

**VICINITY MAP**  
SCALE: 1" = 800'

**OWNER and DEVELOPER**  
OAKLAND RIDGE INDUSTRIAL DEVELOPMENT CORP. - COLUMBIA MD. - OWNER  
HEATHROW BUSINESS CENTER - 4200 S. FOUR MILE RUN DRIVE - ARLINGTON, VA. - DEVELOPER

**SITE ANALYSIS:**  
AREA OF PARCELS: 5.4 AC.  
PRESENT ZONING: M.T. (NEW TOWN)  
TOTAL NUMBER OF EMPLOYEES: 85 APPROX.  
TOTAL FLOOR SPACE: 21,513.00 SQ. FT.  
TOTAL SALES AREA FLOOR SPACE: 9,581.58 SQ. FT. APPROX.  
SUBDIVISION PLAT REFERENCE: OAKLAND RIDGE INDUSTRIAL PARK

**PARKING REQUIREMENTS**

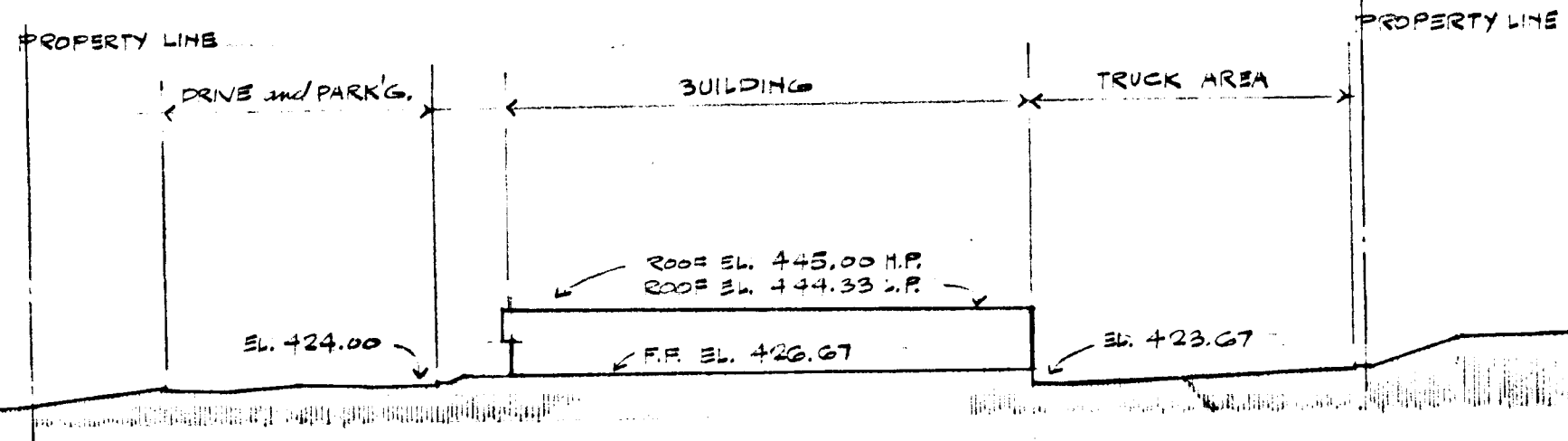
USE	AREA	RATIO	REQUIRED
WAREHOUSE	71,931.02 SQ. FT. APPROX.	1 SPACE / 2 EMP'S.	28 SPACES
OFFICE	9,581.58 SQ. FT. APPROX.	2 SPACES / 1,000 SQ. FT.	20 SPACES
		TOTAL SPACES REQ'D.	48 SPACES
		TOTAL SPACES PROVIDED	74 SPACES

**PARKING NOTE:**  
THE FIGURES TABULATED ABOVE ARE APPROX. ONLY DUE TO THE FACT EXACT OCCUPANCY IS NOT KNOWN.  
IN ANY CASE PARKING SHALL MEET OR EXCEED THE REQUIREMENTS AS REQUIRED BY HOWARD CO. STANDARD  
PARKING SPACES SHALL BE 10' x 20'

**SITE PLAN**  
SCALE: 1" = 30'

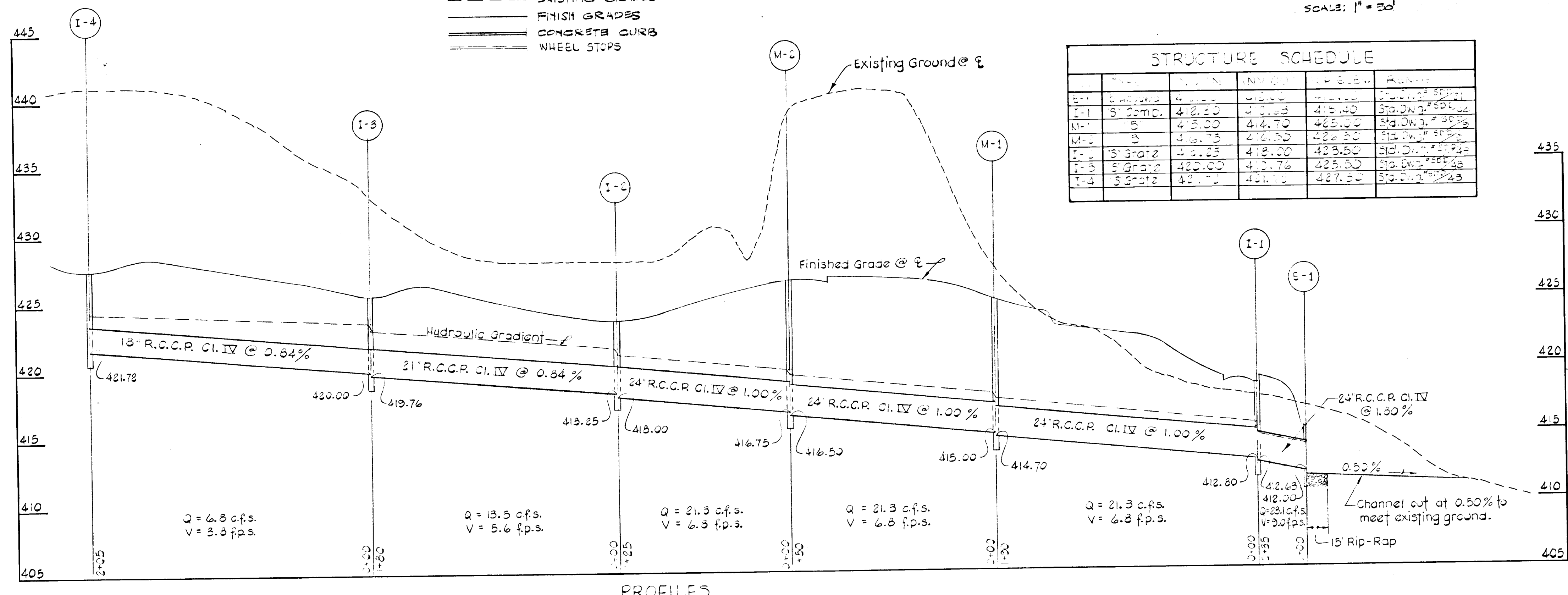
- EXISTING GRADES
- FINISH GRADES
- CONCRETE CURB
- WHEEL STOPS

**SCHEMATIC BUILDING PROFILE**  
SCALE: 1" = 50'



**STRUCTURE SCHEDULE**

NO.	DESCRIPTION	QTY	UNIT PRICE	TOTAL PRICE	REMARKS
1	1" R.C.C.R. CI. IV @ 0.84%	18	421.72	7590.96	
2	21" R.C.C.R. CI. IV @ 0.84%	21	420.00	8820.00	
3	24" R.C.C.R. CI. IV @ 1.00%	34	416.75	14169.50	
4	24" R.C.C.R. CI. IV @ 1.00%	24	416.50	9996.00	
5	24" R.C.C.R. CI. IV @ 1.00%	24	414.70	9952.80	
6	15 Rip-Rap	15	412.80	6192.00	



**PROFILES**  
SCALE: HORIZ. 1" = 30'  
VERT. 1" = 5'

**APPROVED**  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE: 5/3/72  
Sharon A. Harris

**APPROVED:** For public water and public sewerage systems,  
County Health Officer: *Sharon A. Harris* Date: 6/1/72

**APPROVED:** Howard County Office of Planning and Zoning,  
Planning Director: *Sharon A. Harris* Date: 6-6-72

**APPROVED:** Division of Land Development  
and Transportation Planning  
Date: 6/6/72

**APPROVED:** For public water, public sewerage and storm  
drainage systems and roads, Howard County  
Department of Public Works.  
Director: *William A. Ott* Date: 6/1/72

**APPROVED:** Bureau of Highways  
Date: 6/5/72

**GENERAL NOTES**

- 1) Except where otherwise noted all construction materials and details shall be in accordance with the latest revisions of the Howard County Road Construction Code and Standard Specifications.
- 2) Public water and sanitary sewer facilities are to be provided.
- 3) Proposed grades contours represent finished grades, contractor shall make allowances to subgrade for topsoil, paving and other surface finishes as required.
- 4) Location of existing utilities is approximate only and is obtained from recorded drawings. Contractor shall notify all utility companies involved and locate all existing utilities to his own satisfaction before any connections are made.
- 5) See architectural drawings for building dimensions.
- 6) Parking lot paving shall consist of 4" bituminous concrete base band C-2 or C-3 and 1" bituminous concrete surface course band C-3. Paving for loading dock area (rear of building) shall consist of 7" crusher run base course, 2 1/2" bituminous concrete binder course - band C-2, and 1" bituminous concrete surface course - band C-3.
- 7) Contours & elevations are controls only. All grading is to be smooth and continuous.
- 8) Grade at inlets 1-2, 1-3, 1-4, & 1-5 to provide positive flow to the inlets.
- 9) Report discrepancies to the engineer immediately.
- 10) All curbs to be Howard County Standard 7" Combination Curb and Gutter.
- 11) Minimum building set back restrictions from property lines and the R.M. line of any public road or street to be in accordance with Howard County Zoning Regulations.
- 12) No fences or walls shall be constructed on this site.
- 13) All on site roads and parking facilities shall be privately owned.
- 14) Limits of work for excavation, grading, seeding and mulching shall be represented by undisturbed contours.
- 15) Water and sewer layout shown on this plan is schematic only.

**HEATHROW BUSINESS CENTER**  
OAKLAND RIDGE INDUSTRIAL PARK TAX MAP #30 PARCEL #269  
SECTION 2 LOT 76 2<sup>ND</sup> ELECTION DISTRICT HOWARD COUNTY MARYLAND

**ANTHONY J. TANNIELLO and ASSOC., INC ARCHITECTS**  
223 QUADRANGLE VILLAGE OF CROSS CREEK 21210 323-1447  
BALTIMORE, MARYLAND

**RICHARD J. CARROLL STRUCTURAL ENGINEER**  
1800 NORTH CHARLES STREET BALTIMORE, MARYLAND 21218

**BURDETTE, KOHLER and MURPHY MECHANICAL ENGINEERS**  
BALTIMORE, MARYLAND 21210

**APPROVED**  
PLANNING BOARD OF HOWARD COUNTY  
DATE: 5/3/72  
Sharon A. Harris

**APPROVED:** For public water and public sewerage systems,  
County Health Officer: *Sharon A. Harris* Date: 6/1/72

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Planning Director: *Sharon A. Harris* Date: 6-6-72

**APPROVED:** Division of Land Development and Transportation Planning  
Date: 6/6/72

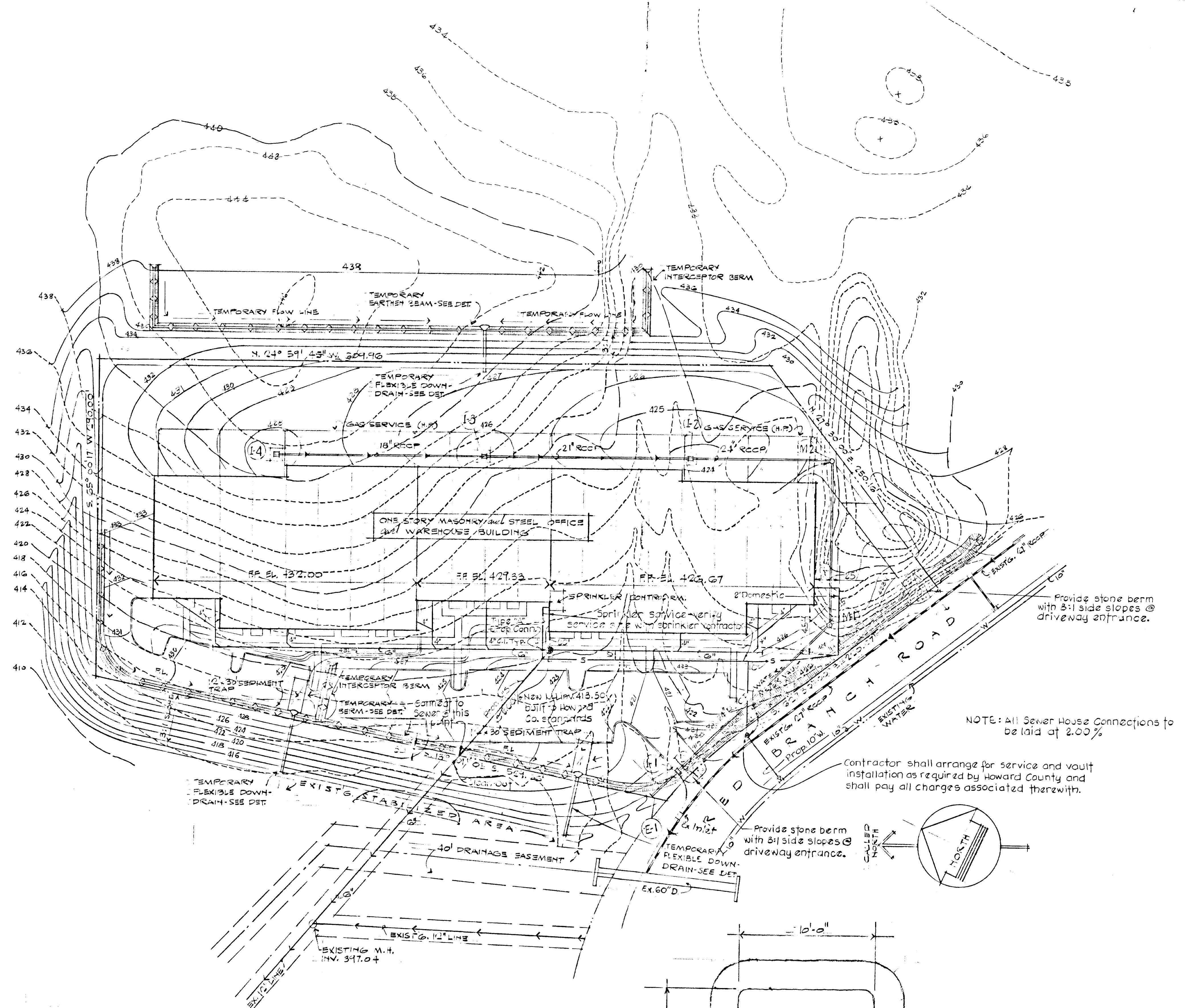
**APPROVED:** For public water, public sewerage and storm drainage systems and roads, Howard County Department of Public Works.  
Director: *William A. Ott* Date: 6/1/72

**APPROVED:** Bureau of Highways  
Date: 6/5/72

**SEAL OF HOWARD COUNTY**  
1801-A  
SITE PLAN  
DATE: 5/3/72  
DRAWN BY: TJS

**SEAL OF MARYLAND**  
1801-A  
SITE PLAN  
DATE: 5/3/72  
DRAWN BY: TJS

**A-1**



I certify that this plan will be done according to the plan for soil erosion.

By: *Anthony J. Ianniello*  
Signature: ANTHONY J. IANNIELLO  
DATE: 5/13/72

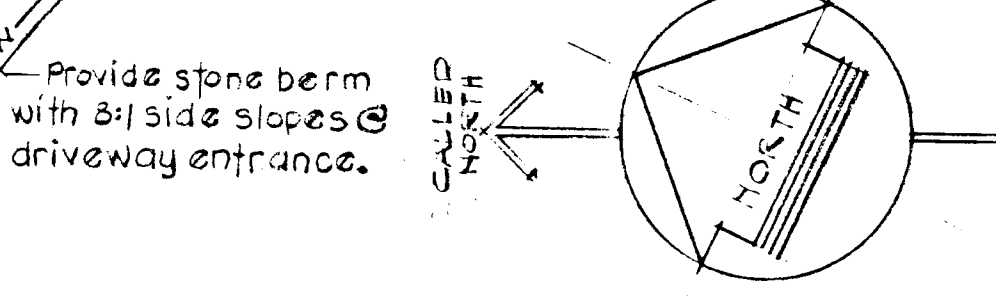
I certify that the plan for soil erosion and sedimentation, standards and specifications, Howard County Soil Conservation District, B.S. Johnson, Reg. No. 3407.

**SEDIMENT CONTROL NOTES**

- 1) The developer shall notify the Howard County Soil Conservation District at least 24 hours prior to beginning any construction shown hereon. Tel. 465-3180
- 2) Sediment control measures must be installed prior to grading operations.
- 3) Sediment control measures shown on plan are not to be removed except with permission of Soil Conservation District.
- 4) All areas disturbed by grading or contractor's operation not being paved shall be topsoiled, seeded and mulched immediately following earthwork operations in accordance with the following:
  - a) Place 3" (inch) compacted layer of topsoil to finished grade.
  - b) Spread pulverized dolomitic limestone at the rate of 1 ton/acre.
  - c) Spread 10-10 commercial grade fertilizer at the rate of 1000 lbs./acre and immediately disc into topsoil to a depth of 3 inches.
  - d) Seed prepared areas at the rate of 180 lbs./acre, using Kentucky 31 Fescue and 20 lbs./acre Annual Rye Grass.
  - e) Mulch all areas immediately after seeding with unweathered small grain straw or hay at the rate of 1.5 tons/acre; spray mulch with emulsified asphalt at the rate of 0.24 gals./sq.yd.

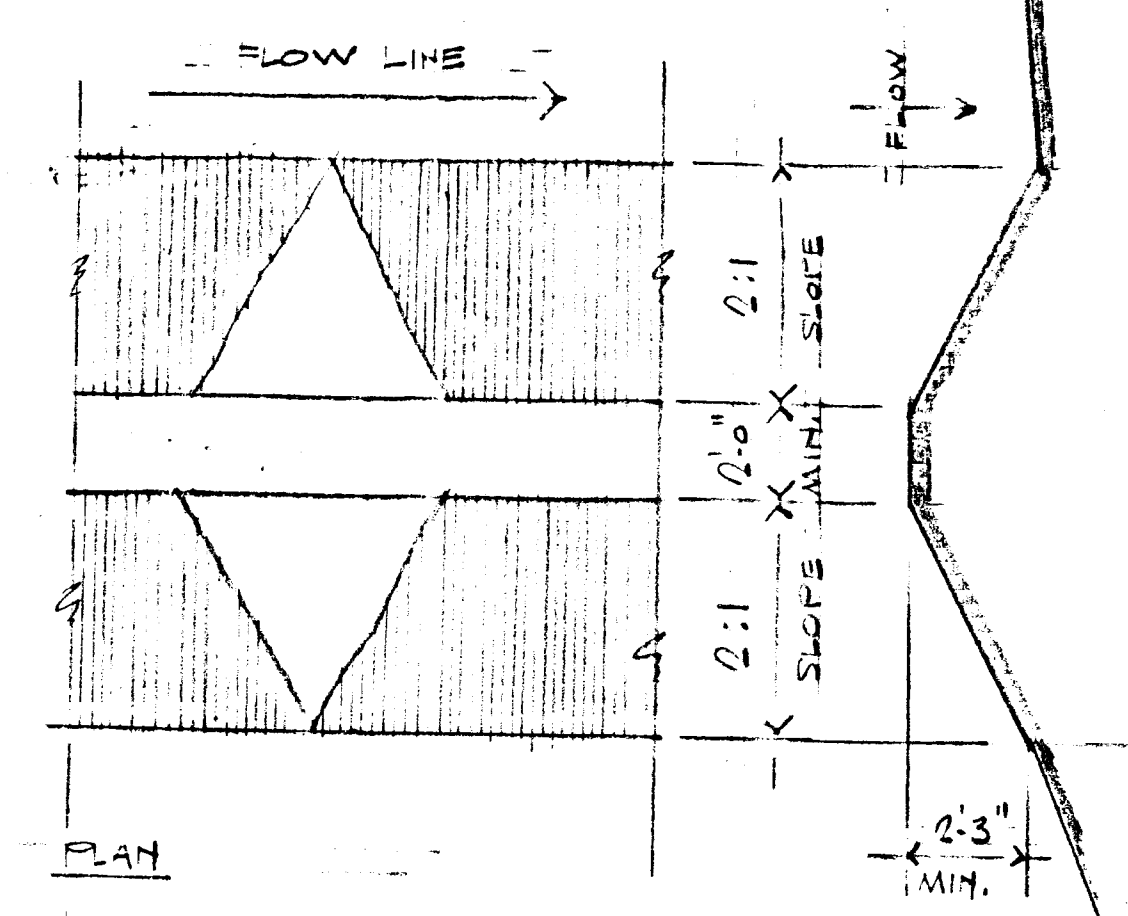
NOTE: All Sewer House Connections to be laid at 2.00%

Contractor shall arrange for service and vault installation as required by Howard County and shall pay all charges associated therewith.

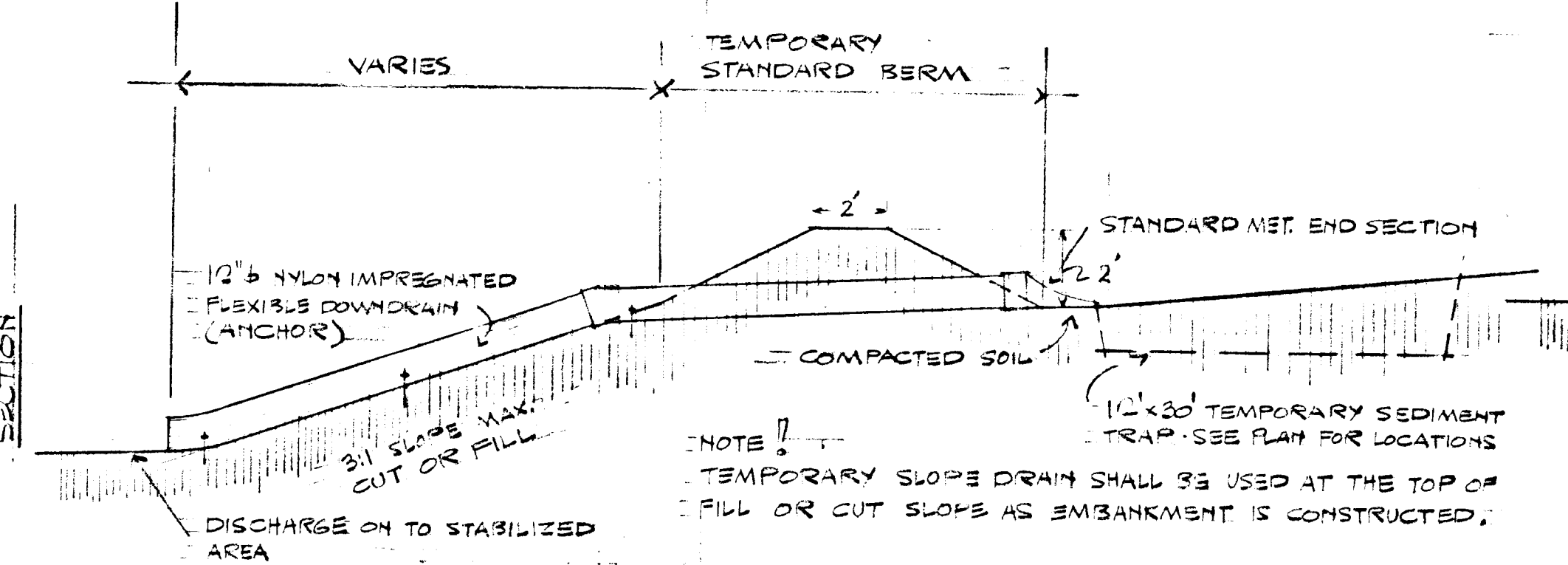


**SITE PLAN**  
SCALE: 1" = 50'

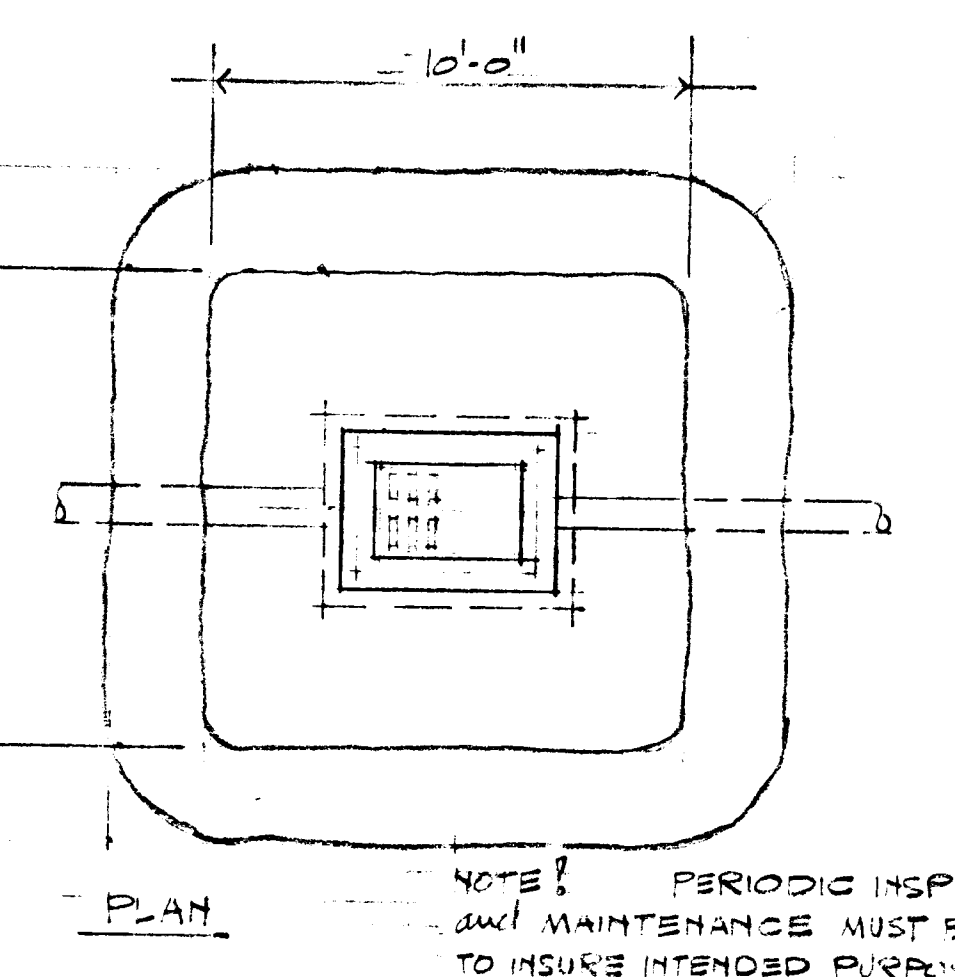
— FINISH GRADES  
- - - EXISTING GRADES



**TEMPORARY BERM DETAIL**  
SCALE: 1" = 10'



**TEMPORARY DOWNDRAIN DETAIL**  
SCALE: 1/4" = 10'



**TEMPORARY C.S. DETAIL**  
OR SEDIMENT CONTROL  
SCALE: 1/4" = 10'

**APPROVED**  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE: 5/13/72  
*Thomas G. Harrington*

APPROVED:  
FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD CO. HEALTH DEPT.

*Heathley* 6-6-72  
COUNTY HEALTH OFFICE DATE

APPROVED:  
HOWARD COUNTY OFFICE OF PLANNING AND ZONING

*Thomas G. Harrington* 6-6-72  
PLANNING DIRECTOR DATE

APPROVED:  
FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND ROADS  
HOWARD COUNTY DEPT. OF PUBLIC WORKS

*William A. Allen* 6/5/72  
DIRECTOR DATE  
*S. M. Reed* 6/5/72  
CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED:  
THIS DEVELOPMENT PLAN HAS BEEN APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

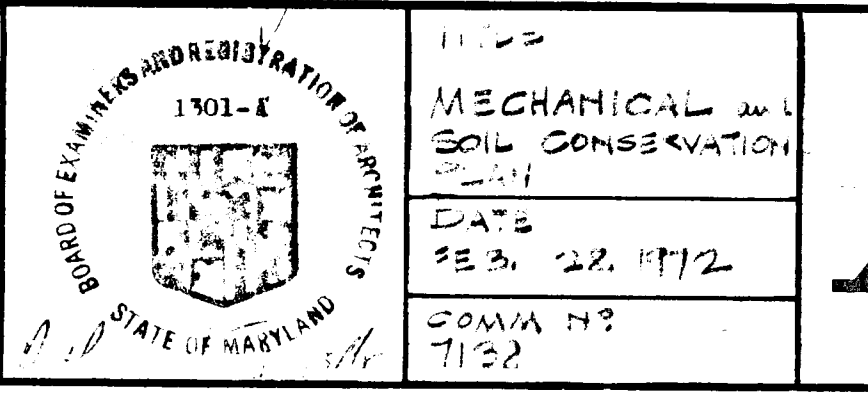
APPROVED: *Robert W. Wilson* 4-10-72  
HOWARD COUNTY CONSERVATION DIST. DATE  
REVIEWED: *James M. Hiller* 4-10-72  
DISTRICT CONSERVATIONIST DATE

**HEATHROW BUSINESS CENTER**  
OAKLAND RIDGE INDUSTRIAL PARK TAX MAP #30 PARCEL #263  
SECTION 2 LOT 76 2<sup>nd</sup> ELECTION DISTRICT HOWARD COUNTY MARYLAND

ANTHONY J. IANNIELLO and ASSOC., INC. ARCHITECTS  
123 QUADRANGLE VILLAGE OF CROSS KEYS  
BALTIMORE, MARYLAND 21210 323-1447

RICHARD J. CARROLL STRUCTURAL ENGINEER  
1800 NORTH CHARLES STREET  
BALTIMORE, MARYLAND 21212

BURDETTE, KOHLER and MURPHY MECHANICAL ENGINEERS  
311 QUADRANGLE  
BALTIMORE, MARYLAND 21210



**A-2**

I certify that all work will be done according to the plan for soil erosion control.

By: *Anthony C. J...*  
Signature  
Title: **REGISTERED PROFESSIONAL ENGINEER**  
No. **10543**  
Exp. **12/31/72**

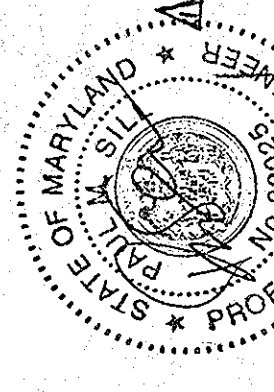
I certify that the plan for soil erosion and sediment control meets the requirements, standards and specifications of the State of Maryland Department of Environment and Planning. Approved by: *William A. Ott...*  
Signature  
Title: **REGISTERED PROFESSIONAL ENGINEER**  
No. **10543**  
Exp. **12/31/72**

**SEDIMENT CONTROL NOTES**

- 1) The developer shall notify the Howard County Soil Conservation District at least 24 hours prior to beginning any construction shown hereon. Tel. 465-3180.
- 2) Sediment control measures must be installed prior to grading operations.
- 3) Sediment control measures shown on plan are not to be removed except with permission of Soil Conservation District.
- 4) All areas disturbed by grading or contractor's operation not being paved shall be topsoiled, seeded and mulched immediately following earthwork operations in accordance with the following:
  - a) 3" (minimum) compacted layer of topsoil to finished grade.
  - b) 100 lbs./acre pulverized dolomitic limestone at the rate of 100 lbs./acre.
  - c) Spread 10-10-10 commercial grade fertilizer at the rate of 1000 lbs./acre and immediately disc into topsoil to a depth of 3 inches.
  - d) Seed prepared areas at the rate of 180 lbs./acre, using Kentucky 31 Fescue and 20 lbs./acre Annual Rye Grass.
  - e) Mulch all areas immediately after seeding with unweathered small grain straw or hay at the rate of 1.5 tons/acre; spray mulch with emulsified asphalt at the rate of 0.24 gals./sq.yd.

**APPROVED**  
PLANNING BOARD  
OF HOWARD COUNTY

DATE **5/17/72**  
*James G. Harrington*



DESIGN PLANS TO SHOW AS BUILT CONDITIONS AND SIDEWALK LAYOUTS AND PLACE SEALS AND HANDICAP SPACES AND REFLECT MARKS AT THE HEAD OF THE BUILDING.

NO. **6-6-72** DATE  
*John G. Harrington*  
PLANNING DIRECTOR  
COUNTY HEALTH OFFICER

APPROVED: *James G. Harrington* 6-6-72  
PLANNING DIRECTOR DATE

APPROVED: *William A. Ott...* 6/5/72  
DIRECTOR DATE

APPROVED: *William A. Ott...* 4-10-72  
FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND ROADS  
HOWARD COUNTY DEPT. OF PUBLIC WORKS

APPROVED: *William A. Ott...* 4-10-72  
FOR SEWERAGE AND SEWAGE TREATMENT PLANT  
HOWARD COUNTY DEPT. OF PUBLIC WORKS

APPROVED: *James G. Harrington* 4-10-72  
FOR SEWERAGE AND SEWAGE TREATMENT PLANT  
BY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

TITLE: **MECHANICAL AND ELECTRICAL PLAN**  
DATE: **FEB. 28, 1972**  
DRAWN BY: **TJ38**

ARCHITECTS

ANTHONY J. IANNIELLO and ASSOC., INC.  
225 QUADRANGLE VILLAGE OF CROSS KEYS  
BALTIMORE, MARYLAND 21210

RICHARD J. CARROLL STRUCTURAL ENGINEER  
1800 NORTH CHARLES STREET  
BALTIMORE, MARYLAND 21218

BURDETTE, KOHLER and MURPHY  
MECHANICAL ENGINEERS  
311 QUADRANGLE  
BALTIMORE, MARYLAND 21210

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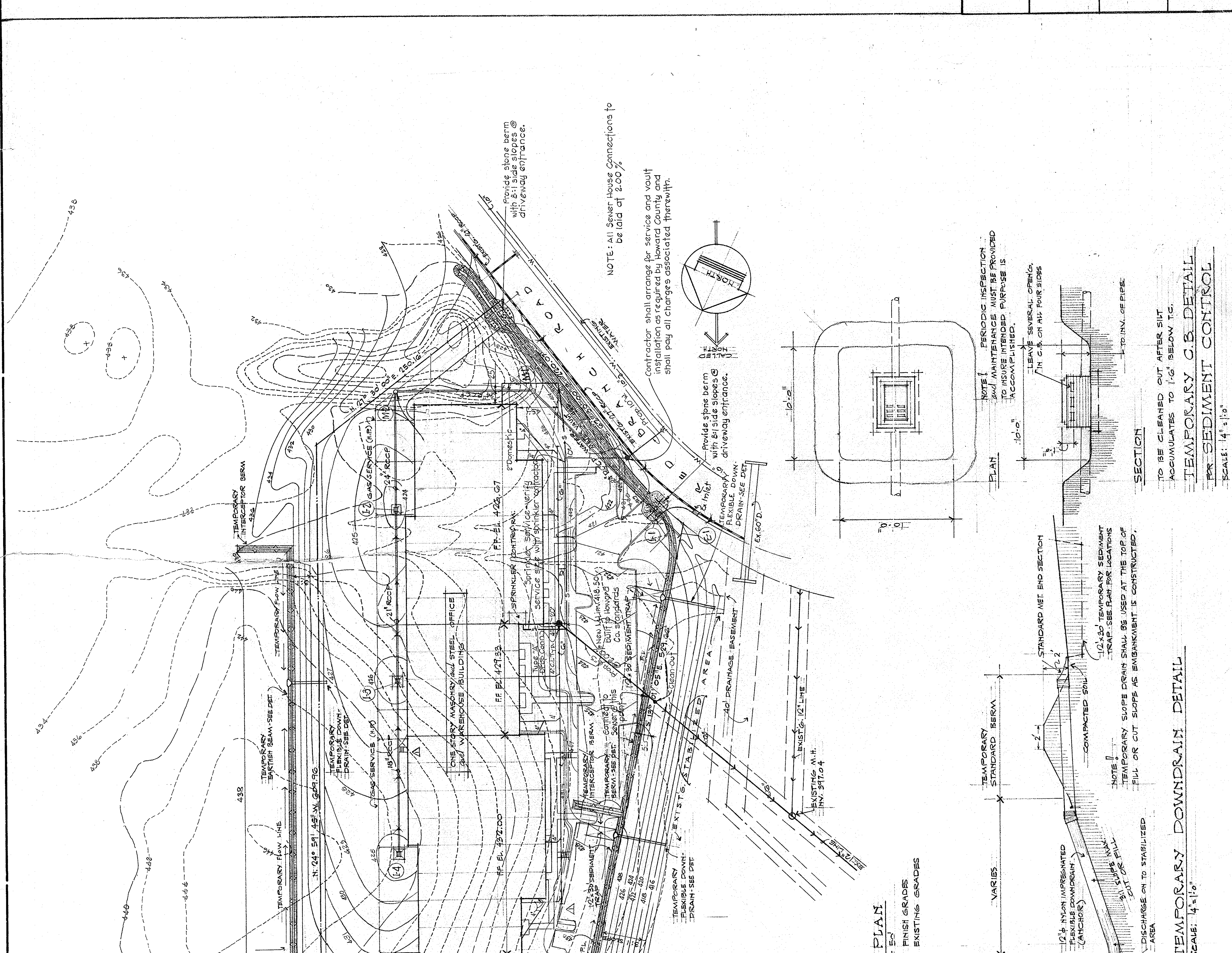
ARCHITECTS

ARCHITECTS

# HEATHROW BUSINESS CENTER

OAKLAND RIDGE INDUSTRIAL PARK SECTION 2 LOT 76 2<sup>nd</sup> ELECTION DISTRICT HOWARD COUNTY MARYLAND TAX MAP #30 PARCEL # 269

SDP-72-1C



NOTE: All Sewer House Connections to be laid at 2.00% slope.

Contractor shall arrange for service and vault installation as required by Howard County and shall pay all charges associated therewith.

Provide stone berm with 2:1 side slopes @ driveway entrance.

NOTE: PERIODIC INSPECTION AND MAINTENANCE MUST BE PROVIDED TO INSURE INTERIORD PURPOSE IS ACCOMPLISHED.

LEAVE SEVERAL FEET OF TOP SOIL ON ALL FOUR SIDES TO INCL. GRASS.

TO BE CLEANED OUT AFTER SILT ACCUMULATES TO 1'-6" BELOW T.C.

TEMPORARY DOWNDRAIN DETAIL SCALE: 1/4" = 1'-0"

TEMPORARY BERM DETAIL SCALE: 1/4" = 1'-0"

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TEMPORARY DOWNDRAIN DETAIL SCALE: 1/4" = 1'-0"

TEMPORARY BERM DETAIL SCALE: 1/4" = 1'-0"



I certify that all work shown on this plan will be done according to the specifications and standards set forth herein.  
By: *Dorothy M. Johnson*  
Signature  
Title: *Professional Engineer*  
I certify that the plan for soil erosion and sedimentation control meets the standards and specifications of the Department of Public Safety, Division of Conservation.  
By: *B.H. Johnson*  
Signature  
Title: *Professional Engineer*

**SEDIMENT CONTROL NOTES**

- 1) The developer shall notify the Howard County Soil Conservation District at least 24 hours prior to beginning any construction shown herein. Tel. 465-3180.
- 2) Sediment control measures must be installed prior to grading operations.
- 3) Sediment control measures shown on plan are not to be removed except with permission of Soil Conservation District.
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  - a) Place 3" (inch) compacted layer of topsoil to finished grade.
  - b) Spread pulverized dolomitic limestone at the rate of 1 ton/acre.
  - c) Spread 10-10-10 commercial grade fertilizer at the rate of 1000 lbs./acre and immediately topsoil, seed and mulch to a depth of 3 inches.
  - d) Prepare 30 lbs./acre Annual Ryegrass seed at the rate of 180 lbs./acre, using Kentucky 31 Fertilizer.
  - e) Mutch all areas immediately after seeding with unweathered small grain straw or hay at the rate of 1.5 tons/acre; spray mulch with emulsified asphalt at the rate of 0.24 gals./sq.yd.

APPROVED  
PLANNING BOARD  
OF HOWARD COUNTY

DATE: 5/21/72  
*Dorothy M. Johnson*

6-6-72

*Harold King*  
COUNTY HEALTH OFFICER  
DATE

6-6-72

*James G. Hovington*  
PLANNING DIRECTOR  
DATE

6/15/72

*William A. Ott*  
DIRECTOR  
DATE

6/15/72

*B. A. Nelson*  
CHIEF, BUREAU OF HIGHWAYS  
DATE

4-10-72

*Robert J. Johnson*  
APPROVED:  
HOWARD SOIL CONSERVATION DISTRICT  
DATE

4-10-72

*James G. Hovington*  
REVIEWED:  
DISTRICT CONSERVATIONIST  
DATE

**MECHANICAL AND SOIL CONSERVATION DISTRICT**

APR 28 1972

5300A 197

7128

A-2

ARCHITECTS

ANTHONY J. IANNELLO and ASSOC., INC.  
212 S. QUADRANGLE VILLAGE OF CROSS KEYS  
BALTIMORE, MARYLAND 21210 3-23-1477

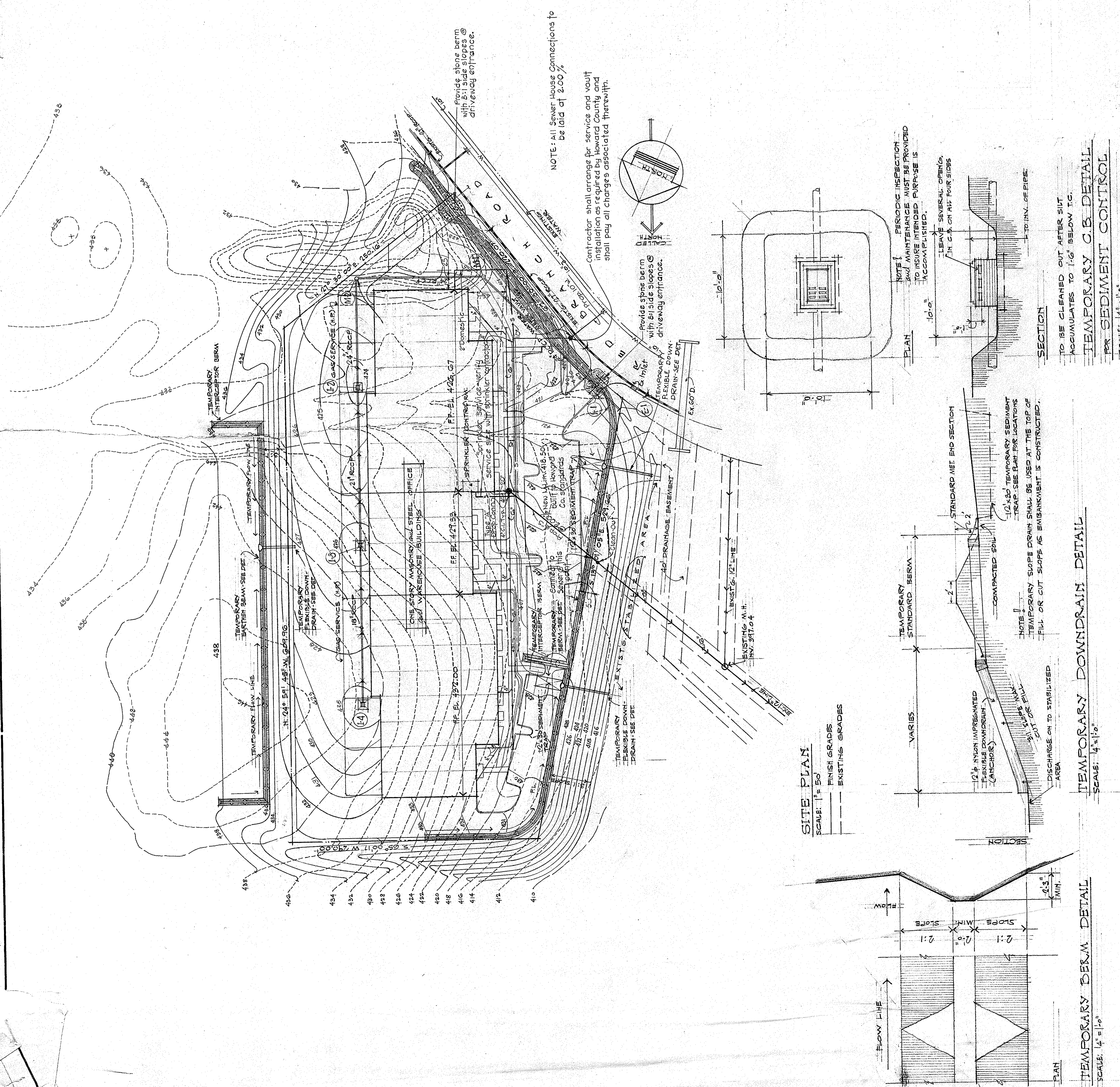
RICHARD J. CARROLL STRUCTURAL ENGINEER  
800 NORTH CHARLES STREET  
BALTIMORE, MARYLAND 21218

BURDETTE, KOHLER and MURPHY  
MECHANICAL ENGINEERS  
311 QUADRANGLE  
BALTIMORE, MARYLAND 21210

HEATHROW BUSINESS CENTER

OAKLAND RIDGE INDUSTRIAL PARK TAX MAP #30 PARCEL # 269  
SECTION 2 LOT 76 2<sup>ND</sup> ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SDP-72-71C



SITE PLAN  
SCALE: 1" = 50'

TEMPORARY DOWNDRAIN DETAIL  
SCALE: 1/4" = 1'-0"

TEMPORARY S.E. DETAIL  
FOR SEDIMENT CONTROL  
SCALE: 1/4" = 1'-0"

TEMPORARY BERM DETAIL  
SCALE: 1/4" = 1'-0"

NOTE: All sewer house connections to be laid at 2.00%.

Contractor shall arrange for service and vault installation as required by Howard County and shall pay all charges associated therewith.

NOTE: PERIODIC INSPECTION MAINTENANCE MUST BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED.

NOTE: TO BE CLEANED OUT AFTER SILT ACCUMULATES TO 1/2" BELOW T.C.

NOTE: 10# NYLON IMPREGNATED GEOTEXTILE DRAINAGE (ANCHORS) TO BE USED AT THE TOP OF CUT OR FILL. TEMPORARY SLOPE DRAIN SHALL BE USED AT THE TOP OF CUT OR FILL AS EMBANKMENT IS CONSTRUCTED.

DISCHARGE ON TO STABILIZED AREA

0.3' MIN.

2:1

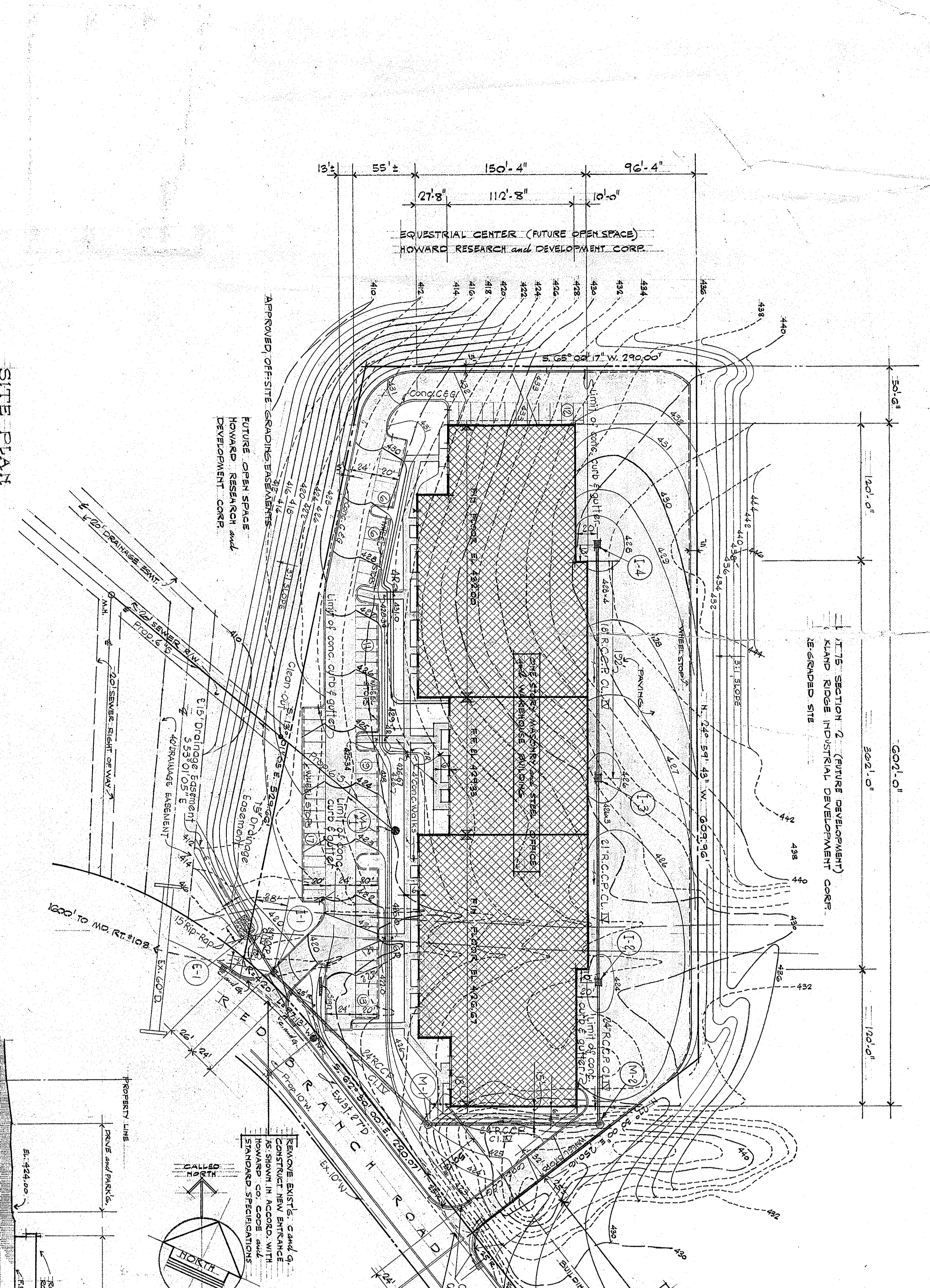
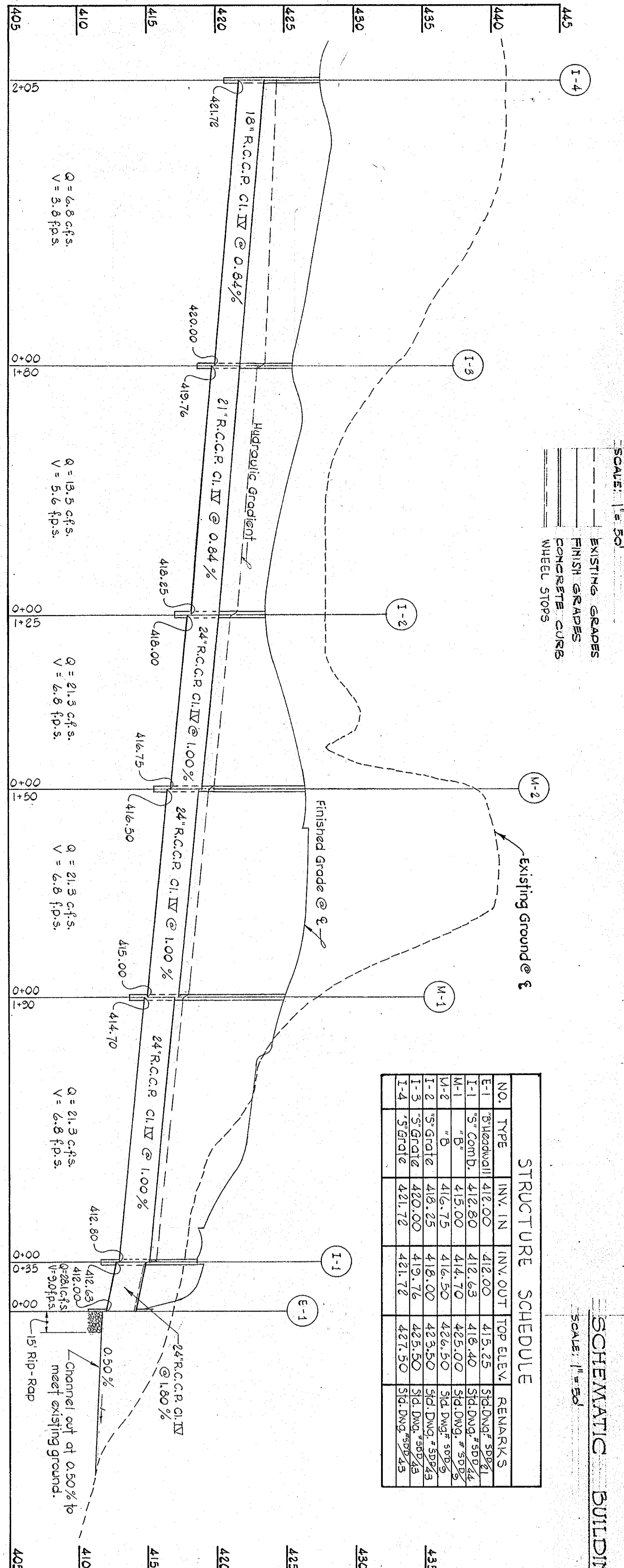
2:1

# HEATHROW BUSINESS CENTER

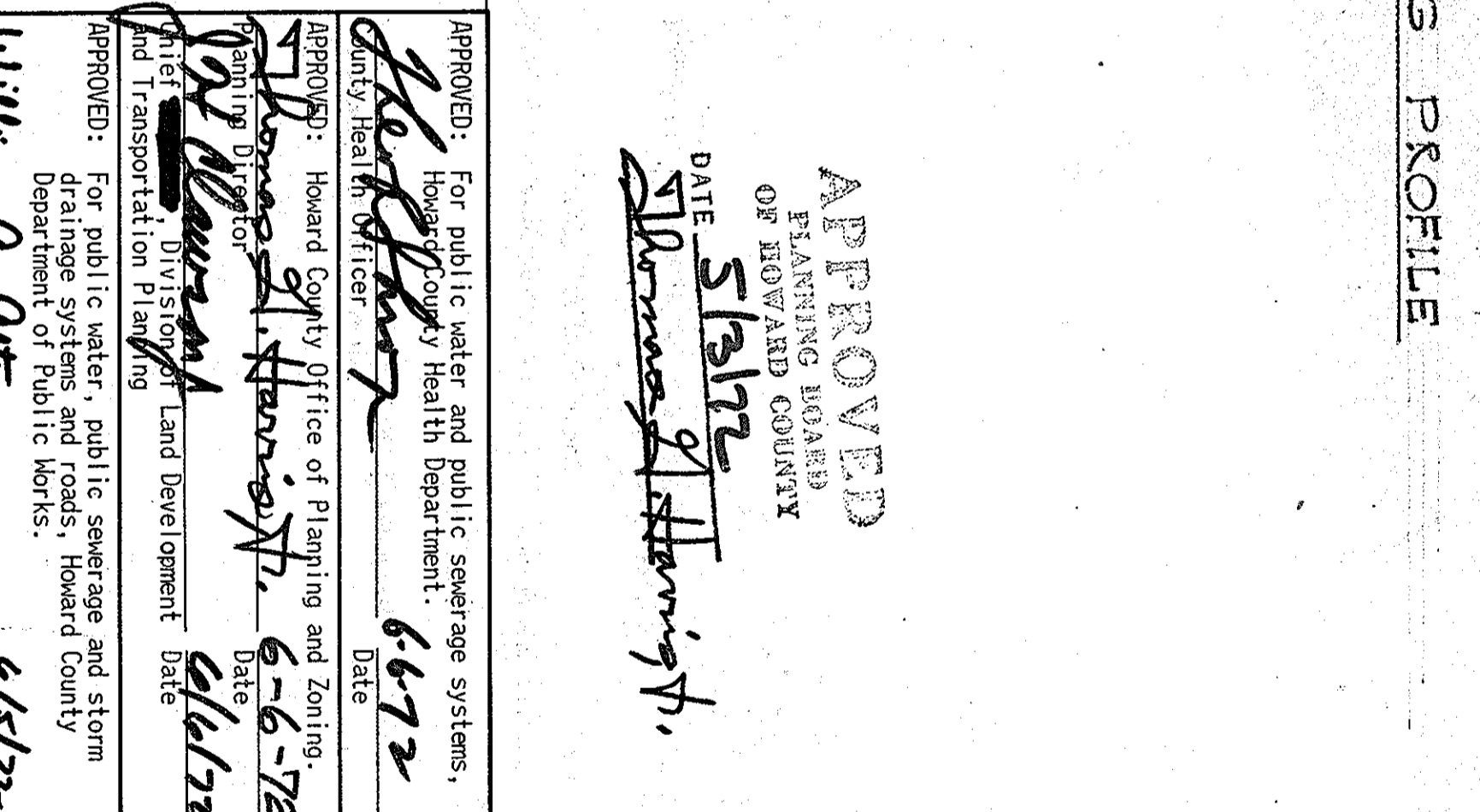
OAKLAND RIDGE INDUSTRIAL PARK  
SECTION 2 LOT 76 2<sup>ND</sup> ELECTION DISTRICT HOWARD COUNTY MARYLAND

ANTHONY J. JANNIELLO and ASSOC., INC.  
2215 QUADRANGLE VILLAGE  
BALTIMORE, MARYLAND 21210  
528-1447

ARCHITECTS  
BURDETTE, KOHLER and MURPHY  
511 QUADRANGLE  
BALTIMORE, MARYLAND 21210



NO.	TYPE	INV. IN	INV. OUT	TOP ELEV.	REMARKS
1-1	FOUNDATION	412.20	412.20	415.75	STANDARD 30" x 30"
1-1	S. CONCR.	412.20	414.63	418.40	STANDARD 50" x 4"
1-1	S. CONCR.	415.00	414.70	426.00	STANDARD 50" x 4"
1-2	D	416.75	416.50	426.50	5/8" DIA. 2' SPAC.
1-2	S. CONCR.	416.75	418.00	423.50	STANDARD 50" x 4"
1-3	S. CONCR.	420.00	419.76	425.50	5/8" DIA. 2' SPAC.
1-4	S. CONCR.	421.72	421.72	427.50	5/8" DIA. 2' SPAC.



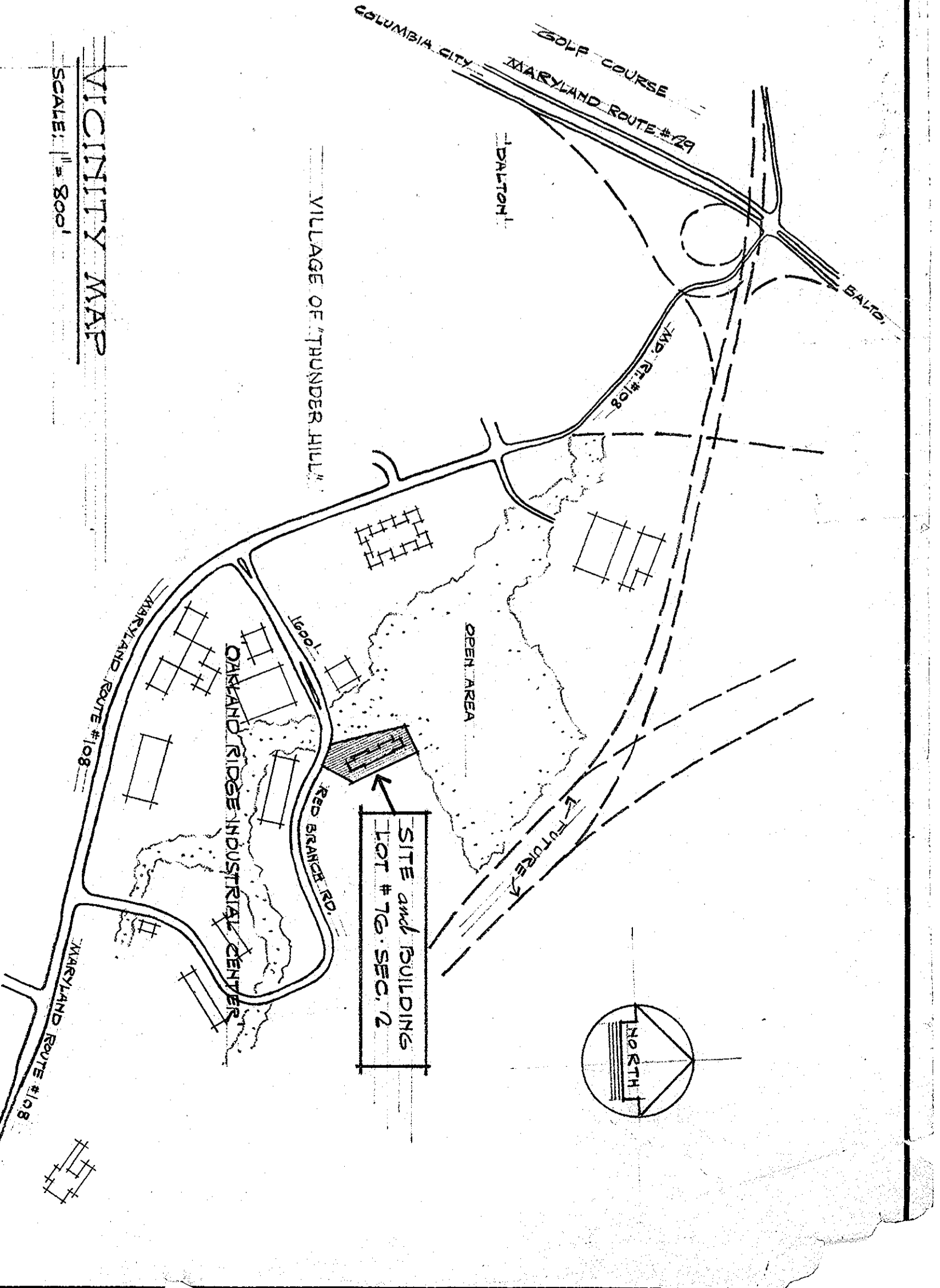
**APPROVED**  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE: 6/5/72  
BY: [Signature]

**APPROVED**  
FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.  
HEARD COUNTY HEALTH DEPARTMENT  
DATE: 6-6-72  
BY: [Signature]

**APPROVED**  
FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS.  
HEARD COUNTY DEPARTMENT OF PUBLIC WORKS  
DATE: 6/5/72  
BY: [Signature]

**GENERAL NOTES**

- 1) Except where otherwise noted, all construction materials and details shall be in accordance with the latest revisions of the Howard County Road Construction Code and Standard Specifications.
- 2) Public water and sanitary sewer facilities are to be provided.
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- 4) Location of existing utilities is approximate only and is obtained from recorded drawings. Contractor shall notify all utility companies involved and locate all existing utilities to his own satisfaction before any connections are made.
- 5) See architectural drawings for building dimensions.
- 6) Parking lot paving shall consist of 4" bituminous concrete base band C-2 or C-3 and 1" bituminous concrete surface course band C-3. Paving for loading dock area (rear of building) shall consist of 7" crusher run base course, 2 1/2" bituminous concrete binder course - band C-2, and 1" bituminous concrete surface course - band C-3.
- 7) Contours & elevations are controls only. All grading is to be smooth and continuous.
- 8) Grade at inlets 1-2, 1-3, 1-4, & 1-5 to provide positive flow to the inlets.
- 9) Report discrepancies to the engineer immediately.
- 10) All curbs to be Howard County Standard "M" Combination Curb and Gutter.
- 11) Minimum building set back restrictions from property lines and the R41 line of any public road or street to be in accordance with Howard County Zoning Regulations.
- 12) No fences or walls shall be constructed on this site.
- 13) All on site roads and parking facilities shall be privately owned.
- 14) Limits of work for excavation, grading, seeding and mulching shall be represented by undisturbed contours.
- 15) Water and sewer layout shown on this plan is schematic only.



**PARKING REQUIREMENTS**

USE	AREA	RATIO	REQUIRED
WAREHOUSE	71,931.02 SQ. FT. APPROX. (SPACE 1/2 EMP.)	1 SPACE / 2 EMP.	28 SPACES
OFFICE	9,581.58 SQ. FT. APPROX. (2 SPACES / 1,000 SQ. FT.)	2 SPACES / 1,000 SQ. FT.	20 SPACES
TOTAL SPACES PROVIDED			48 SPACES

**PARKING NOTE:**  
THE FIGURES TABULATED ABOVE ARE APPROX. ONLY DUE TO THE FACT EXACT OCCUPANCY IS NOT KNOWN. IN ANY CASE PARKING SHALL MEET OR EXCEED THE REQUIREMENTS AS REQUIRED BY HOWARD CO. STANDARDS. PARKING SPACES SHALL BE 10' x 20'

**OWNER and DEVELOPER**  
OAKLAND RIDGE INDUSTRIAL DEVELOPMENT CORP. - COLUMBIA, MD. - OWNER.  
HEATHROW BUSINESS CENTER - 4600 S. FOUR MILE ROAD - ARUNDEL, VA. - DEVELOPER

**SITE ANALYSIS:**  
AREA OF PARCEL: 5.4 AC.  
PRESENT ZONING: RT (NEW TOWN)  
TOTAL NUMBER OF EMPLOYEES: 85 APPROX.  
TOTAL FLOOR SPACE: 81,512.60 SQ. FT.  
TOTAL SALES AREA FLOOR SPACE: 95,815.8 SQ. FT. APPROX.  
SUBDIVISION FIRM REFERENCE: OAKLAND RIDGE INDUSTRIAL PARK

I certify that all work shown on this plan will be done according to the specifications and standards of the Board of Examiners of Professional Engineers of the State of Maryland.

By: *William C. Murphy*  
Signature  
W.C. MURPHY  
P.E.  
No. 12345

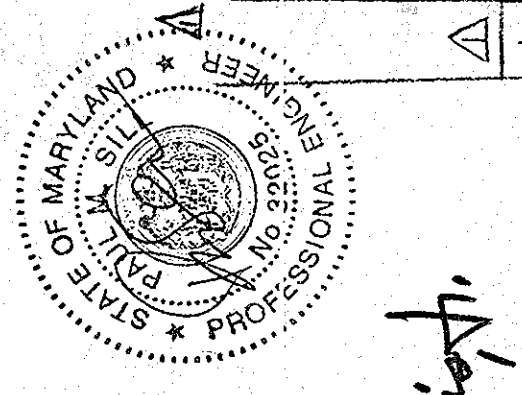
I certify that the plan for soil erosion and sedimentation control measures shown on this plan meets the requirements of the Board of Examiners of Professional Engineers of the State of Maryland.

**SEDIMENT CONTROL NOTES**

- 1) The developer shall notify the Howard County Soil Conservation District at least 24 hours prior to beginning any construction shown herein. Tel. 465-5180.
- 2) Sediment control measures must be installed prior to grading operations.
- 3) Sediment control measures shown on plan are not to be removed except with permission of Soil Conservation District.
- 4) All areas disturbed by grading or contractor's operation not being paved shall be topsoiled, seeded and mulched immediately following earthwork operations in accordance with the following:
  - a) 3" (min) compacted layer of topsoil to finished grade.
  - b) 100 lbs./acre pulverized dolomitic limestone at the rate of 100 lbs./acre.
  - c) Spread 10-10-10 commercial grade fertilizer at the rate of 1000 lbs./acre and immediately disc into topsoil to a depth of 3 inches.
  - d) Seed prepared areas at the rate of 180 lbs./acre, using Kentucky 31 Fescue and 20 lbs./acre Annual Rye Grass.
  - e) Mulch all areas immediately after seeding with unweathered small grain straw or hay at the rate of 1.5 tons/acre; spray mulch with emulsified asphalt at the rate of 0.24 gals./sq.yd.

**APPROVED**  
PLANNING BOARD  
OF HOWARD COUNTY

DATE 5/13/72  
*James G. Harbaugh*  
PLANNING DIRECTOR



NO.	REVISION	DATE
1	REVISED TO SHOW AS-BUILT CONDITIONS AND SIDEWALK LAYOUTS AND RELOCATED HANDICAP STAIRS AND REFERENCE STAIRS AT THE REAR OF THE BUILDING.	12.27.06
		DATE
		6-6-72
		DATE
		6-6-72
		DATE
		6/5/72
		DATE
		4-10-72
		DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD CO. HEALTH DEPT.

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND ROADS HOWARD COUNTY DEPT. OF PUBLIC WORKS

APPROVED FOR SEWERAGE PLAN HAS BEEN APPROVED FOR A SEASON AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

TITLE	DATE	BY
MECHANICAL AND ELECTRICAL PLAN	FEB. 28, 1972	W.C. MURPHY
MECHANICAL ENGINEERS		

ARCHITECTS

ANTHONY J. IANNIELLO and ASSOC., INC.  
212 S. QUADRANGLE VILLAGE OF CROSS KEYS  
BALTIMORE, MARYLAND 21210 923-1447

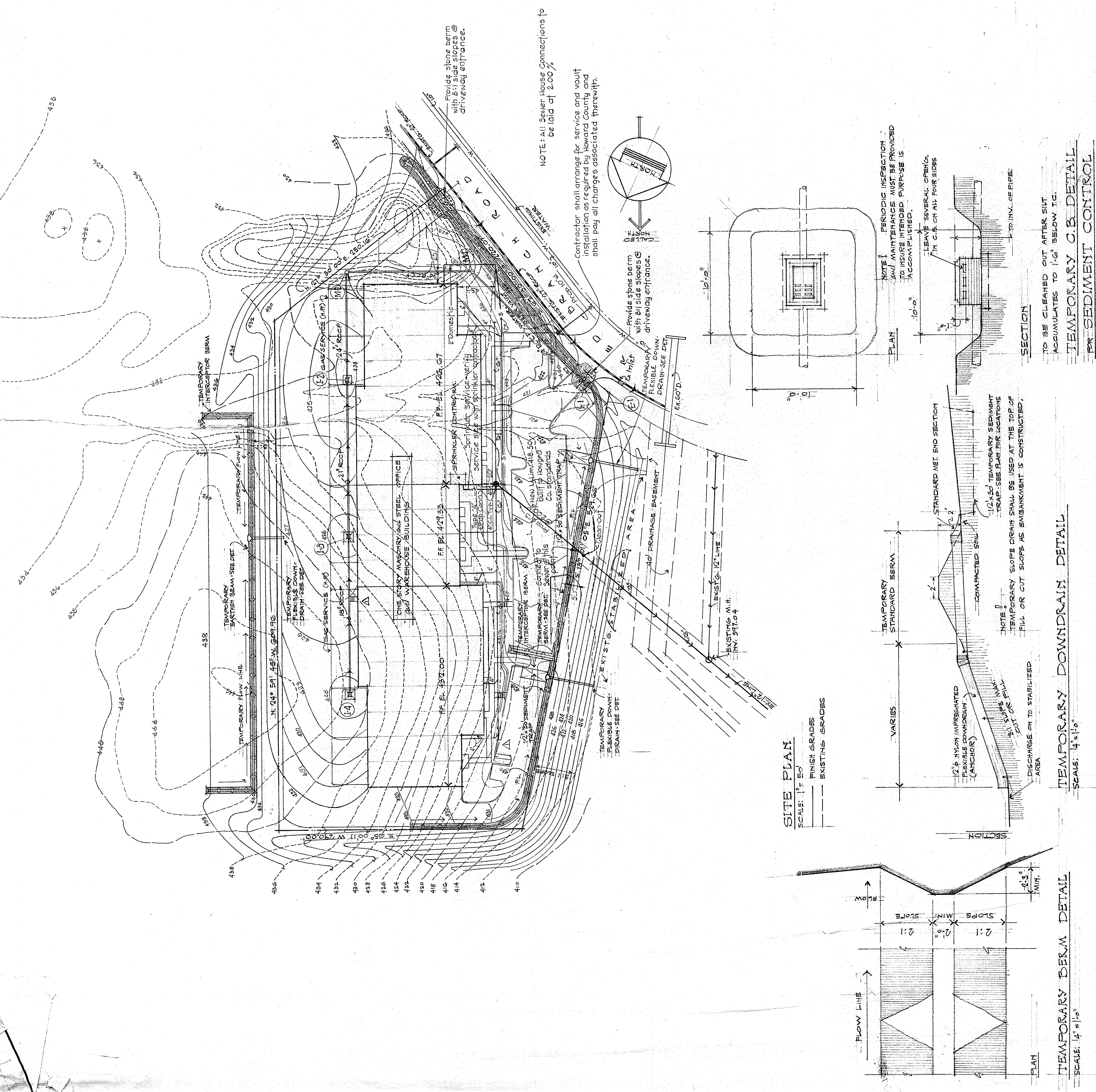
RICHARD J. CARROLL STRUCTURAL ENGINEER  
1800 NORTH CHARLES STREET  
BALTIMORE, MARYLAND 21218

BURDETTE, KOHLER and MURPHY  
MECHANICAL ENGINEERS  
311 QUADRANGLE BALTIMORE, MARYLAND 21210

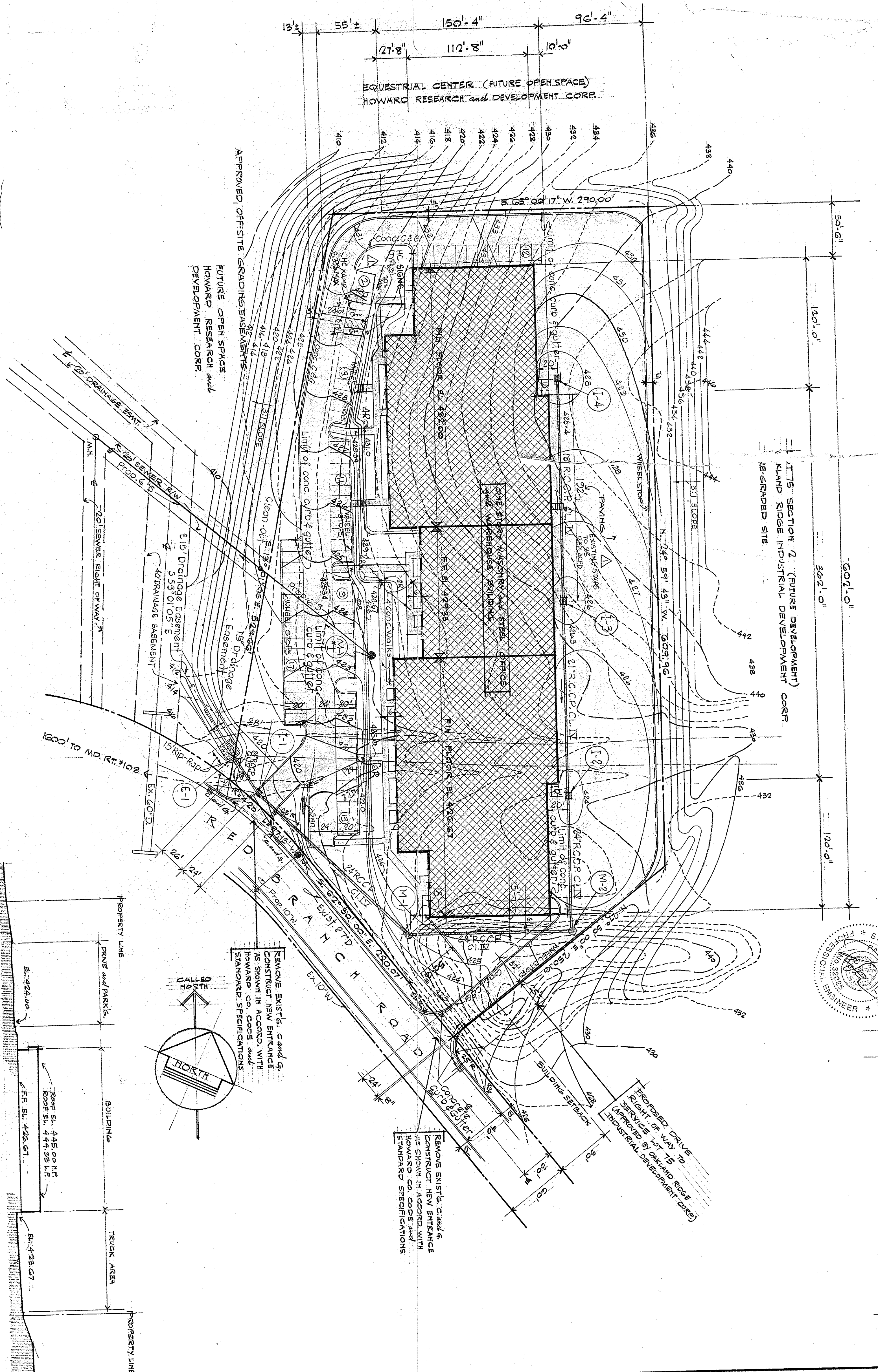
**HEATHROW BUSINESS CENTER**

OAKLAND RIDGE INDUSTRIAL PARK SECTION 2 LOT 76 2<sup>ND</sup> ELECTION DISTRICT HOWARD COUNTY MARYLAND TAX MAP #30 PARCEL # 269

SDP-72-11C



NO.	REVISION	DATE
1	REVISION PLAN TO SHOW ASPHALT CONDITIONS, SIDEWALK AND SIDEWALK DRIVEWAY PAVING AND FINISHES TO BE CONSIDERED	12.21.06



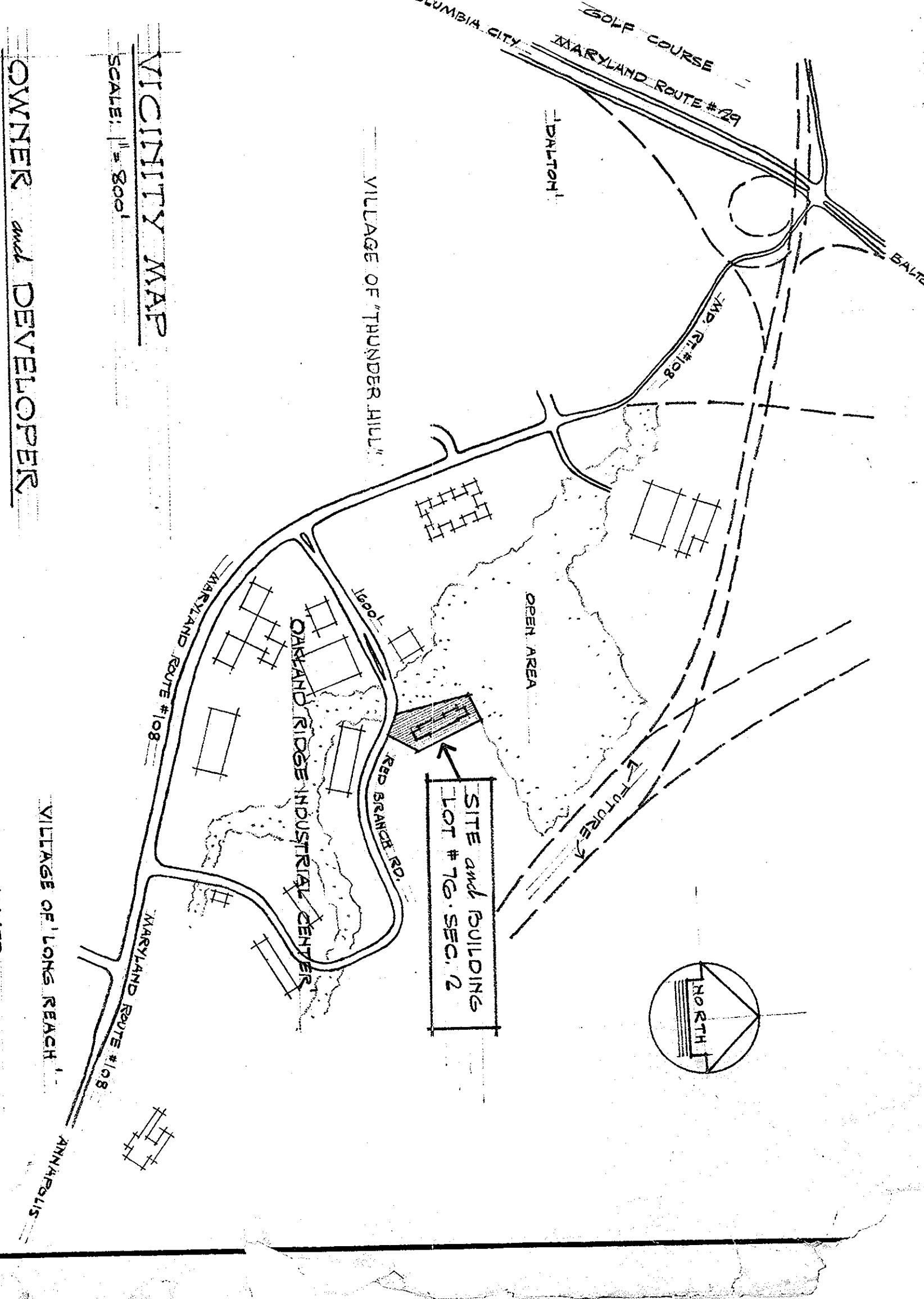
**SCHEMATIC BUILDING PROFILE**  
SCALE: 1" = 5'-0"

NO.	TYPE	INV. IN	INV. OUT	TOP ELEV.	REMARKS
E-1	Excavation	412.00	415.25	510.00	5' x 10' x 8' EXCAVATION
E-2	Excavation	412.00	415.25	510.00	5' x 10' x 8' EXCAVATION
E-3	Excavation	412.00	415.25	510.00	5' x 10' x 8' EXCAVATION
E-4	Excavation	412.00	415.25	510.00	5' x 10' x 8' EXCAVATION
E-5	Excavation	412.00	415.25	510.00	5' x 10' x 8' EXCAVATION
E-6	Excavation	412.00	415.25	510.00	5' x 10' x 8' EXCAVATION
E-7	Excavation	412.00	415.25	510.00	5' x 10' x 8' EXCAVATION
E-8	Excavation	412.00	415.25	510.00	5' x 10' x 8' EXCAVATION
E-9	Excavation	412.00	415.25	510.00	5' x 10' x 8' EXCAVATION
E-10	Excavation	412.00	415.25	510.00	5' x 10' x 8' EXCAVATION

**APPROVED**  
BY: *Anthony J. Tannello*  
DATE: 6/5/12  
OFFICIAL SEAL

**APPROVED**  
FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,  
HEALTH DEPARTMENT  
DATE: 6/1/12  
OFFICIAL SEAL

- GENERAL NOTES**
- 1) Except where otherwise noted all construction materials and details shall be in accordance with the latest revisions of the Howard County Road Construction Code and Standard Specifications.
  - 2) Public water and sanitary sewer facilities are to be provided.
  - 3) Proposed grades contours represent finished grades, contractor shall make allowances to subgrade for topsoil, paving and other surface finishes as required.
  - 4) Location of existing utilities is approximate only and is obtained from recorded drawings. Contractor shall verify all utility companies involved and locate all existing utilities to his own satisfaction before any connections are made.
  - 5) See architectural drawings for building dimensions.
  - 6) Parking lot paving shall consist of 4" bituminous concrete base band C-2 or C-3 and 1 1/2" bituminous concrete surface course band C-5. Paving for loading dock area (area of building) shall consist of 7" crusher run base course, 2 1/2" bituminous binder course - band C-2, and 1" bituminous concrete surface course - band C-3.
  - 7) Contours & elevations are controls only. All grading is to be smooth and continuous.
  - 8) Grade at inlets 1-2, 1-3, 1-4, & 1-5 to provide positive flow to the inlets.
  - 9) Report discrepancies to the engineer immediately.
  - 10) All curbs to be Howard County Standard 7" Combination Curb and Gutter.
  - 11) Minimum building set back restrictions from property lines and the RM line of any public road or street to be in accordance with Howard County Zoning Regulations.
  - 12) No fences or walls shall be constructed on this site.
  - 13) All on site roads and parking facilities shall be privately owned.
  - 14) Limits of work for excavation, grading, seeding and mulching shall be represented by undisturbed contours.
  - 15) Water and sewer layout shown on this plan is schematic only.



**VICINITY MAP**  
SCALE: 1" = 300'

**OWNER and DEVELOPER**  
HEATHROW BUSINESS CENTER - 4600 S. FOUR MILE RUN DRIVE - ARUNDELTON, VA. - DEVELOPER

**SITE ANALYSIS:**  
AREA OF PARCEL: 5.4 AC.  
PRESENT ZONING: HT (HEW TOWN)  
TOTAL NUMBER OF EMPLOYER: 85 APPROX.  
TOTAL FLOOR SPACE: 81,513 SQ. FT.  
TOTAL SALES AREA FLOOR SPACE: 958,153 SQ. FT. APPROX.  
SUBDIVISION FMT REFERENCE: OAKLAND RIDGE INDUSTRIAL PARK

**PARKING REQUIREMENTS**

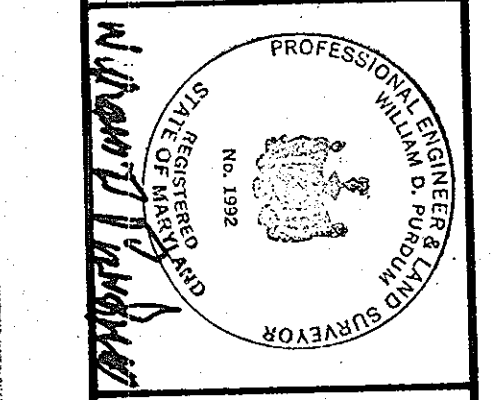
AREA	RATIO	REQUIRED
WAREHOUSE	71,931 SQ. FT. APPROX. 1 SPACE / 2 EMP'S.	28 SPACES
OFFICE	9,581 SQ. FT. APPROX. 2 SPACES / 1,000 SQ. FT.	20 SPACES
	(55 EMPLOYEES - MAX)	
	9,581 SQ. FT. APPROX. 1 SPACE / 200 SQ. FT.	48 SPACES
	TOTAL SPACES REQUIRED	74 SPACES

**PARKING NOTE:**  
THE FIGURES CALCULATED ABOVE ARE APPROX ONLY DUE TO THE FACT EXACT OCCUPANCY IS NOT KNOWN. IN ANY CASE PARKING SPACES SHALL MEET OR EXCEED THE REQUIREMENTS AS REQUIRED BY HOWARD CO. STANDARDS. PARKING SPACES SHALL BE 10' x 20'

**HEATHROW BUSINESS CENTER**  
OAKLAND RIDGE INDUSTRIAL PARK  
SECTION 2 LOT 76  
2<sup>ND</sup> ELECTION DISTRICT HOWARD COUNTY MARYLAND  
TAX MAP # 30 PARCEL # 269

**ANTHONY J. TANIELLO and ASSOC., INC.**  
225 QUADRANGLE VILLAGE OF CROSS KEYS  
BALTIMORE, MARYLAND 21210  
ARCHITECTS

**BURDETTE, KOHLER and MURPHY**  
SILVER SPRING, MARYLAND 21150  
ARCHITECTS



**DATE:** 2/6/12  
**CONTRACT NO.:** 7152  
**SHEET:** A-1