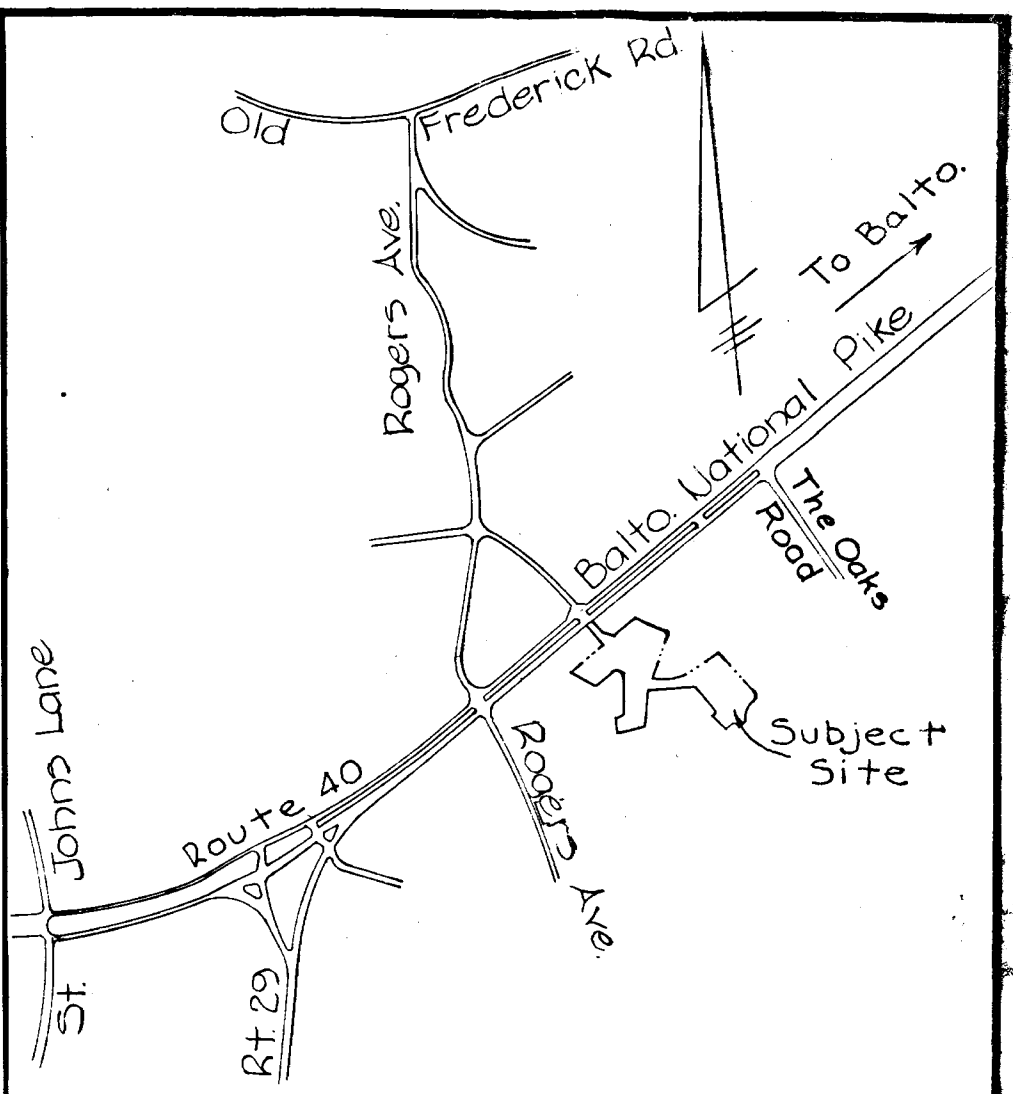


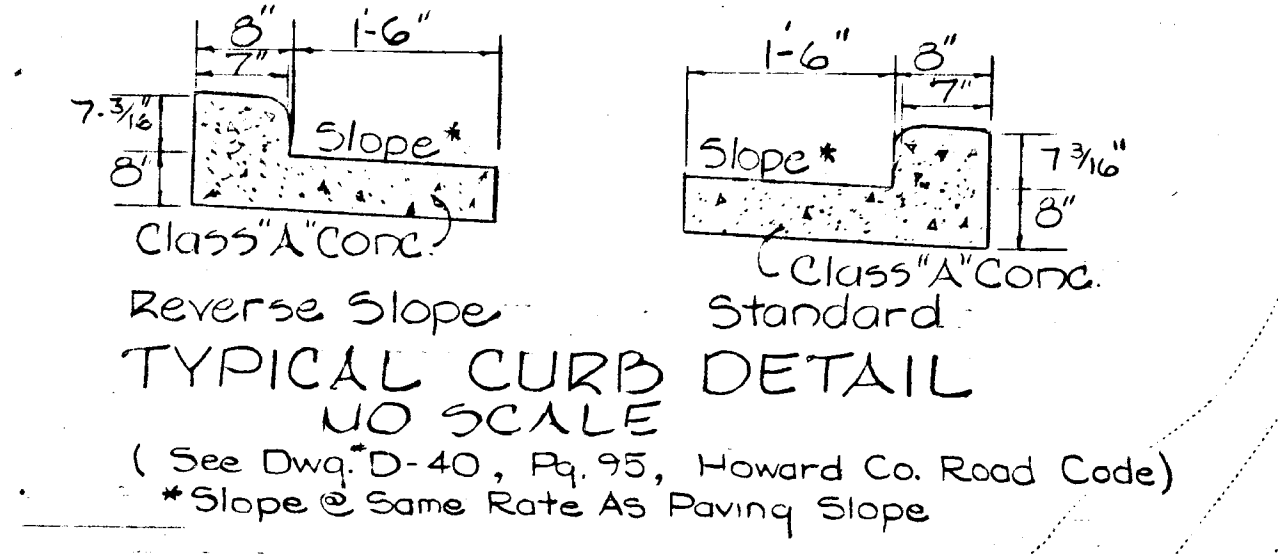
SITE ANALYSIS

AREA OF SITE:	20,8701 AC ±
Sq. Ft.:	909,032.24 Ft.
UNIT COUNT:	202 DU.
Allowable @ 23000/D.U.:	4668 Sq. Ft.
Provide:	270 DU.
Use Of One Bedroom Units:	126
Area Of One Bedroom Unit:	828 Sq. Ft.
Use Of Two Bedroom Units:	144
Area Of Two Bedroom Unit:	1161 Sq. Ft.
COVERAGE:	
Allowable @ 20% Of Lot:	19,120.51 Ft.
Provided @ 9.88% Of Lot:	20,553.41 Ft.
Ratio:	1.08
Minimum @ 15/100:	4.05
Provided:	4.05
ZONING:	R-1
TOTAL A.D.T. COUNT (210 x 0.5):	1,050

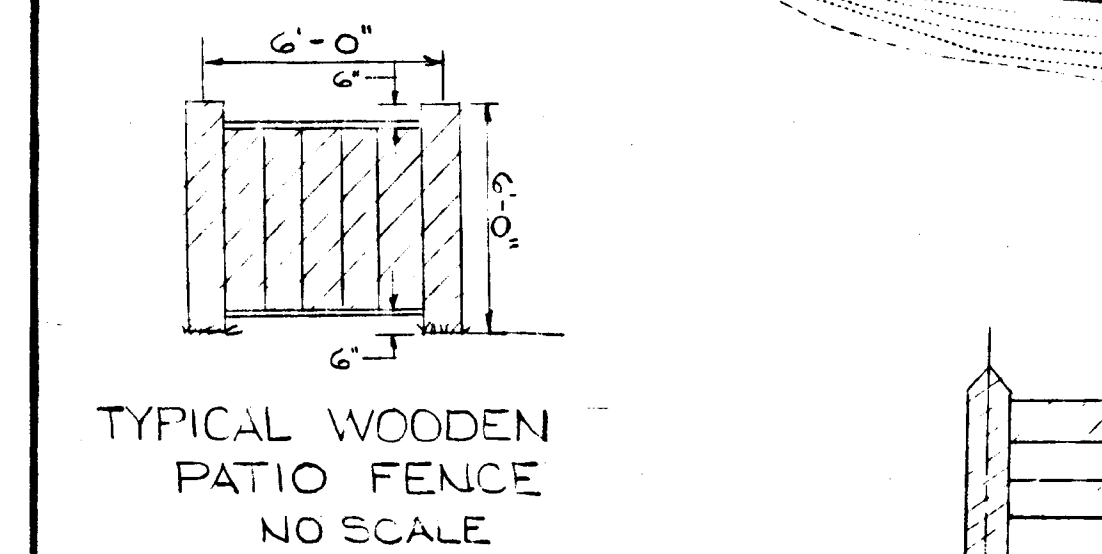
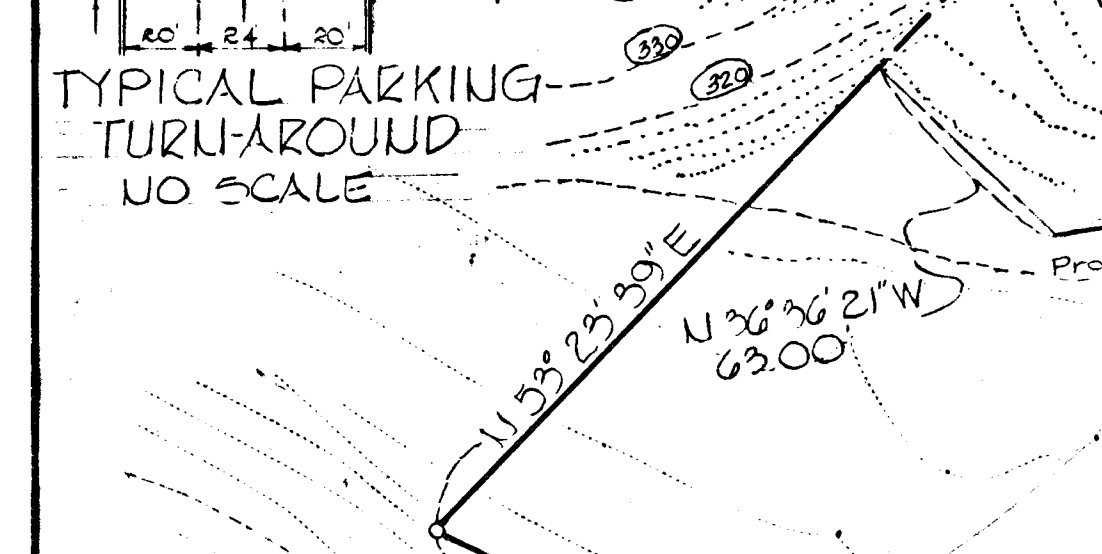
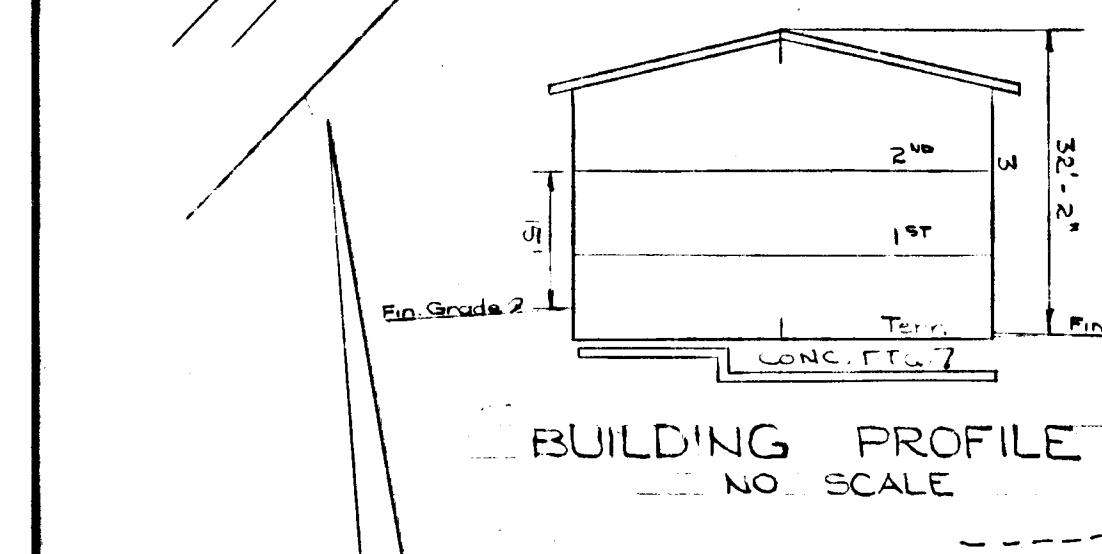
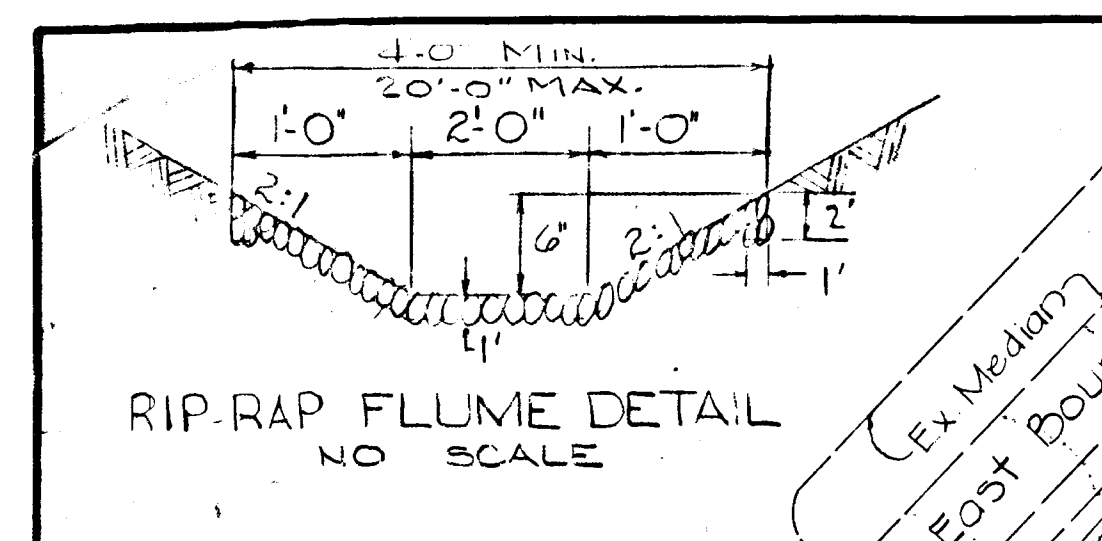
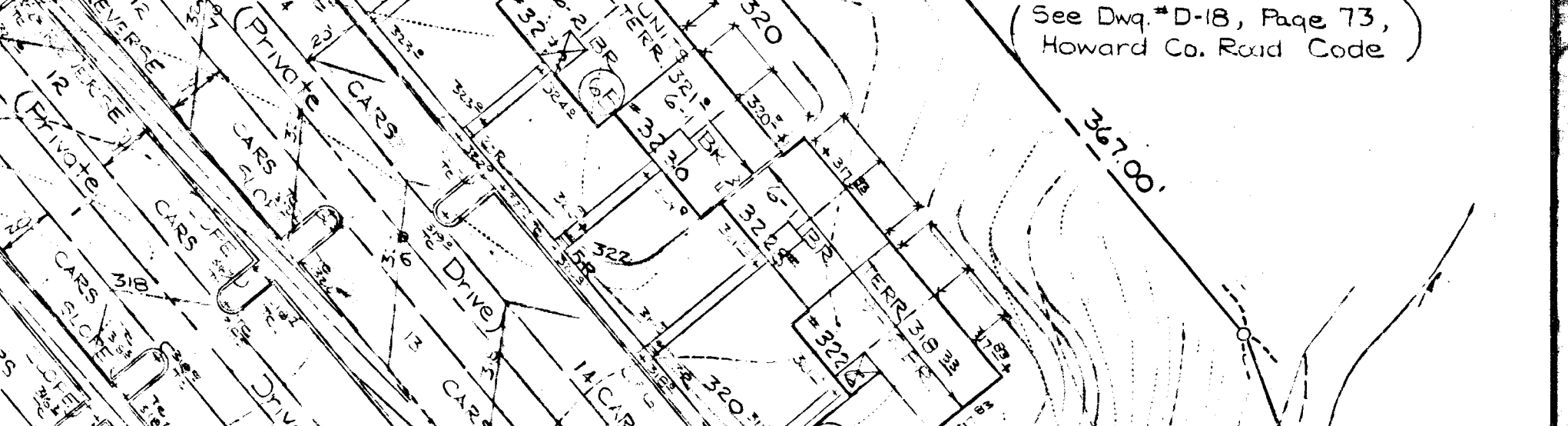
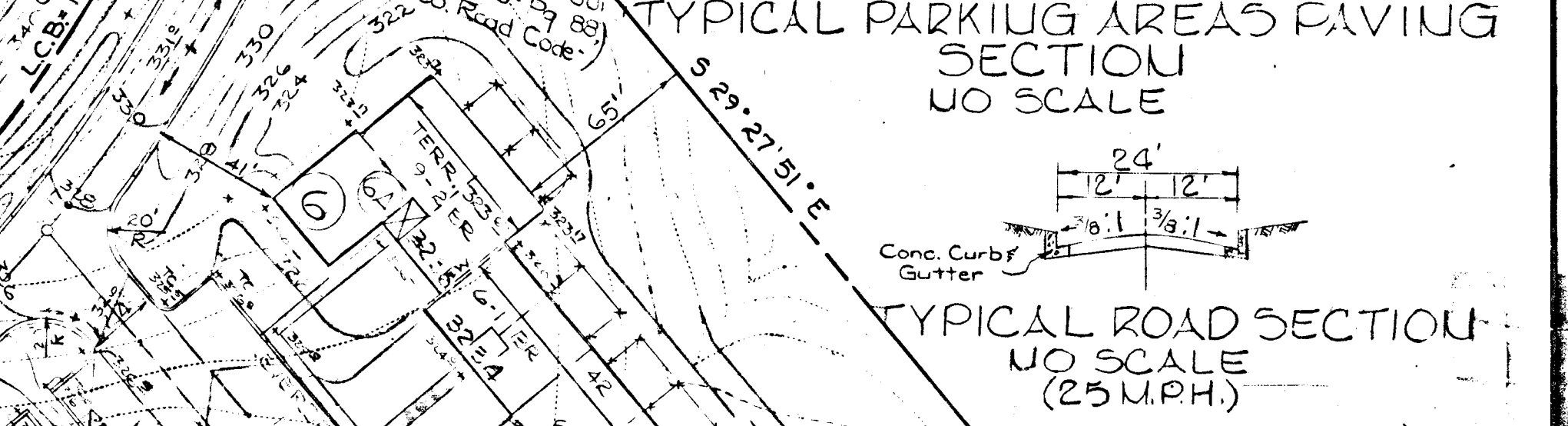
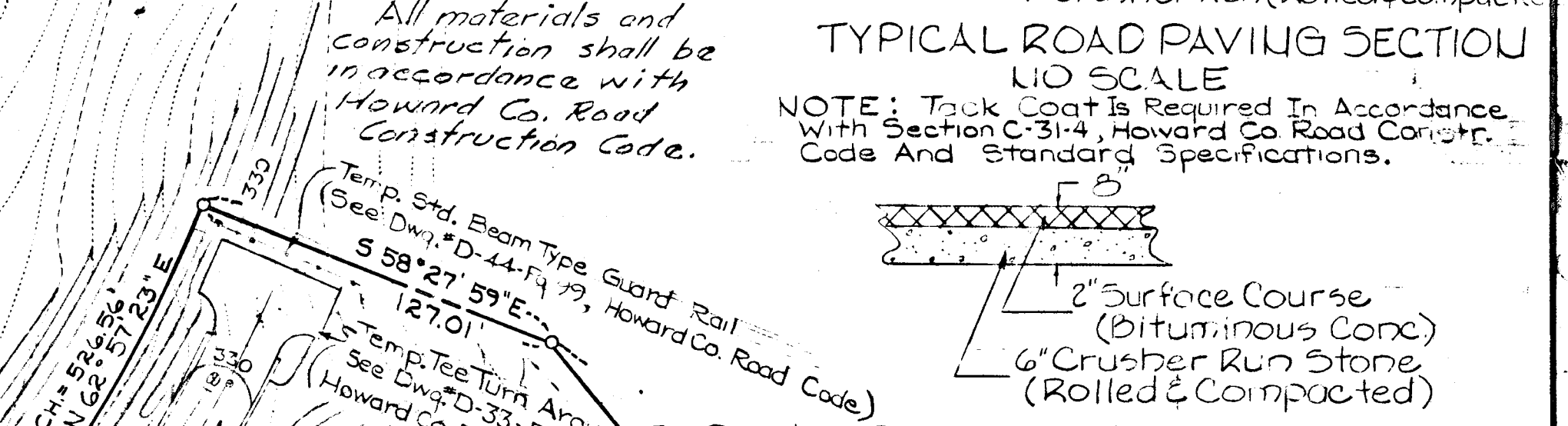
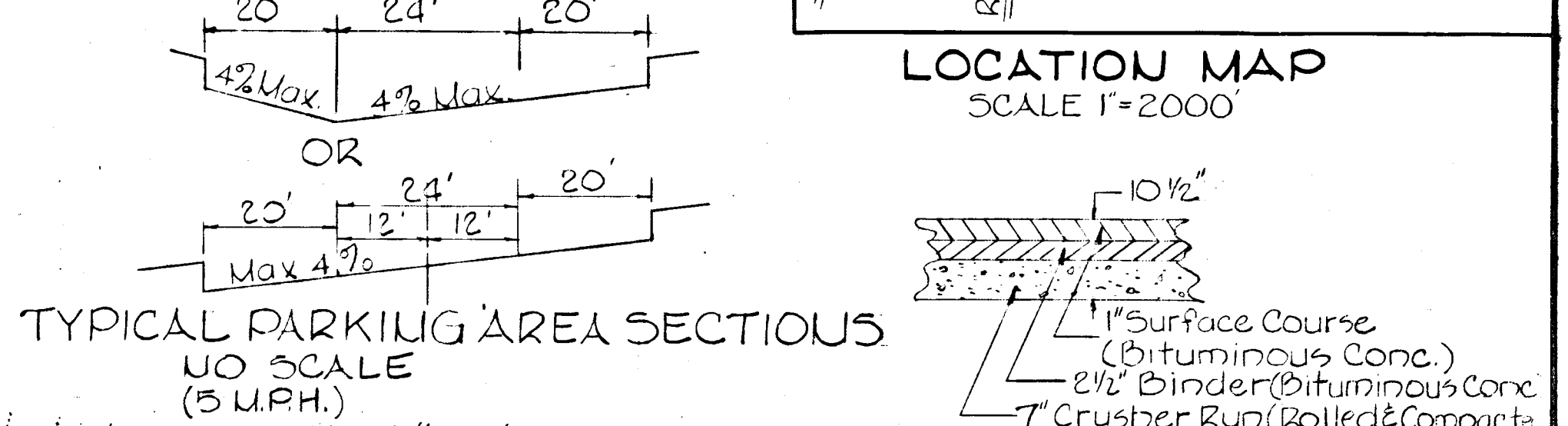
- ### GENERAL NOTES
- 1) Tax Map 15 Parcel 232
 - 2) Water And Sewer To Be Provided For Connection To Existing Mains.
 - 3) Pedestrian Walk-Ways To Be Provided In Accordance With Howard County Regulations.
 - 4) All Disturbed Areas If Not Paved To Be Stabilized With Seed & Or Sod As Soon As Possible.
 - 5) No Fences or Walls Other Than Those Shown Hereon Are To Be Permitted.
 - 6) Typical Parking Space 20'x10' 200 Sq. Ft.
 - 7) All Stop Signs To Be Placed As Directed By The Howard Co. Dept. of Public Works.
 - 8) Type Of Drain Pipe To Be As Shown, Or Corrugated, Galvanized Steel Or Aluminum Pipe



NOTE: Slopes Steeper Than 5:1 Will Be Stabilized In Accordance With Critical Area Stabilization With Ground Covers. See PG 5-500 Thru 5-507 3rd. Spec. Soil Erosion & Sediment Control In Urban Areas U.S.D.A. S.E.S.



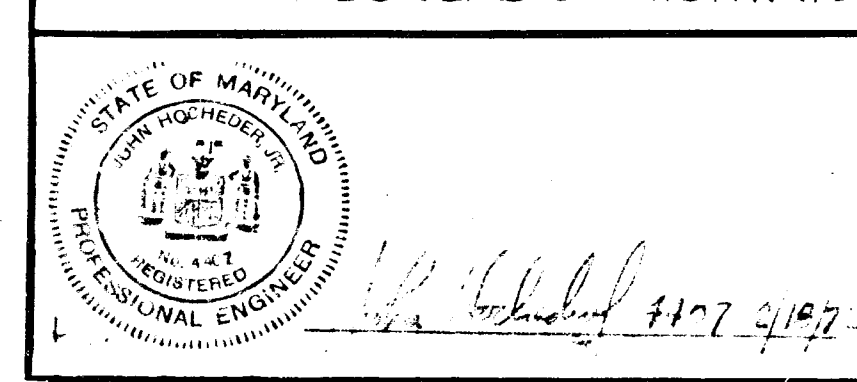
- ### LEGEND
- Ex. Ground Shown Thus
 - Proposed Grades Shown Thus
 - Spot Elevations Shown Thus
 - No. Risers Shown Thus
 - Proposed Drain System Shown Thus
 - Proposed Fire Walls Shown Thus
 - A.D.T. Count Shown Thus
 - Proposed Rip-Rap Flume
 - Prop. Rip-Rap Sprinkler Shown Thus
 - Prop. Fatio Fences Shown Thus



APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEM BY HOWARD COUNTY HEALTH DEPARTMENT
 HEALTH OFFICER: *John M. ...* DATE: 4-17-73

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
 DIRECTOR: *...* DATE: 4-17-73
 CHIEF: DIVISION OF LAND DEVELOPMENT & TRANSPORTATION PLANNING

APPROVED FOR PUBLIC WATER, SANITARY SEWER, STORM DRAINAGE SYSTEM AND ROADS BY HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR: *...* DATE: 4-13-73
 CHIEF: BUREAU OF HIGHWAYS DATE: 3-29-73



GEORGE W. STEPHENS JR. & ASSOCIATES
 305 ALLEGHEEY AVE.
 TOWSON MD. 21204

OWNER & DEVELOPER:
 Universal Housing & Development Co.
 805 Lannerton Road
 Baltimore, Maryland
 21220

NORMANDY WOODS APARTMENTS

SECTION ONE

HOWARD CO. MARYLAND ELECT. DIST. # 2

SITE DEVELOPMENT PLAN

SCALE 1"=50'

FEB. 18, 1972
 REVISED: MAY 11, 1972

DWG. NO. S-1

DATE 6-14-72
Shirley B. Harris, Jr.