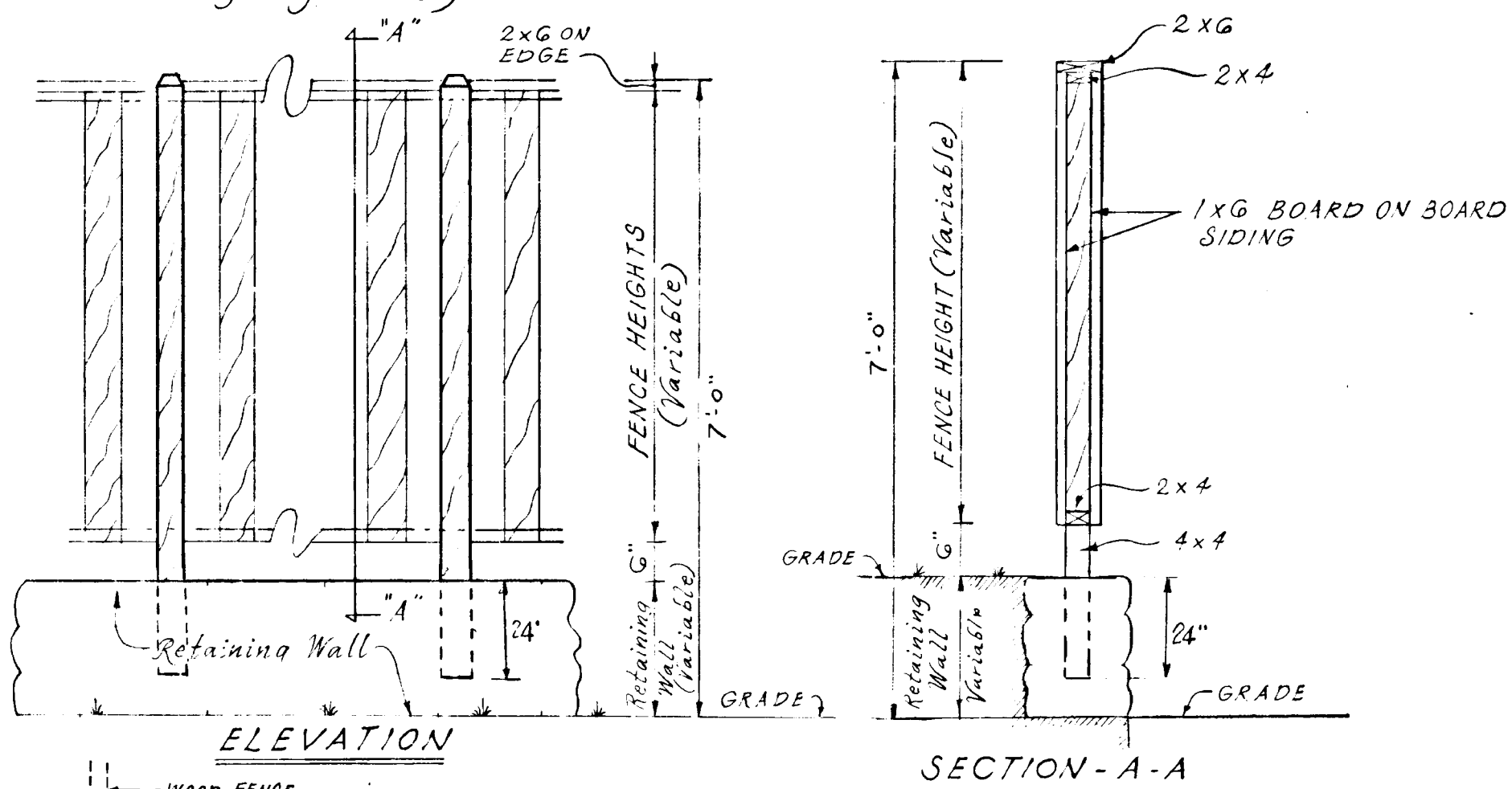


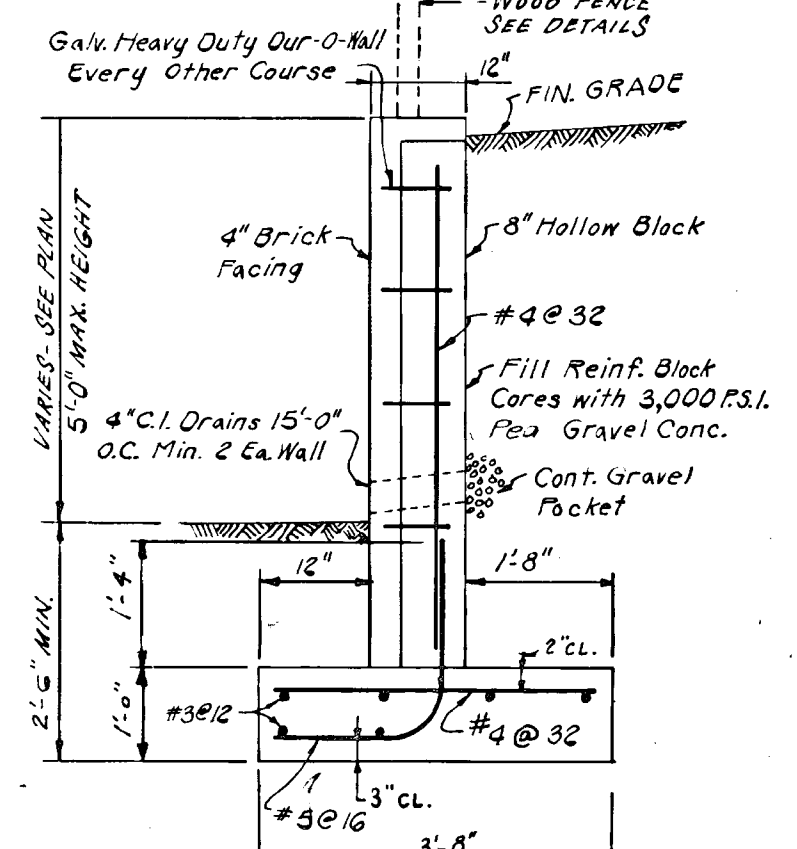
FENCE ON WALL DETAILS

NO SCALE
(See Architectural Plans for Design of Wall)

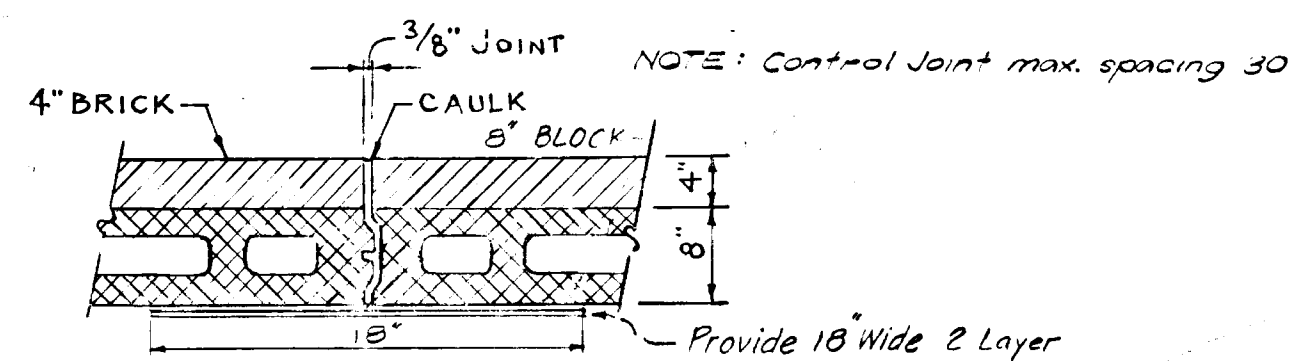


RETAINING WALL NOTES

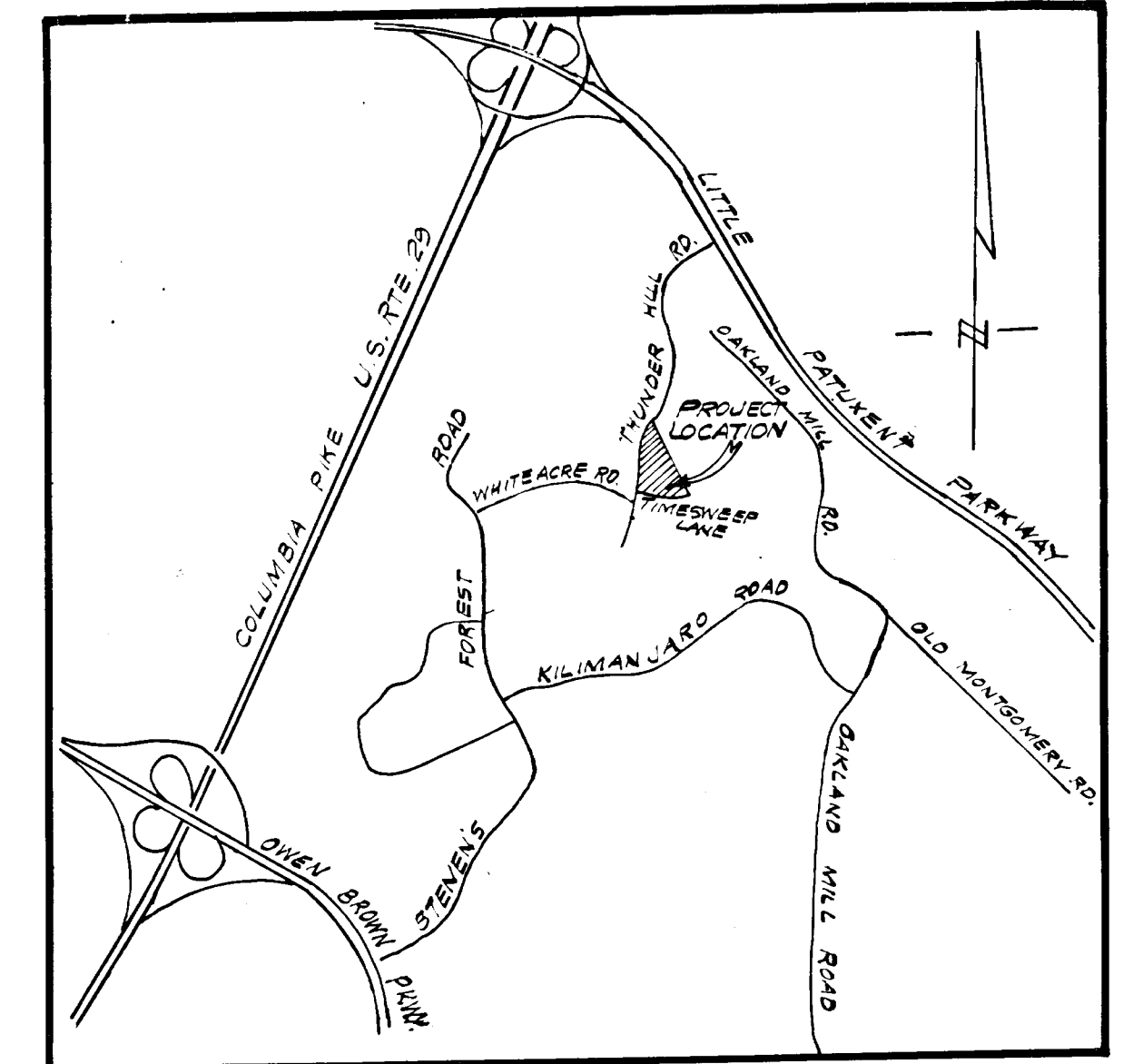
1. CONCRETE BLOCK UNITS TO BE GRADE U-I HOLLOW LOAD BEARING UNITS CONFORMING TO A.S.T.M. C-90-G4.
2. REINFORCING STEEL TO CONFORM TO A.S.T.M. A-G15 GRADE 40 Fy = 40,000 PSI.
3. FILL REINFORCED BLOCK CORES WITH 3,000 PSI PEA GRAVEL CONCRETE AT 28 DAYS.



TYPICAL RETAINING WALL ADJACENT TO PROPERTY LINE
SCALE: 1/4" = 1'-0"



TYPICAL CONTROL JOINT
SCALE: 3/4" = 1'-0"

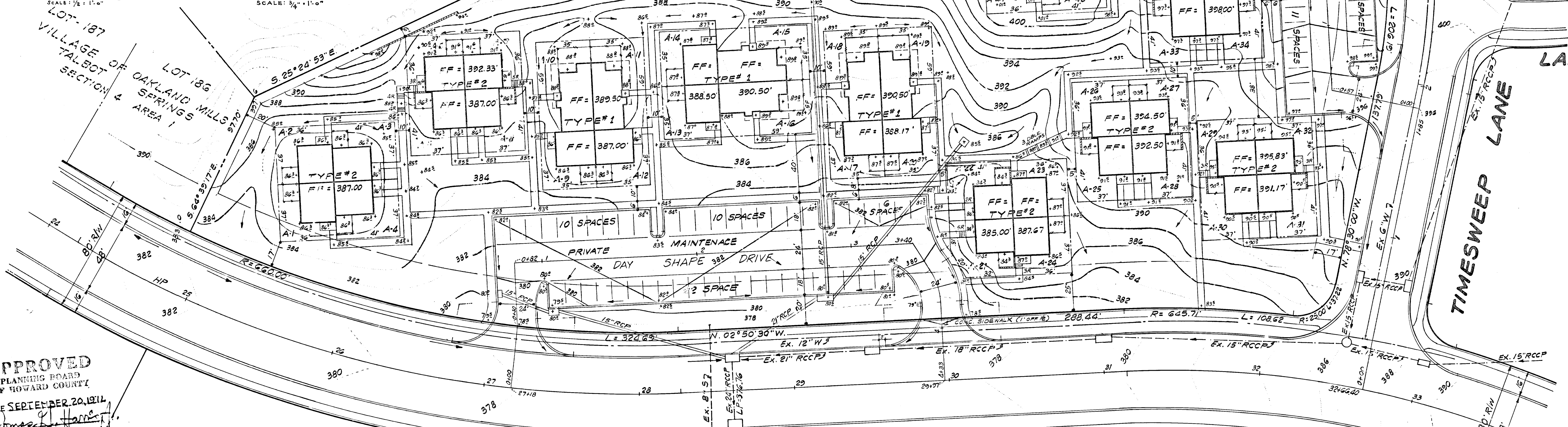


VICINITY MAP
SCALE: 1" = 2,000'

MORNINGBIRD LANE

TIMESWEEP LANE

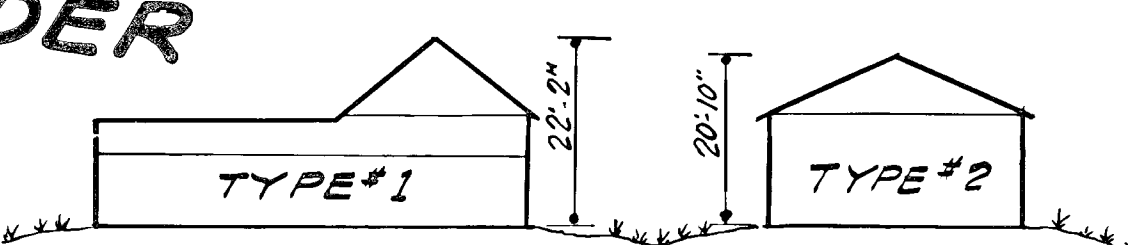
THUNDER HILL ROAD



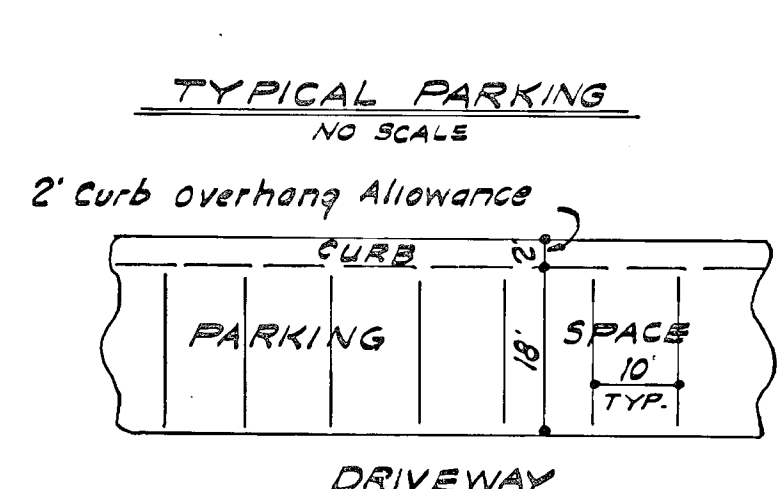
APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE SEPTEMBER 20, 1972
James S. Harris

SITE ANALYSIS

1. ZONING = APT.
2. TOTAL AREA = 220,593 sq ft.
3. NO. OF UNITS ALLOWED = 48
4. NO. OF UNITS SHOWN = 48
5. NO. OF PARKING SPACES REQUIRED = 96
6. NO. OF PARKING SPACES SHOWN = 96
7. PROPOSED PUBLIC WATER & SEWER.
8. NO. OF COMMUNITY LOTS = 1
9. NO. OF RESIDENTIAL LOTS = 48 TOTAL = 49 LOTS.
10. AREA OF LOTS = 12,258 sq ft TO 20,658 sq ft.
11. THIS AREA SHOWN ON FINAL DEV. PLAN PHASE-51.
12. AREA OF SMALLEST UNIT (EXCLUDING BSMT) = 1,309 sq ft.
13. MAXIMUM HEIGHT OF BUILDING ALLOWED = 36'.
14. BUILDING MIX: TYPE ONE = 3;
15. RECORD PLAN REFERENCE RB-#17 F-52



BUILDING PROFILES
NO SCALE



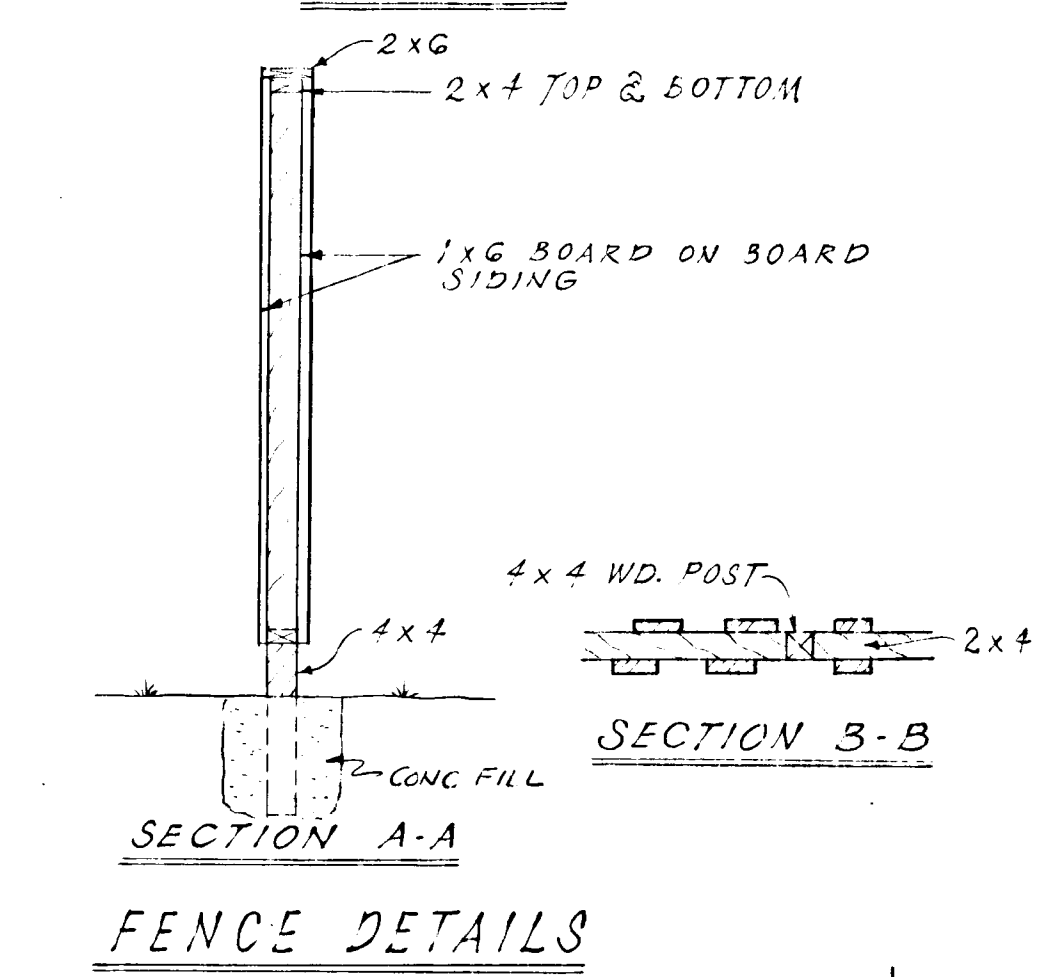
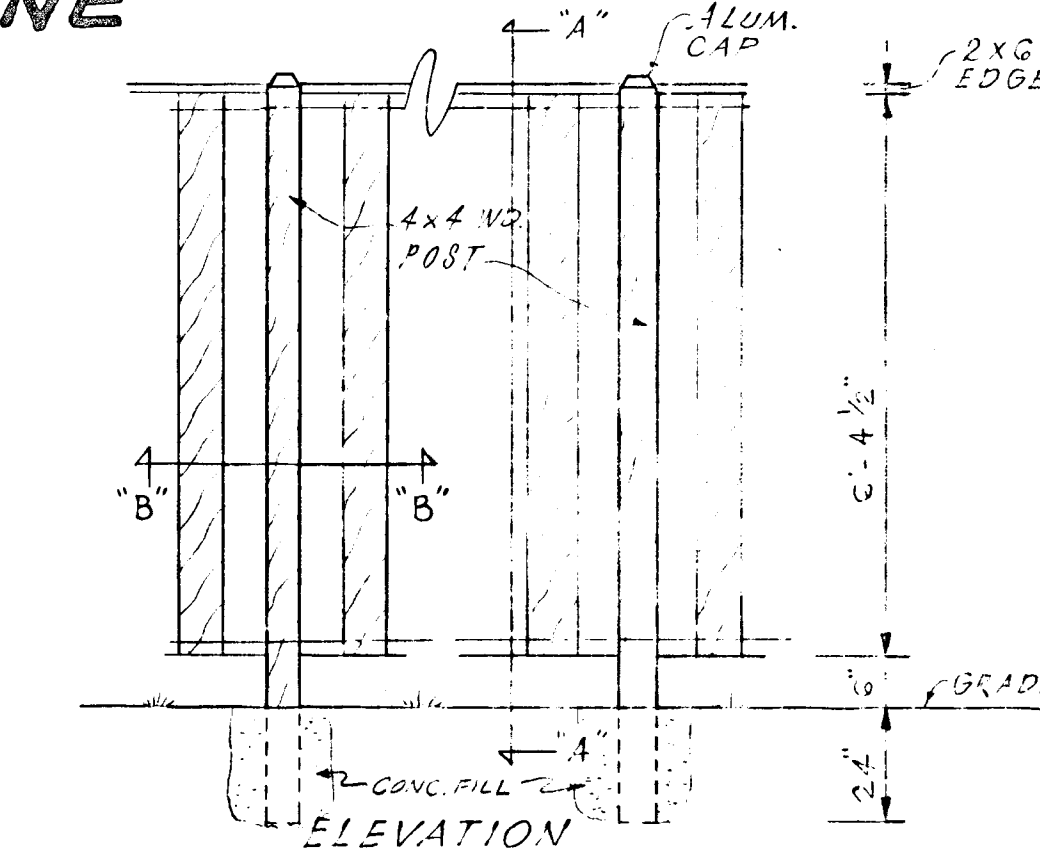
TYPICAL PARKING
NO SCALE

LEGEND

1. EXISTING CONTOURS = [Symbol]
2. PROPOSED CONTOURS = [Symbol]
3. CONTOUR INTERVAL = 2 FT.
4. EXISTING SPOT ELEV. = 397.6
5. DIRECTION OF DRAINAGE = [Symbol]

GENERAL NOTES

1. UNITS FOR SALE ONLY.
2. ALL STREETS, PARKING SPACES & COMMON AREAS TO BE OWNED AND MAINTAINED BY COMMUNITY ASSOCIATION.
3. ALL PARKING SPACES TO BE 10' X 20' (200 SQ. FT. MIN.).
4. NO WALLS ARE TO BE BUILT ON THIS SITE UNLESS NOTED ON PLAN.
5. ALL DISTURBED AREAS TO BE STABILIZED AS SOON AFTER CONSTRUCTION, AS IS POSSIBLE WITH SOIL ON SEED & MULCH.
6. EXISTING CONTOURS BASED ON AERIAL SURVEY PROVIDED BY THE HOWARD RESEARCH & DEVELOPMENT CORPORATION AND FIELD CHECK.
7. ALL SLOPES TO BE 3:1 MAXIMUM.
8. ALL WALLS SHOWN THUS [Symbol]
9. ALL FENCES SHOWN THUS [Symbol]



FENCE DETAILS
NO SCALE

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE 9/20/72
James S. Harris

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
James S. Harris 1/18/73 DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
James S. Harris 1-19-73 DATE

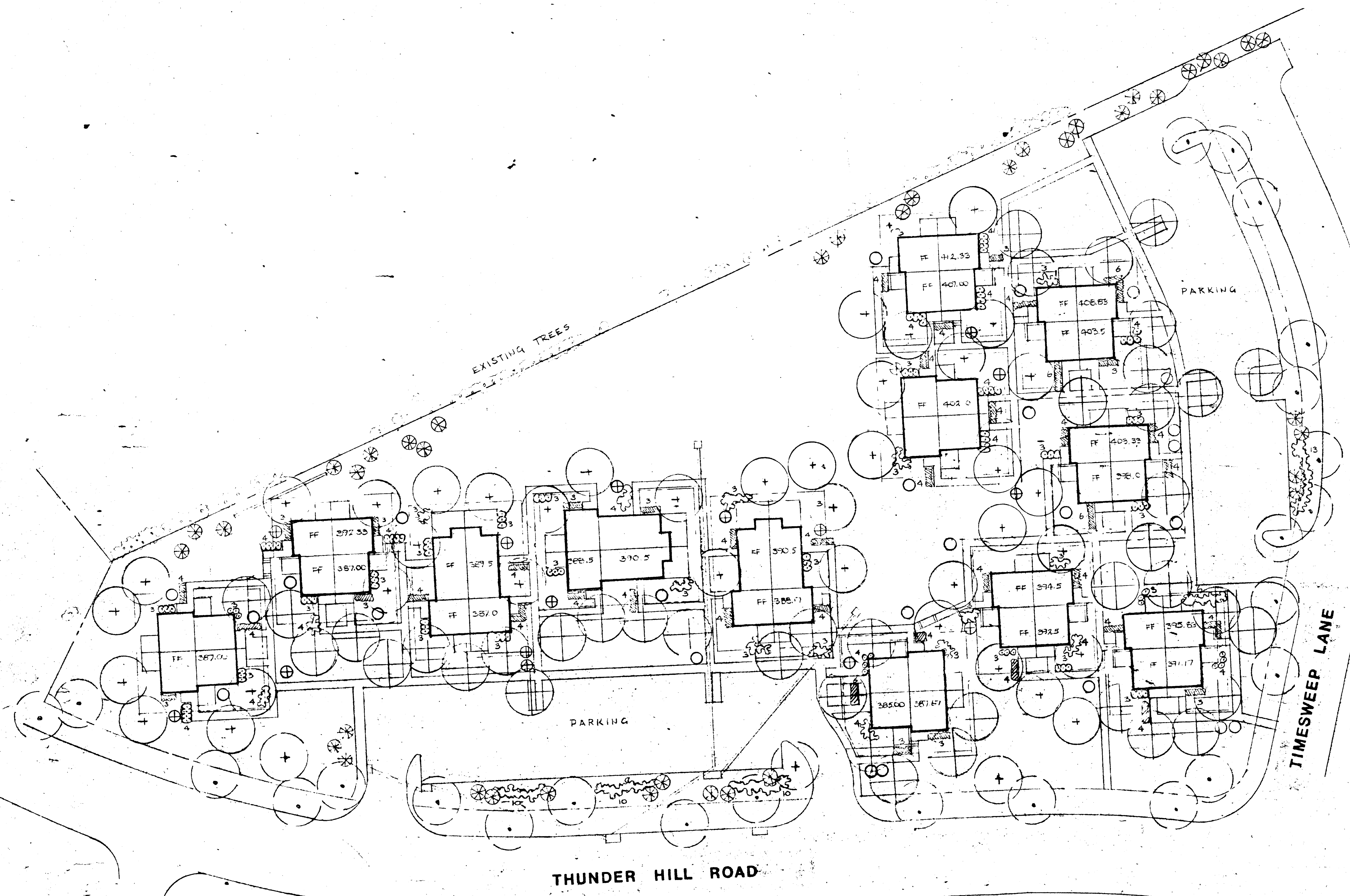
APPROVED: FOR PUBLIC WATER PUBLIC SEWERAGE & STORM DRAINAGE SYSTEMS
AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
William A. Ott 1/16/73 DATE
Robert C. Scharr 1/15/73 DATE

No.	REVISION	DATE	BY

GREENHORNE & O'MARA, INC.
ENGINEERS · ARCHITECTS · PLANNERS · SURVEYORS
6715 KENILWORTH AVE., RIVERDALE, MD.

SITE DEVELOPMENT PLAN
COLUMBIA
VILLAGE OF OAKLAND MILLS
SECTION 4 AREA 1
LOT A-1 THRU LOT A-49
(A RESUBDIVISION OF PARCEL A)
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TREO DESIGN SCALE 1" = 30'
DRAWN
CHECKED SHEET No. 1 OF 1
DEC. 71 56690 3573-W
DATE JOB No. FILE No.



NOTE: LOCATION OF ALL PLANT MATERIAL IS TO BE APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT. ALL PLANT MATERIAL IS TO BE GUARANTEED BY THE LANDSCAPE CONTRACTOR FOR ONE FULL GROWING SEASON AFTER THE LAST PLANT HAS BEEN INSTALLED AND APPROVED BY THE LANDSCAPE ARCHITECT. ALL PLANT MATERIAL AND ALL PLANTING METHODS ARE TO BE IN CONFORMANCE WITH THE "I.R.C. COLUMBIA CONSTRUCTION SPECIFICATIONS", LATEST EDITION. ALL PLANT MATERIAL IS TO BE NURSERY GROWN IN ACCORDANCE WITH "THE U.S.A. STANDARD FOR NURSERY STOCK", LATEST EDITION.

CONTRACTOR IS TO VERIFY CORRECT LOCATION OF ALL UNDERGROUND UTILITIES IN THE FIELD BEFORE PROCEEDING WITH THE INSTALLATION OF ANY OF THE PROPOSED PLANT MATERIAL.

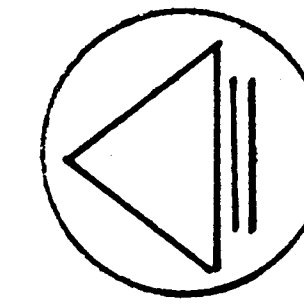
NOTE: THIS SYMBOL INDICATES PROPOSED STREET TREES TO BE PROVIDED BY H.R.S.

DATED: 6/9/72 BY SAMUEL G. CROZIER-LANDSCAPE ARCHITECT-COLUMBIA, MARYLAND

NOTE: THE NUMBER NEXT TO THE SHRUB SYMBOL INDICATES THE QUANTITY OF MATERIAL AT THAT LOCATION.

PLANT LIST PAGE 4 PLEX
48 UNITS
SECTION 4 AREA 1 PARCEL A
THUNDER HILL ROAD AND TIMESWEEP LANE

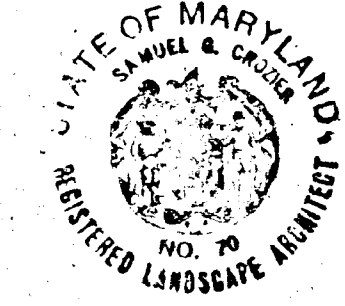
KEY	SYMBOL	BOTANICAL NAME	SIZE	QUANTITY	REMARKS
1	⊕	ACER SACCHARUM SUGAR MAPLE	2-2 1/2" cal.	41	HEAVY HEAD
2	⊕	ACER RUBRUM RED MAPLE	2-2 1/2" cal.	42	HEAVY HEAD
3	⊙	MALUS ALMEY ALMEY CRABAPPLE	1 1/2" cal. 8'-8" ht.	25	HEAVY HEAD
4	⊕	PINUS NIGRA AUSTRIAN PINE	6'-8" ht.	41	HEAVY HEAD
5	⊕	CRATAEGUS PHENOPYRUM WASHINGTON HAWTHORN	1 1/2" cal. 6'-8" ht.		HEAVY HEAD
6	⊕	PRUNUS SUBHIRTELLA-HIGAN CHERRY	1 1/2" cal. 6'-8" ht.	15	HEAVY HEAD
7	⊕	EUONYMUS SIEBOLDI SIEBOLD EUONYMUS EVERGREEN	2'-3"	165	
8	⊕	VIBURNUM BURKWOODI BURKWOOD VIBURNUM	2'-3"	101	
9	⊕	FORSYTHIA INTERMEDIA FORSYTHIA	2'-3"	103	



SCALE 1" = 30'

REVISED NOV 16 1972
ADD 12 PINES

APPROVED
OFFICE OF PLANNING
AND ZONING OF
HOWARD COUNTY
DATE: 9/1/72
Samuel G. Crozier
Director

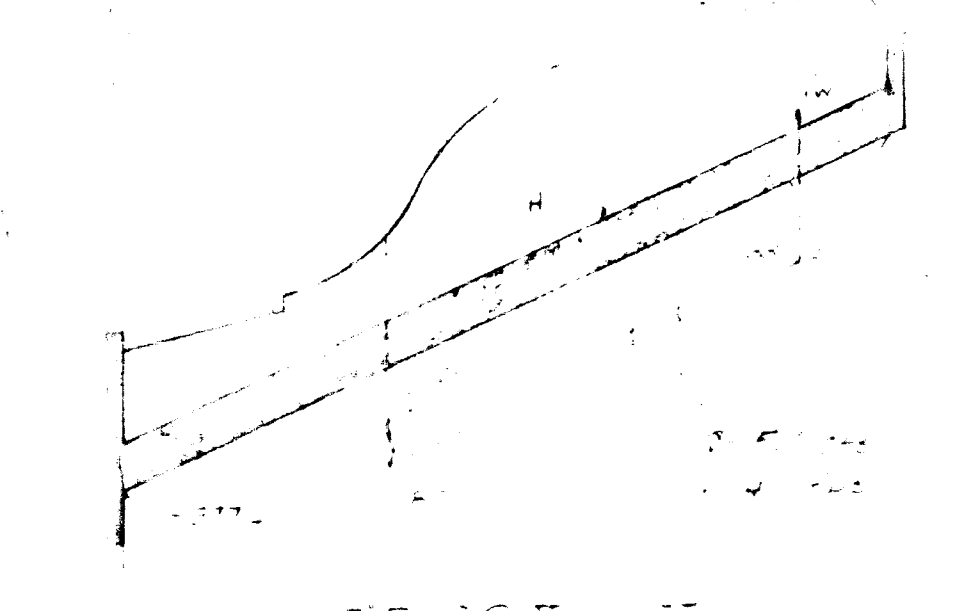


PAGE 4 PLEX 48 UNITS
PLANTING PLAN
PARCEL A SECTION 4 AREA 1, COLUMBIA MD

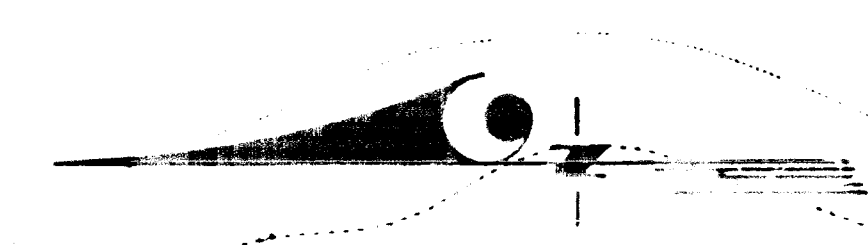
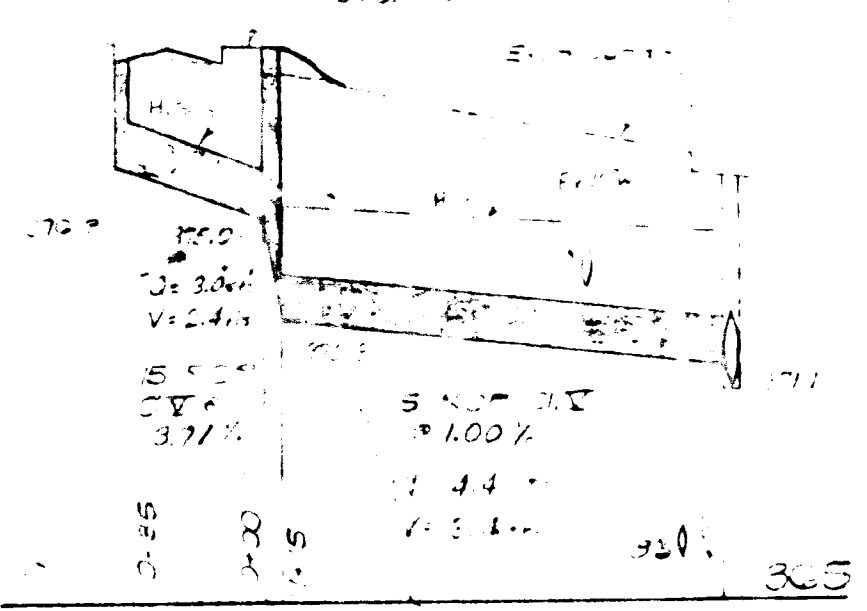
SAMUEL G. CROZIER LANDSCAPE ARCHITECT
COLUMBIA MD.
AUG 25 1972
REVISED 10-4-72

SDP-72-90C

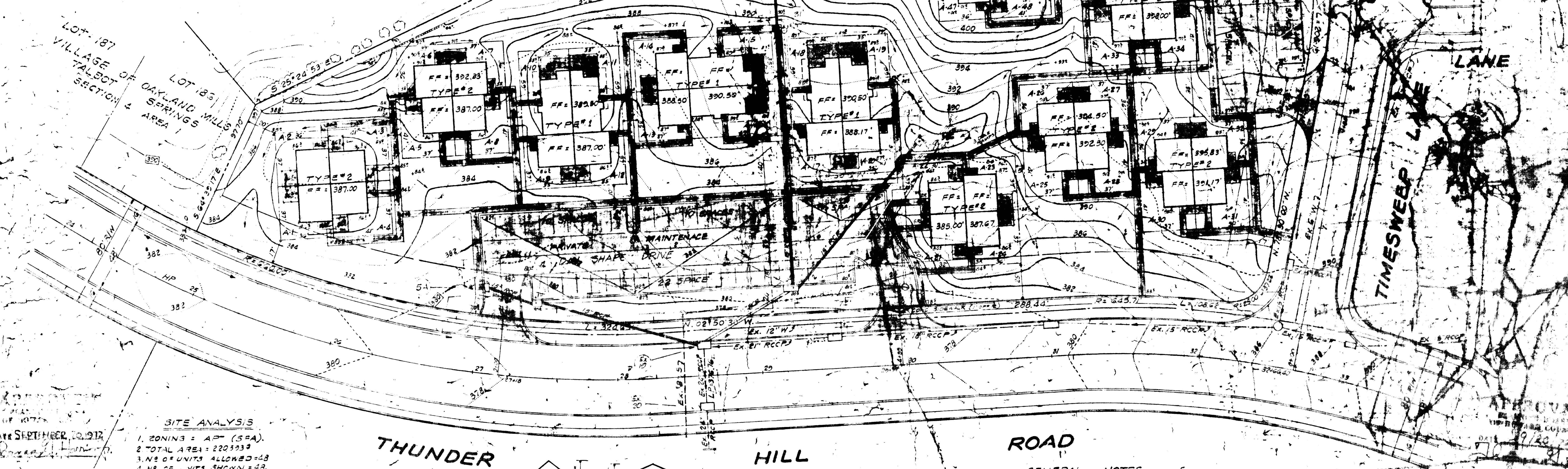
E. 145.300



Profile Scale
1" = 10'
1" = 100'

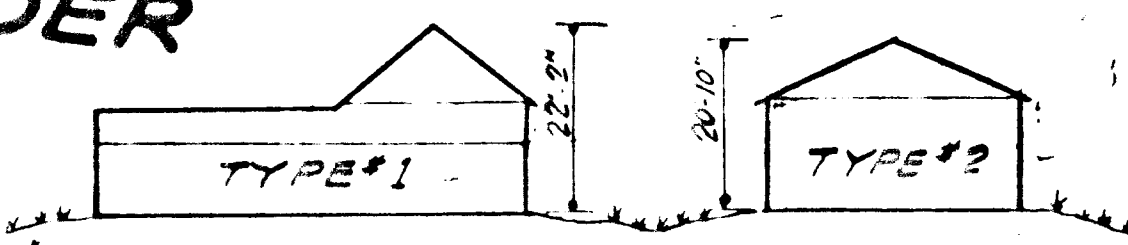


INSET MAP

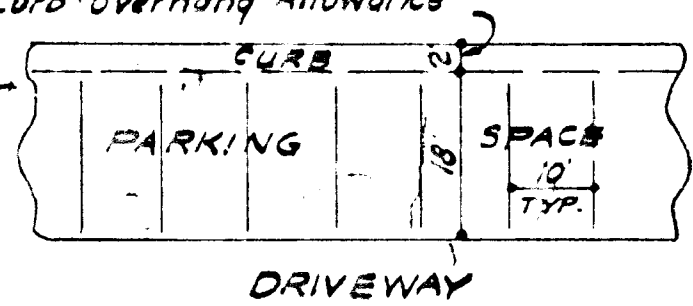
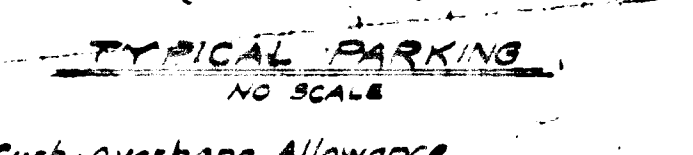


SITE ANALYSIS

1. ZONING = A-7 (SFA)
2. TOTAL AREA = 220,593
3. NO. OF UNITS ALLOWED = 43
4. NO. OF UNITS SHOWN = 43
5. NO. OF PARKING SPACES REQUIRED = 96
6. NO. OF PARKING SPACES SHOWN = 96
7. PROPOSED PUBLIC WATER & SEWER
8. NO. OF COMMUNITY LOTS = 1
9. NO. OF RESIDENTIAL LOTS = 48 TOTAL = 49 LOTS
10. AREA OF LOTS = 129,580 TO 20,639
11. THIS AREA SHOWN ON FINAL DEV. PLAN PHASE 51
12. AREA OF SMALLEST UNIT ENCLOSES 33,500
13. MAXIMUM HEIGHT OF BUILDING ALLOWED = 34'
14. BUILDING MIX: TYPE ONE: 3
TYPE TWO: 5
15. RECORD P.A.F. REFERENCE: P.B.#17 P. 58



BUILDING PROFILES
NO SCALE



LEGEND

1. EXISTING CONTOURS = [Symbol]
2. PROPOSED CONTOURS = [Symbol]
3. CONTOUR INTERVAL = 2 FT.
4. EXISTING SPOT ELEV. = 397.4
5. DIRECTION OF DRAINAGE = [Symbol]

GENERAL NOTES

1. ALL FORM URHNS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE HONARD COUNTY ROAD CONSTRUCTION CODE AND THE SPECIFICATIONS FOR TYPES OF STRUCTURES REFER TO THE STANDARD SPECIFICATIONS FOR THE ROAD CONSTRUCTION CODE AND THE STANDARD SPECIFICATIONS.
2. INFORMATION CONCERNING UNDERGROUND UTILITIES AND SURFACE ELEVATIONS SHOULD BE OBTAINED FROM THE CITY ENGINEER AND THE ELEVATION OF THE TRENCHES AND CLEARANCES ARE TO BE OBTAINED FROM THE CITY ENGINEER. WHENEVER POSSIBLE, CONTACT THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
3. ALL UTILITIES SHALL BE DELETED IN ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS.
4. ALL UTILITIES SHALL BE DELETED IN ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS.
5. ALL UTILITIES SHALL BE DELETED IN ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS.
6. NO TRAFFIC SIGNALS SHALL BE INSTALLED IN THIS AREA.
7. A Typical Parking Section must be shown "As-Is" types of paving to be installed on County or Private Property. This section and material used must meet the minimum requirements of Howard County Road Code and Standard Specifications.

APPROVED: [Signature] 1/18/73 DATE

APPROVED: [Signature] 1/19/73 DATE

APPROVED: [Signature] 1/15/73 DATE

No.	REVISION	DATE	BY

GREENHORNE & O'MARA, INC.
ENGINEERS · ARCHITECTS · PLANNERS · SURVEYORS
6715 KENILWORTH AVE., RIVERDALE, MD.

COLUMBIA
VILLAGE OF OAKLAND MILLS
SECTION 4 AREA
LOT 111 THRU LOT 115
(A RESUBDIVISION OF PARCEL 11)
6TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

DESIGN: [Signature]
CHECKED: [Signature]
DATE: [Signature]