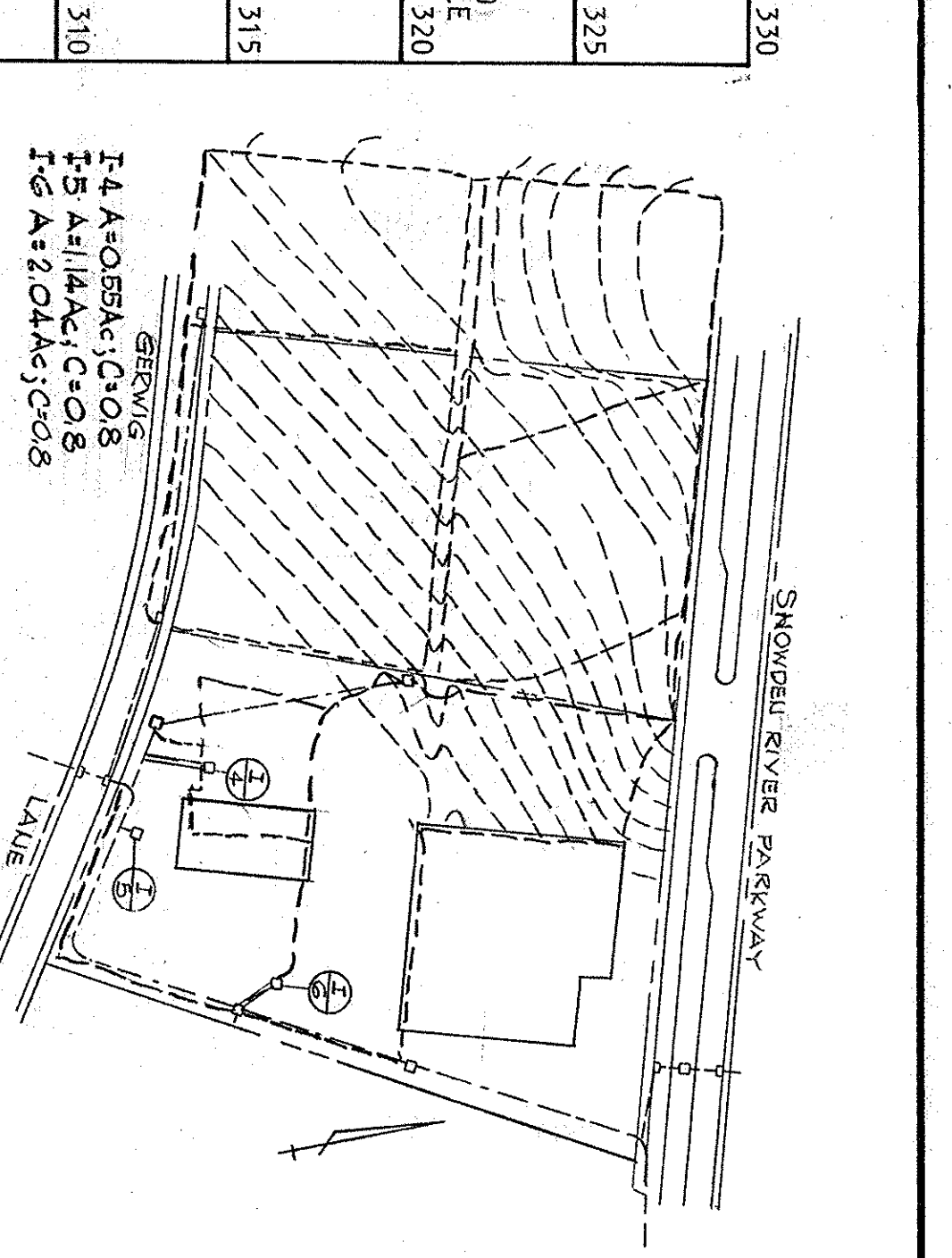
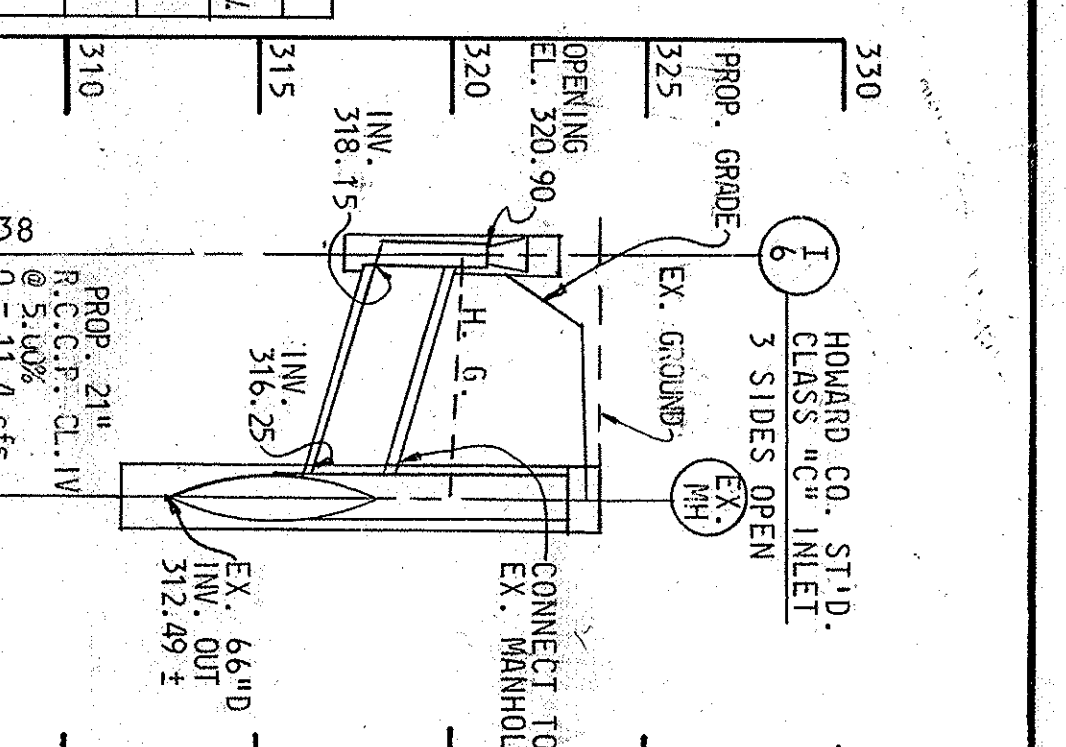
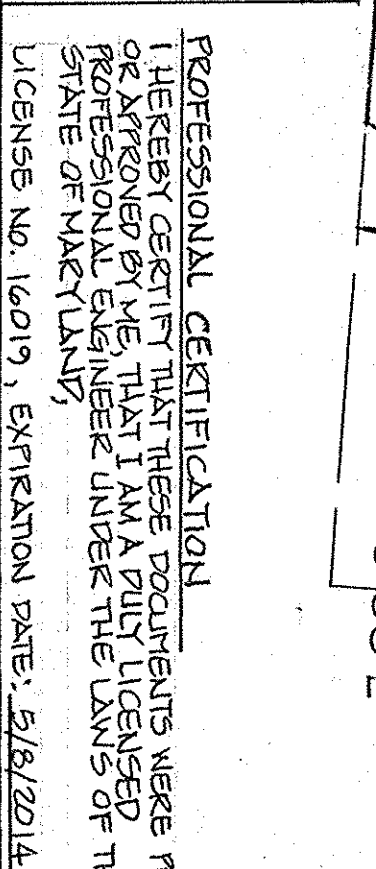


Table with 6 columns: NO., TYPE, ACRES, C, I, P, D, S, I, INV. OUT, TOP. ELEV.



GENERAL NOTES: 1. EXISTING TEMPERATURE, ELEVATIONS, AND UTILITY LOCATIONS ARE NOT FROM FIELD SURVEY DATA... 2. UNDERGROUND UTILITIES ARE SHOWN FOR THE CONTRACTOR'S CONVEYANCE ONLY... 3. EXISTING SEGMENT CONTROL DEVICES INCLUDING EXISTING BEAMS, PIPES, ETC. ARE NOT SHOWN...

LITTLE & ASSOCIATES, INC. ENGINEERS - LAND PLANNERS - ARCHITECTS 1055 TAYLOR AVENUE, SUITE 307 TOMSON, MARYLAND 21201



REVISION table with columns: No., Description, Date.

APPROVED SHEET II DATE 4-19-72

ENELL, BOWHARDT & ASSOCIATES CONSULTING ENGINEERS 1800 N. CHARLES STREET BALTIMORE, MARYLAND 21201

CHARLES VAUGHAN PIPPEN ARCHITECT 1800 N. CHARLES STREET BALTIMORE, MARYLAND 21201

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS... DATE 4-19-72

- 1. MAXIMUM HEIGHT OF NEW BUILDING 17 FT.
2. AREA LOT 6, 3.13 AC., LOT 9, 3.32 AC. TOTAL 6.45 AC. ±
3. PLAT REFERENCE: PLAT BOOK 17 FOLIO 35
4. FUL. DEV. PLAN REFERENCE: PHASES 38 & 55
5. TOTAL PARKING REQUIRED: 45 SPACES
6. TOTAL PARKING PROVIDED: 69 SPACES
7. TOTAL EXISTING AREAS: 20
8. AREA OF NEW WAREHOUSE: 38,400 S.F.
9. AREA OF NEW WAREHOUSE: 12,460 S.F.
10. TOTAL AREA OF BUILDINGS: 50,860 S.F.
11. PERCENT OF SITE COVERED: 17.7%

- LEGEND: -920- EXISTING CONTOURS, -920± PROPOSED CONTOURS, 920± EXISTING ELEVATIONS, 920± PROPOSED ELEVATIONS, etc.

PROPOSED OFFICE & SHOP FOR GRINNELL SECTION 2 COLUMBIA, MD. DATE 4-17-72

APPROVED PLANNING BOARD OF HOWARD COUNTY DATE 4-19-72

SECTION THRU BUILDING SCALE: 1"=30'

STORM DRAIN PROFILE showing elevation and pipe details.

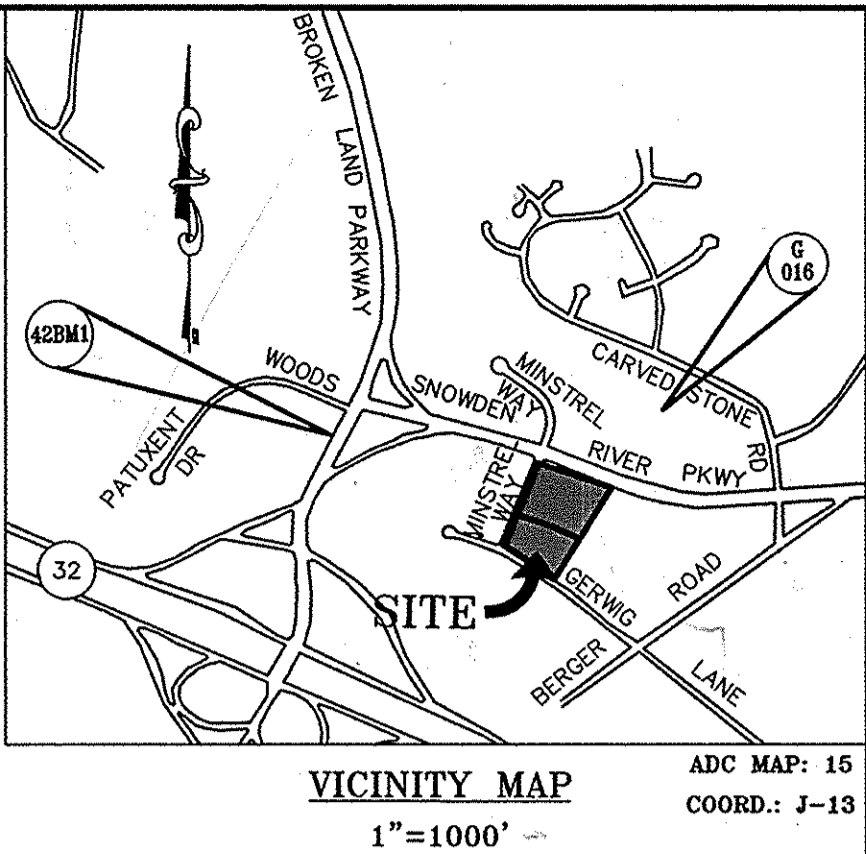
STORM DRAIN PROFILE showing elevation and pipe details.

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STORM DRAIN PROFILE showing elevation and pipe details.

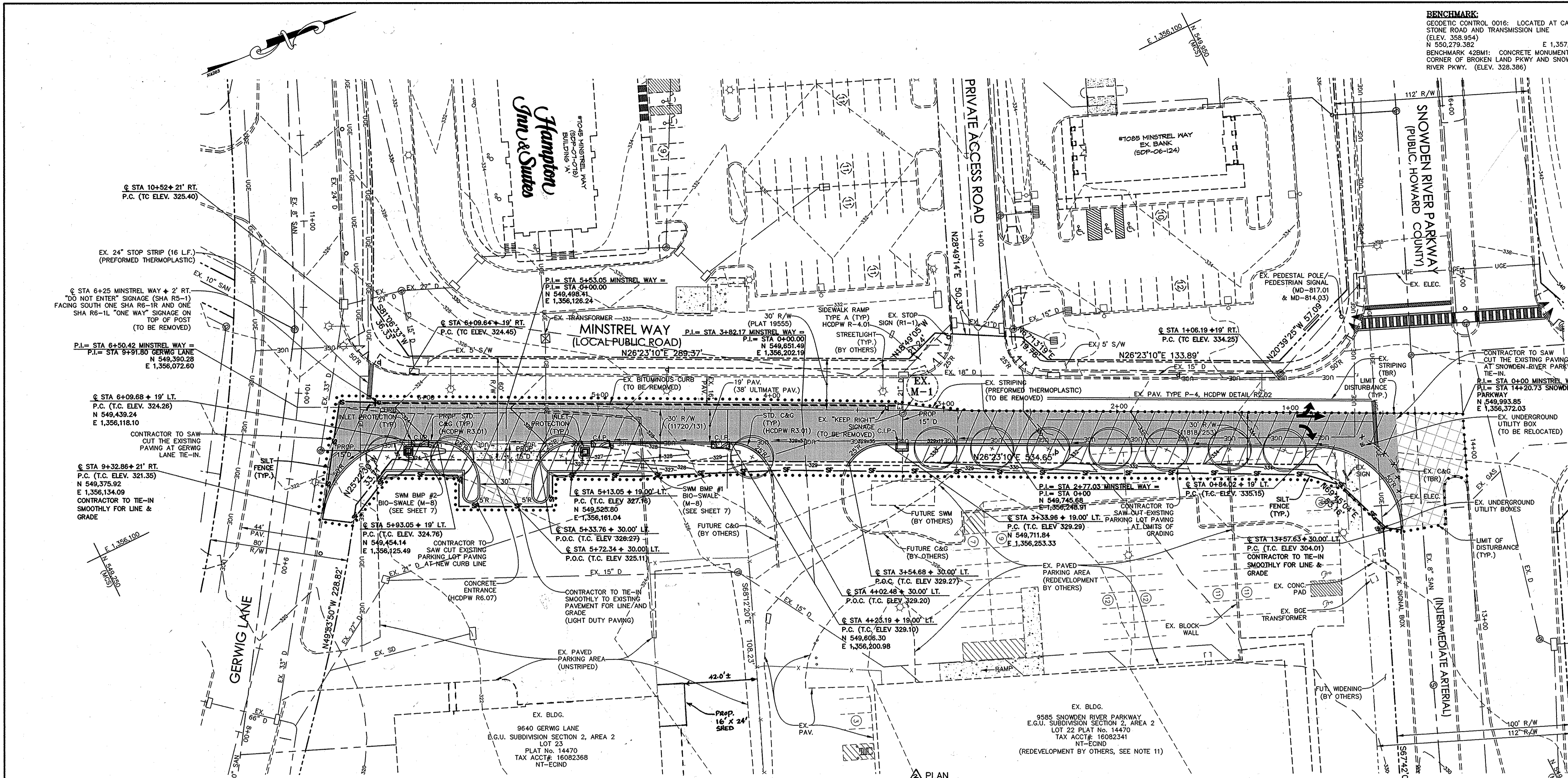
BENCHMARK:
 GEODETIC CONTROL 0016: LOCATED AT CARVED STONE ROAD AND TRANSMISSION LINE (ELEV. 358.954)
 N 550,279.382 E 1,357,328.96
 BENCHMARK 42B1: CONCRETE MONUMENT AT CORNER OF BROKEN LAND PKWY AND SNOWDEN RIVER PKWY. (ELEV. 328.386)



SITE ANALYSIS DATA CHART

A) TOTAL PROJECT AREA:	0.62 AC± OR 27,000 S.F.
B) AREA OF PLAN SUBMISSION:	0.62 AC±
C) LIMIT OF DISTURBANCE:	0.62 AC±
D) PRESENT ZONING DESIGNATION:	NT (NEW TOWN)
E) PROPOSED USE(S):	ROADWAY
F) DPZ FILE REFERENCES:	SDP-72-78c, SDP-07-078

- GENERAL NOTES:**
1. SITE ANALYSIS DATA: LOCATION: TAX MAP: 42 PARCEL: 375 GRID: 9 LOT: 22 & 23 DEED REFERENCE: 05258/100, 08800/488, 11818/253, 11720/131 ELECTION DISTRICT: 6 ZONING: NT TOTAL SITE AREA: 0.62 AC. (LIMIT OF DISTURBANCE) LIMIT OF DISTURBANCE: 0.62 AC± PROPOSED USE: COMMERCIAL
 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT 410-213-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
 3. THE CONTRACTOR WILL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
 4. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
 5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 6. THE SUBJECT PROPERTY IS ZONED NT (NEW TOWN) FOR LOTS 22 AND 23 PER THE 02/02/04 COMPREHENSIVE ZONING PLAN. EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY DATA WITH MAXIMUM 2' CONTOUR INTERVALS PREPARED BY LITTLE & ASSOCIATES, INC. DATED NOVEMBER, 2006.
 7. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. GC 0016 AND 42B1 WERE USED FOR THIS PROJECT.
 8. STORMWATER MANAGEMENT REQUIREMENTS FOR THAT PORTION OF MINSTREL WAY ACROSS THE FRONTAGE OF LOT 23 WILL BE MET THROUGH THE USE OF A PRIVATELY OWNED AND MAINTAINED BIO-SWALE. STORMWATER MANAGEMENT FOR LOT 22 WILL BE BY OTHERS.
 9. WATER IS PUBLIC (315-W&S). SEWER IS PUBLIC (315-W&S). EXISTING UTILITIES ARE BASED ON HOWARD COUNTY GIS DATA, FIELD VERIFICATION, AND APPROVED CONSTRUCTION DRAWINGS. THERE ARE NO KNOWN GRAVESITES, BURIAL GROUNDS OR CEMETERIES ON THIS SITE.
 10. THERE ARE NO KNOWN WETLANDS OR FLOODPLAINS ONSITE.
 11. NO TRAFFIC STUDY IS REQUIRED FOR THIS PROJECT.
 12. ALL OUTDOOR LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF ZONING SECTION 154.
 13. IN ACCORDANCE WITH SUBDIVISION SECTION 16.102(b)(1)(iv), THIS PLAN IS EXEMPT FROM COMPLIANCE WITH THE REQUIREMENTS OF THE FOREST CONSERVATION ACT BECAUSE LOTS 22 AND 23 ARE PART OF A PLANNED UNIT DEVELOPMENT WHICH HAD PRELIMINARY DEVELOPMENT APPROVAL AND 50% OR MORE OF THE LAND WAS RECORDED AND SUBSTANTIALLY DEVELOPED BEFORE DECEMBER 31, 1992.
 14. LOT 22 IS CURRENTLY UNDER REDEVELOPMENT BY OTHERS. STORMWATER MANAGEMENT TREATMENT FOR THAT IMPERVIOUS SURFACE ACROSS LOT 22 WILL BE BY OTHERS.
 15. STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURE AND POLE SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME III (1993) AND AS MODIFIED BY "GUIDELINES FOR STREET LIGHTS IN RESIDENTIAL DEVELOPMENTS (JUNE, 1993)". A MINIMUM SPACING OF 20' SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY TREE.
 16. ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2 1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
 17. P-4 PAVING SECTION TO BE USED UNLESS OTHERWISE SPECIFIED.
 18. GERWIG LANE AND SNOWDEN RIVER PARKWAY IMPROVEMENTS TO USE STANDARD PAVING SECTION P-5, HCDPW DETAIL R2.02 FOR STRIPING PLAN DETAILS SEE SHEET 4.



LEGEND

EXISTING CONTOUR	---	136
PROPOSED CONTOUR	---	136
EXISTING FENCE	-x-	
PROPERTY LINE	---	
EX. GAS LINE	---	
EX. PAVING TBR	▨	
PROP. FULL DEPTH PAVING (P-4)**	▨	
PROP. MILL AND OVERLAY	▨	
CONCRETE PAVING	▨	
INLET (TYPE WR)	▣	
INLET (TYPE A-5)	▣	
YARD INLET	▣	
UNDERGROUND ELECTRIC	---	UG
PROP. SPOT ELEVATION	324x62	
PROP. TOP CURB ELEVATION	TC 323x91	
PROP. BOTTOM CURB ELEVATION	BC 324x32	
EX. SPOT ELEVATION	322.91	
TO BE REMOVED	(TBR)	
INLET PROTECTION	▣	
SILT FENCE	▣	
LIMIT OF DISTURBANCE	-----	
STREETLIGHT (PUBLIC)	☼	
EX. CURB, TO BE REMOVED	---x---	
SIDEWALK	---	5' S/W

DEDICATION INFORMATION

RIGHT-OF-WAY (MINSTREL WAY, LOT 22)	DEED REFERENCE
RIGHT-OF-WAY (MINSTREL WAY, LOT 23)	11720/131

STREET TREE SCHEDULE

MINSTREL WAY	430 LF ROADWAY	1 TREE / 40 LF = 11 TREES
TOTAL PROVIDED = 11 TREES		

PLANT LIST

KEY	QTY	BOTANICAL NAME COMMON NAME	SIZE	COND	REMARKS
⊙	11	PLATANUS X ACERIFOLIA 'BLOODGOOD' 'BLOODGOOD' LONDON PLANE TREE	2 1/2 - 3" CAL.	B & B	AS SHOWN

LIMIT OF DISTURBANCE
 27,104 S.F.± OR 0.62 AC.±

HOWARD SOIL CONSERVATION DISTRICT
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 John L. Wharton
 DATE: 4/23/12

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 DATE: 4/19/12
 [Signature]

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16019, EXPIRATION DATE 5/8/2014.

**CONTRACTOR TO CORE EXISTING PAVING FROM STA 0+75± TO STA 3+00± TO DETERMINE THE EXISTING PAVING THICKNESS AND COMPOSITION. CONTRACTOR TO COORDINATE WITH HOWARD COUNTY INSPECTOR FOR DETERMINATION OF PAVING NEEDS IN THIS AREA

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature]
 DATE: 12/3/12



LITTLE & ASSOCIATES, INC.
 ENGINEERS~LAND PLANNERS~SURVEYORS
 1055 TAYLOR AVENUE, SUITE 307
 TOWSON, MARYLAND 21286
 PHONE: (410)296-1636 FAX: (410)296-1639

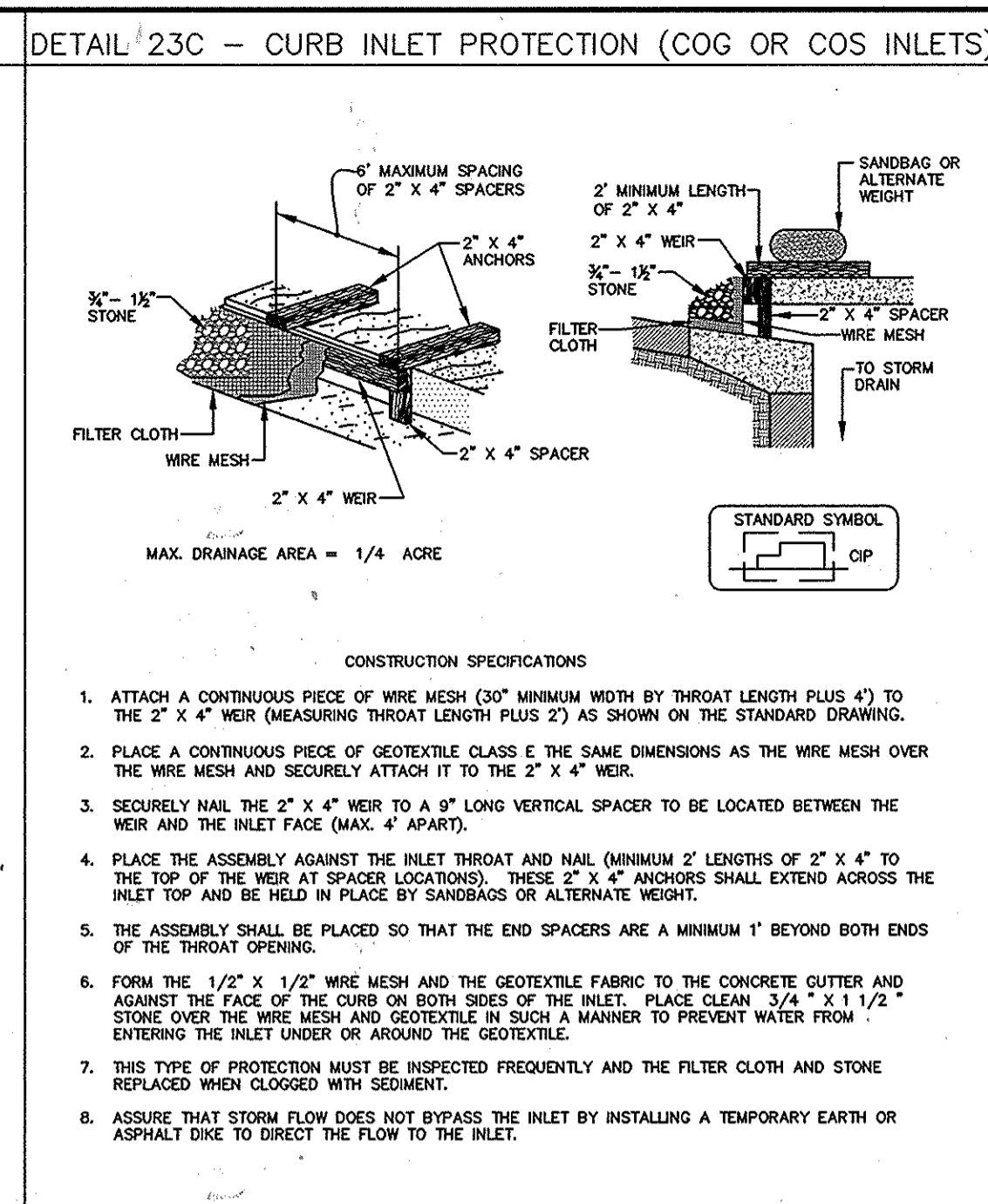
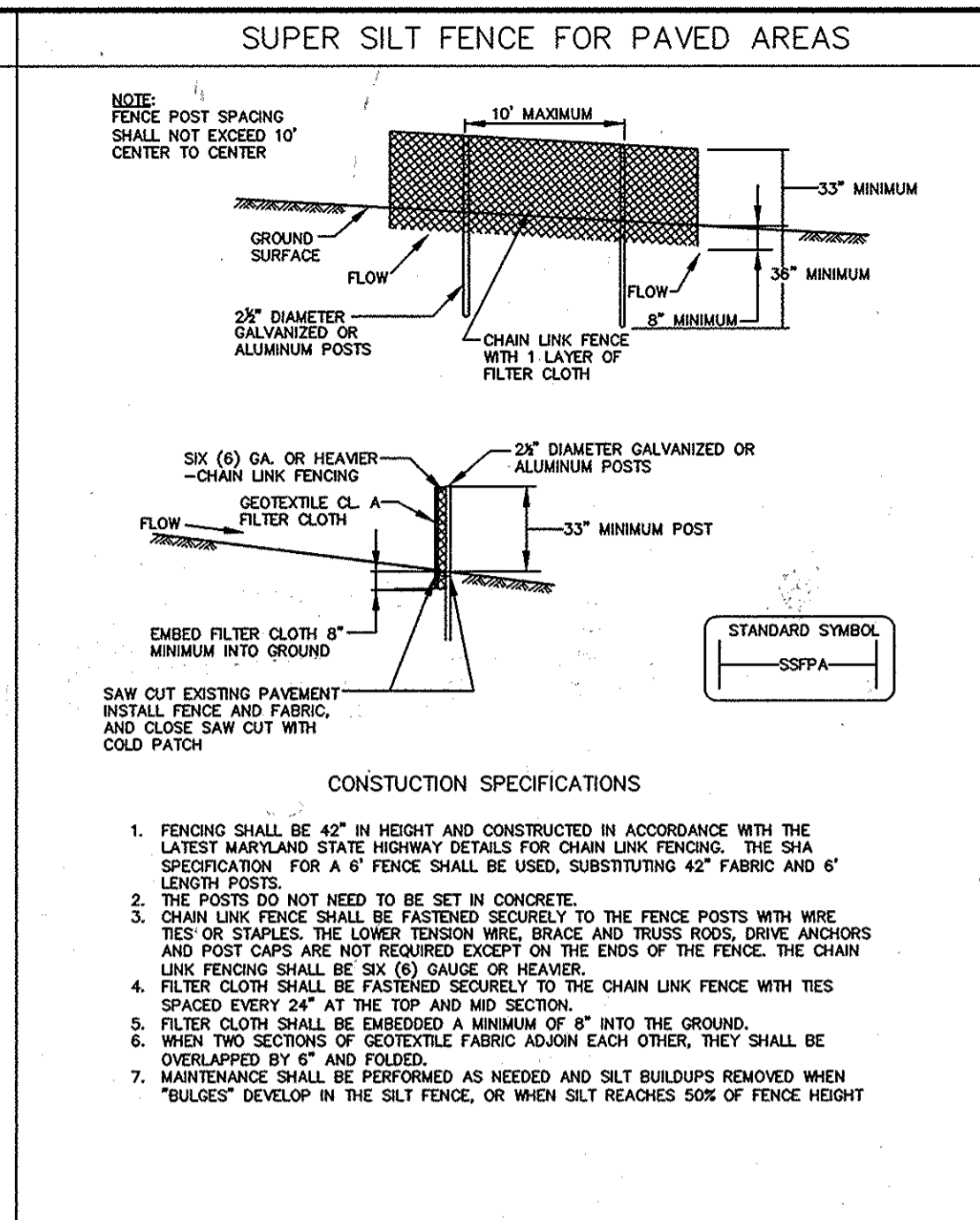
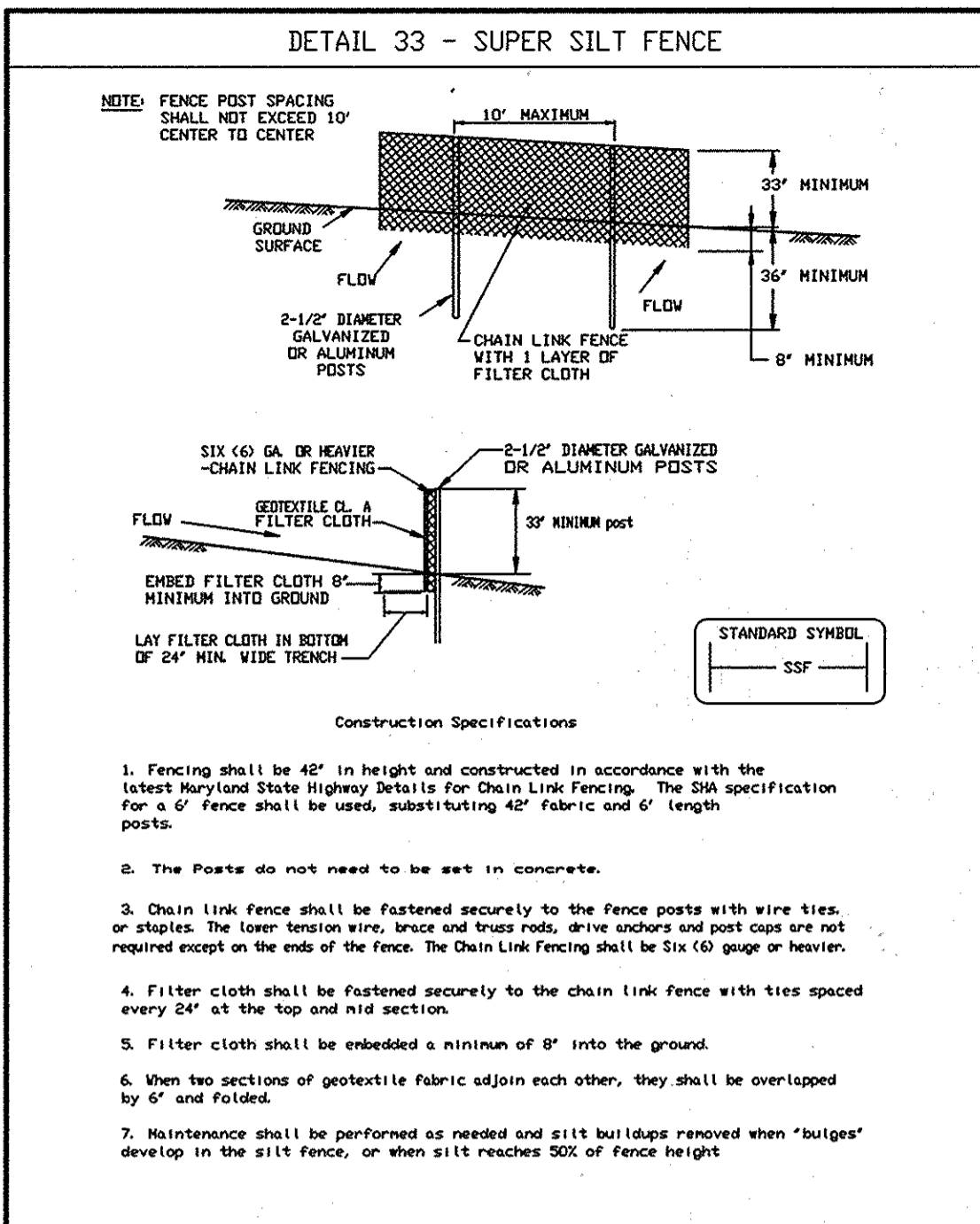
OWNER:
 LOT 22: TSC SNOWDEN RIVER LLC, C/O RZZ LLC, 12 GRAY HERON RETREAT SAVANNAH, GA 21411
 LOT 23: TWINKIES LLC, 9640 GERWIG LANE COLUMBIA, MD 21045

DEVELOPER:
 H&H ROCK
 6800 DEERPATH ROAD
 SUITE 100
 ELKCRIDGE, MD 21075
 410-579-2442

BY	NO.	REVISION	DATE
LAI	1	ADDED SHED TO LOT 23; ADDED SHEET II	
LAI	2	ADDED SHEETS 2-10	10/12

PLAN VIEW, SEDIMENT CONTROL AND LANDSCAPE PLAN
MINSTREL WAY IMPROVEMENTS
 REVISED SDP-72-78c
 LOTS 22 & 23 E.G.U. SUBDIVISION
 (F.K.A. LOTS 6 AND 9)
 SECTION 2, COLUMBIA, MD

ELECTION DISTRICT 6
 PLAT REF. 14470
 SCALE: AS SHOWN
 HOWARD COUNTY, MD
 M 42 G 9 P 375
 OCTOBER 12, 2012
 SHEET 2 OF 11



SEDIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1855).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: a) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1, b) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SEC. 51), SOD (SEC. 54), TEMPORARY SEEDING (SEC. 50), AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:**

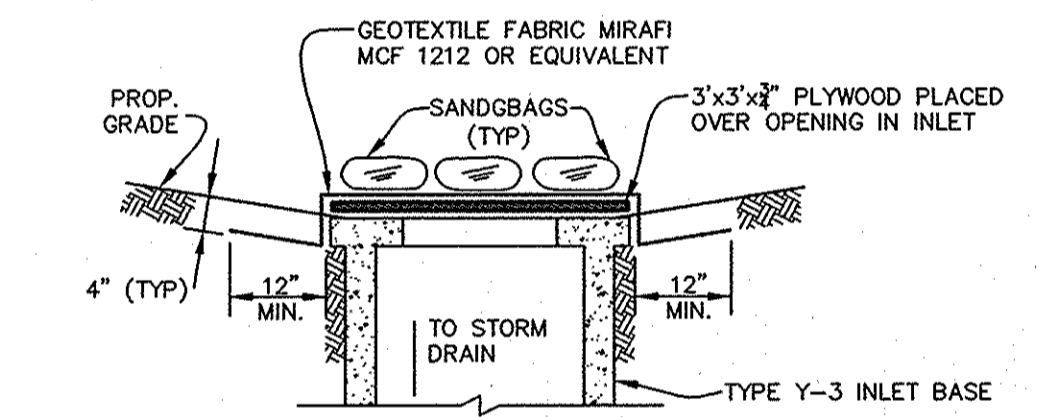
TOTAL AREA OF SITE	0.62 ACRES
AREA DISTURBED	0.62 ACRES
AREA TO BE ROOFED OR PAVED	0.49 ACRES
AREA TO BE VEGETATIVELY STABILIZED	0.13 ACRES
TOTAL CUT	850± CU.YDS.
TOTAL FILL	325± CU.YDS.

OFFSITE WASTE/BORROW AREA LOCATION IS TO BE DETERMINED. AREAS WILL HAVE ACTIVE GRADING PERMITS AND APPROVED EROSION CONTROL PLANS. NO STOCKPILE IS PERMITTED OUTSIDE OF THE LIMIT OF DISTURBANCE.
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING, OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORKING DAY, WHICHEVER IS SHORTER.

SEQUENCE OF OPERATION

- OBTAIN GRADING PERMIT.
- INSTALL SEDIMENT CONTROLS AS SHOWN ON PLAN. (1 day)
- PERFORM NECESSARY GRADING AND STABILIZE THE SITE. (2 days)
- CONSTRUCT ROAD IMPROVEMENTS ON SITE. (90 days)
- AFTER THE SITE IS STABILIZED AND PERMISSION IS GRANTED FROM THE SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROLS AND STABILIZE ANY REMAINING DISTURBED AREAS.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE MODIFIED MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE MODIFIED MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-16-58 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



YARD INLET BLOCKING DETAIL @ SWM I-1 AND I-2
NOT TO SCALE

NOTES:

- ATTACH A CONTINUOUS PIECE OF MIRAFI MCF 1212, OR EQUIVALENT FABRIC TO THE SAME DIMENSIONS AS THE PLYWOOD, OVER THE PLYWOOD AND EMBED A MINIMUM OF 4" INTO THE GROUND.
- CENTER THE PLYWOOD AND THE GEOTEXTILE FABRIC OVER THE INLET OPENING ON TOP OF THE INLET. PLACE SAND BAGS OVER FABRIC.
- MAINTENANCE SHALL BE PERFORMED BY THE CONTRACTOR AFTER EACH RAIN EVENT.

HOWARD SOIL CONSERVATION DISTRICT
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John P. Redden
HOWARD SOIL CONSERVATION DISTRICT 11/27/12 DATE

APPROVED
PLANNING BOARD OF HOWARD COUNTY

DATE 4/19/12
[Signature]

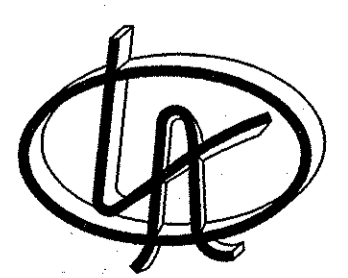
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16019, EXPIRATION DATE 3/8/2014.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 12/3/12 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 12/03/12 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 12/6/12 DATE
DIRECTOR



LITTLE & ASSOCIATES, INC.
ENGINEERS~LAND PLANNERS~SURVEYORS
1055 TAYLOR AVENUE, SUITE 307
TOWSON, MARYLAND 21286
PHONE: (410)296-1636 FAX: (410)296-1639

OWNER:

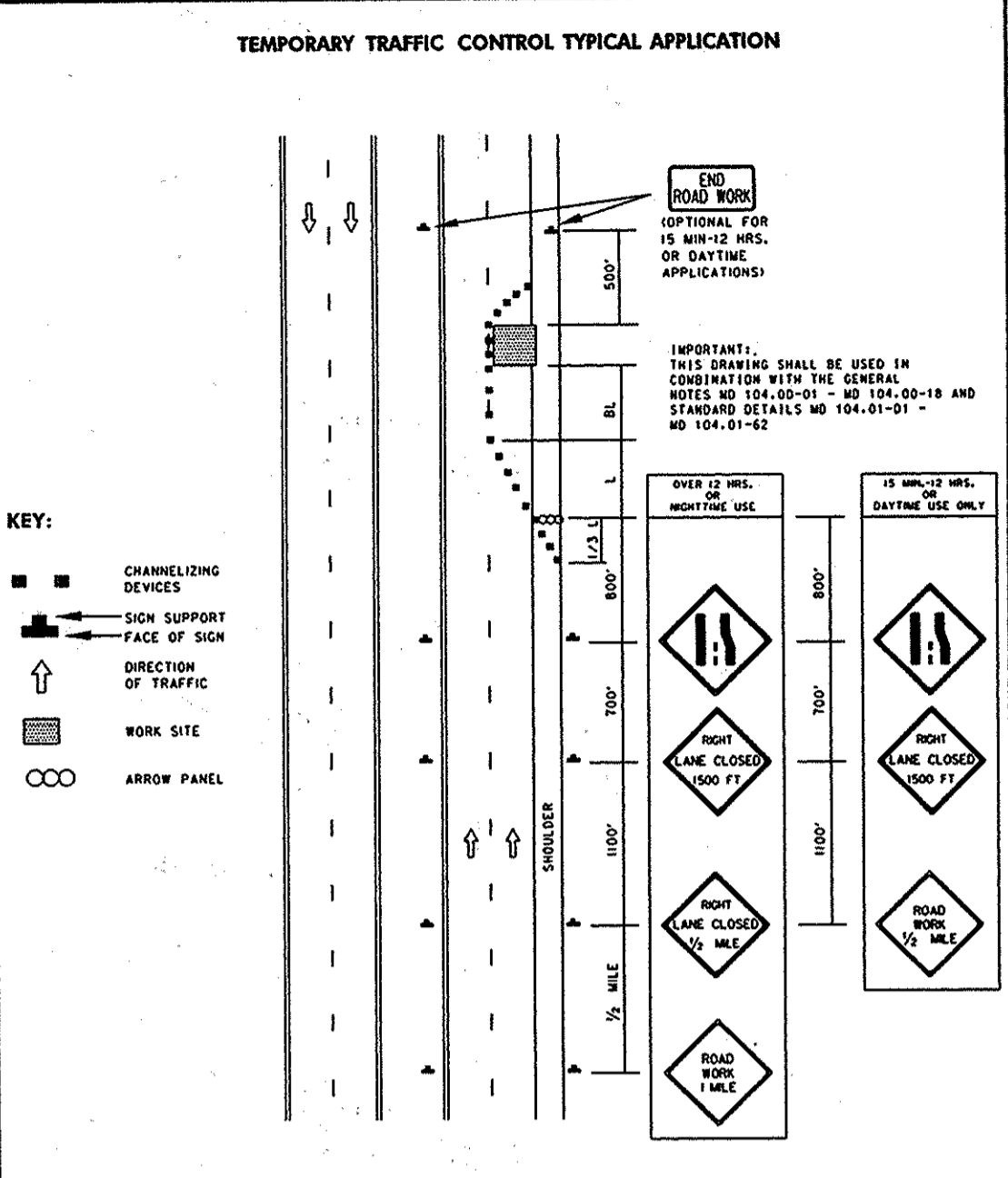
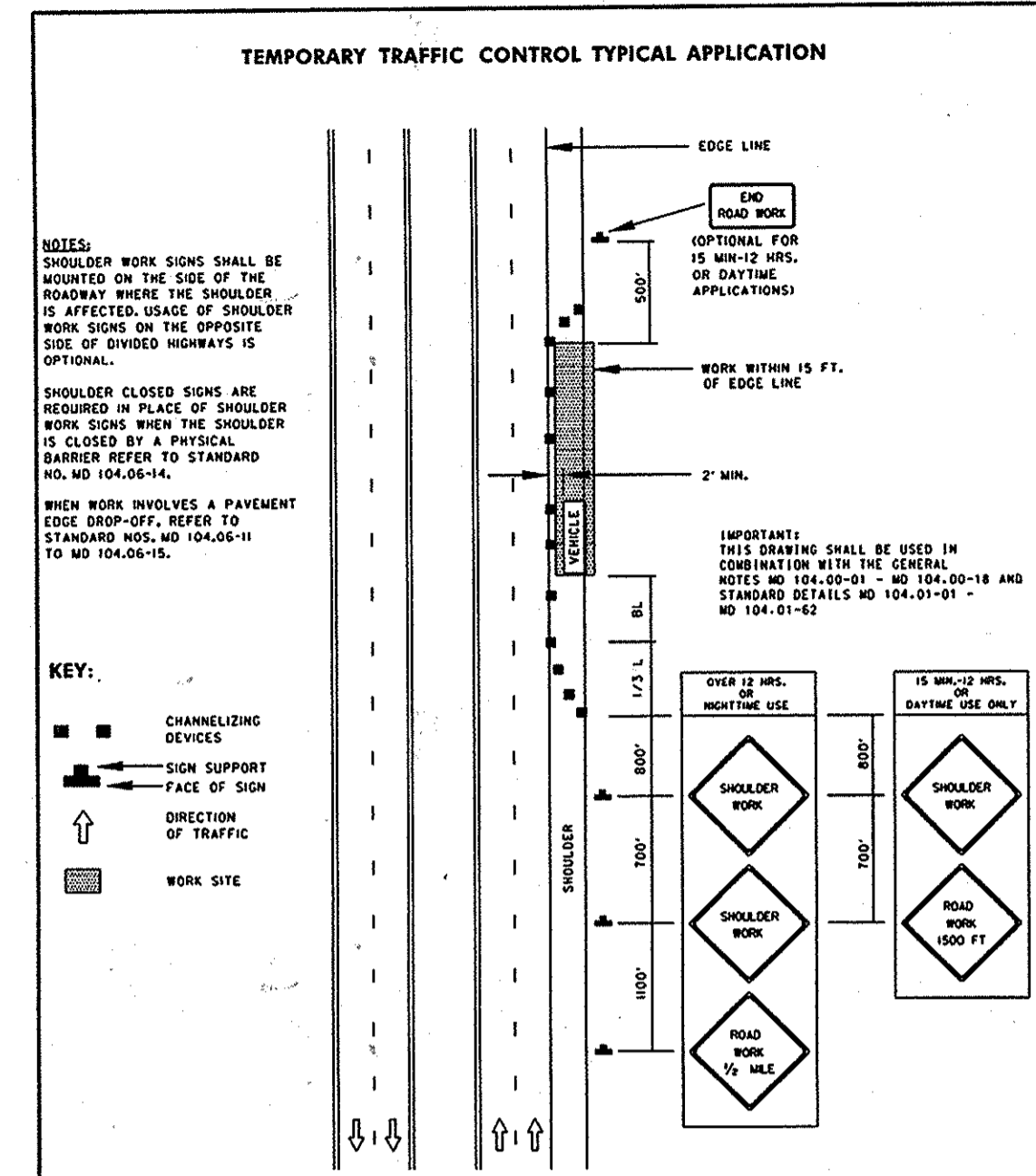
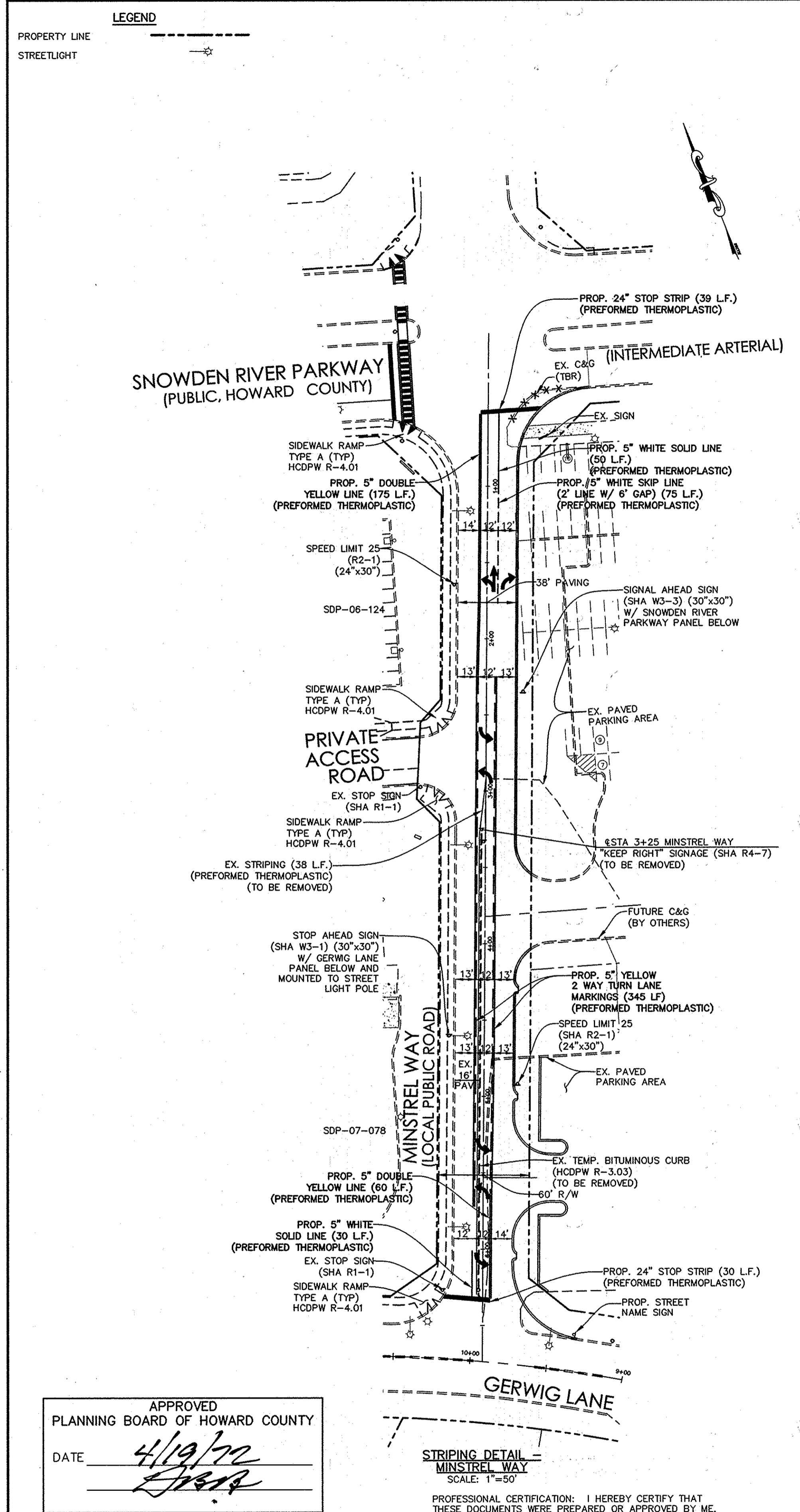
LOT 22
TSC SNOWDEN RIVER LLC,
C/O RZZ LLC,
12 GRAY HERON RETREAT
SAVANNAH, GA 21411

LOT 23
TWINKIES LLC,
9640 GERWIG LANE
COLUMBIA, MD 21045

BY	NO.	REVISION	DATE
LAI	1	ADDED SHEET 11	9/15
LAI	2	ADDED SHEETS 2-10	10/12

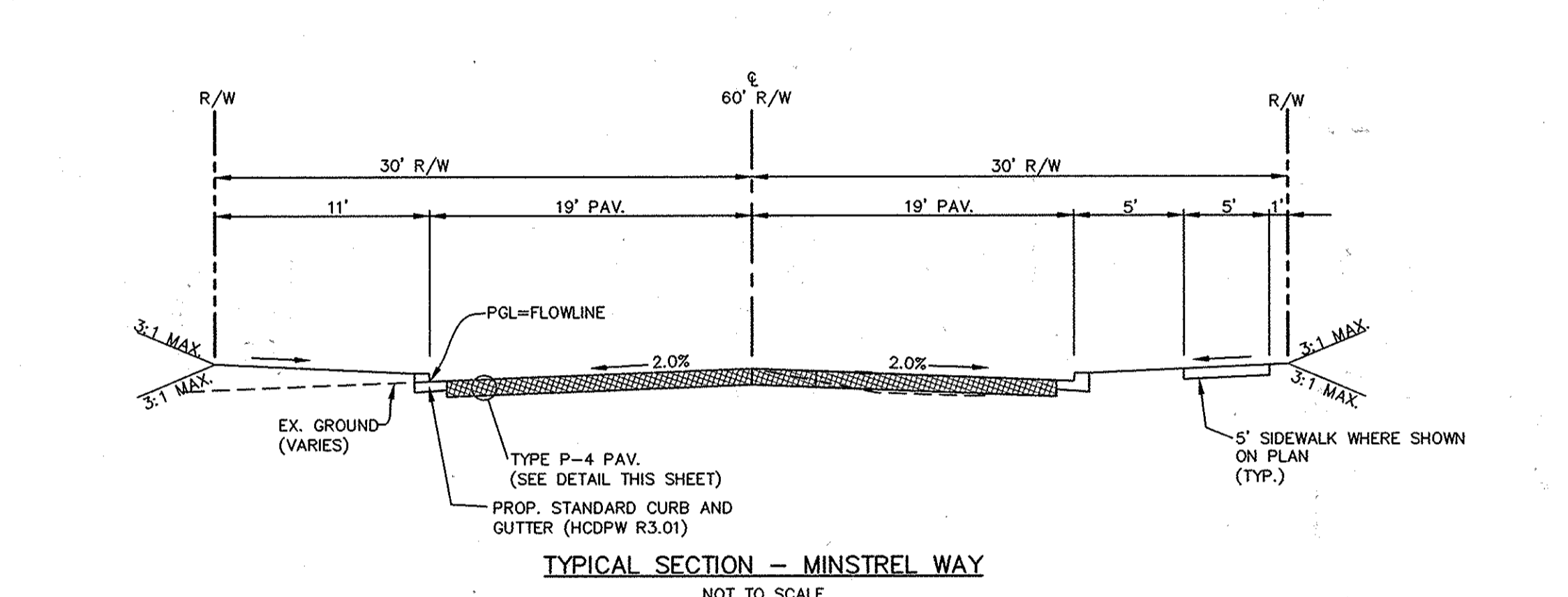
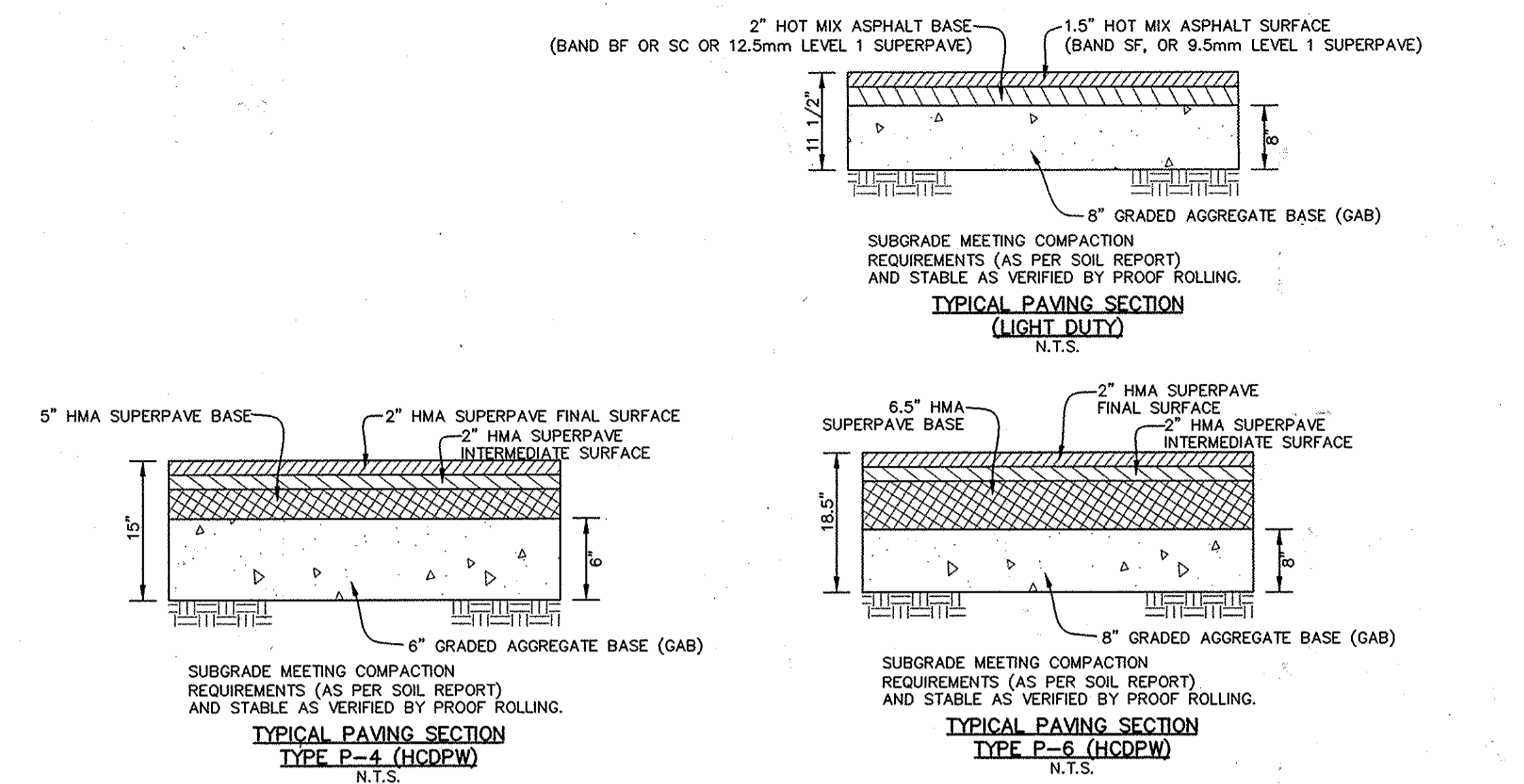
SEDIMENT CONTROL NOTES & DETAILS
MINSTREL WAY IMPROVEMENTS
REVISED SDP-72-78c
LOTS 22 & 23 E.G.U. SUBDIVISION
(F.K.A. LOTS 6 AND 9)
SECTION 2, COLUMBIA, MD

ELECTION DISTRICT 6 HOWARD COUNTY, MD
PLAT REF. 14470 M 42 G 9 P 375
SCALE: AS SHOWN OCTOBER 12, 2012
SHEET 3 OF 11



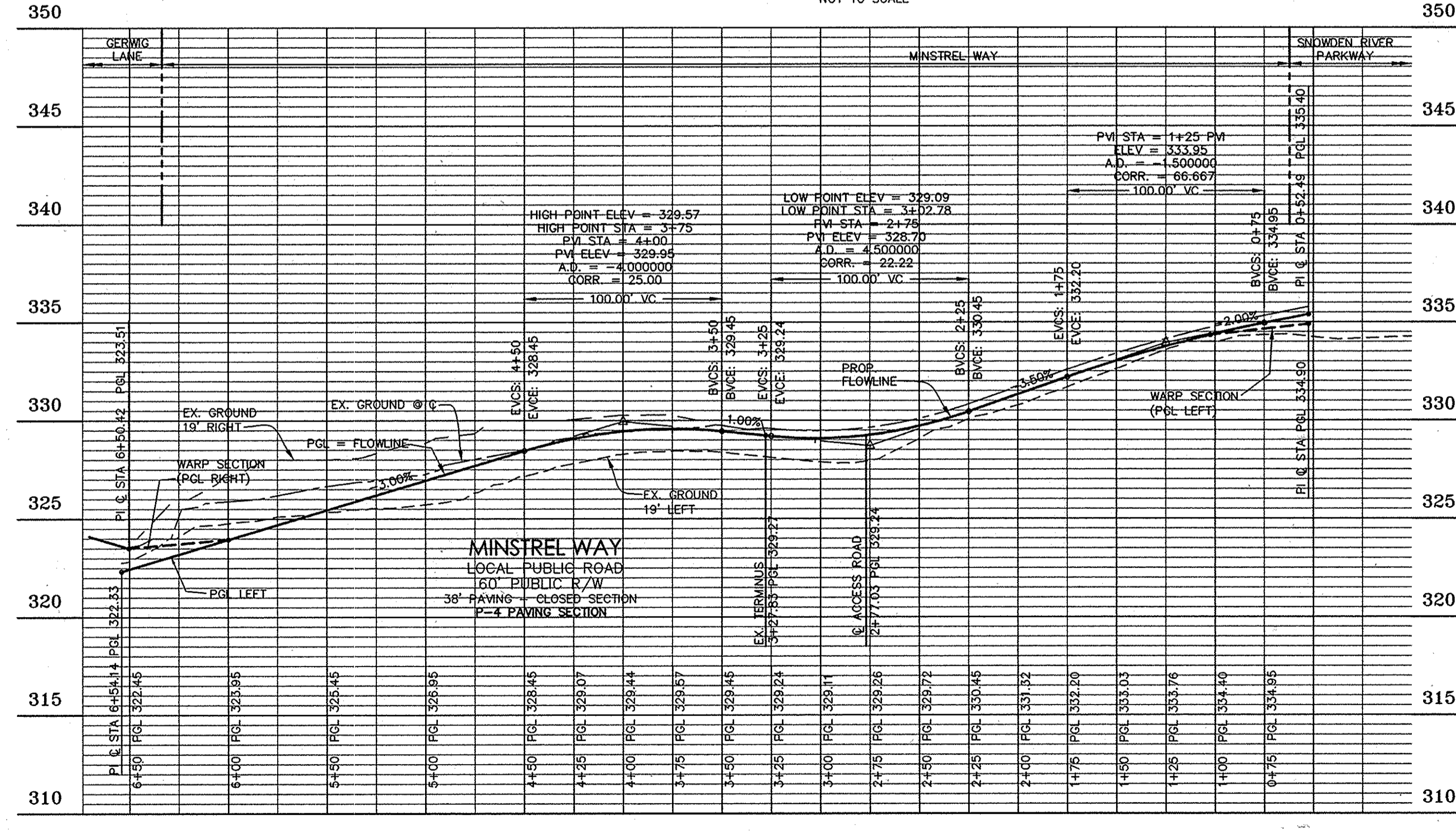
SYMBOL	DESCRIPTION
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[Symbol]	SIGN SUPPORT
[Symbol]	FACE OF SIGN
[Symbol]	DIRECTION OF TRAFFIC
[Symbol]	WORK SITE
[Symbol]	ARROW PANEL

SYMBOL	DESCRIPTION
[Symbol]	CHANNELIZING DEVICES
[Symbol]	SIGN SUPPORT
[Symbol]	FACE OF SIGN
[Symbol]	DIRECTION OF TRAFFIC
[Symbol]	WORK SITE
[Symbol]	ARROW PANEL



NOTES:

- ALL PAVEMENT MARKINGS AND SIGN LOCATIONS SHALL BE APPROVED BY HOWARD COUNTY TRAFFIC PRIOR TO ANY INSTALLATIONS. CALL 410-313-5752 TO TALK TO HOWARD COUNTY TRAFFIC.
- ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH" TYPE), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2 1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
- A NEW STREET NAME SIGN ASSEMBLY FOR MINSTREL WAY AT GERWIG LANE SHALL BE FABRICATED AND INSTALLED BY HOWARD COUNTY BUREAU OF HIGHWAYS AT THE DEVELOPER'S/OWNER'S EXPENSE. CONTACT HOWARD COUNTY TRAFFIC DIVISION AT 410-313-5752 FOR DETAILS AND COST ESTIMATES.



APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: 4/19/12

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16019, EXPIRATION DATE 5/8/2014.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
DATE: 12/3/12



LITTLE & ASSOCIATES, INC.
ENGINEERS~LAND PLANNERS~SURVEYORS
1055 TAYLOR AVENUE, SUITE 307
TOWSON, MARYLAND 21286
PHONE: (410)296-1636 FAX: (410)296-1639

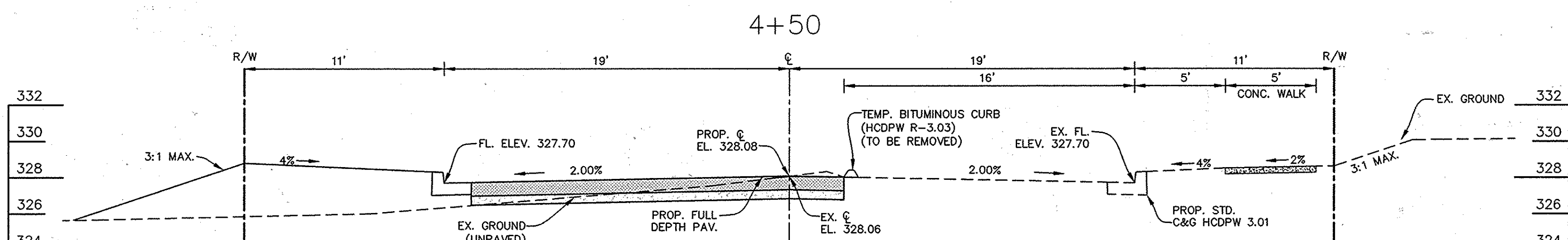
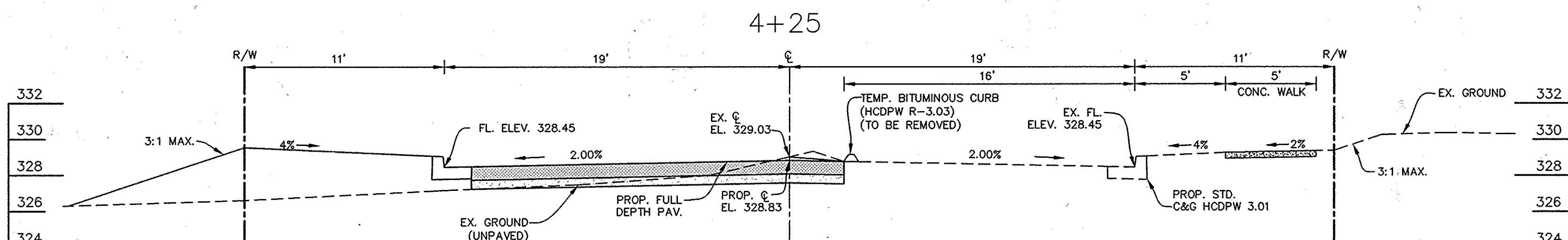
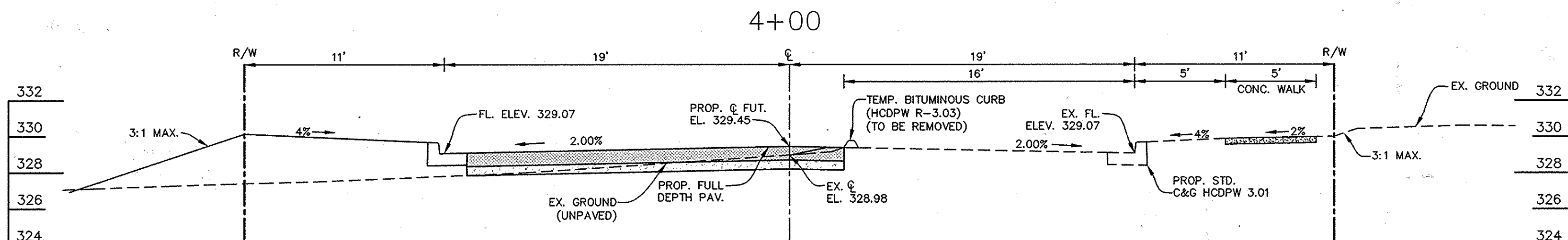
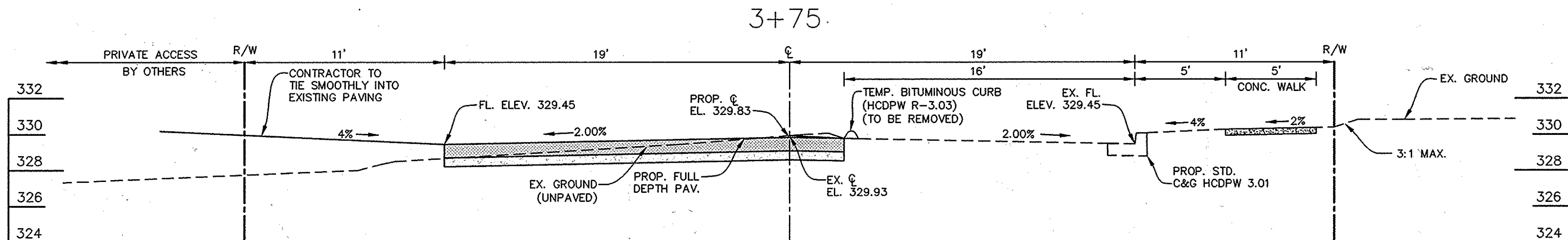
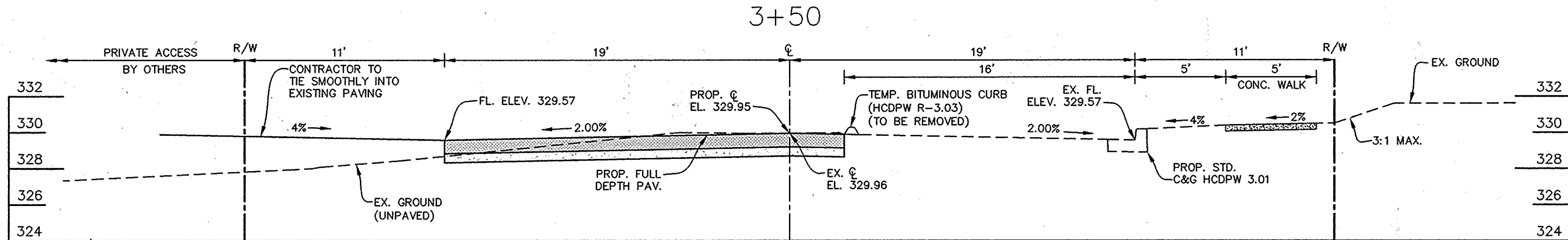
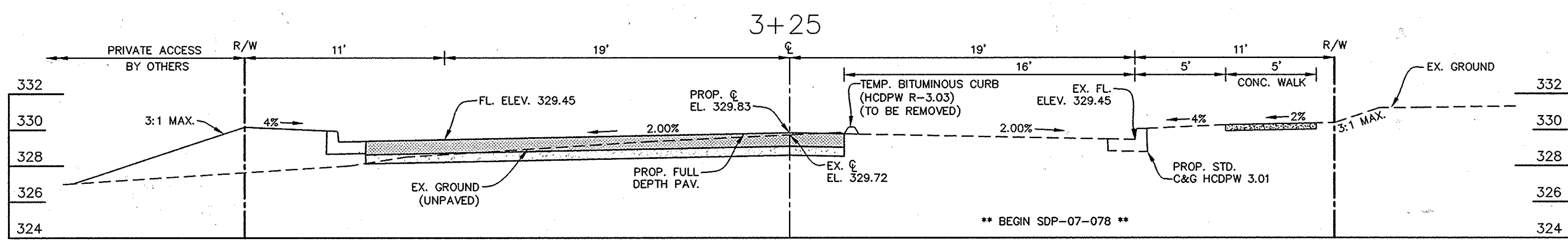
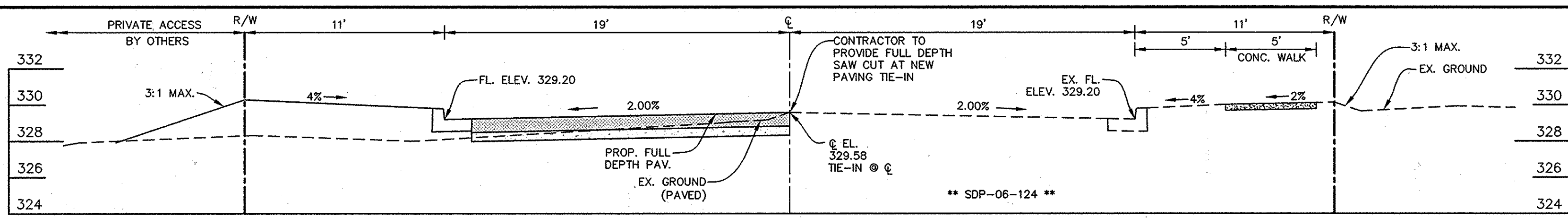
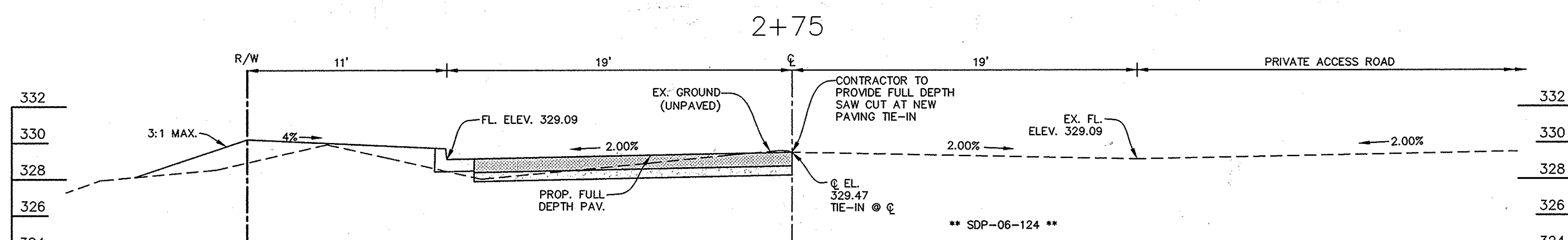
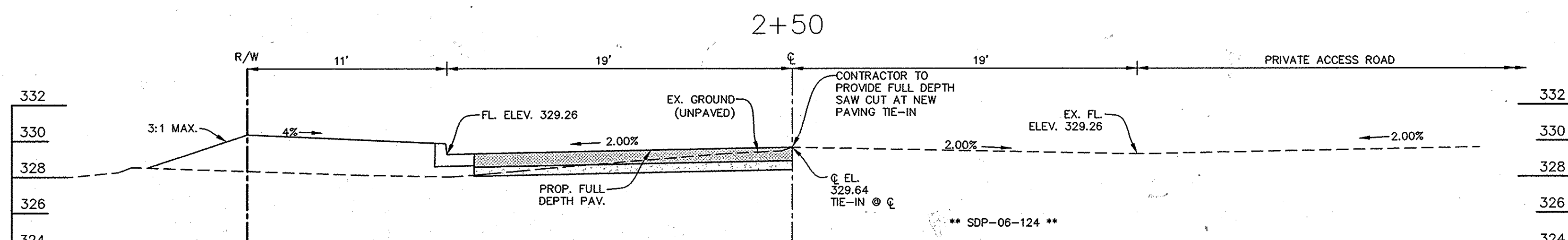
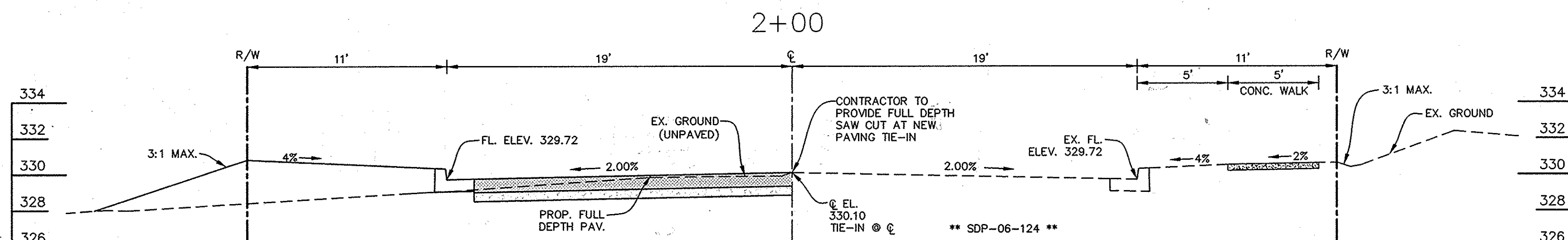
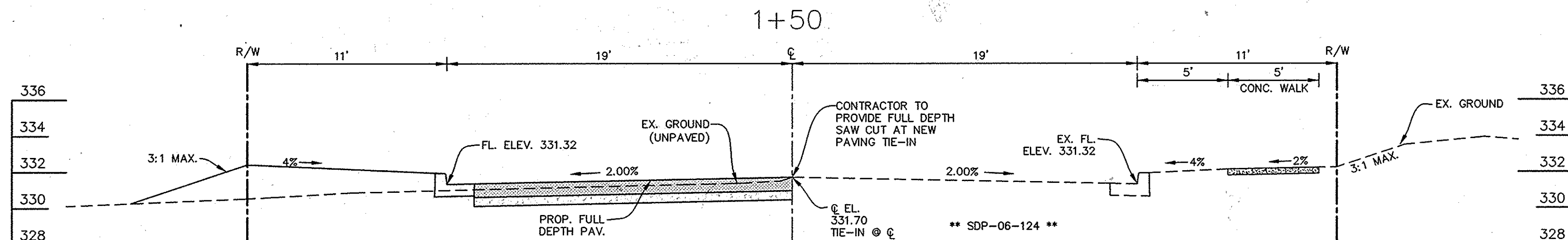
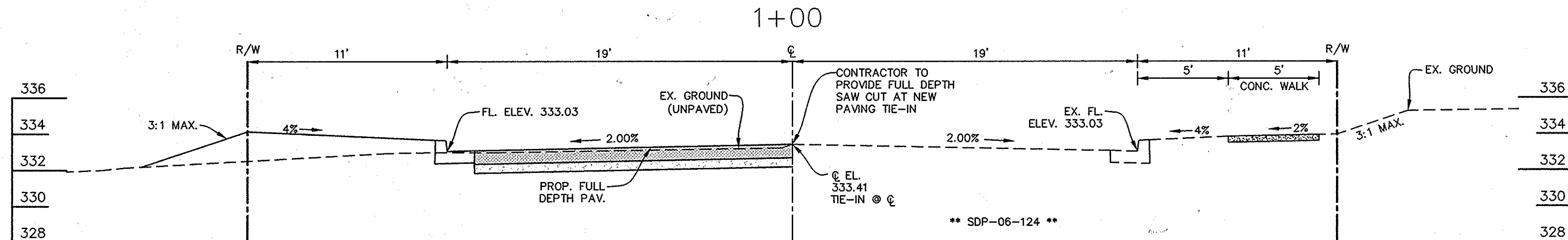
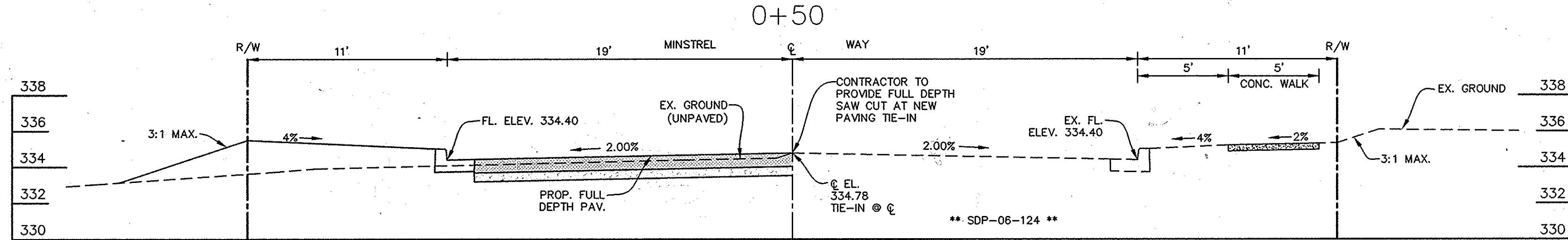
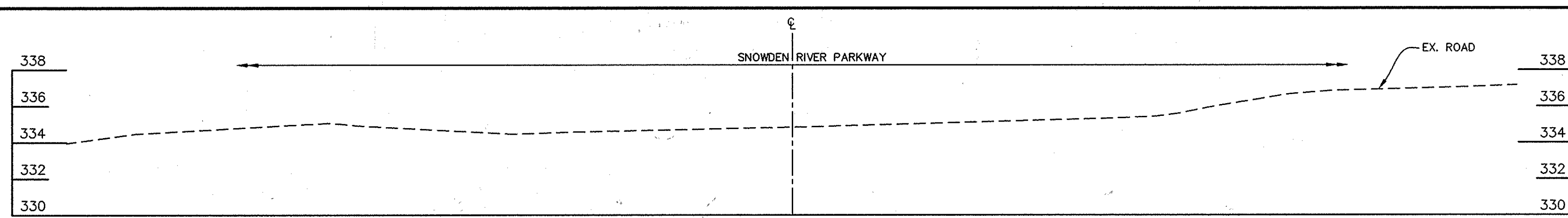
OWNER:
LOT 22
TSC SNOWDEN RIVER LLC,
C/O RZZ LLC,
12 GRAY HERON RETREAT
SAVANNAH, GA 21411
LOT 23
TWINKIES LLC,
9640 GERWIG LANE
COLUMBIA, MD 21045

DEVELOPER:
H&H ROCK
6800 DEERPATH ROAD
SUITE 100
ELKRIDGE, MD 21075
410-579-2442

LA1	ADDED SHEET 11	9/15
LA1	ADDED SHEETS 2-10	10/12
BY NO.	REVISION	DATE

ROAD PROFILE - MINSTREL WAY
(SEE SDP-07-078 FOR ADDITIONAL INFORMATION)
SCALE HORIZ: 1"=50'
VERT: 1"=5'

ROAD
MINSTREL WAY
REVISED SDP-72-78c
LOTS 22 & 23 E.G.U. SUBDIVISION
(F.K.A. LOTS 6 AND 9)
SECTION 2, COLUMBIA, MD
ELECTION DISTRICT 6
PLAT REF. 14470
SCALE: AS SHOWN
HOWARD COUNTY, MD
M 42 G 9 P 375
OCTOBER 12, 2012
SHEET 4 OF 11

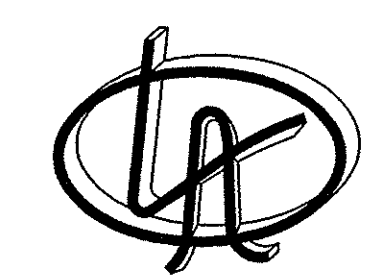
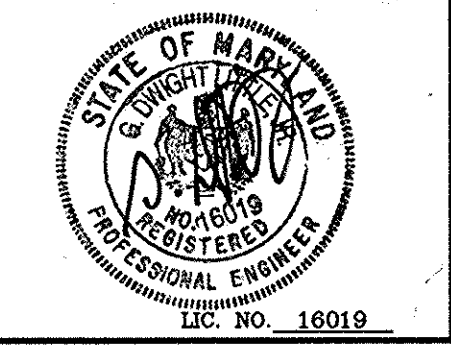


APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE 4/19/12

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16019, EXPIRATION DATE 5/8/2014.

NOTE: TYPE P-4 PAVING SECTION TO BE USED

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
CHIEF, DIVISION OF LAND DEVELOPMENT
DIRECTOR



LITTLE & ASSOCIATES, INC.
ENGINEERS~LAND PLANNERS~SURVEYORS
1055 TAYLOR AVENUE, SUITE 307
TOWSON, MARYLAND 21286
PHONE: (410)296-1636 FAX: (410)296-1639

OWNER:
LOT 22
TSC SNOWDEN RIVER LLC,
C/O RZZ LLC,
12 GRAY HERON RETREAT
SAVANNAH, GA 21411

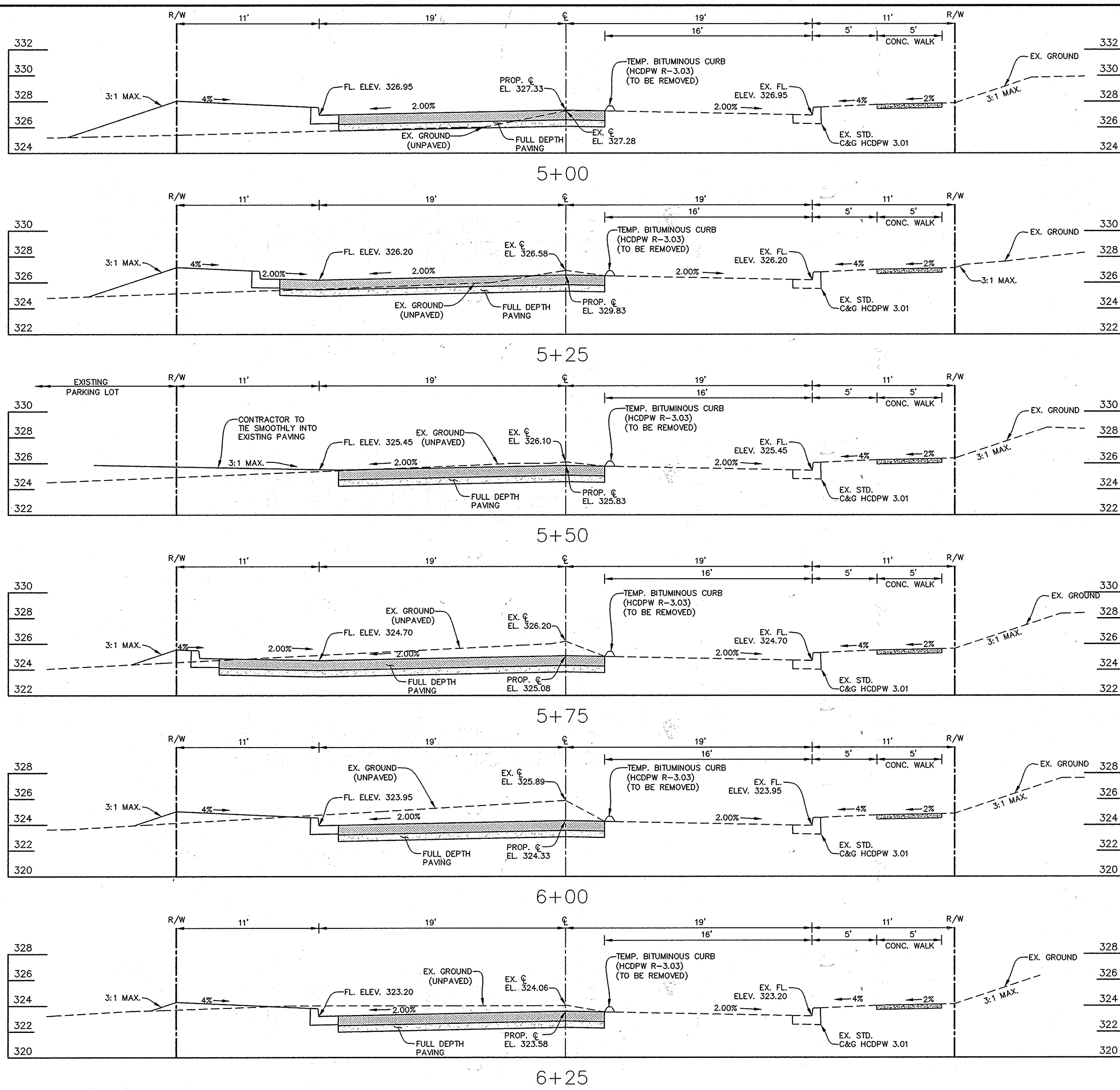
LOT 23
TWINKIES LLC,
9640 GERWIG LANE
COLUMBIA, MD 21045

DEVELOPER:	H&H ROCK	6800 DEERPATH ROAD	SUITE 100	ELKRIDGE, MD 21075	410-579-2442
REVISION	DATE	BY	NO.	NO.	DATE

ROAD CROSS-SECTIONS - MINSTREL WAY
REVISED SDP-72-78c
LOTS 22 & 23 E.G.U. SUBDIVISION
(F.K.A. LOTS 6 AND 9)
SECTION 2, COLUMBIA, MD

ELECTION DISTRICT 6
PLAT REF. 14470
SCALE: AS SHOWN

HOWARD COUNTY, MD
M 42 G 9 P 375
OCTOBER 12, 2012
SHEET 5 OF 11



NOTE: TYPE P-4 PAVING SECTION TO BE USED

APPROVED
PLANNING BOARD OF HOWARD COUNTY
4/19/12
[Signature]

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APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 12/2/12
CHIEF, DEVELOPMENT ENGINEERING DIVISION
[Signature] 12/03/12
CHIEF, DIVISION OF LAND DEVELOPMENT
[Signature] 12/1/12
DIRECTOR



LITTLE & ASSOCIATES, INC.
ENGINEERS~LAND PLANNERS~SURVEYORS
1055 TAYLOR AVENUE, SUITE 307
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LOT 23
TWINKIES LLC,
9640 GERWIG LANE
COLUMBIA, MD 21045

DEVELOPER:
H&H ROCK
6800 DEERPATH ROAD
SUITE 100
ELKRIDGE, MD 21075
410-579-2442

BY	NO.	REVISION	DATE
LAI	2	ADDED SHEET 11	9/15
LAI	1	ADDED SHEETS 2-10	10/12

ROAD CROSS-SECTIONS - MINSTREL WAY
REVISED SDP-72-78c
LOTS 22 & 23 E.G.U. SUBDIVISION
(F.K.A. LOTS 6 AND 9)
SECTION 2, COLUMBIA, MD

ELECTION DISTRICT 6
PLAT REF. 14470
SCALE: AS SHOWN
DRG NO.:

HOWARD COUNTY, MD
M.42 G 9 P 375
OCTOBER 12, 2012
SHEET 6 OF 11

ESD NARRATIVE:

- NO NATURAL RESOURCES SUCH AS STEEP SLOPES, WETLANDS, STREAMS, OR VALUABLE FOREST LAND EXIST ON-SITE. THE PROPOSED ENVIRONMENTAL SITE DESIGN WILL PROVIDE STORMWATER QUALITY TREATMENT FOR THE NEW DEVELOPMENT. NO STORMWATER QUALITY TREATMENT EXISTS FOR THE EXISTING CONDITIONS.
- THE IMPROVEMENTS AND DEVELOPED AREA WILL MAINTAIN THE EXISTING DRAINAGE PATTERNS AS CLOSELY AS POSSIBLE. NO IMPACT IS PROPOSED THAT WOULD ALTER ANY NATURAL FLOW PATTERNS.
- NON-STRUCTURAL PRACTICES WERE ANALYZED TO THE MAXIMUM EXTENT PRACTICABLE DUE TO THE LIMITED RIGHT-OF-WAY AREA AVAILABLE FOR STORMWATER MANAGEMENT. NON-STRUCTURAL PRACTICES WERE NOT FEASIBLE.
- THE REQUIRED EROSION AND SEDIMENT CONTROL MEASURES WILL BE IN ACCORDANCE WITH MDE STANDARDS AND SPECIFICATIONS UTILIZING SILT FENCES AND SUPER SILT FENCES. NO CONCENTRATED FLOW IS PROPOSED. NO SEDIMENT TRAPS OR BASINS ARE REQUIRED.
- TABLE 5.2 SUMMARY OF SITE DEVELOPMENT STRATEGIES WAS UTILIZED TO THE EXTENT ALLOWABLE BY THE CURRENT HOWARD COUNTY ZONING AND LAND DEVELOPMENT REGULATIONS BY MINIMIZING DISTURBANCE.
- IMPERVIOUS AREAS WERE MINIMIZED FOR THE SITE AND THE FOLLOWING ESD MEASURES WERE UTILIZED, BASED ON SITE CONSTRAINTS:
 - BIO-SWALES (M-8)

SITE ANALYSIS DATA:

A) AREA OF SITE (L.O.D. LOT 23 ONLY)** 0.25 AC.±
(TREATMENT OF LOT 22 BY OTHERS)
LIMIT OF DISTURBANCE** 0.25 AC.±

B) AREA OF WETLANDS: 0 AC.
C) AREA OF FLOODPLAIN: 0 AC.
D) AREA OF STEEP SLOPES: 0 AC.
E) AREA OF FOREST: 0 AC.
F) TOTAL ENVIRONMENTAL SENSITIVE AREA: 0 AC.
G) DEVELOPABLE AREA: 0.25 AC.±
EXISTING IMPERVIOUS AREA (TBR): 1,980 SF ± / 0.04 AC
NEW IMPERVIOUS AREA:
BUILDING: 6,500 S.F. / 0.15 AC
ROADS: 6,500 S.F. / 0.15 AC
SIDEWALK: 0 S.F. / 0 AC
TOTAL NEW IMPERVIOUS: 6,500 S.F. / 0.15 AC
NET NEW IMPERVIOUS: 4,510 S.F. / 0.11 AC

H) NO SLOPES OF 15%-24.99% OR SLOPES OF 25% OR GREATER EXIST ON-SITE.
I) NO ERODIBLE SOILS EXIST ON-SITE.
J) DPZ FILE REFERENCES: SDP-72-78c

**LOT 22 IS CURRENTLY UNDER REDEVELOPMENT BY OTHERS. THIS SUBMISSION IS FOR THE IMPERVIOUS SURFACE ASSOCIATED WITH THAT PORTION OF MINSTREL WAY WIDENING ACROSS THE FRONTAGE OF LOT 23. STORMWATER MANAGEMENT TREATMENT FOR THAT IMPERVIOUS SURFACE ACROSS LOT 22 WILL BE BY OTHERS.

BMP NO.	PRACTICE	DRAINAGE AREA	REQUIRED ESDV / TARGET ESDV	PROVIDED ESDV
1	BIO-SWALE #1 (M-8)	0.11 AC.	458 CF	480 CF
2	BIO-SWALE #2 (M-8)	0.07 AC.	293 CF	279 CF
TOTAL		0.18 AC.	751 CF	759 CF

THEREFORE, ESD-MEP WILL BE MET ONSITE THROUGH THE USE OF TWO BIO-SWALES (M-8).

THESE SWM BMP'S WILL BE BUILT IN ACCORDANCE WITH HOWARD COUNTY STANDARDS AND SPECIFICATIONS AND WILL BE MAINTAINED BY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

© STA 6+60.10 ± 25.00' LT.
N 549,391.41
E 1,356,101.07

© STA 6+09.45 ± 25.00' LT.
N 549,436.78
E 1,356,123.58

TO H-3 TREATED VIA BIOSWALE (M-8) #2
A=2,833 SF (0.07 AC.)
C=0.68 (<25YR)
C=0.76 (>25YR)
Tc=5 MIN

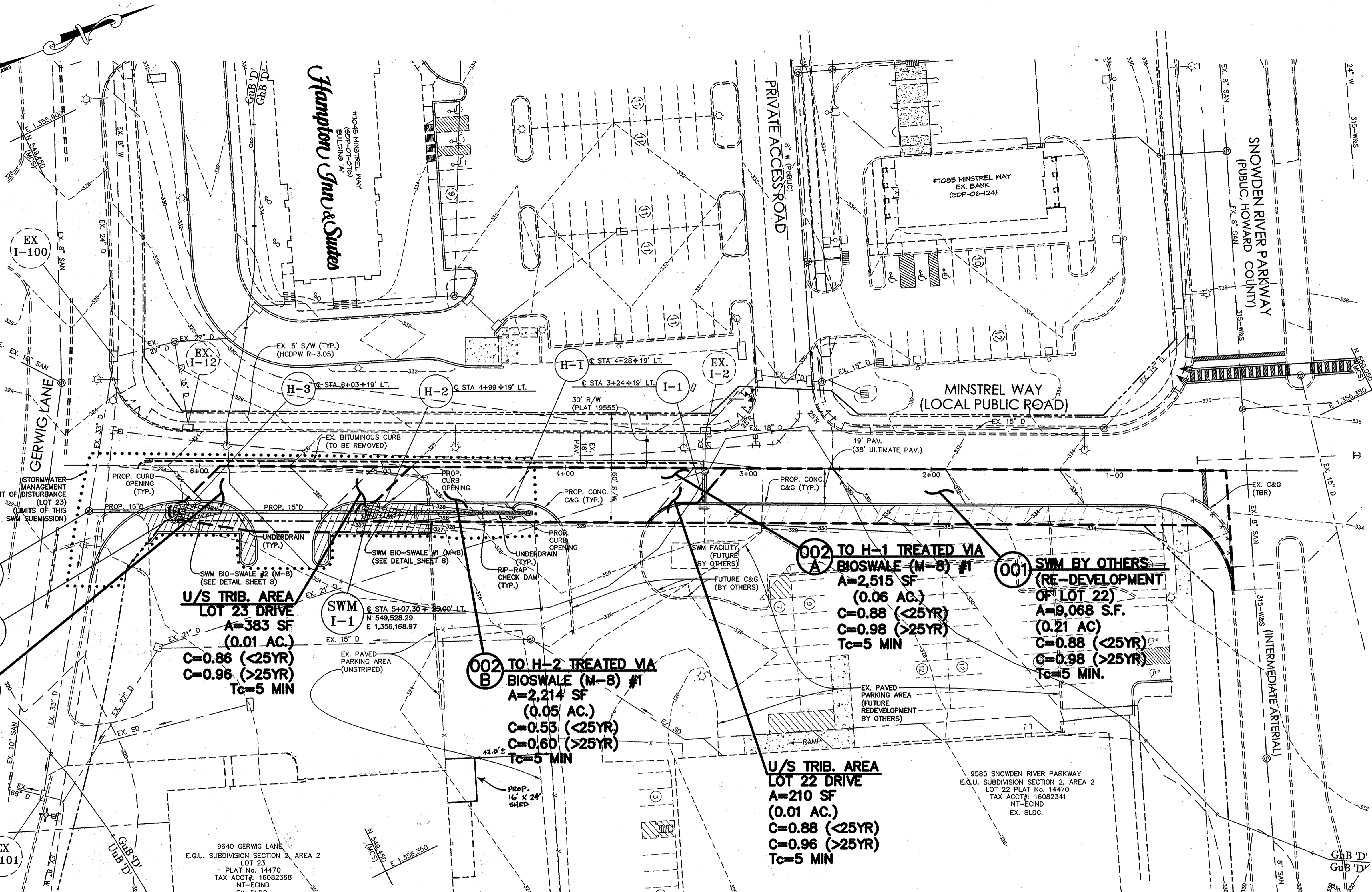
U/S TRIB. AREA LOT 23 DRIVE
A=383 SF (0.01 AC.)
C=0.86 (<25YR)
C=0.96 (>25YR)
Tc=5 MIN

TO H-2 TREATED VIA BIOSWALE (M-8) #1
A=2,214 SF (0.05 AC.)
C=0.53 (<25YR)
C=0.60 (>25YR)
Tc=5 MIN

U/S TRIB. AREA LOT 22 DRIVE
A=210 SF (0.01 AC.)
C=0.88 (<25YR)
C=0.96 (>25YR)
Tc=5 MIN

TO H-1 TREATED VIA BIOSWALE (M-8) #1
A=2,515 SF (0.06 AC.)
C=0.88 (<25YR)
C=0.98 (>25YR)
Tc=5 MIN

SWM BY OTHERS (RE-DEVELOPMENT OF LOT 22)
A=9,068 S.F. (0.21 AC)
C=0.88 (<25YR)
C=0.98 (>25YR)
Tc=5 MIN.



LEGEND

EXISTING CONTOUR	--- 136
PROPOSED CONTOUR	--- 136
EXISTING FENCE	- - - X
PROPERTY LINE	--- X
EX. GAS LINE	--- X
LIMIT OF DISTURBANCE
EXISTING IMPERVIOUS SURFACE TO BE REMOVED; REDEVELOPMENT CREDIT (SECTION 5.5)	[Hatched Box]
PROPOSED BIO-SWALE (M-8)	[Cross-hatched Box]
EX. PAVING TBR (BY OTHERS)	[Diagonal Lines Box]
EX. CURB, TO BE REMOVED	--- X
PROPOSED SIDEWALK	--- X
PROPOSED FLOW THRU INLET (SHA MD 640.01) (SEE DETAIL, SHEET 8)	[Inlet Symbol]
EXISTING INLET	[Inlet Symbol]
PROPOSED STORM DRAIN	--- X
UNDERGROUND ELECTRIC	--- UGE
PROP. SPOT ELEVATION	324x62
PROP. TOP CURB ELEVATION	TC 323x91
PROP. BOTTOM CURB ELEVATION	BC 324x32
EX. SPOT ELEVATION	322.91
STORMWATER MANAGEMENT BEST MANAGEMENT PRACTICE DRAINAGE AREA	[Dashed Line]
SOIL BOUNDARY	--- GhB'D

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: 4/19/12
[Signature]

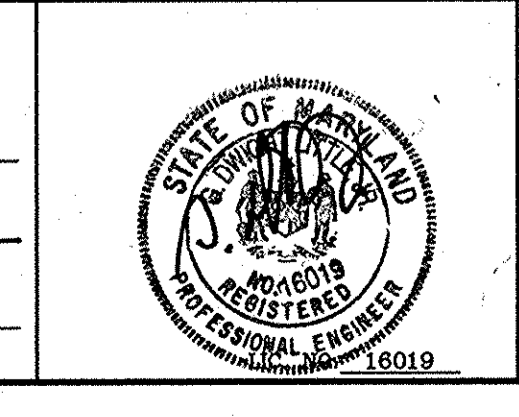
NOTE
A SIMPLIFIED ENVIRONMENTAL CONCEPT PLAN (ECP) WAS APPROVED BY THE DEPARTMENT OF PLANNING AND ZONING, DEVELOPMENT ENGINEERING DIVISION ON APRIL 9, 2012.

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16019, EXPIRATION DATE 5/8/2014.

SOILS DESCRIPTION:

SOIL DESIGNATION	SOIL TYPES	SOIL CHARACTERISTICS	H.S.G.
GhB	GLENELO-URBAN LAND COMPLEX	0-8% MODERATELY ERODED	D
GuB	GLENELO-URBAN LAND-UDORMENTS COMPLEX	0-8% SLIGHTLY ERODED	D

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signatures and Dates]



LITTLE & ASSOCIATES, INC.
ENGINEERS~LAND PLANNERS~SURVEYORS
1055 TAYLOR AVENUE, SUITE 307
TOWSON, MARYLAND 21286
PHONE: (410)296-1636 FAX: (410)296-1639

OWNER:

LOT 22
TSC SNOWDEN RIVER LLC,
C/O RZZ LLC,
12 GRAY HERON RETREAT
SAVANNAH, GA 21411

LOT 23
TWINKIES LLC,
9640 GERWIG LANE
COLUMBIA, MD 21045

DEVELOPER:
H&H ROCK
6800 DEERPATH ROAD
SUITE 100
ELKRIDGE, MD 21075
410-579-2442

BY	NO.	REVISION	DATE
LAI	2	ADDED SHED TO LOT 23; ADDED SHEET 11	9/15
LAI	1	ADDED SHEETS 2-10	10/12

STORMWATER MANAGEMENT & STORM DRAIN - PLAN
MINSTREL WAY IMPROVEMENTS
REVISED SDP-72-78c
LOTS 22 & 23 E.G.U. SUBDIVISION
(F.K.A. LOTS 6 AND 9)
SECTION 2, COLUMBIA, MD

ELECTION DISTRICT 6
PLAT REF. 14470
SCALE: AS SHOWN

HOWARD COUNTY, MD
M 42 G 9 P 375
OCTOBER 12, 2012
SHEET 7 OF 11

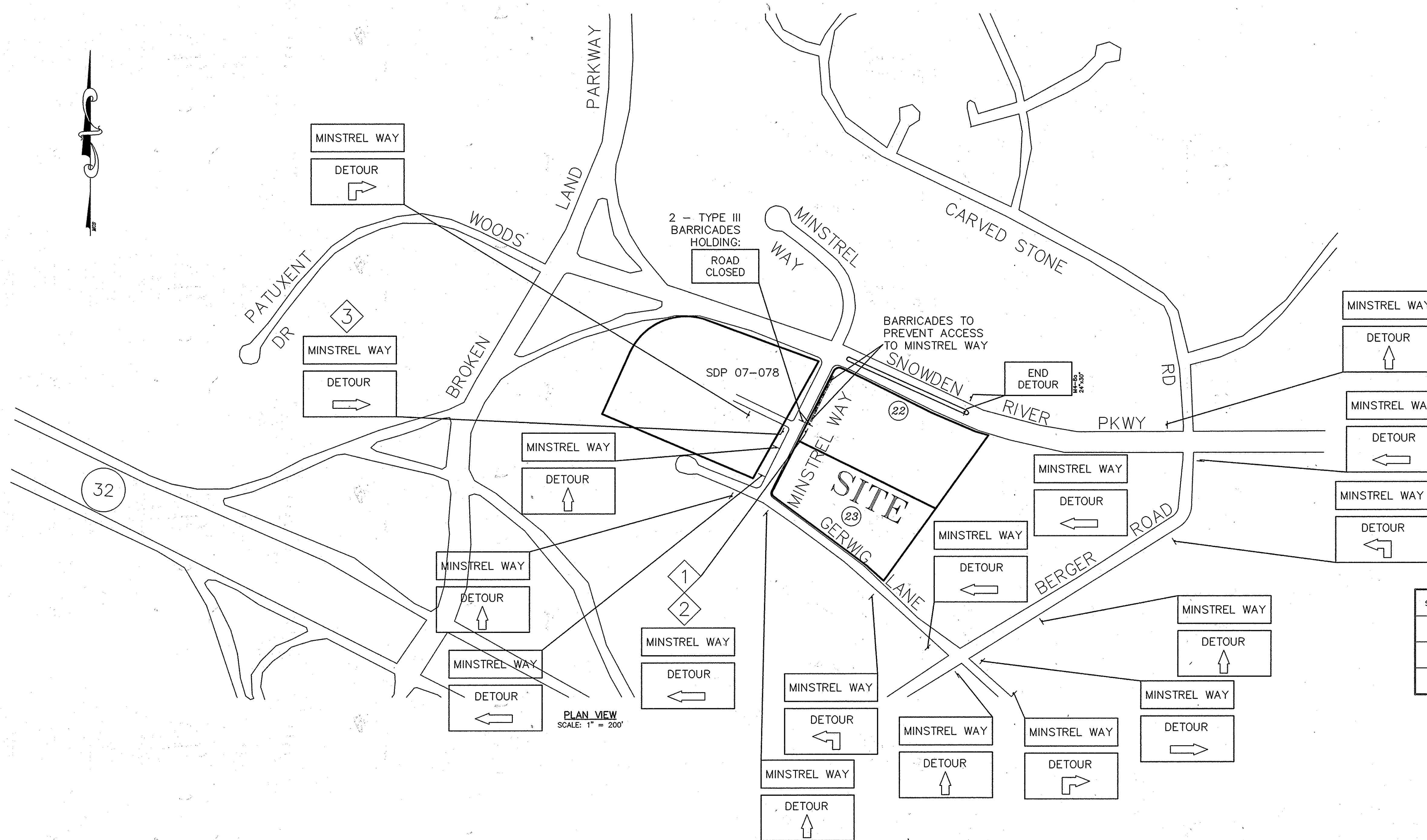
**SEQUENCE OF CONSTRUCTION FOR
MINSTREL WAY IMPROVEMENTS**

1. NOTIFY HOWARD COUNTY TRAFFIC ENGINEERING AT 410-313-2430.
2. INSTALL DETOUR SIGNS AS SHOWN ON MAINTENANCE OF TRAFFIC PLAN.
3. BEGIN INSTALLATION OF UTILITIES IN MINSTREL WAY.
4. COMPLETE CONSTRUCTION OF MINSTREL WAY AS SHOWN IN APPROVED ROAD DRAWINGS.
5. OPEN MINSTREL WAY TO TRAFFIC AND REMOVE DETOUR SIGNAGE.

NOTE: ACCESS TO EXISTING BUSINESSES ALONG MINSTREL WAY MUST BE MAINTAINED AT ALL TIMES.

NOTES:

1. TRAFFIC ENGINEERING MUST BE NOTIFIED AT LEAST THREE WEEKS PRIOR TO MINSTREL WAY BEING CLOSED AT 410-313-2430.
2. ALL DETOUR SIGNS MUST BE COVERED WHEN NOT IN USE.
3. ALL DETOUR SIGNS LOCATIONS SHALL BE MARKED BY HOWARD COUNTY TRAFFIC DIVISION BEFORE SIGN INSTALLATION AND ALL BARRICADE LOCATIONS SHALL BE APPROVED BEFORE THE ROAD CAN BE CLOSED.
4. ALL DETOUR SIGNS SHALL BE MOUNTED ON 4' x 4' WOOD POSTS AND COVERED WITH OPAQUE MATERIAL PRIOR TO IMPLEMENTING DETOUR.
5. DETOUR SIGNS SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE M.U.T.C.D., AND MAY NOT CONFLICT WITH ANY EXISTING SIGNS.



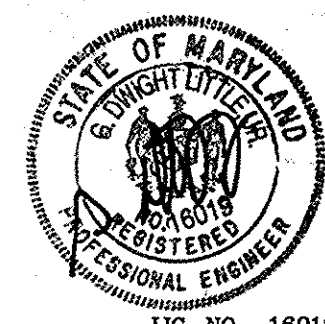
SYMBOL	M.U.T.C.D. DESIGNATION	SIZE	QTY	COLOR	
				BACKGROUND	CHARACTERS
①	R1-1	30"x30"	1	RED	WHITE
②	R3-1	30"x30"	1	WHITE	BLACK/RED
③	R3-2	30"x30"	1	WHITE	BLACK/RED

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE 4/19/12
[Signature]

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16019, EXPIRATION DATE 5/8/2014.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE 12/3/12
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE 1/23/12
DIRECTOR
DATE 12/3/12



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ENGINEERS~LAND PLANNERS~SURVEYORS
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DEVELOPER:
H&H ROCK
6800 DEERPATH ROAD
SUITE 100
ELKRIDGE, MD 21075
410-579-2442

BY	NO.	REVISION	DATE
LAI	1	ADDED SHEET 11	9/5
LAI	2	ADDED SHEETS 2-10	10/12

**MAINTENANCE OF TRAFFIC PLAN
MINSTREL WAY IMPROVEMENTS
REVISED SDP-72-78c
LOTS 22 & 23 E.G.U. SUBDIVISION
(F.K.A. LOTS 6 AND 9)
SECTION 2, COLUMBIA, MD**

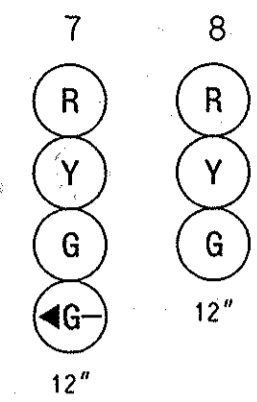
ELECTION DISTRICT 6
PLAT REF. 14470
SCALE: AS SHOWN

HOWARD COUNTY, MD
M 42. G 9 P 375
OCTOBER 12, 2012

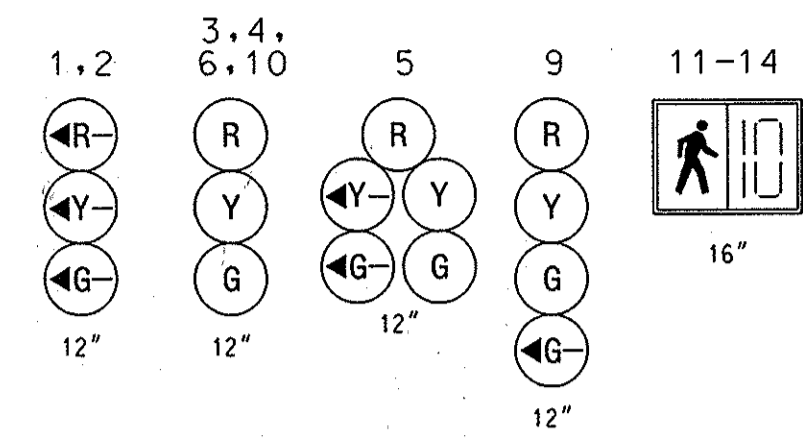
△ SHEET 9 OF 11

SDP-72-78c

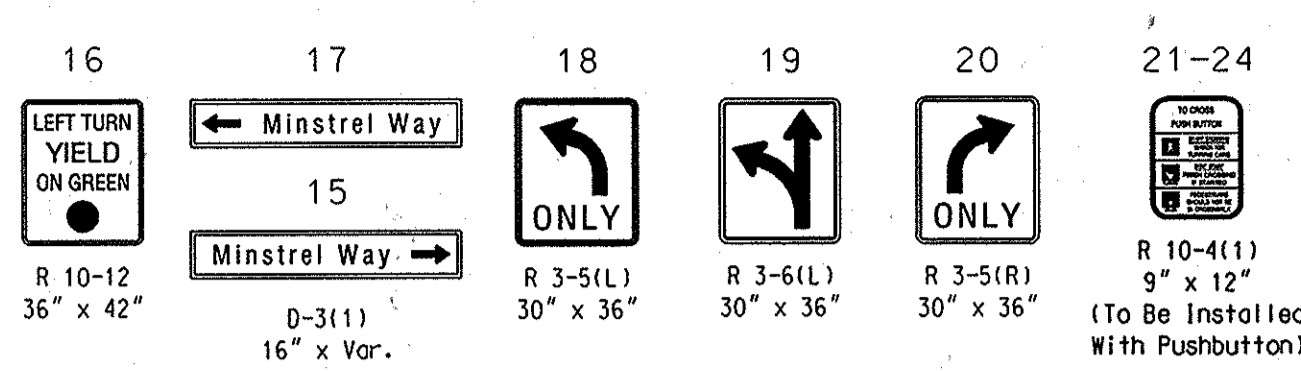
RELOCATE SIGNALS



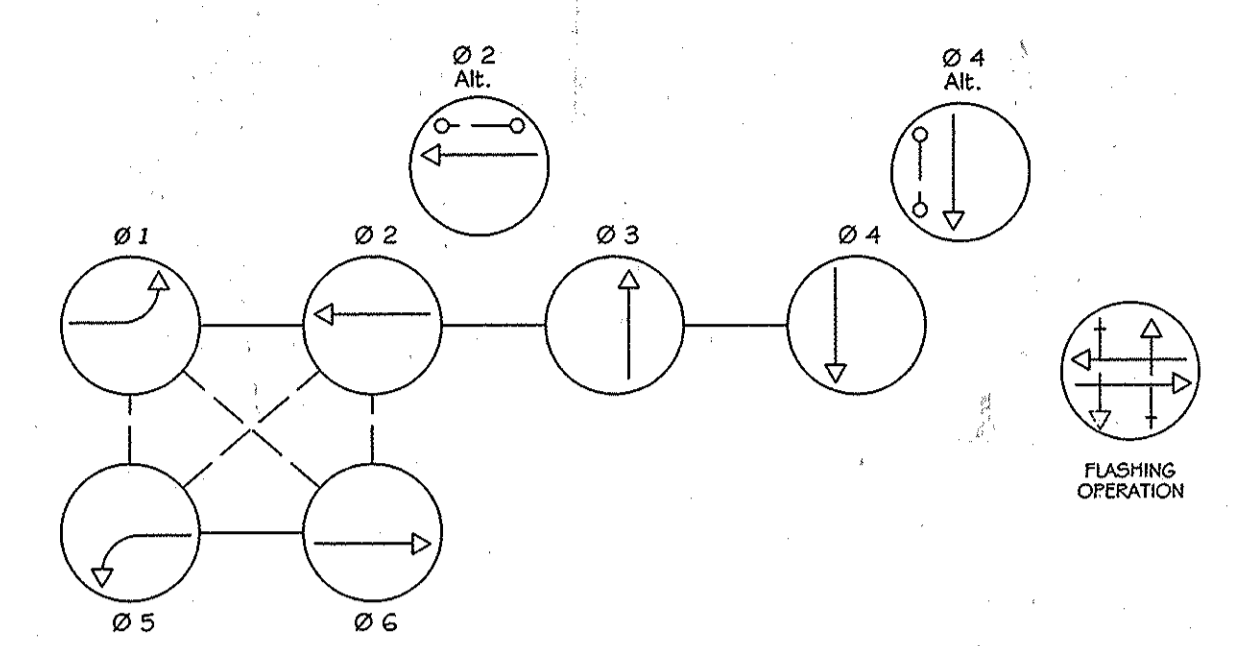
EXISTING SIGNALS



EXISTING SIGNS

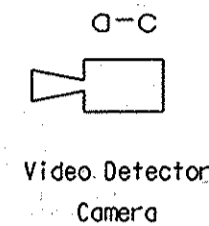


EXISTING NEMA PHASING

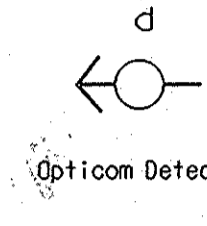


NEMA notes:
Phases associated by a dashed line will operate concurrently.
Phases associated by a solid line will not operate concurrently.

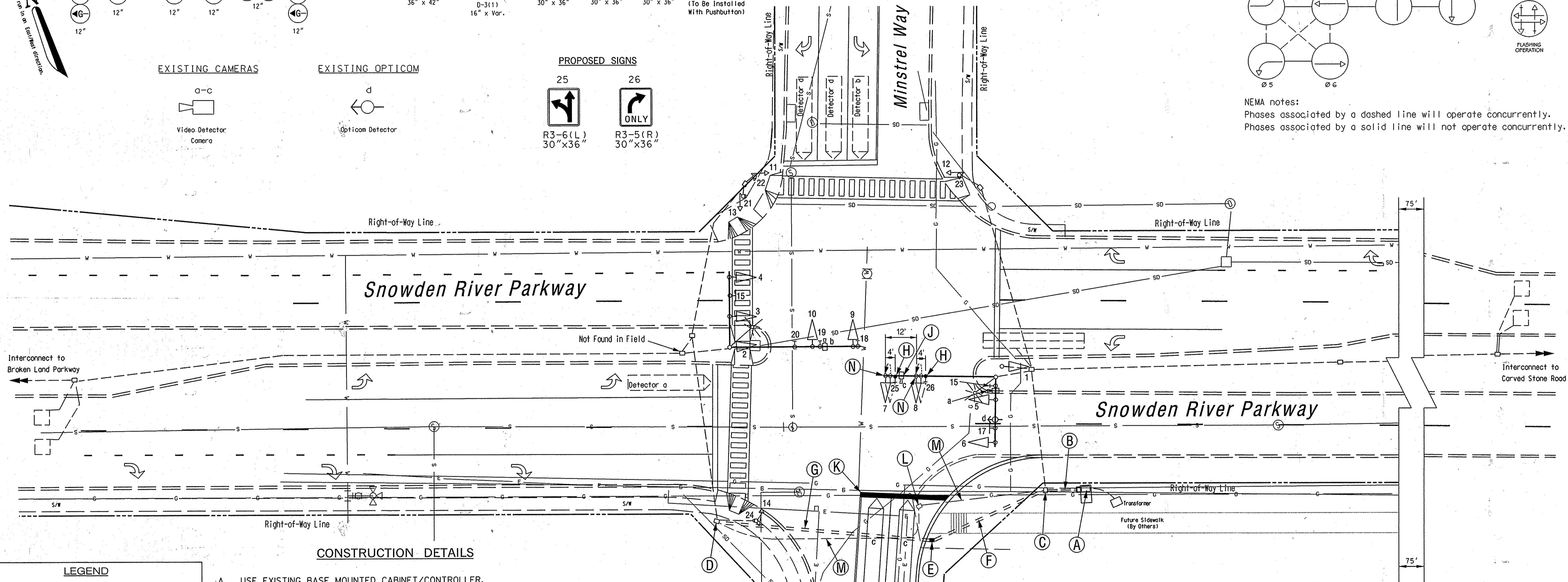
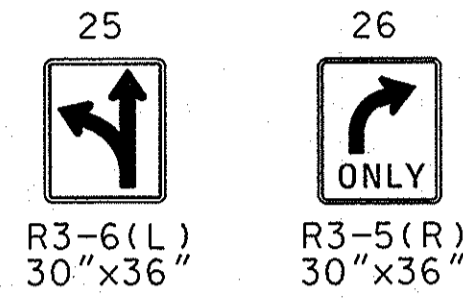
EXISTING CAMERAS



EXISTING OPTICOM



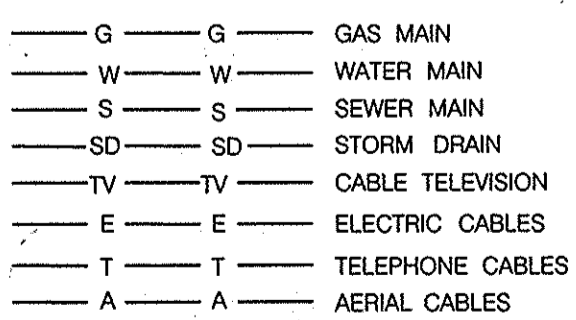
PROPOSED SIGNS



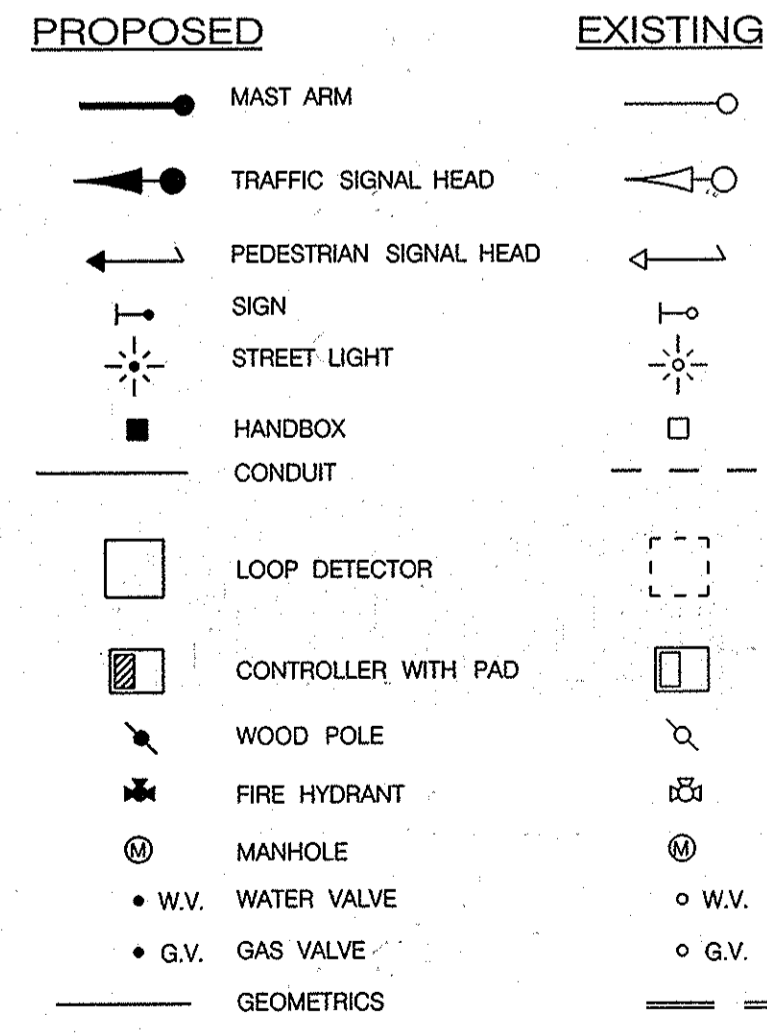
CONSTRUCTION DETAILS

- A. USE EXISTING BASE MOUNTED CABINET/CONTROLLER.
- B. USE EXISTING CONDUIT.
- C. USE EXISTING HANDBOX.
- D. USE EXISTING HANDBOX. DISCONNECT AND PULL BACK EXISTING CABLES FROM THE CONTROLLER/CABINET AND RE-RUN/RECONNECT USING THE NEW CONDUIT.
- E. INSTALL HANDBOX.
- F. INSTALL 4 IN. PVC SCHEDULE 80 ELECTRICAL CONDUIT - TRENCHED.
- G. INSTALL 4 IN. PVC SCHEDULE 80 ELECTRICAL CONDUIT - BORED.
- H. USE EXISTING MAST ARM POLE. INSTALL NEW SIGNS AS SHOWN.
- J. ADJUST EXISTING VIDEO DETECTION CAMERA FOR NEW LANE USE.
- K. INSTALL 24 IN. HEAT APPLIED, WHITE PERMANENT PREFORMED THERMOPLASTIC PAVEMENT MARKING FOR STOP LINE.
- L. REMOVE EXISTING HANDHOLE.
- M. CAP AND ABANDON EXISTING CONDUIT.
- N. RELOCATE EXISTING VEHICLE SIGNAL HEAD.

UTILITY LEGEND



LEGEND



EQUIPMENT LIST

EQUIPMENT TO BE FURNISHED AND/OR INSTALLED BY THE CONTRACTOR.

QUANTITY	UNITS	DESCRIPTION
LUMP SUM	LS	MAINTENANCE OF TRAFFIC
LUMP SUM	LS	MOBILIZATION
1	EA	30 IN. X 36 IN. R3-5(R) REGULATORY SIGN - MAST ARM
1	EA	30 IN. X 36 IN. R3-6(L) REGULATORY SIGN - MAST ARM
1	EA	HANDBOX
50	LF	4 IN. PVC CONDUIT [SCHEDULE 80] - TRENCHED
85	LF	4 IN. PVC CONDUIT [SCHEDULE 80] - BORED
35	LF	24 IN. WHITE THERMOPLASTIC PAVEMENT MARKING - STOP LINE
1	EA	REMOVE EXISTING HANDHOLE
2	EA	RELOCATE EXISTING SIGNAL HEAD - MAST
1	EA	ADJUST VIDEO DETECTION CAMERA
LUMP SUM	LS	RELOCATE EXISTING TRAFFIC SIGNAL CABLES (APPROX. 1800 LF)

PROFESSIONAL CERTIFICATION - I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO.: 33216 EXPIRATION DATE: 7/12/16

DEPARTMENT OF PUBLIC WORKS
HOWARD COUNTY, MARYLAND

Director of Public Works
11/19/2015

Chief, Bureau of Highways
11/23/2015

The Traffic Group
410-921-0000



DES: JUD
DRN: JUD
CHK: J.J.D.
DATE: Nov. 10, 2015

BY	NO.	REVISION	DATE
FJH	1	COUNTY COMMENTS OCT 8, 2012	10/7/12

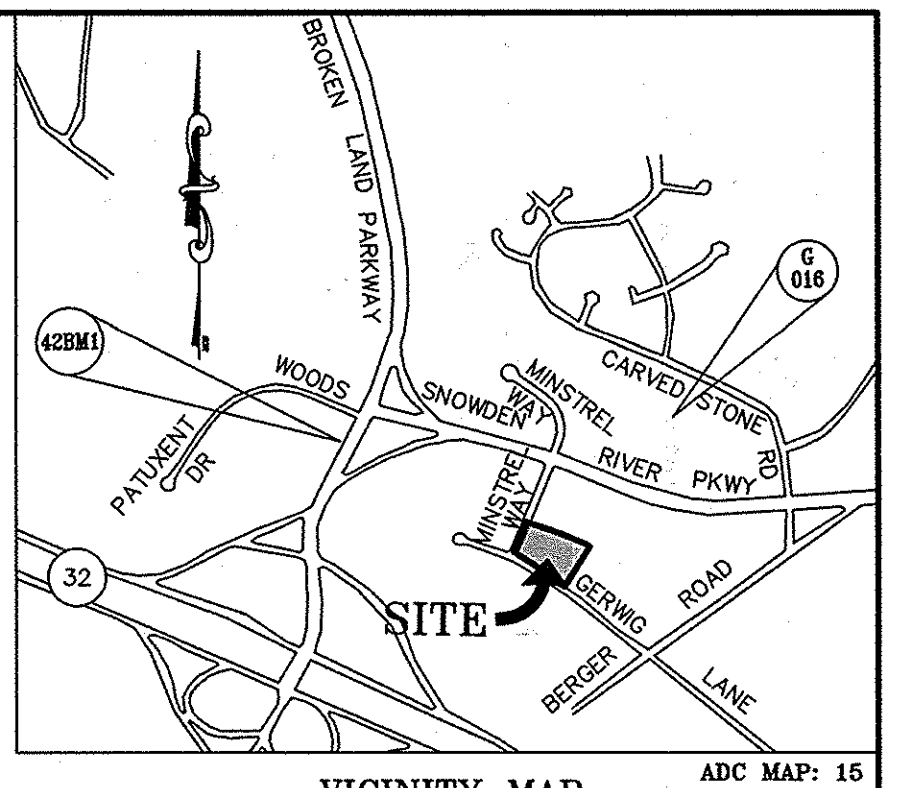
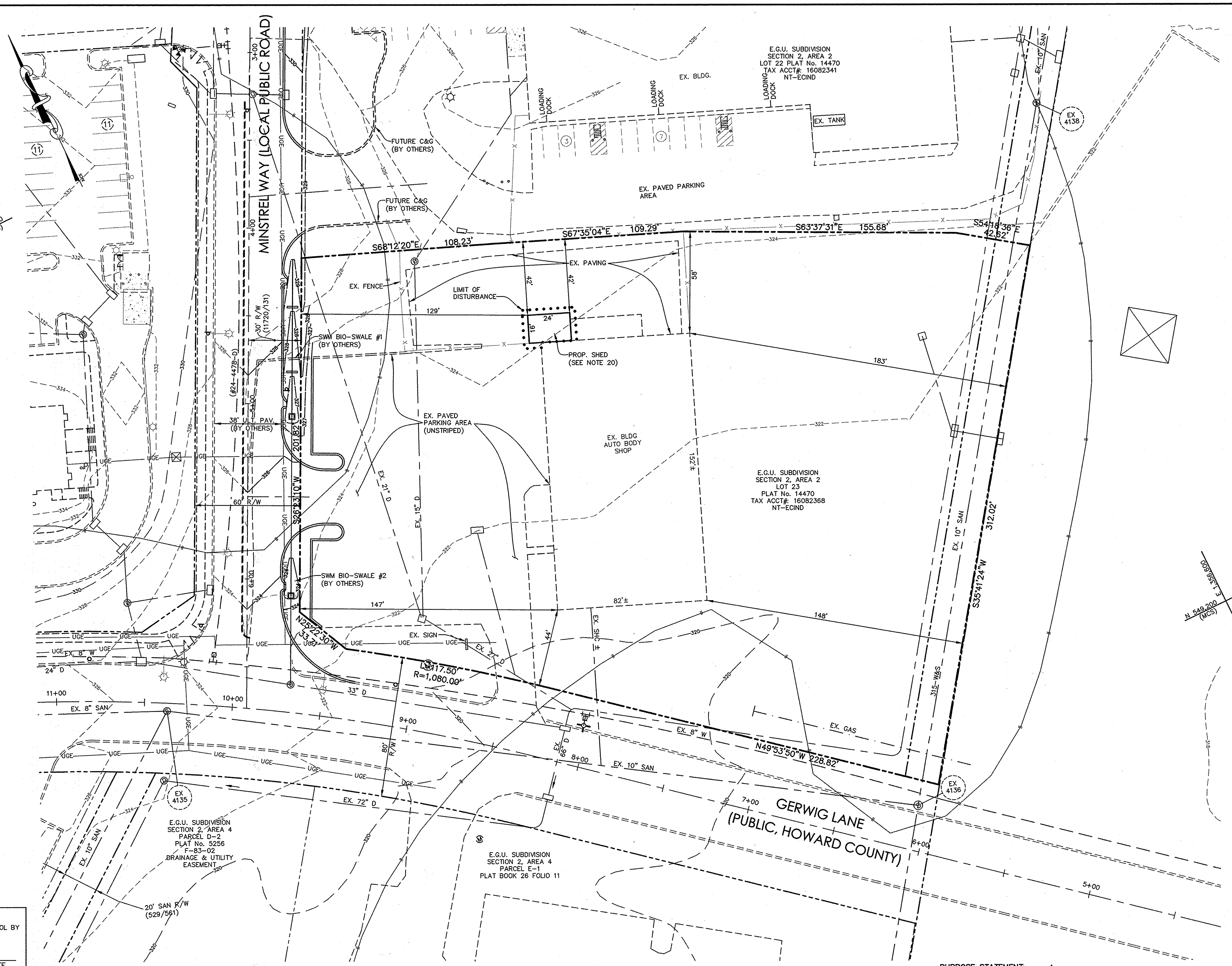
CAPITAL PROJECT NO.

TRAFFIC SIGNAL PLAN
Revised SDP-72-78C
Snowden River Parkway
at
Minstrel Way

SCALE:
1" = 20'
SHEET
10 OF 10

SDP-72-78C

- LEGEND**
- 69.5 EX SPOT ELEVATION
 - 69x5 PROP SPOT ELEVATION
 - ⊙ SANITARY MANHOLE
 - ⊙ STORM DRAIN MANHOLE
 - ⊙ WATER METER
 - ⊙ FIRE HYDRANT
 - ⊙ WATER VALVE
 - ⊙ CLEANOUT
 - ⊙ UTILITY POLE
 - (TBR) TO BE REMOVED
 - EXISTING CONTOUR
 - - - PROPOSED CONTOUR
 - TRACT BOUNDARY
 - LIMITS OF DISTURBANCE
 - MdB SOILS
 - EXISTING WOODS



VICINITY MAP
1"=1000'
ADC MAP: 15
COORD: J-13

BENCHMARK:
 GEODETIC CONTROL 0016: LOCATED AT CARVED STONE ROAD AND TRANSMISSION LINE (ELEV. 358.954)
 N 550.279.392 E 1,357.328.96
 BENCHMARK 428M1: CONCRETE MONUMENT AT CORNER OF BROKEN LAND PKWY AND SNOWDEN RIVER PKWY. (ELEV. 328.386)

SITE ANALYSIS DATA CHART

A) TOTAL PROJECT AREA:	2.4 AC± OR 104,696 S.F. (LOT 23)
B) AREA OF PLAN SUBMISSION:	2.4 AC± (LOT 23)
C) LIMIT OF DISTURBANCE:	600 S.F. (0.014 AC±) (LOT 23)
D) PRESENT ZONING DESIGNATION:	NT (NEW TOWN)
E) EXISTING/PROPOSED USE(S):	COMMERCIAL
J) DPZ FILE REFERENCES:	SDP-72-78c

- GENERAL NOTES:**
1. SITE ANALYSIS DATA:
 - TAX MAP: 42 PARCEL: 375 GRID: 9 LOT: 23
 - DEED REFERENCE: 08800/488
 - ELECTION DISTRICT: 6
 - ZONING: NT
 - TOTAL SITE AREA: 0.62 AC. (LIMIT OF DISTURBANCE)
 - LIMIT OF DISTURBANCE: 0.62 AC±
 - EXISTING/PROPOSED USE: COMMERCIAL
 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
 3. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT 410-313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
 4. THE CONTRACTOR WILL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
 5. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
 6. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 7. THE SUBJECT PROPERTY IS ZONED NT (NEW TOWN) FOR LOTS 23 PER THE COMPREHENSIVE ZONING PLAN.
 8. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. GC 0016 AND 428M1 WERE USED FOR THIS PROJECT.
 9. STORMWATER MANAGEMENT REQUIREMENTS FOR THAT PORTION OF MINSTREL WAY ACROSS THE FRONTAGE OF LOT 23 WILL BE MET THROUGH THE USE OF A PRIVATELY OWNED AND MAINTAINED BIO-SWALE. STORMWATER MANAGEMENT FOR LOT 22 WILL BE BY OTHERS.
 10. WATER IS PUBLIC (315-W&S). SEWER IS PUBLIC (315-W&S).
 11. EXISTING UTILITIES ARE BASED ON HOWARD COUNTY GIS DATA. FIELD VERIFICATION, AND APPROVED CONSTRUCTION DRAWINGS.
 12. THERE ARE NO KNOWN GRAVESTONES, BURIAL GROUNDS OR CEMETERIES ON THIS SITE.
 13. THERE ARE NO KNOWN WETLANDS OR FLOODPLAINS ONSITE.
 14. NO TRAFFIC STUDY IS REQUIRED FOR THIS PROJECT.
 15. ALL OUTDOOR LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF ZONING SECTION 134.
 16. IN ACCORDANCE WITH SUBDIVISION SECTION 16.1202(b)(1)(iv), THIS PLAN IS EXEMPT FROM COMPLIANCE WITH THE REQUIREMENTS OF THE FOREST CONSERVATION ACT BECAUSE LOTS 22 AND 23 ARE PART OF A PLANNED UNIT DEVELOPMENT WHICH HAD PRELIMINARY DEVELOPMENT APPROVAL AND 50% OR MORE OF THE LAND WAS RECORDED AND SUBSTANTIALLY DEVELOPED BEFORE DECEMBER 31, 1992.
 17. LOT 22 IS CURRENTLY UNDER REDEVELOPMENT BY OTHERS. STORMWATER MANAGEMENT TREATMENT FOR THAT IMPERVIOUS SURFACE ACROSS LOT 22 WILL BE BY OTHERS.
 18. STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURE AND POLE SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME III (1993) AND AS MODIFIED BY "GUIDELINES FOR STREET LIGHTS IN RESIDENTIAL DEVELOPMENTS (JUNE, 1993)". A MINIMUM SPACING OF 20' SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY TREE.
 19. ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 24" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
 20. THE 384 S.F. ADDITIONAL IMPERVIOUS AREA FOR THE SHED IS EXEMPT FROM STORMWATER MANAGEMENT. ANY FUTURE INCREASE WHERE THE CUMULATIVE TOTAL IS OVER 5,000 S.F. SHALL BE REQUIRED TO PROVIDE STORMWATER MANAGEMENT.

HOWARD SOIL CONSERVATION DISTRICT
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 HOWARD SOIL CONSERVATION DISTRICT _____ DATE _____

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 DATE 04/19/2012

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16019, EXPIRATION DATE 5/8/2016.



LITTLE & ASSOCIATES, INC.
 ENGINEERS~LAND PLANNERS~SURVEYORS
 1055 TAYLOR AVENUE, SUITE 307
 TOWSON, MARYLAND 21286
 PHONE: (410)296-1636 FAX: (410)296-1639

OWNER:
 LOT 23
 TWINKIES LLC;
 9640 GERWIG LANE
 COLUMBIA, MD 21045

DEVELOPER:
 LOT 23
 TWINKIES LLC
 9640 GERWIG LANE
 COLUMBIA, MD 21045
 410-309-4073

LA1	ADDED SHEET 11	9/15
BY	NO.	REVISION
		DATE

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO.
E.G.U. SUBDIVISION	SECT. 2 / AREA 2	LOT 23
PLAT # OR L/F	GRID	ELEC. DIST.
14470, 19555	9	42
WATER CODE	ZONING	CENSUS TRACT
E12	NT	6067.03
	TAX MAP NO.	SEWER CODE
	42	5272200

PLAN VIEW - LOT 23
REVISED SDP-72-78c
 LOTS 22 & 23 E.G.U. SUBDIVISION
 (F.K.A. LOTS 6 AND 9)
 SECTION 2, COLUMBIA, MD

ELECTION DISTRICT 6
 PLAT REF. 14470
 SCALE: AS SHOWN
 HOWARD COUNTY, MD
 M 42 G 9 P 375
 OCTOBER 8, 2015
 SHEET 11 OF 11