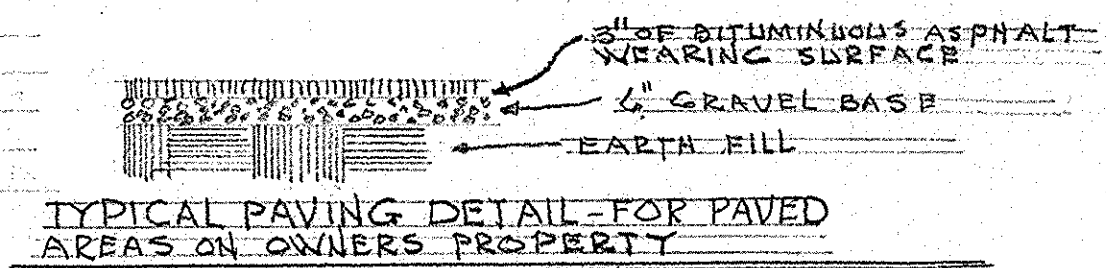


- SHEET INDEX**
- 1 SITE DEVELOPMENT PLAN
 - 2 LANDSCAPE PLAN
 - 3 CHANNEL PROFILE & DETAILS
 - 4 PLANTING & LAYOUT PLAN
 - 5 LANDSCAPE DETAILS

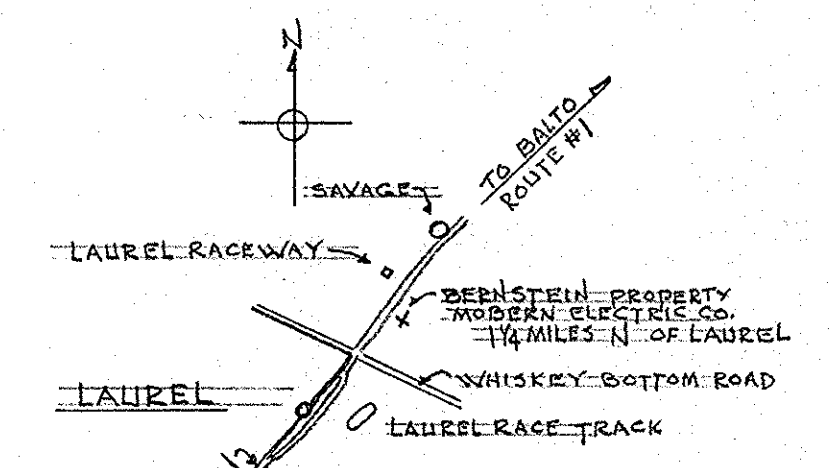
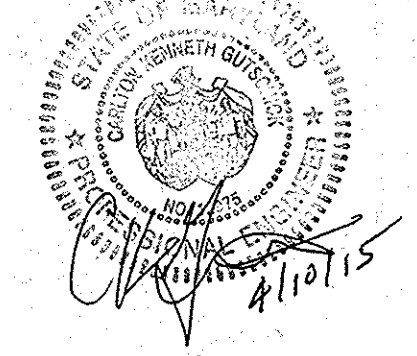


PROFESSIONAL CERTIFICATION

FOR REVISION Δ Δ

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 12915 EXPIRATION DATE: MAY 26, 2016



VICINITY PLAN
APPROVED

DIVISION OF LAND DEVELOPMENT AND TRANSPORTATION PLANNING
HOWARD COUNTY, MARYLAND

DATE: 6/19/72

J.P. Clary

- SCHEDULE OF WORK NOTES:**
- PROVIDE STORM WATER DITCH ADJACENT TO PRESENT WET AREAS & OUT OF WAY OF THE NEW ADDITION. GRADE OF BANKS OF DITCH TO BE LOWER THAN EXISTING GRADE ON BOTH SIDES. WATER OF WET AREAS TO BE DIVERTED INTO NEW DITCH.
 - GRADE SITE AS REQUIRED - STOCK PILE MATERIAL IN LOCATION OF NEW ADDITION SINCE THIS EARTH WILL BE REUSED UNDER BASEMENT SLAB OF NEW ADDITION & FOR ELEVATED EXTERIOR GRABES - EXPOSED SURFACES & MATERIALS SHALL BE STABILIZED & PROTECTED IMMEDIATELY.
 - EXCAVATE FOR FOOTINGS.
 - ERECT NEW BUILDING.
 - PROVIDE FINAL GRADING ON SITE.
 - STABILIZE STOCK PILED EARTH WITH STRAW BALES & METAL RODS SECURED INTO EARTH.
 - SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED 24 HOURS BEFORE WORK BEGINS. PHONE 465-8180

- GENERAL NOTES:**
- ALL SEDIMENT CONTROL MEASURES TO BE ADJUSTED TO MEET FIELD CONDITIONS AT TIME OF CONSTRUCTION AND INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE.
 - ALL SEDIMENT CONTROL MEASURES SHALL BE UNDERTAKEN IN STRICT ACCORDANCE WITH CRITERIA & SPECS APPROVED BY HOWARD COUNTY SOIL CONSERVATION DISTRICT. CONTRACTOR SHALL OBTAIN & FOLLOW THESE STANDARDS FROM HOWARD COUNTY SOIL CONSERVATION DEPT.
 - THE STORM WATER DITCH TO BE A TEMPORARY INSTALLATION UNTIL THE FINAL DEVELOPMENT OF THIS PROPERTY IS COMPLETED.
 - THE VELOCITY OF THE CHANNEL IS TO BE SMALL AS TO BE NON-SCOURING.
 - FOR OPEN DITCH FOR STORM WATER DRAINAGE - SEE GREENHORNE O'MARA CHANNEL PLAN & DITCH DETAIL DWGS.
 - ALL STOCK PILED EARTH TO BE USED FOR FILL UNDER FLOOR SLAB SHALL BE STABILIZED & PROTECTED IMMEDIATELY.
 - AREA IN REAR OF BUILDING TO DITCH TO BE SODDED - THIS WORK WILL ONLY REMAIN UNTIL THE FUTURE PLANNING FOR THIS PROPERTY IS COMPLETED.
 - FOR PAVED AREAS - BASE WILL BE PRIMED IN ACCORDANCE WITH G30-3.
 - STICK CONSTRUCTION SHALL BE IN ACCORDANCE WITH SECTION C-314 OF THE HOWARD COUNTY ROAD CONSTRUCTION CODE & STANDARD SPECIFICATIONS.
- AREA TO BE DISTURBED:**
- | | |
|-------------------|-----------------------|
| BUILDING AREA | 41,900 SQ. FT. |
| PAVED AREA | 22,000 SQ. FT. |
| SODDED AREA | 8,000 SQ. FT. |
| TOTAL AREA | 71,900 SQ. FT. |
6. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN PAID AS PART OF THE DFW DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$4,140.00 FOR 3 SHADE TREES, 11 ORNAMENTAL TREES, AND 35 SHRUBS.

SITE DATA

PROPOSED USE: SELF STORAGE FACILITY
PROPOSED AREA OF OFFICE SPACE = 4,900 SF
PARKING REQUIRED (4 SP/1000 SF OFFICE AREA) = 28
TOTAL NO. EMPLOYEES = 70
TOTAL PARKING SPACES SHOWN = 18 PROVIDED TRUCK LOADING DOCKS FOR 6 TRUCKS.

BUILDING HEIGHT:
FRONT = 27'6" TERRACE TO ROOF
REAR = 28'0" TERRACE TO ROOF

AREAS:
PARCEL #2 = 4 ACRES
FIRST FLOOR - NEW ADDITION = 41,400 SQ. FT.
BASEMENT - NEW ADDITION = 33,200 SQ. FT.
TOTAL AREA = 74,600 SQ. FT.

LEGEND

- Existing Contour
- Proposed Contour
- +xxx.xx Spot Elevation

OWNER:
Schraf Associates, LLC
8812 Platt Ridge Drive
Chevy Chase, MD 20815

EROSION AND SEDIMENT CONTROL PLAN

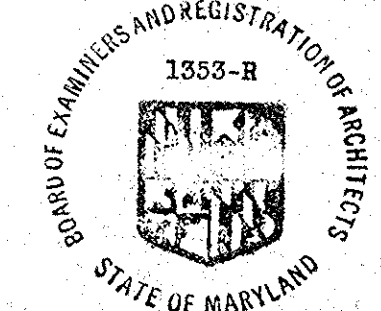
ZONED: CE-C11

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

Reviewed: *[Signature]* 5-2-72
1st. Conservationist

Approved: *[Signature]* 5-2-72
Howard SCD

N. David Daumit



N. DAVID DAUMIT A. I. A.

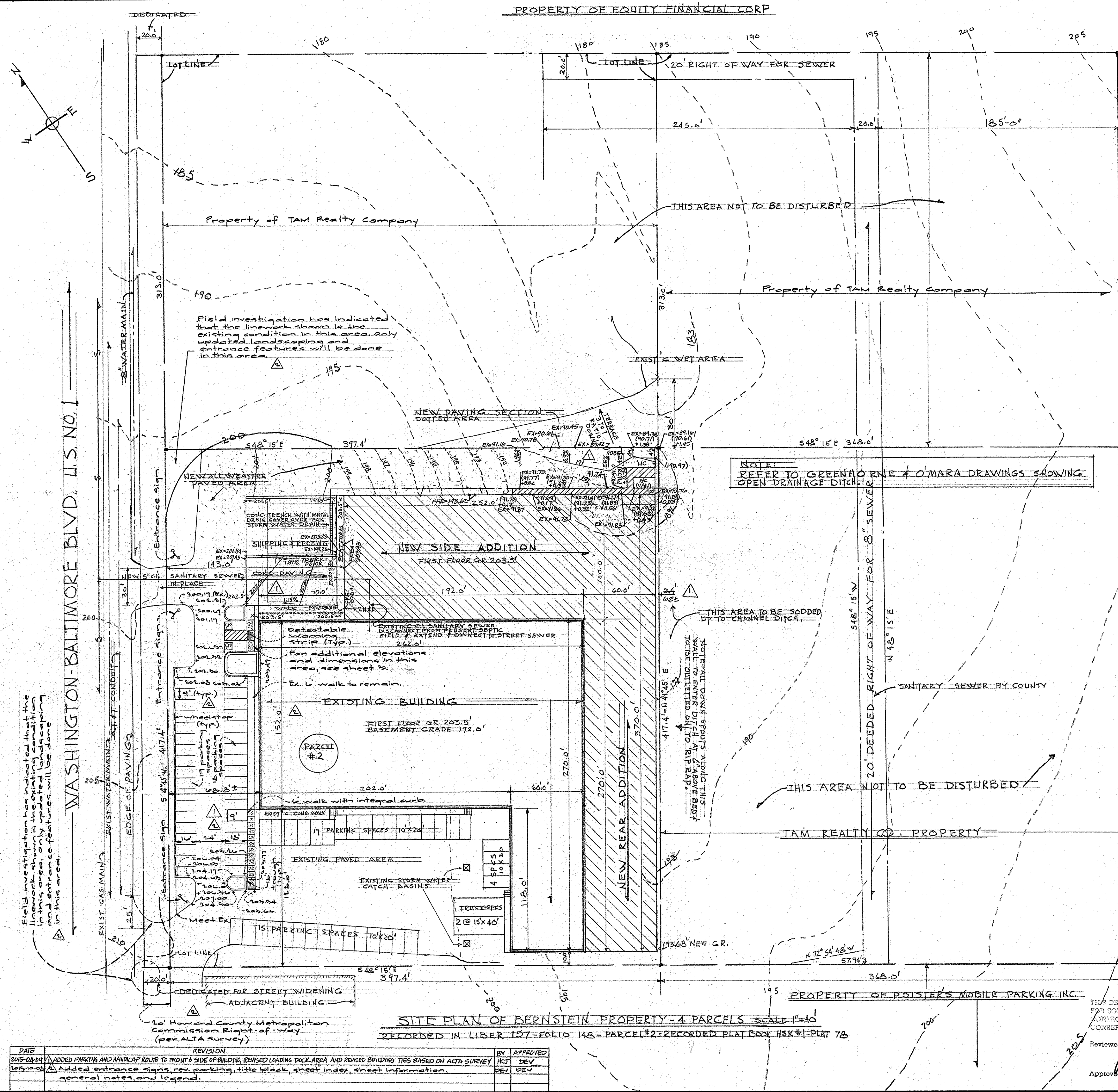
ARCHITECT AND ASSOCIATES
9325 HARVEY ROAD, SILVER SPRING, MD. JUNiper 8-2927

NEW ADDITION FOR MODERN ELECTRIC CO.

9721 WASHINGTON BOULEVARD
HOWARD COUNTY - MD.

ELECTION DISTRICT #6

DATE: 12/17/71 REVISIONS: 1/28/72 4/1/72 DRAWING NO. SHEET 1 OF 5



Field investigation has indicated that the line work shown in this area, only updated landscaping and entrance features will be done in this area.

Field investigation has indicated that the line work shown in this area, only updated landscaping and entrance features will be done in this area.

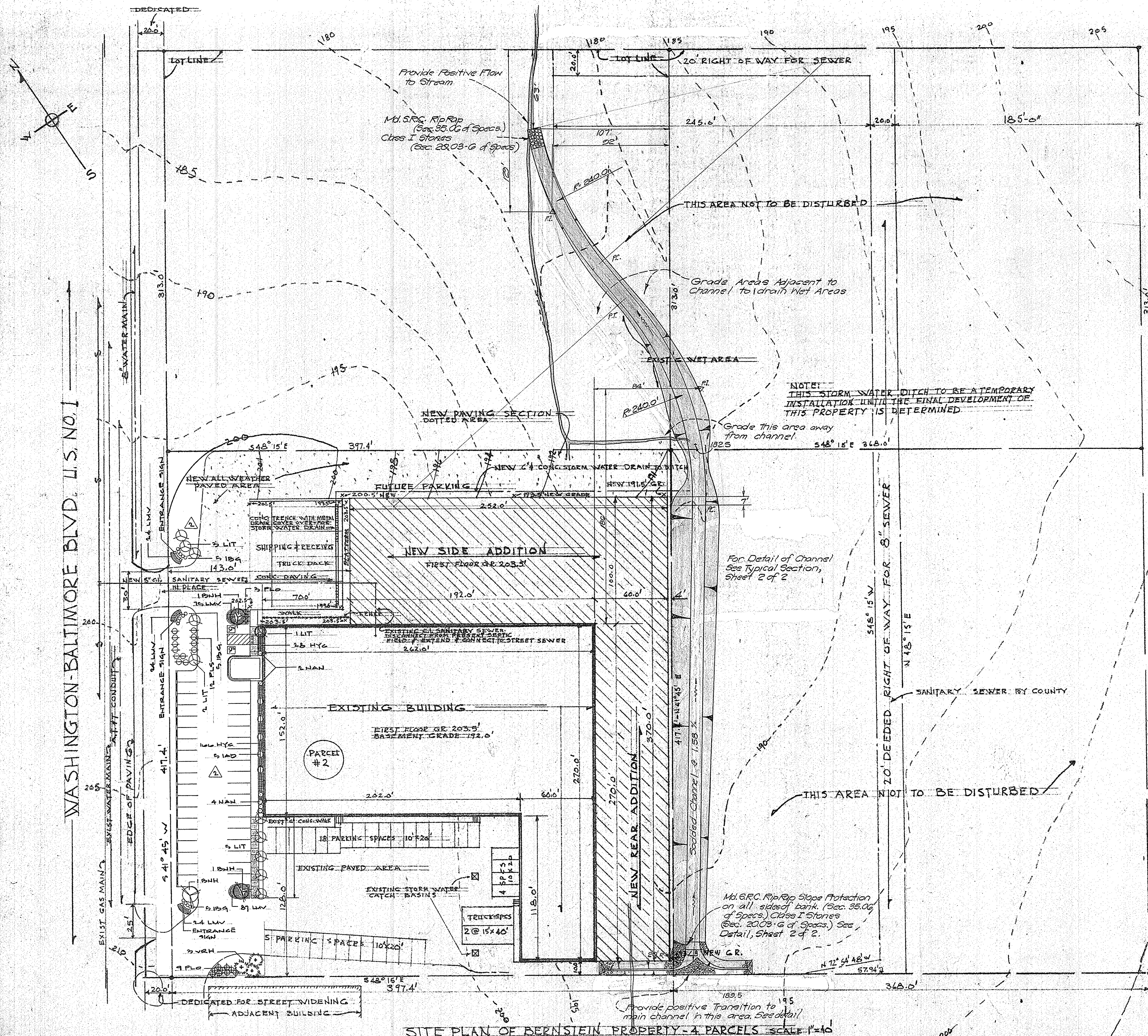
NOTE: REFER TO GREENHORNE & O'MARA DRAWINGS SHOWING OPEN DRAINAGE DITCH

THIS AREA TO BE SODDED UP TO CHANNEL DITCH.

NOTES: DOWN SPOUTS ABOVE THIS WALL TO ENTER DITCH AT 2' ABOVE BENCH TO BE OUTLETTED ON TO RILEY RAP.

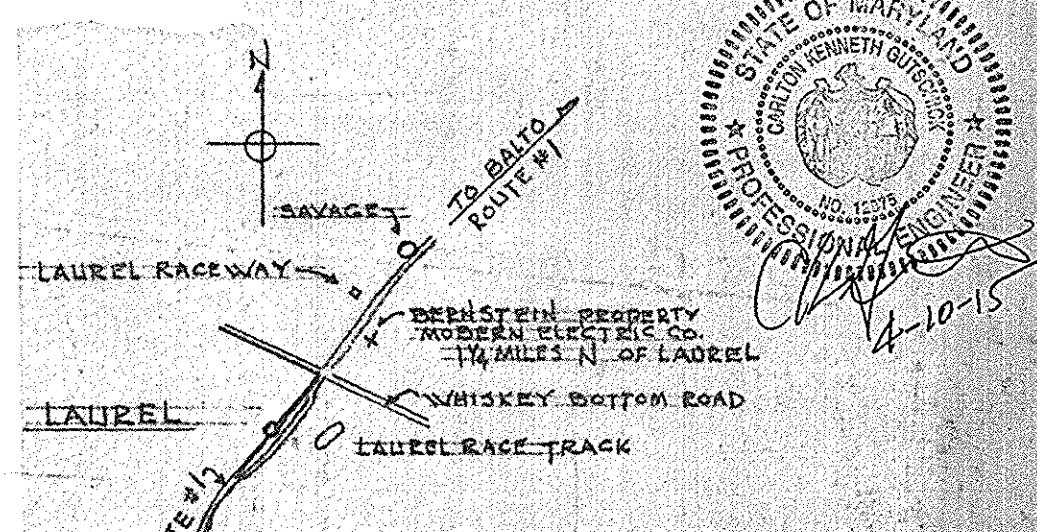
DATE	REVISION	BY	APPROVED
2015-04-09	ADDED PARKING AND HANDICAP ROUTE TO FRONT SIDE OF BUILDING, REVISED LOADING DOCK AREA AND REVISED BUILDING TIES BASED ON ALTA SURVEY	HJT	DEV
2015-10-08	Added entrance signs, rev. parking, title block, sheet index, sheet information, general notes, and legend.	DEV	DEV

SITE PLAN OF BERNSTEIN PROPERTY - 4 PARCELS - SCALE 1"=40'
RECORDED IN LIBER 157-FOLIO 148 - PARCEL #2 - RECORDED PLAT BOOK #SK#1 - PLAT 78



WASHINGTON-BALTIMORE BLVD. U.S. NO. 1

PROFESSIONAL CERTIFICATION
 FOR REVISION Δ & Δ
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND
 LICENSE No. 12915 EXPIRATION DATE MAY 26, 2010



VICINITY PLAN
 APPROVED
 DIVISION OF LAND DEVELOPMENT AND TRANSPORTATION PLANNING
 HOWARD COUNTY, MARYLAND
 DATE 6/19/72
J.H. Clawson

- PLANTING SYMBOLS**
- \odot BNH Heritage River Birch
 - \odot LIT Tuskegee Grape Myrtle
 - \odot NS Nellie R. Stevens Holly
 - \odot VRH Leatherleaf Viburnum
 - \odot BA Blue Girl Holly
 - \odot PLO Otto Luyken Cherry Laurel
 - \odot PLS Schipka Cherry Laurel
 - \odot NAN Heavenly Bamboo
 - \odot HY2 Aaron'sbeard St. Johnswort
 - \odot LMV Virigated Lily Turf
- See sheet 4 for additional information

SCHEDULE OF WORK NOTES

1. PROVIDE STORM WATER DITCH ADJACENT TO PRESENT WET AREAS & OUT OF WAY OF THE NEW ADDITION. GRADE OF BANKS OF DITCH TO BE LOWER THAN EXISTING GRADE ON BOTH SIDES. WATER OF WET AREAS TO BE DIVERTED INTO NEW DITCH.
2. GRADE SITE AS REQUIRED. STOCK PILE MATERIAL IN LOCATION OF NEW ADDITION SINCE THIS EARTH WILL BE REUSED UNDER BASEMENT SLAB OF NEW ADDITION. LEAVE ELEVATED EXTERIOR GRADES EXPOSED SURFACES & MATERIALS SHALL BE STABILIZED & PROTECTED IMMEDIATELY.
3. EXCAVATE FOR FOOTINGS.
4. ERECT NEW BUILDING.
5. PROVIDE FINAL GRADING ON SITE.

GENERAL NOTES:

1. ALL SEDIMENT CONTROL MEASURES TO BE ADJUSTED TO MEET FIELD CONDITIONS AT TIME OF CONSTRUCTION AND INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BANKS OF SITE.
2. ALL SEDIMENT CONTROL MEASURES SHALL BE UNDER TAKEN IN STRICT ACCORDANCE WITH CRITERIA & SPECS APPROVED BY HOWARD COUNTY. SOIL CONSERVATION DISTRICT CONTRACTOR SHALL OBTAIN THESE STANDARDS FROM HOWARD COUNTY SOIL CONSERVATION DEPT.
3. THE STORM WATER DITCH TO BE A TEMPORARY INSTALLATION UNTIL THE FINAL DEVELOPMENT OF THIS PROPERTY IS COMPLETED.

ALL STOCK PILED EARTH TO BE USED FOR FILL UNDER FLOOR SLABS SHALL BE STABILIZED & PROTECTED IMMEDIATELY.
 AREA IN REAR OF BUILDING TO DITCH TO BE SODDED. THIS WORK WILL ONLY REMAIN UNTIL THE FUTURE PLANNING FOR THIS PROPERTY IS COMPLETED.

AREA TO BE DISTURBED:

BUILDING AREA	41,700 SQ. FT.
PAVED AREA	22,400 SQ. FT.
SODDED AREA	5,400 SQ. FT.
TOTAL AREA	71,500 SQ. FT.

SYMBOLS:

- EXISTING CONTOURS
- - - NEW CONTOURS
- x-x-x NEW SPOT GRADES

NOTES:

- Δ TOTAL NO. EMPLOYEES 70
- TOTAL PARKING SPACES SHOWN 65
- TRUCK LOADING DECKS FOR 6 TRUCKS

BUILDING HEIGHT:

FRONT	2 1/2' TERRACE TO ROOF
REAR	2 1/2' TERRACE TO ROOF

AREAS:

PARCEL #2	4 ACRES
FIRST FLOOR NEW ADDITION	41,700 SQ. FT.
BASEMENT NEW ADDITION	33,200 SQ. FT.
TOTAL AREA	74,900 SQ. FT.

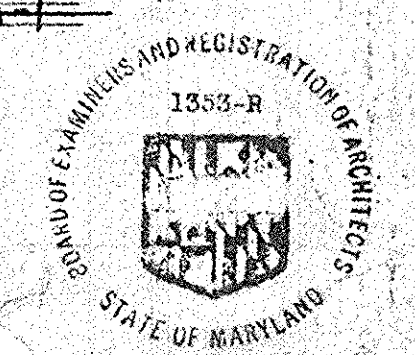
ZONED M-1

NO SIGNS, WALLS OR FENCES TO BE CONSTRUCTED ON THIS SITE

OWNERS ARE TAM REALTY CO.
 ADDRESS IS P.O. BOX 245 IN LAUREL MD.
 TELEPHONE 953-2262

OWNER
 SCHRAF ASSOCIATES, LLC
 8812 PLATT RIDGE DRIVE
 CHEVY CHASE, MD 20815

SDP # 72-47



N. DAVID DAUMIT A.I.A.
 ARCHITECT AND ASSOCIATES
 9325 HARVEY ROAD, SILVER SPRING, MD. JUNIPOR 8-2927

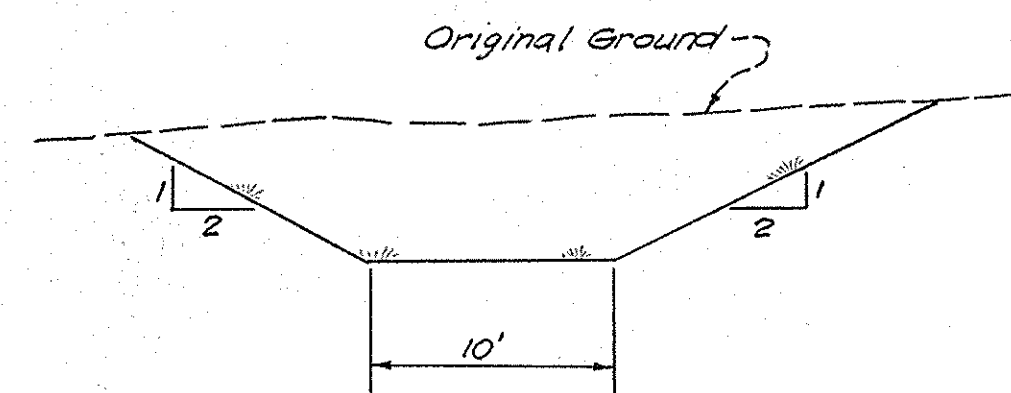
NEW ADDITION FOR MOBERN ELECTRIC CO
 9731 WASHINGTON BOULEVARD

HOWARD COUNTY, MD.
 ELECTION DISTRICT #6
 DATE 12/17/71 REVISIONS 7/28/72 DRAWING NO. SHEET 2 OF 5

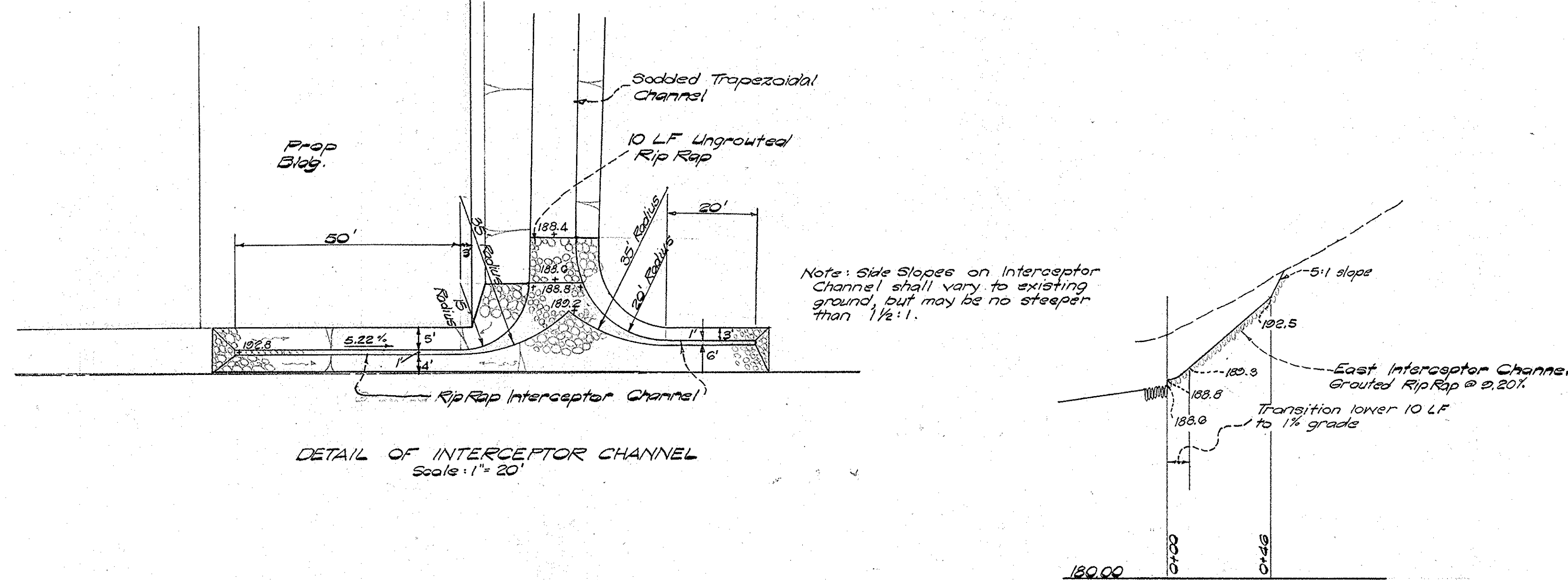
SDP-72-47 50/1210

DATE	REVISION	BY	APP'D
04.09.72	REMOVED SITE DATA AND UPDATED OWNER INFORMATION	HKJ	DEV
10.2.72	REVISED PARKING AND TITLE BLOCK. ADDED PLANTING SYMBOLS	DEV	DEV

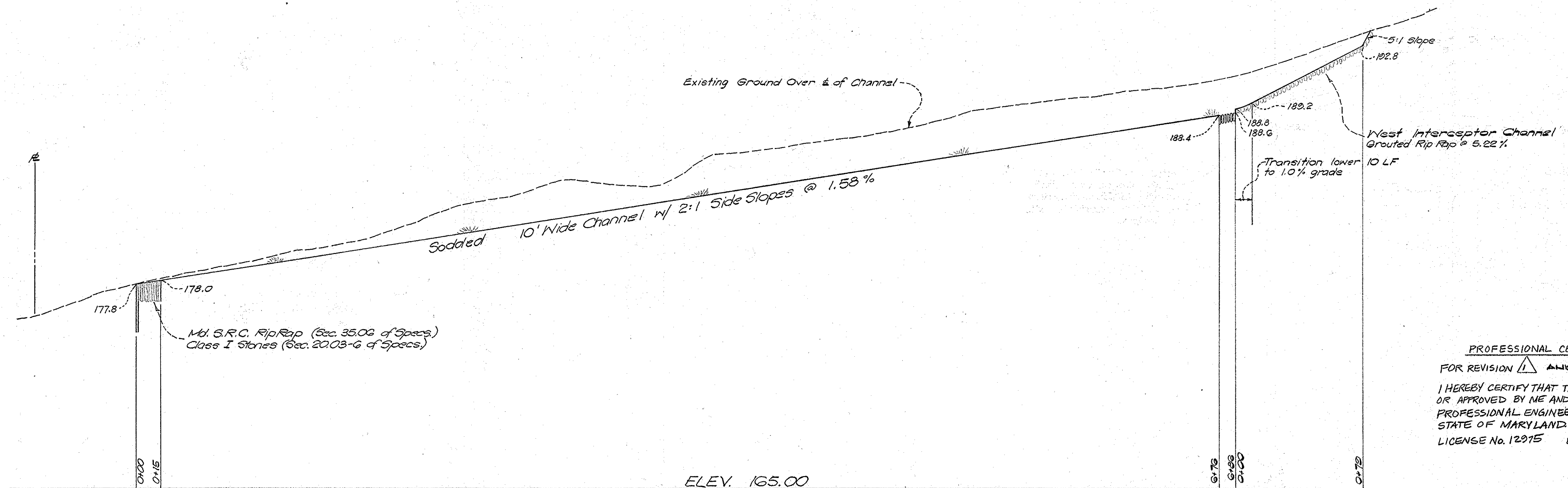
SITE PLAN OF BERNSTEIN PROPERTY - 4 PARCELS SCALE 1"=40'
 RECORDED IN LIBER 157-FOLIO 148-PARCEL #2-RECORDED PLAT BOOK #SK#1-PLAT 78



TYPICAL SECTION TRAPEZOIDAL CHANNEL
No Scale



DETAIL OF INTERCEPTOR CHANNEL
Scale: 1" = 20'



PROFESSIONAL CERTIFICATION

FOR REVISION Δ AND Δ
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE No. 12975 EXPIRATION DATE: MAY 20, 2016



OWNER Δ
SCHRAF ASSOCIATES, LLC
8812 PLATT RIDGE DRIVE
CHEVY CHASE, MD. 20815

APPROVED
DIVISION OF LAND DEVELOPMENT
AND TRANSPORTATION PLANNING
HOWARD COUNTY, MARYLAND
DATE 6/19/12
J.A. Clary

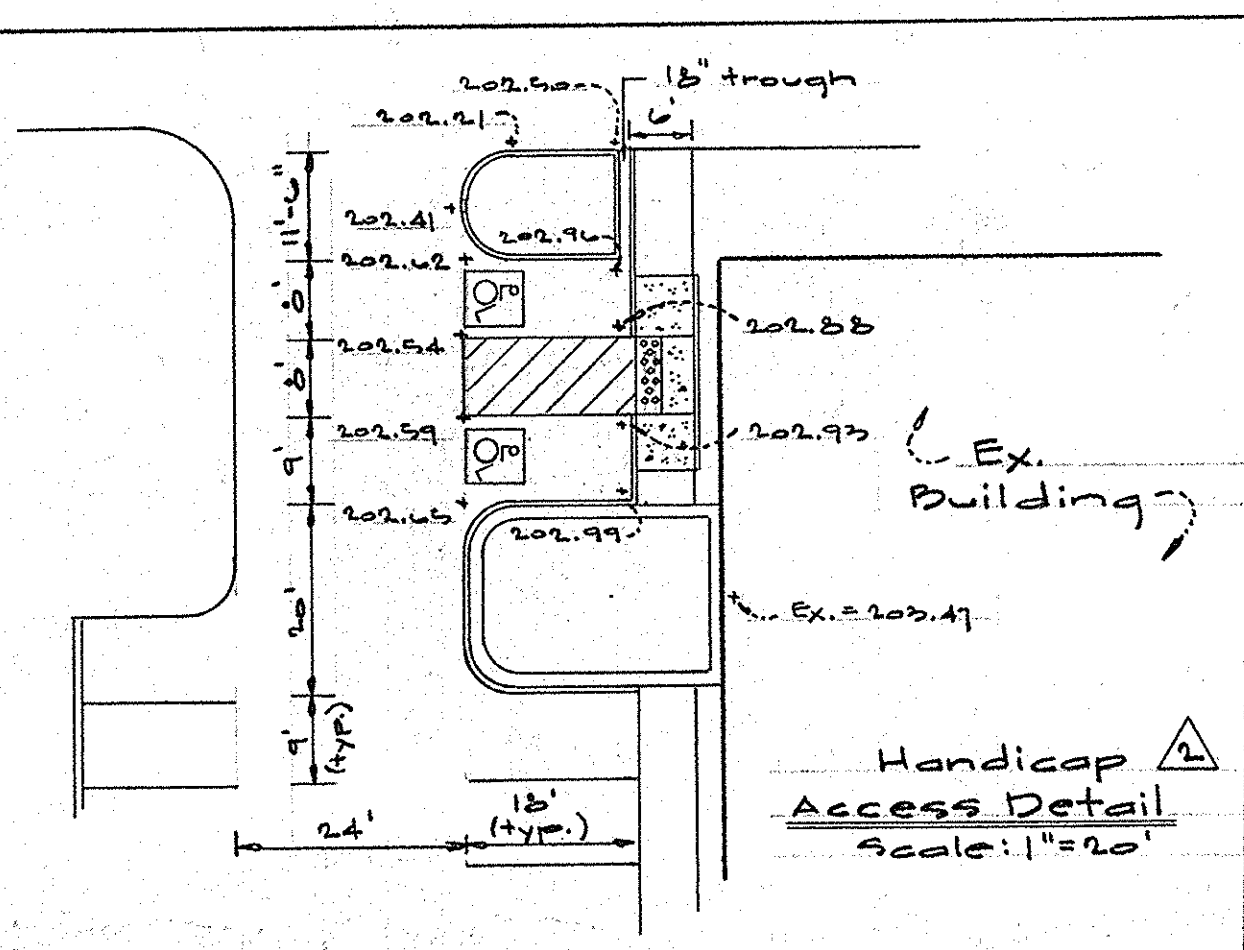
DESIGNER: K. King
DRAWN BY: K. King
APPROVED BY: J. King

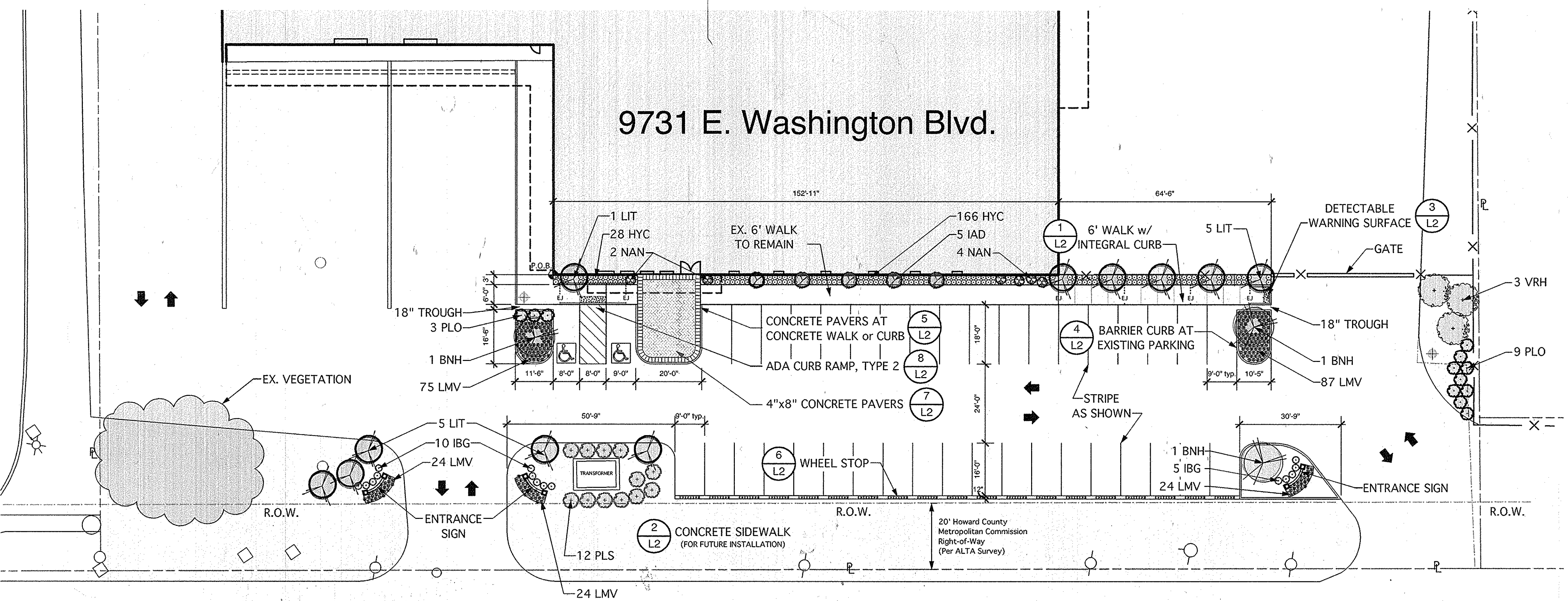
SCALE: Horizontal 1" = 40' Vertical 1" = 4'
DATE: APRIL 1, 2012

GREENHORNE AND O'MARA
CIVIL ENGINEERS LAND SURVEYORS
6715 - KENILWORTH AVE. RIVERDALE, MD.

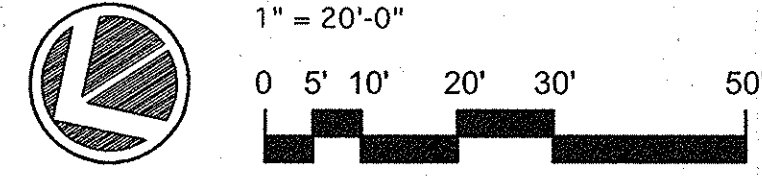
OWNER: *Jim Realty Co.*
JOB NO.: 78469
FILE NO.: SD 1270

DATE	REVISION	BY	APP'D
04.09.15	UPDATED OWNER INFORMATION	KLJ	DEV
06.25.15	REVISED PARKING, HANDICAP ACCESS ROUTES AND TITLE BLOCK	DEV	DEV

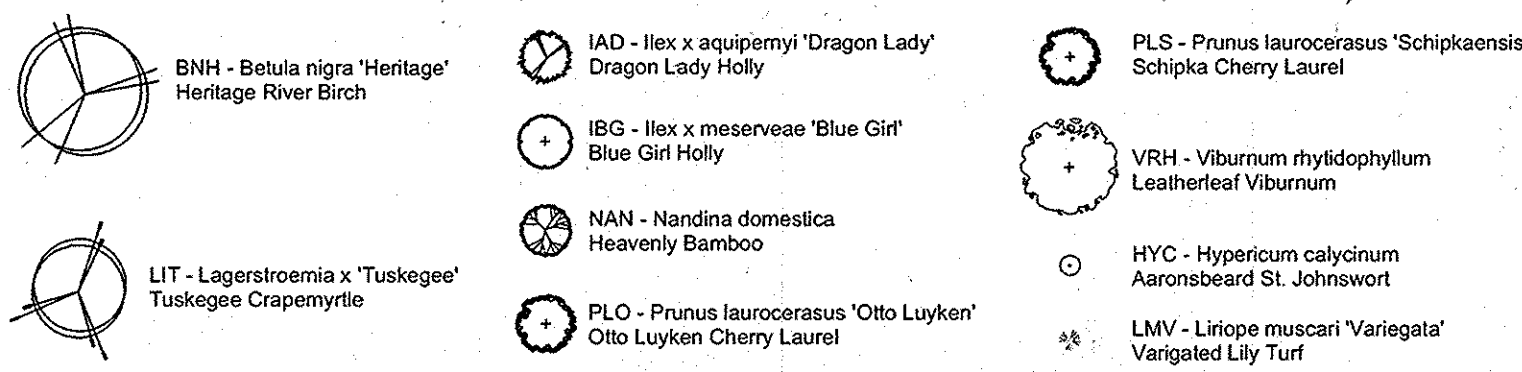




Washington Boulevard U.S. Route 1



Qty	Symbol	Botanical Name	Common Name	Scheduled Size
Trees				
3	BNH	Betula nigra 'Heritage'	Heritage River Birch	B&B, 10-12' hgt.
11	LIT	Lagerstroemia x 'Tuskegee'	Tuskegee Crapemyrtle	B&B, 8-10' hgt.
Shrubs				
5	IAD	Ilex x aquipemyl 'Dragon Lady'	Dragon Lady Holly	#7, 5-6'
15	IBG	Ilex x meserveae 'Blue Girl'	Blue Girl Holly	#7, 3 1/2 - 4'
6	NAN	Nandina domestica	Heavenly Bamboo	#7, 3-4'
12	PLO	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Cherry Laurel	#6, 2 - 2 1/2'
12	PLS	Prunus laurocerasus 'Schipkaensis'	Schipka Cherry Laurel	#6, 2 1/2 - 3'
3	VRH	Viburnum rhytidophyllum	Leatherleaf Viburnum	5-6', BB
Perennials				
194	HYC	Hypericum calycinum	Aaronsbeard St. Johnswort	#1
234	LMV	Liriope muscari 'Variegata'	Variegated Lily Turf	SP2

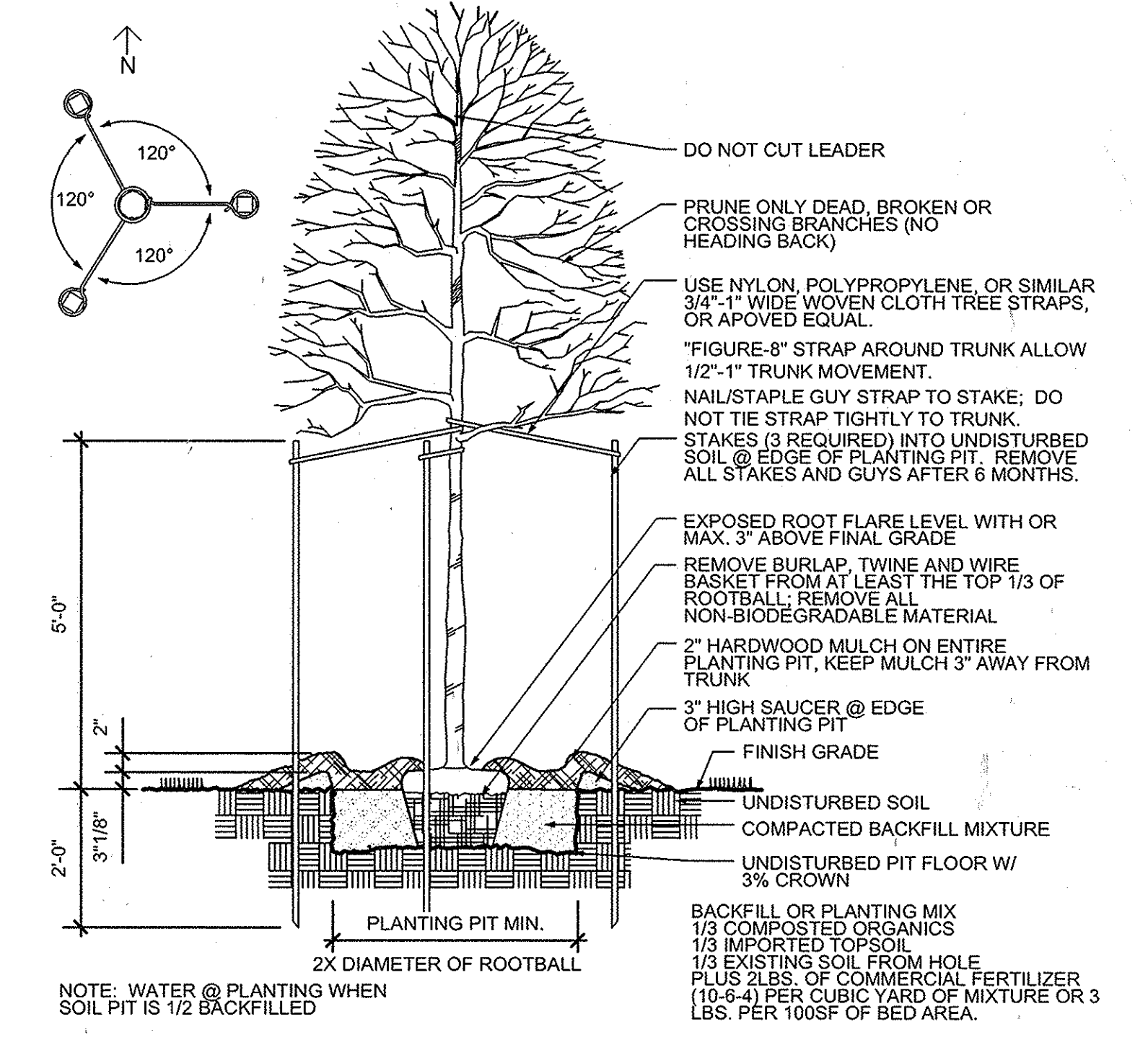


GENERAL NOTES & SPECIAL PROVISIONS

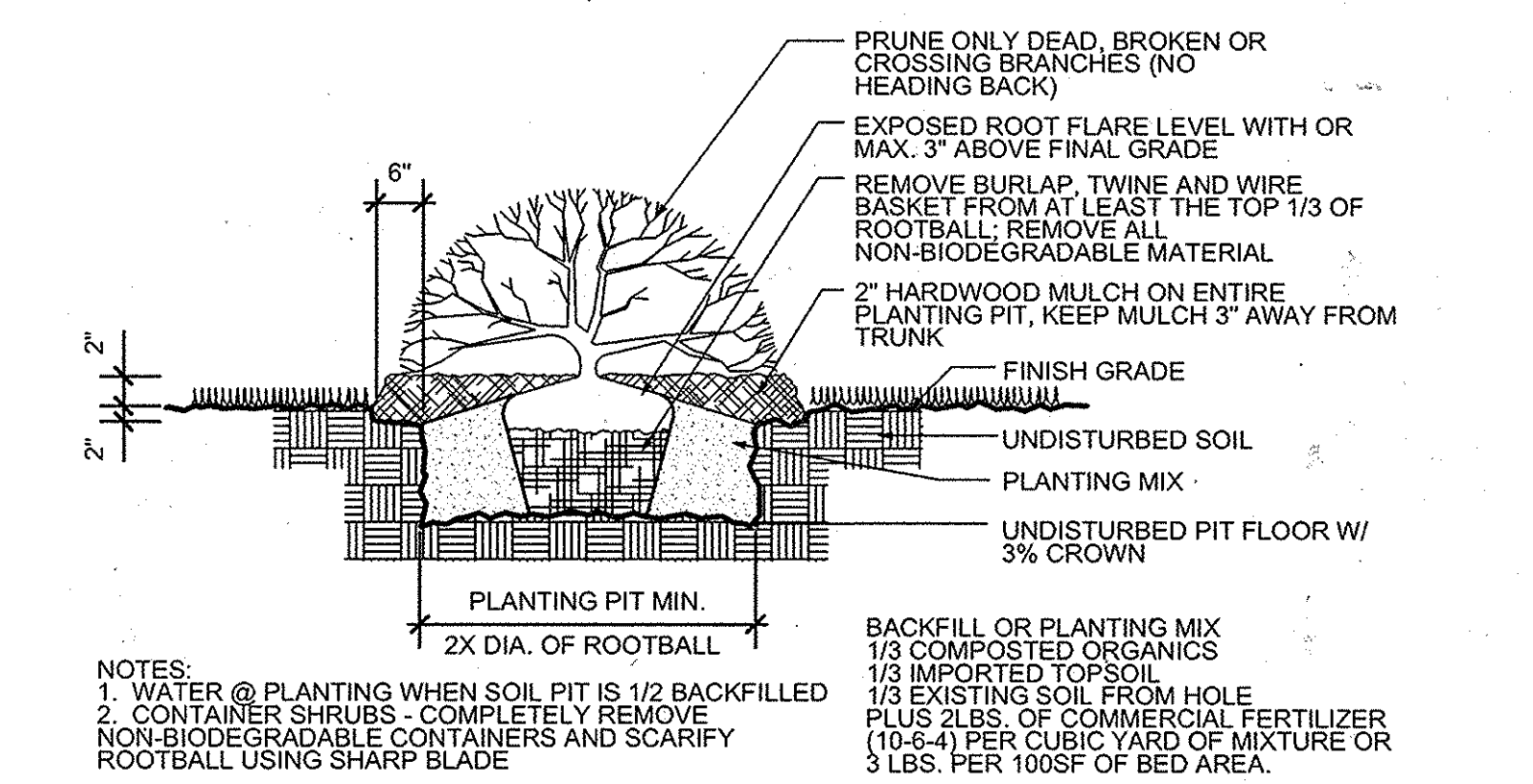
- The contractor shall visit the site and familiarize him/herself with existing conditions prior to bidding.
- The contractor shall field-verify all dimensions and existing conditions prior to construction.
- The contractor shall protect all existing features, planted areas, lawns, pavements, structures and substructures from damage at all times. Any areas or items disturbed shall be replaced and/or repaired to their original condition at no additional cost to the owner.
- Stockpiling and storage of equipment and/or materials shall only take place in approved, designated areas.
- The premises shall be kept clean by the daily removal of all accumulated waste and other debris caused by this project.
- It is the responsibility of the contractor to remove and properly dispose of, off-site, those items to which this pertains (i.e. gravel and other inorganic materials which will not be reused, etc.).
- Prior to digging, the contractor shall call "Miss Utility" (1-800-257-7777) to verify correct locations of all underground utilities in the field. The contractor shall be responsible for the repair of any damage to any utilities during the construction phase.
- The contractor shall hire a private utility locator to locate private utilities on site.
- The selection of all materials and the execution of all operations required under the drawings and specifications shall be subject to the approval of the landscape architect. He/she shall have the right to reject any and all materials and any and all work which, in his/her opinion, does not meet the requirements of the contract documents at any stage of the operations.
- The Contractor shall work with the Owner to ensure adequate access to buildings at all times during business hours.
- Financial surety for the required landscaping has been posted as part of the DPW Developer's Agreement in the amount of \$4,140.00 for the 11 ornamental trees and 234 shrubs.

PLANTING GENERAL NOTES

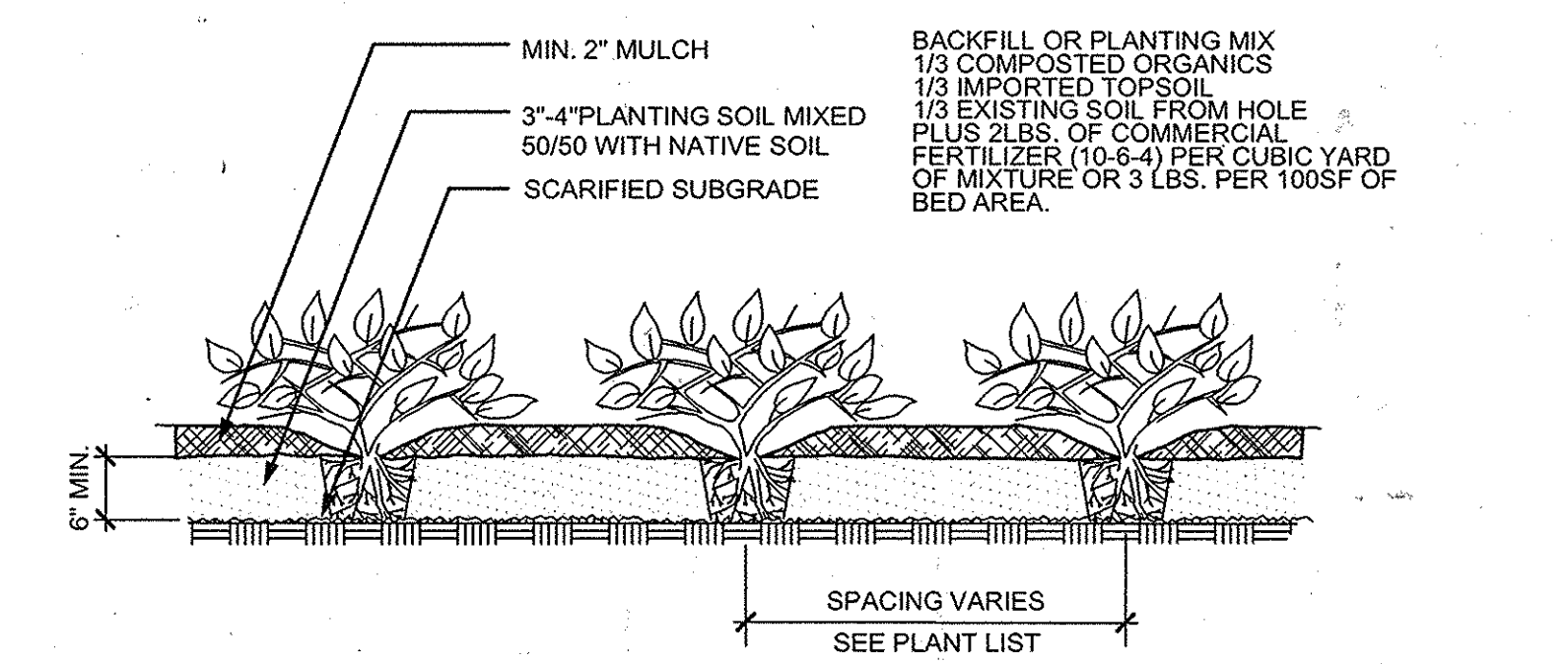
- All plant materials and planting procedures, except as otherwise noted, shall conform to the latest edition of "Landscape Specification Guidelines for the Baltimore-Washington Metropolitan Area" by LCA-MD*DC*VA for anything that is not covered by specifications for this project.
- Using the services of Miss Utility and a private utility locating company, locate and mark all underground utilities before digging. The call to Miss Utility (1-800-257-7777) shall be made at least 48 hours before digging. All underground utilities not marked by Miss Utility shall be marked by the private utility locating company before digging.
- All planting beds and plant locations shall be staked out by Contractor and approved by Landscape Architect before digging unless otherwise noted by Owner. It is the Contractor's responsibility to locate and coordinate plantings with all existing utilities. If discrepancies occur because of utility locations or other existing conditions, the Contractor shall notify the Landscape Architect immediately to coordinate any necessary adjustments. The owner reserves the right to relocate stakeout locations.
- All plant material shall be labeled by the nursery and delivered with labels in place for inspection. Substitutions in plant species or size shall not be permitted except with the written approval of the Landscape Architect. Do not prune plant material except dead branches, unless otherwise directed by the Owner.
- In case of discrepancies between quantities on the plant list and on the plan, the plan shall govern.
- All planting beds shall be tilled to a depth indicated on the details with planting soil mix. All other disturbed non-paved areas shall be tilled and seeded.
- It is of utmost importance that all plant material be set at or slightly higher in relation to grade than it was grown in the nursery and with good earth to root contact. Any materials or work may be rejected by the Landscape Architect if it does not meet this or any other requirement of the specifications, and rejected materials shall be removed from the site at the Contractor's expense.
- All shrub, groundcover and perennial areas shall be planted in continuous prepared beds, mulched with shredded hardwood mulch as detailed and specified. Planting beds shall be 6" higher than adjacent lawn or pavement elevation, unless otherwise noted or doing so would prevent drainage. Planting beds shall slope @ 2% minimum, away from any adjacent building.



1 TREE PLANTING DETAIL
NOT TO SCALE



2 SHRUB PLANTING DETAIL
NOT TO SCALE



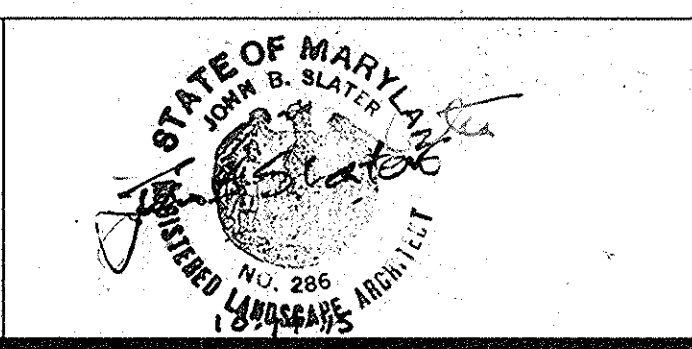
3 PERENNIAL PLANTING DETAIL
NOT TO SCALE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director, Department of Planning & Zoning
 Chief, Division of Land Development
 Chief, Development Engineering Division

SLATER ASSOCIATES, INC.
 Landscape Architecture • Site Planning • Land Planning

DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.

PREPARED FOR:
 Dennis Schraf
 10610 Rhode Island Avenue
 Suite B-100
 Beltsville, MD 20705
 Attn: Dennis Schraf
 301.937.3229

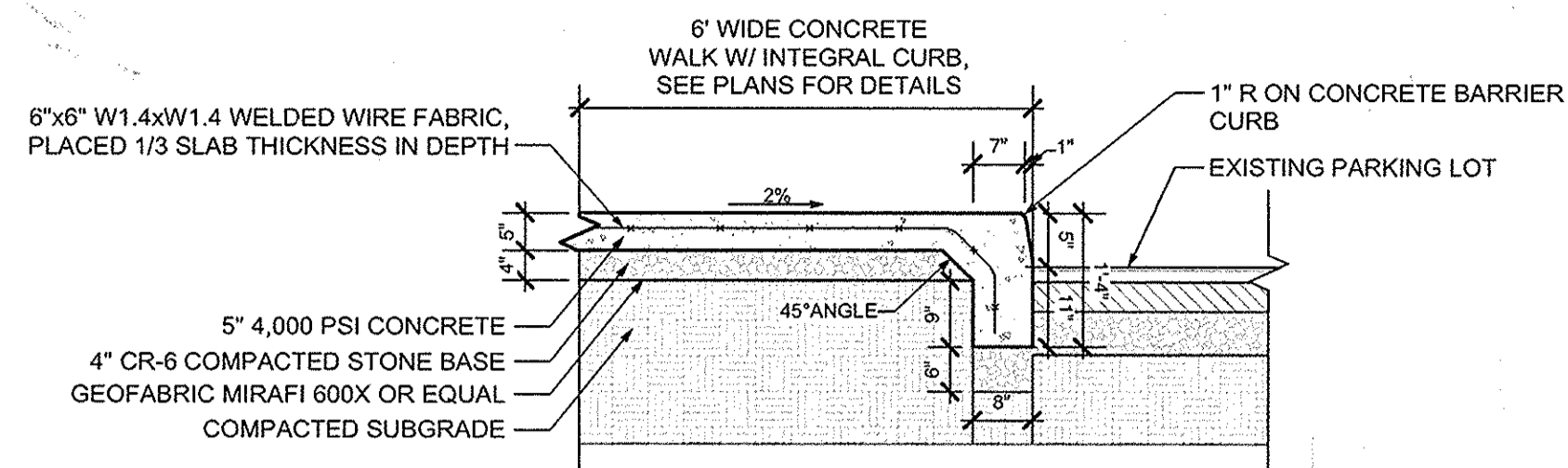


REVISED S.D.P. - LAYOUT, MATERIALS, AND PLANTING PLAN
9731 E. WASHINGTON BOULEVARD
 9731 E. Washington Boulevard
 Laurel, MD 20723
 Parcel No. 303
 6th ELECTION DISTRICT

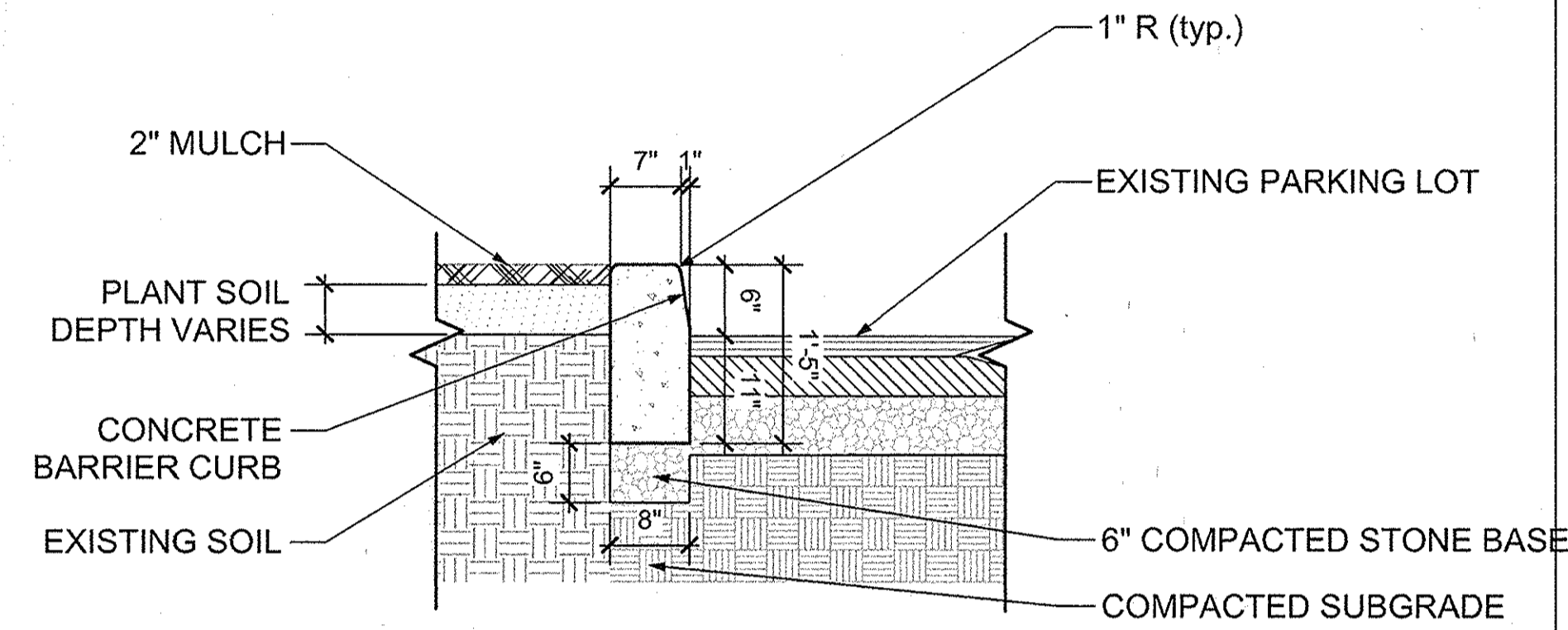
I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Landscape Manual. I/We further certify that upon completion a Letter of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

SCALE	ZONING	G. L. W. FILE NO.
1" = 20'-0"	CE-CLI	XXXXX
DATE	TAX MAP - GRID	SHEET
June, 2015	47 - 23	4 OF 5
		SDP-72-047

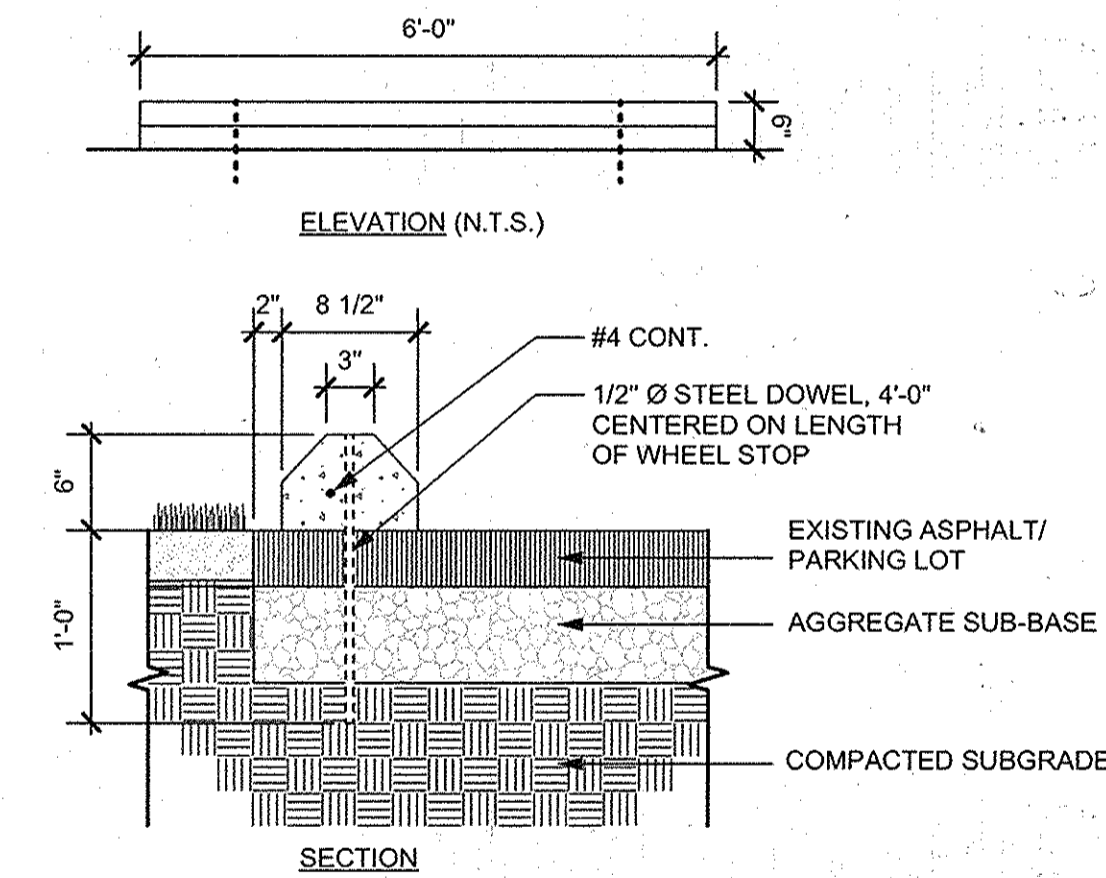
THE PURPOSE OF THIS PLAN IS TO PROVIDE THE ADDITIONAL INFORMATION NEEDED FOR THE INSTALLATION SHOWN ON THIS SHEET AND SHEET 2



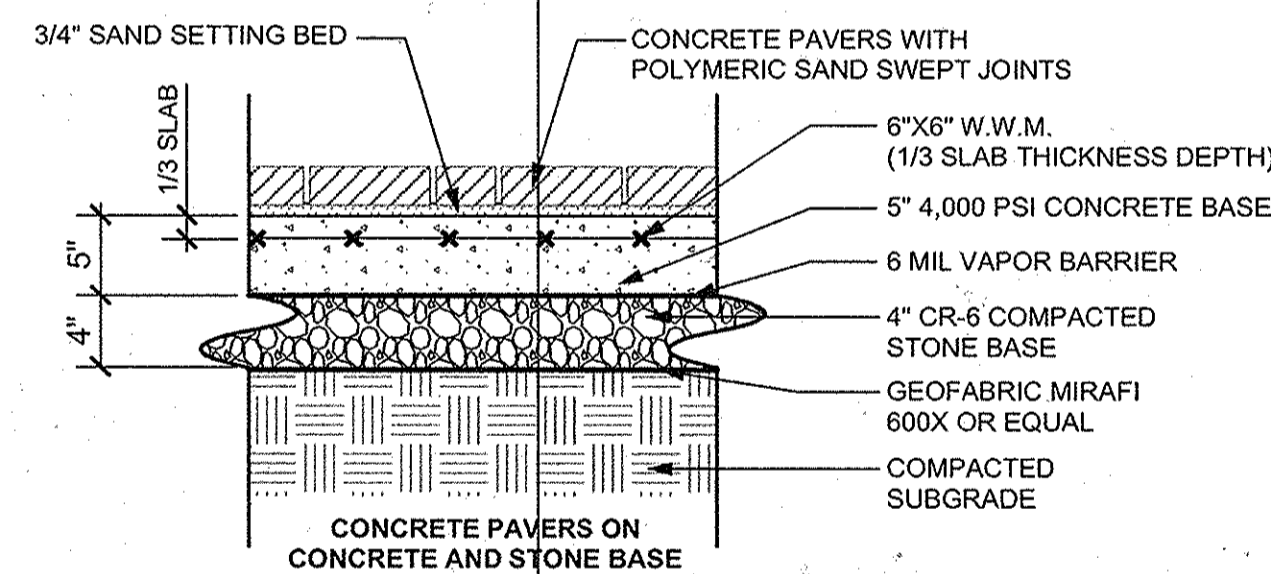
1 6' WIDE CONCRETE WALK w/ INTEGRAL CURB
1/2" = 1'-0"



4 BARRIER CURB AT EXISTING PARKING
3/4" = 1'-0"



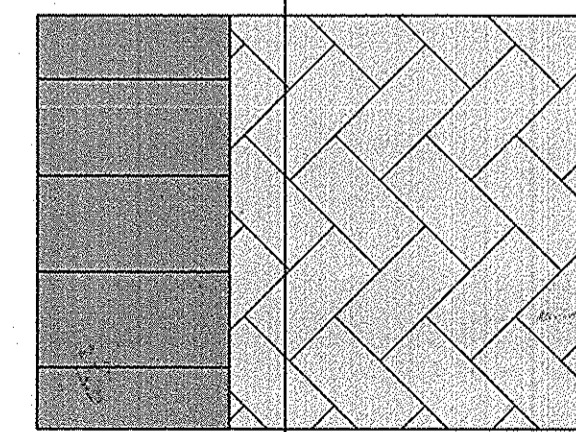
6 WHEEL STOP ON EXISTING PARKING LOT
1" = 1'-0"



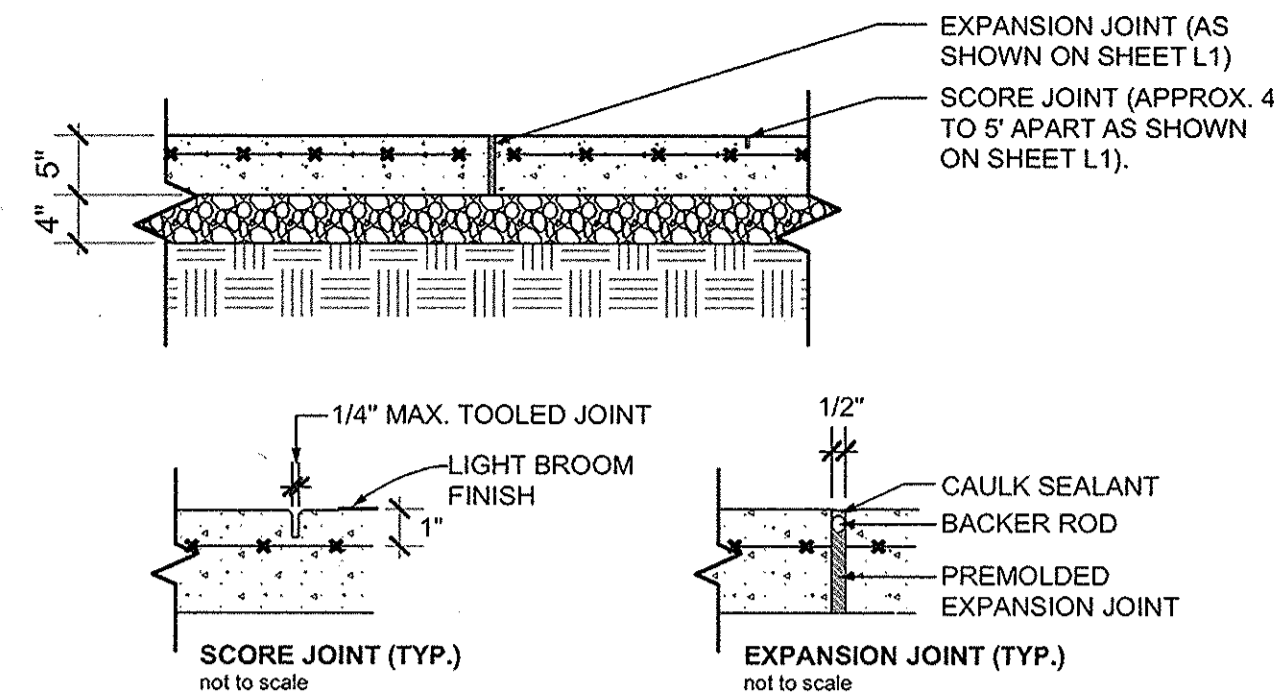
PATTERN (EP HENRY)

PATTERN: HERRING BONE
SIZE: 4" x 8" x 2-3/8"
FINISH: NATURAL
COLOR: DAKOTA BLEND
JOINT: 1/8" (SAND SWEEP)

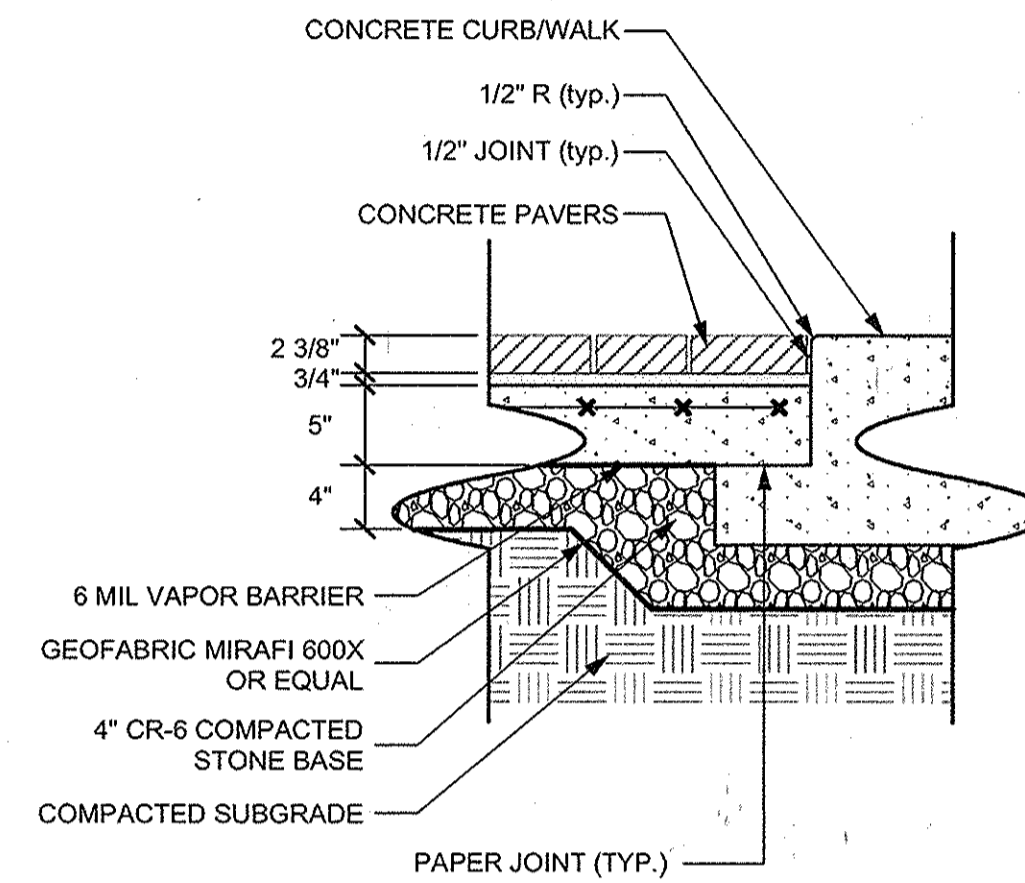
PATTERN: PERIMETER BANDING
SIZE: 6" x 14" x 2-3/8"
FINISH: NATURAL
COLOR: CHARCOAL
JOINT: 1/8" (SAND SWEEP)



7 CONCRETE PAVERS
1" = 1'-0"



2 CONCRETE SIDEWALK (for future installation)
3/4" = 1'-0"

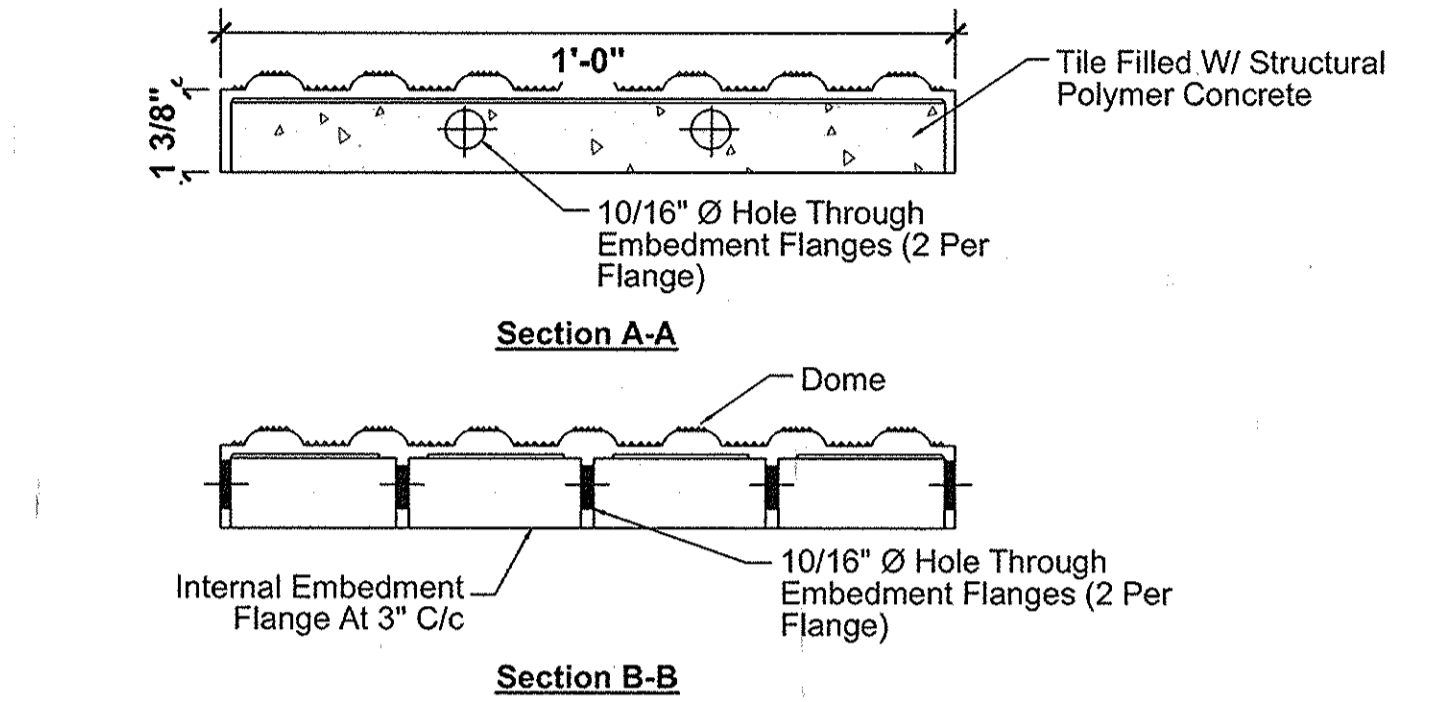
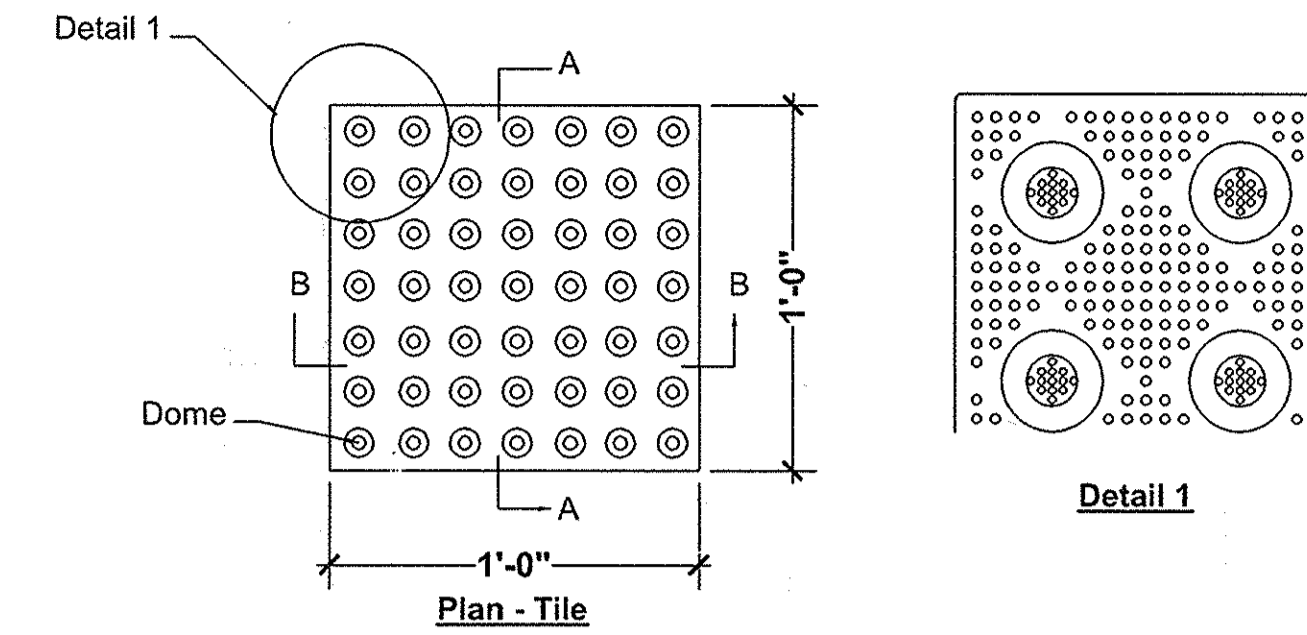


5 CONCRETE PAVERS AT CONCRETE WALK or CURB
1" = 1'-0"

A EDGE RESTRAINT
1" = 1'-0"

NOTES:

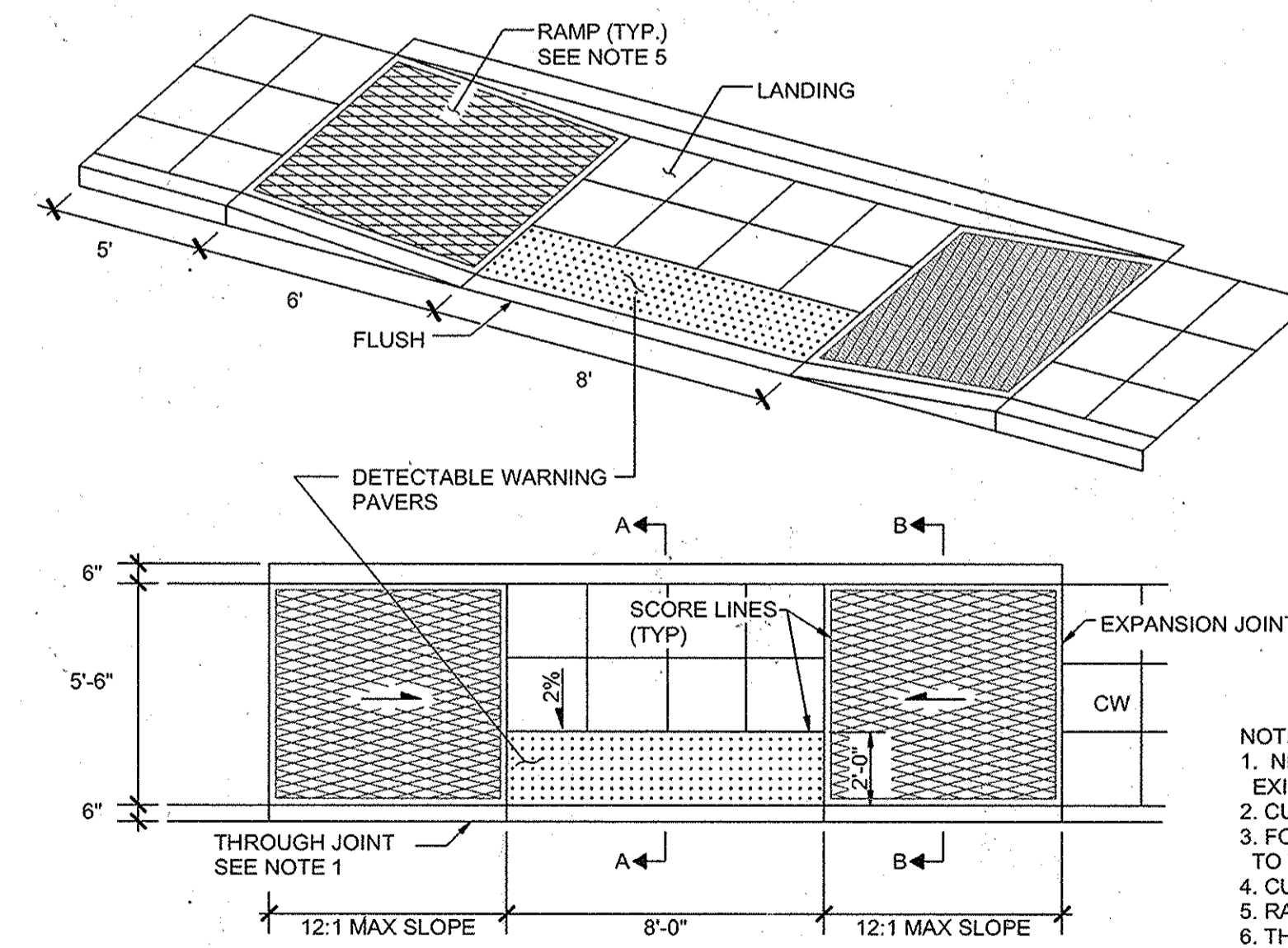
- INSTALL PAVERS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- PAVERS BY EP HENRY: 800-444-3679.
- SUBMIT COLOR SAMPLES OF ALL PAVERS FOR LANDSCAPE ARCHITECTS REVIEW AND APPROVAL.
- PAVERS SHALL RUN IN A HERRING BONE PATTERN AT A 45 DEGREE ANGLE TO THE BUILDING.
- WHERE PAVERS BORDER A PLANT BED, AN EDGE RESTRAINT WITH GROUND SPIKES MUST BE USED TO PREVENT PAVERS FROM MOVING.
- PAVERS SHALL NOT BE CUT INTO PIECES LESS THAN 9 SQUARE INCHES.



NOTES:

- Tactile System By 'Armor-Tile'; 1-(800)-682-2525; Color: Colonial Red; Wet Set In Grout
- Installation to be completed in accordance with manufacturer's specifications.
- Do not scale drawings.
- For custom sizing, contact manufacturer.
- For additional product and company information, visit www.caddetails.com/info and use reference number 681-003A

3 DETECTABLE WARNING SURFACE
N.T.S.



8 ADA CURB RAMP, TYPE 2
1/4" = 1'-0"

THE PURPOSE OF THIS PLAN IS TO PROVIDE THE DETAILS NEEDED FOR THE CONSTRUCTION OF THE IMPROVEMENTS SHOWN ON SHEET 1 THROUGH 4.

REVISED SITE DEVELOPMENT PLAN - DETAILS

731 E. WASHINGTON BOULEVARD
731 E. Washington Boulevard
Laurel, MD 20723
Parcel No. 303

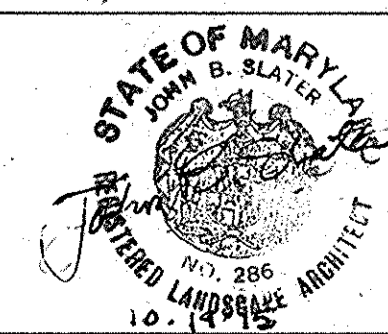
SCALE	ZONING	G. L. W. FILE No.
As Shown	CE-CLI	XXXXX
DATE	TAX MAP - GRID	SHEET
June, 2015	47 - 23	5 OF 5
		SDP-72-047

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
William J. Zito
 Director, Department of Planning & Zoning
 11-23-15
Vest Stalder
 Chief, Division of Land Development
 11-25-15
Jayesh Pancholi
 Chief, Development Engineering Division
 11/23/15

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 410.992.0001 - phone
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DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.

PREPARED FOR:
 Dennis Schraf
 10610 Rhode Island Avenue
 Suite B-100
 Beltsville, MD 20705
 Attn: Dennis Schraf
 301.937.3229



6th ELECTION DISTRICT

HOWARD COUNTY, MARYLAND