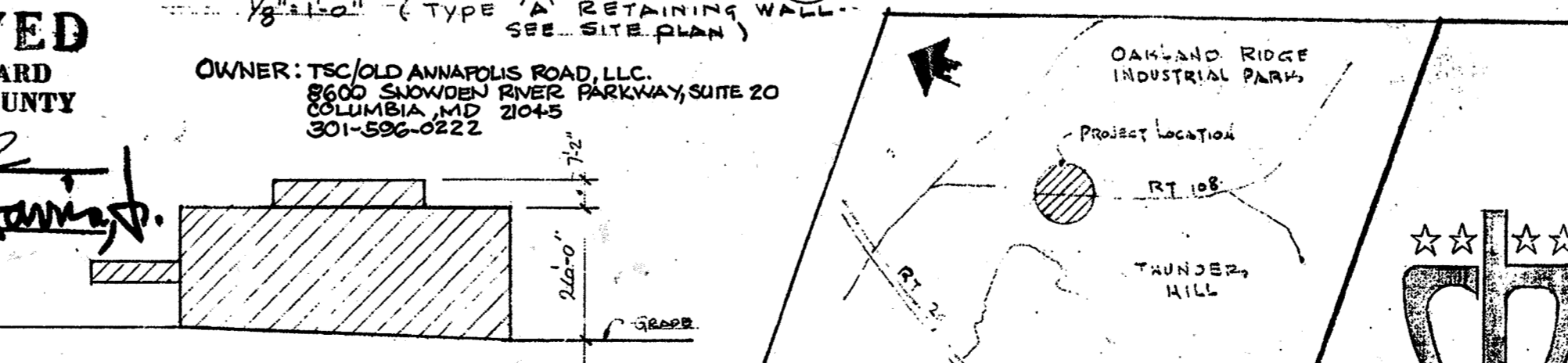
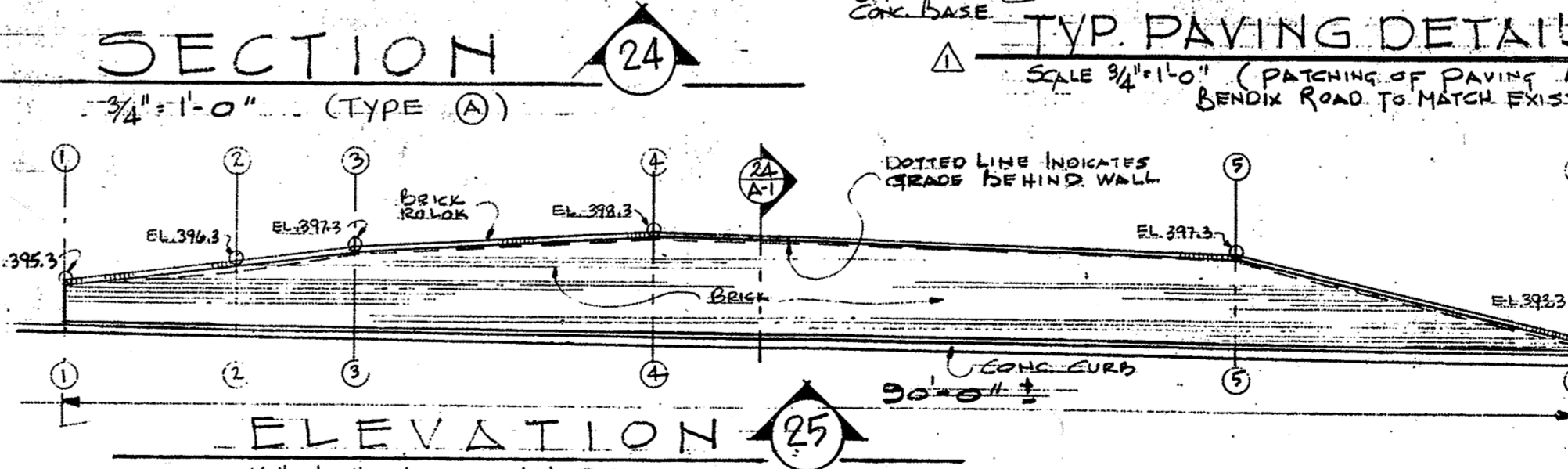
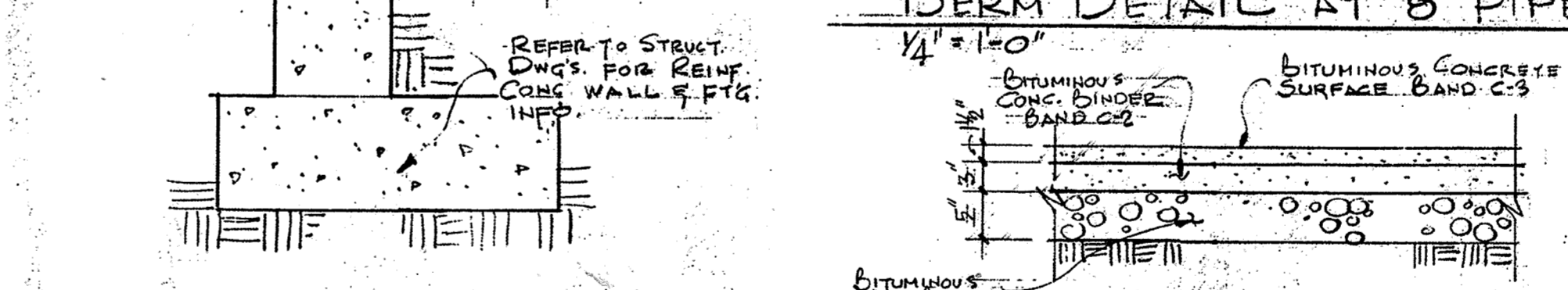
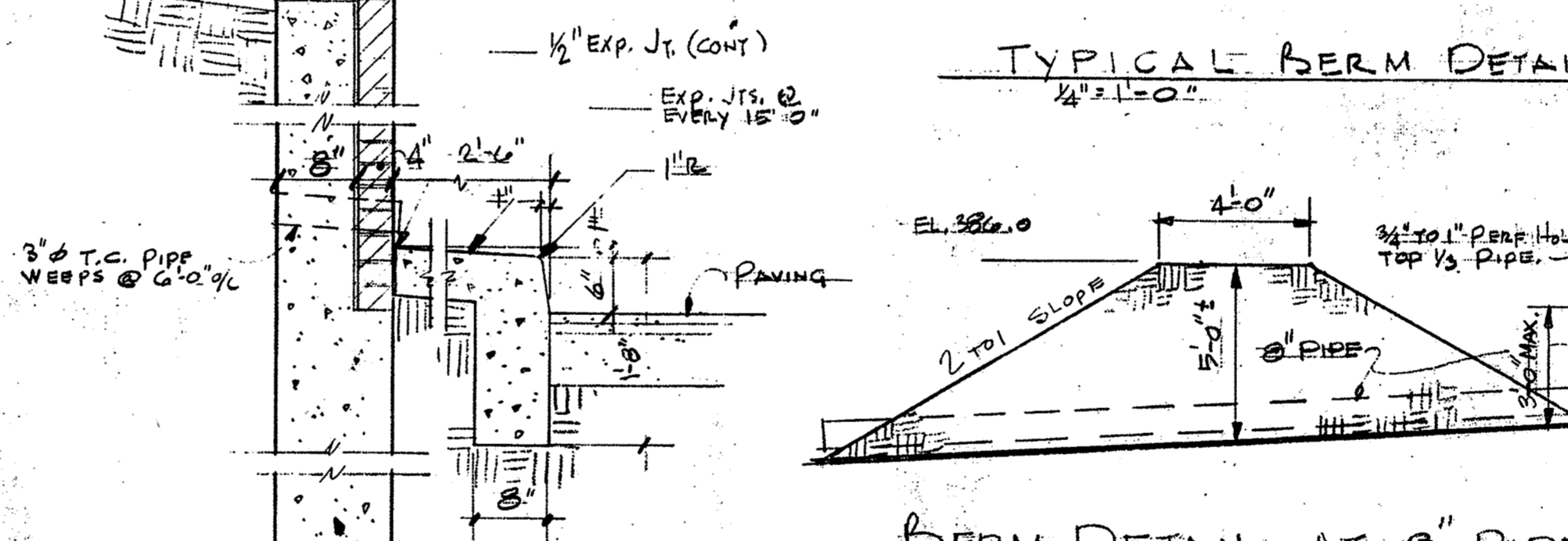
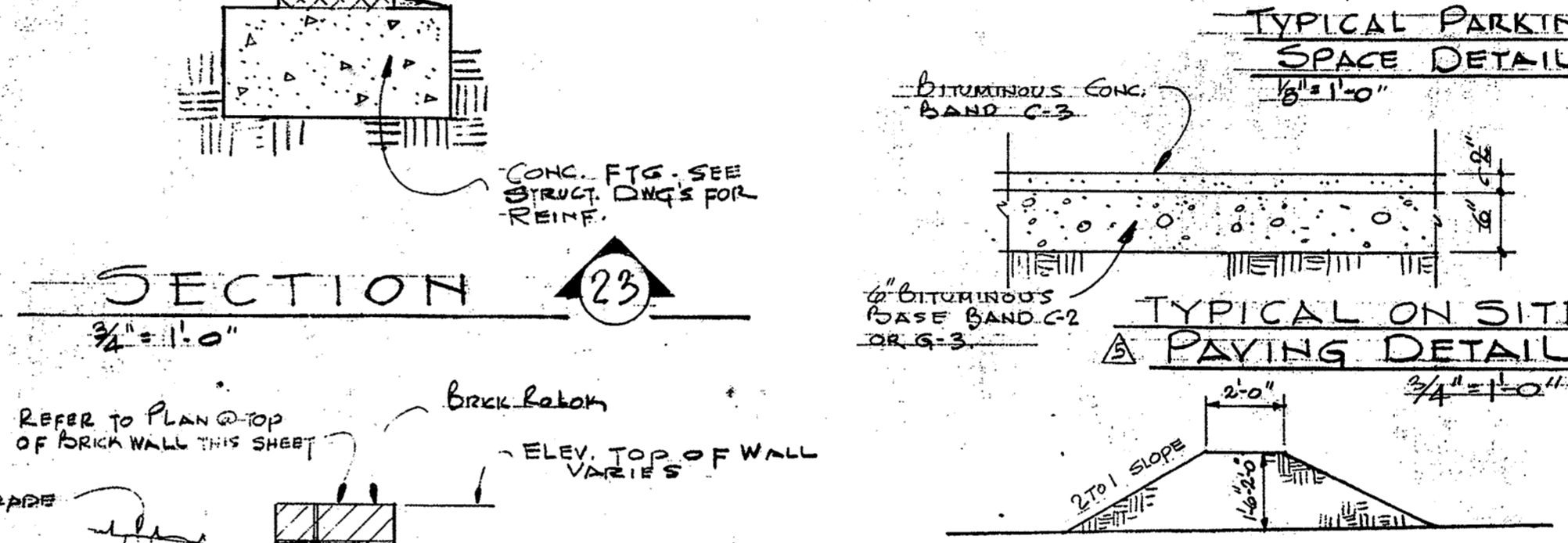
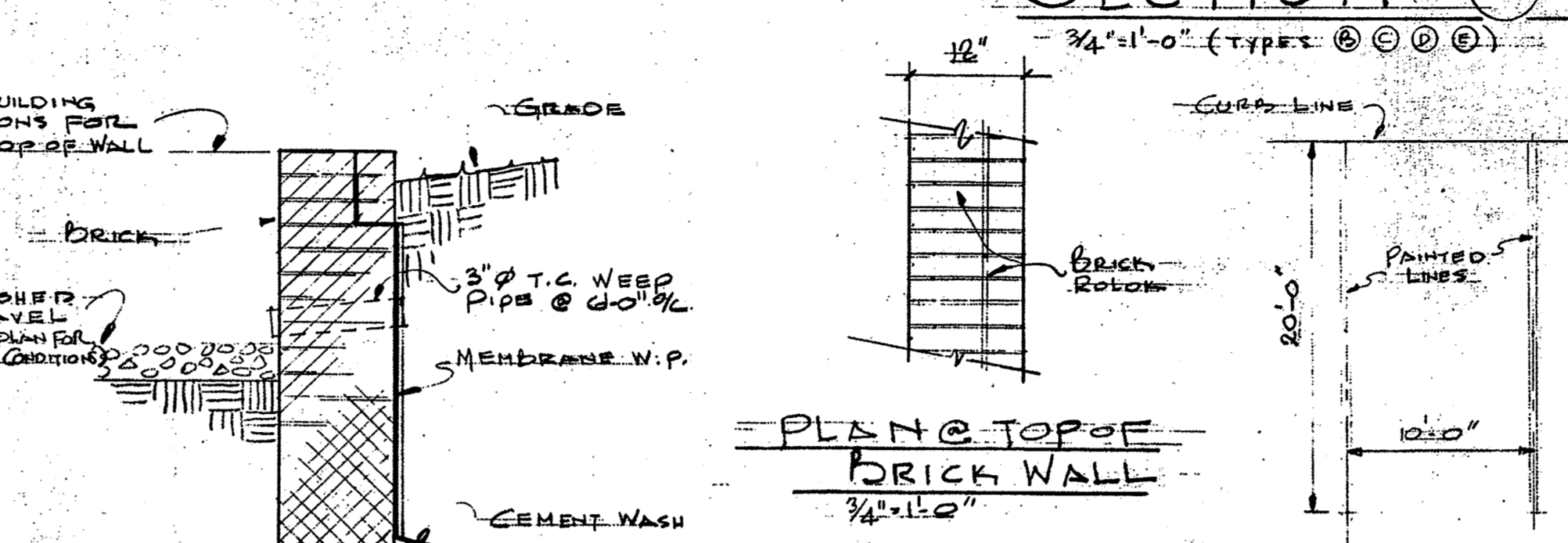


CROSS SECTION THRU BENDIX ROAD
SCALE: 1" = 10'-0"



DEVELOPER: [Signature]
DATE: 9-27-72

SOIL CONSERVATION DISTRICT: [Signature]
DATE: 9-27-72

REVIEWED: [Signature]
DATE: 9-27-72

APPROVED: [Signature]
DATE: 9-27-72

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
DATE: 10-10-72

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAIN SYSTEM & ROADS
DATE: 10/10/72

- GENERAL NOTES:
- DIVERSION BERMS TO BE CONSTRUCTED IN ACCORDANCE WITH THE EROSION & SEDIMENT CONTROL TECHNICAL HANDBOOK AS PUBLISHED BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT AND SHALL BE STABILIZED BY SEEDING WITH GRASS & KENTUCKY 31 FESCUE AS SOON AS THEY ARE CONSTRUCTED.
 - SEMI-PERMANENT SEEDING SHALL CONFORM TO HOWARD COUNTY SOIL CONSERVATION DISTRICT SPECIFICATIONS USING:
 - 70 LBS. TALL FESCUE (KY-31)
 - 2 LBS. OF WHITE CLOVER
 - 1000 LBS. 10-10-10, 2000 LBS. GROUND LIMESTONE MULCHING, 1/2 TON STRAW PER ACRE FOR PERMANENT SEEDING (1/2 THIS AMOUNT FOR SEMI-PERMANENT SEEDING) ON ADVERSE SOIL CONDITIONS IT WILL BE NECESSARY TO ADD 3 LBS. OF REDTOP TO THE ABOVE MIXTURE.
 - FOR PERMANENT AREAS THE FOLLOWING LAWN GRASS MIXTURE MAY BE SEEDING AT THE RATE OF 2 TO 2 1/2 LBS. PER 1000 SQ. FT. 15-25% MEDIUM BLUE GRASS, 15-25% COMMON BLUE GRASS, 45-60% CREEPING RED FESCUE, 0-5% REDTOP.
 - ALL CONTROL FACILITIES TO REMAIN IN PLACE UNTIL REMOVAL IS APPROVED BY HOWARD COUNTY SOIL CONSERVATION DISTRICT.
 - SITE ANALYSIS: BUILDING COVERAGE: 7113 SQ. FT. (82%); ALLOWABLE BUILDING COVERAGE: 50%
 - GROUND AREA OF PAVEMENT: 2 ACRES
 - PRESENT ZONING: 1ST FLOOR (713 SQ. FT.); 2ND FLOOR (1426 SQ. FT.) CARETAKER
 - TOTAL FLOOR SPACE: 21,339 SQ. FT.
 - PARKING DATA: 35 SPACES PROVIDED (NEW TOWN); BASEMENT (113 SPACES); 6000 SQ. FT. OFFICE & 113 SQ. FT. STORAGE
 - CARRYOVER: (113 SQ. FT. @ 4000) = 452 SPACES; (113 SQ. FT. @ 2000) = 226 SPACES; (113 SQ. FT. @ 1000) = 113 SPACES; (113 SQ. FT. @ 500) = 56 SPACES; STORAGE (113 SQ. FT. - NO REQUIREMENT) = 0 SPACES
 - ALL EXISTING TREES SHALL REMAIN WHERE POSSIBLE
 - TOTAL AREA OF PLOT: 1.914 ACRES ±
 - NO WALLS, FENCES OR FREE STANDING SIGNS SHALL BE CONSTRUCTED ON THE SITE.
 - ALL PAVING SHALL CONFORM TO ALL HOWARD COUNTY REGULATIONS.
 - BITUMINOUS BASE COAT SHALL BE PRIMED IN ACCORDANCE WITH SECTION C-30.3 AS PROVIDED IN THE HOWARD COUNTY ROAD CONSTRUCTION CODE & STANDARD SPECIFICATIONS.
 - BITUMINOUS TACK COAT IS REQUIRED IN ACCORDANCE WITH SECTION C-31.4 OF THE HOWARD COUNTY ROAD CONSTRUCTION CODE & STANDARD SPECIFICATIONS.
 - THIS BUILDING HAS BEEN DESIGNED TO BE USED FOR RETAIL, CARRYOUT AND GENERAL OFFICES.
 - SCREENING PLANTING ALONG RT. 108 SHALL BE PROVIDED IN FULL ACCORDANCE WITH HOWARD COUNTY REQUIREMENTS.

APPROVED: FOR PUBLIC SEWERAGE AND WATER BY HOWARD COUNTY HEALTH DEPT.
DATE: 08-5-1972

SEMENT CONTROL: I CERTIFY THAT THIS PLAN FOR EROSION & SEDIMENT CONTROL REPRESENTS A PRACTICAL & WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
DATE: September 25, 1972

2ND ELECTION DISTRICT OF HOWARD COUNTY
OAKLAND RIDGE INDUSTRIAL PARK, LOT 68, SEC. 3
RESUB-DIVISION - LOTS 63, 64, 65, TAX MAP 30, BLOCK NO. 11
PARCEL NO. 267, OWNER: COURTHOUSE SQUARE LIMITED PARTNERSHIP
ZONED - NEW TOWNE
TOTAL FLOOR AREA EACH FLOOR: 7,113 SQ. FT. = TOTAL 21,339 SQ. FT.

REVISION 5/25/72 TO SHOW TYPES OF EASEMENTS 6/27/72
REVISION 7/25/72 TO SHOW INLET NO. 4 WIDTH OF BENDIX ROAD 7/26/72
REVISION 8/11/72 TO ADD TYP. ON-SITE PAVING DETAIL 8/21/72 8/25/72

CONCRETE MASONRY	WOOD SHAKING
POURED CONCRETE	GYP. RD. ON METAL STUDS
GYP. WALLBOARD	BRICK
FIN. WOOD OR LAM. PLANT.	SHEET METAL

LEGEND

NEW RETAIL, CARRYOUT AND GENERAL OFFICE
COURTHOUSE SQUARE LIMITED PARTNERSHIP
OAKLAND RIDGE
RT. #108 AND BENDIX ROAD
COLUMBIA, MARYLAND

FERDINAND P. KELLY & ASSOCIATES - ARCHITECTS
18 NORTH CALVERT STREET
BALTIMORE 18, MARYLAND
PHONE TUXEDO 9-2613

MECHANICAL ENGINEER
BOURDETTE, KOENIGER & MURPHY

REED PIERSON

COMMISSION #7114
DATE MARCH 31, 1972
SCALE AS SHOWN
DRAWING A-1

APPROVED PLANNING BOARD OF HOWARD COUNTY
DATE 9/16/72
OWNER: TSC/OLD ANNAPOLIS ROAD, LLC
8600 SHOWNEN RIVER PARKWAY, SUITE 20
COLUMBIA, MD 21045
301-596-0222

PLANTING SCREEN

TRACED FROM DRAWING ENTITLED 'A PORTION OF LOT 68 - ORIP - 18/71 DATED DECEMBER, 9, 1971, HUDNINS & ASSOC., TOWSON, MD. COPY OF HUDNINS DRAWING MUST BE OBTAINED FROM ARCHITECT & COORDINATED WITH THIS DRAWING PRIOR TO FIELD LAYOUT. CHECK WITH BALTO. G & E. CO., A.T.C.T., HOWARD COUNTY, S.R.C. & ROUSE CO. FOR INFO. RE. LOCATION OF UNDERGROUND UTILITIES, ROAD & CURB ASSIGNMENT & CONSTRUCTION, ETC.

1) INDICATES EXISTING GRADE - 381
2) INDICATES NEW GRADE - 375
3) INDICATES TEMPORARY BERMS - 375
4) INDICATES WIDENING OF ROAD - 375

NO. REVISION DATE

9	REVISE THE PLAN TO SHOW A CHANGE IN USE FOR 2,339 SQ. FT. FROM RETAIL TO CARRYOUT RESTAURANT/GENERAL OFFICE AND ASSOCIATED PARKING CHANGES	12-22-72
8	REVISE THE PLAN TO ADD 113 SQ. FT. ADDITIONAL OFFICE/RETAIL/STORAGE PARKING LOT	12/17/72
7	REVISE PARKING LOT AND BUILDING F.P. ELEVATION	01/10/73