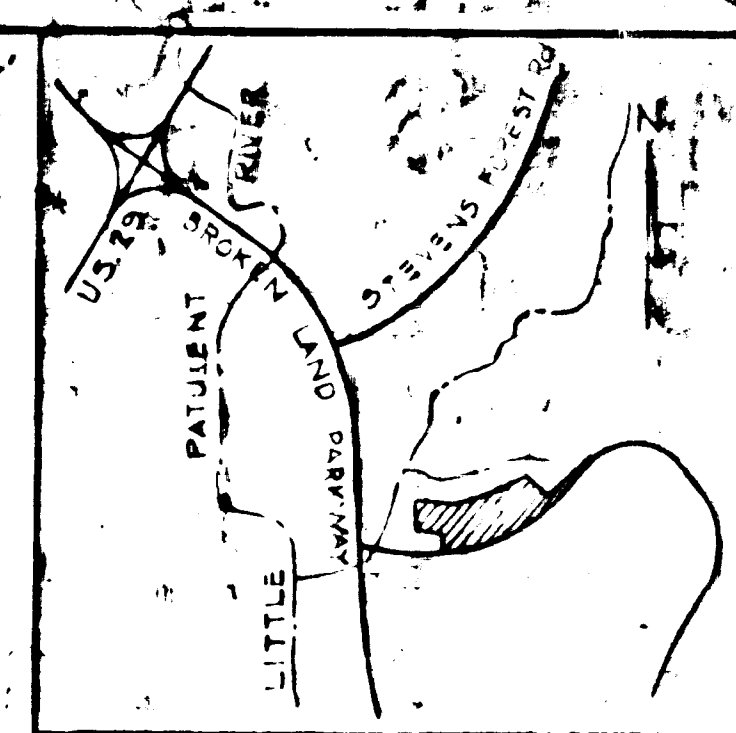
Charles E. Mull 5/15/72
 COUNTY HEALTH OFFICER DATE

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING
John A. C. Smith 5-16-73
 PLANNING DIRECTOR DATE

APPROVED FOR PLANNING DEVELOPMENT
John A. C. Smith 5-16-73
 PLANNING DIRECTOR DATE

APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND STADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
John A. C. Smith 5/17/73
 DATE

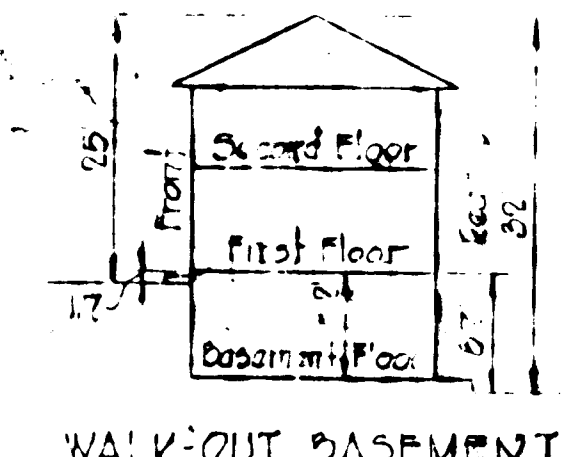
APPROVED
John A. C. Smith 5/17/73
 CHIEF BUREAU OF HIGHWAYS DATE



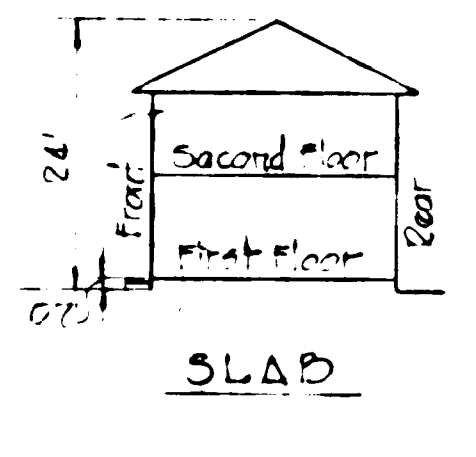
APPROVED FOR PLANNING DEVELOPMENT AND STORM DRAINAGE SYSTEMS AND STADS
Charles E. Mull 5/19/72
 COUNTY HEALTH OFFICER DATE

APPROVED
John A. C. Smith 5/19/72
 PLANNING DIRECTOR DATE

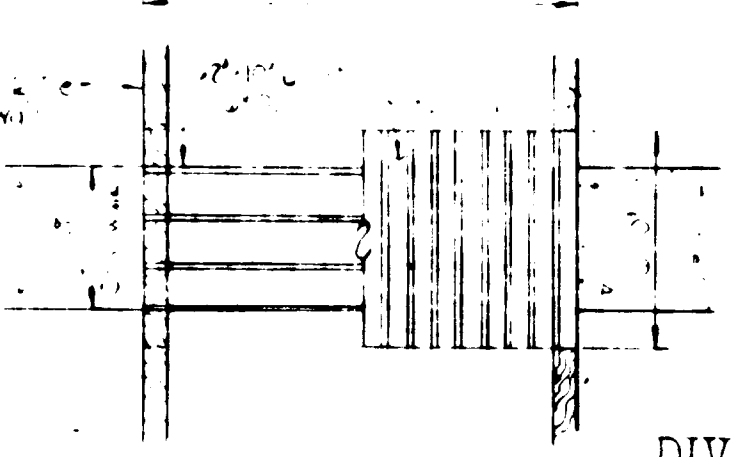
SEE SHEET 2 OF 2



WALK-OUT BASEMENT
 TYPICAL DWELLING ELEVATIONS
 No Scale



SLAB
 TYPICAL DWELLING ELEVATIONS
 No Scale



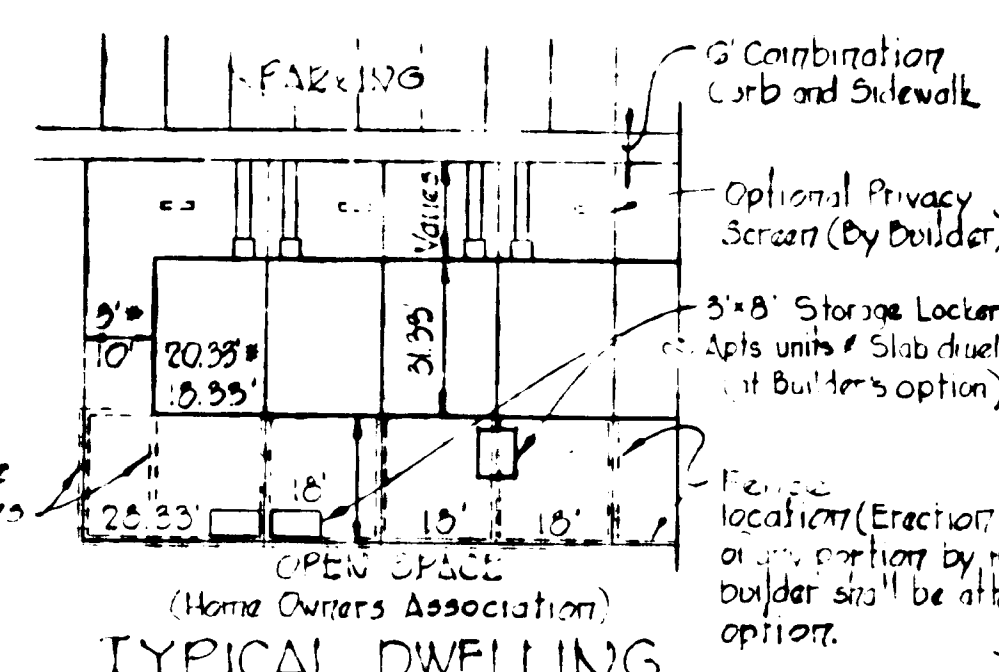
WOOD BRIDGE
 No Scale

- SPECIAL NOTES**
1. Topography taken from aerial topo prepared by Maps, Inc. and verified by field top surveys.
 2. Recording reference for Parcel A to Plat Book 23, folio 3A.
 3. Water and Sewer facilities to be provided.
 4. Open space lot which includes parking spaces and sidewalks shall be owned and maintained by a Home Owners Association. Only the 25' traveled way portion of the 50' road right of way shall be publicly maintained.
 5. The minimum gross floor area of each building unit, excluding basement, shall be 1000 square feet.

- GENERAL NOTES**
1. All exterior walls to dwellings shall be concrete & wide.
 2. All other sidewalks shall be 4' wide concrete unless otherwise noted.
 3. Curb return radii on roadways shall be 15' unless otherwise noted.
 4. Curb return radii for parking areas shall be 20'.
 5. Minimum setback from all public streets shall be 50'.
 6. Dwellings shown hereon are 2 bedroom 2 story group dwellings with and without basements.
 7. See Architectural plans for building details.

SITE ANALYSIS

Dwelling Zoning - New Town District - Apartments (SFA)	
Project Area	22.355 Acres
Maximum Density	10 DU/Acre
Dwelling Units Permissible	224
Dwelling Units Proposed	224
Building Units	192
Apartment Units	224
Parking Spaces Required	452
Building Units	192 x 2 = 384
Apartment Units	32 x 15 = 480
Parking Spaces Proposed	452
Final Development Plan Phase III Plat Book 22, folios 110-121	



TYPICAL DWELLING
 No Scale

HOWARD HOMES INC.
 OWNER AND DEVELOPER
 2004 ST. PAUL STREET
 BALTIMORE, MARYLAND

WHITMAN, REQUARDT & ASSOCIATES
 ENGINEERS
 1004 ST. PAUL STREET
 BALTIMORE, MARYLAND

NOTE:
 This development plan is for all applicable information published in Code Book 20, Neighborhood Standards, F.H.A. Land Planning Bulletin No. 1, U.S. Pamphlet 485, and conforms with all improvements and terms of Ordinance No. 111, F.H.A. Minimum Standards, Baltimore, May 1969, and to all applicable ordinances and regulations.

Concrete structures have been designed in accordance with a very sound engineering practice using recognized, extensive and rainfall data currently prescribed by local authorities. These exhibits comply with the F.H.A. objectives, Minimum Property Standards, local acceptable standards and neighborhood requirements, conform to all applicable local government ordinances and regulations, and represent the best professional judgment of the designer.

- LEGEND**
- - - 400' Existing Contours (2' Interval)
 - - - 450' Proposed Contours (1' Interval)
 - ⊙ Building Group Number
 - ⊙ Number of Dwellings in Building Group
 - A-1 Lot Number
 - 12.10 Proposed First Floor Elevation
 - Existing Spot Elevation
 - Existing Tree Line
 - TC Top Curb
 - 29' Traveled Way (To Be Publicly Maintained)
 - Walkway System
 - 8965' Street Address
 - Dwelling with Walk-out Basement
 - Dwelling with Apartment or Walk-out Basement
 - Dwelling with Slab or Grade
 - Railroad Tie Wall
 - Wood Bridge
 - Wooden Privacy Fence 6' High
 - Wooden Privacy Fence 50% Open 5' High

DATE: MARCH 22, 1973 SCALE: 1" = 30'

COLUMBIA
 ELECTION DISTRICT NO. 5
 HOWARD COUNTY, MARYLAND
SITE PLAN
 FOR
VILLAGE OF OWEN BROWN
 SECTION 1, 2, 3, 4
 REBUDENING OF PARCEL A
 SHEET 1 OF 2