

PROPERTY INFORMATION FILE NO. SDP-72-44
 BUILDING ADDRESS(TOWN) BRIGHTON DAM RD. CLARKSVILLE, MD.
 BUILDING AREA - BSMT. 8144 SQ. FT. ELEVATOR ADDITION: 1ST. 2448 SQ. FT. TOTAL 10592 SQ. FT.
 LOT NO. (OR TAX MAP & PARCEL NO.) PARCEL 255
 LIBER FOLIO SUBDIVISION NAME 557 (617)
 ZONE (ZONING MAP NO. ELECTION DIST. R. 40) 34 5

GENERAL NOTES:
 1) PARKING REGD. 1/4 SEATS (50 P)
 2) PARKING PROVIDED 38 CARS.
 3) ALL SPACES (10' x 20')
 4) ALL DRIVEWAYS 22' WIDE
 5) ALL 8" TO HAVE PAINTED LINES.
 6) ALL DRIVEWAYS & PARKING TO HAVE 4" BIRTH BASE COURSE W/ 1" BIRTH FINISH COURSE ON CONTRACTED EARTH. SEE DIST. HEALTH DEPT. REQUIREMENTS.
 7) BASE WILL BE PRIME IN ACCORDANCE WITH C-35-B AS PROVIDED IN THE HOWARD COUNTY STANDARD SPECIFICATIONS AND STANDARD SPECIFICATIONS.
 8) TACK COAT IS REQUIRED IN ACCORDANCE WITH SECTION C-31-4 OF THE HOWARD COUNTY ROAD CONSTRUCTION CODE AND STANDARD SPECIFICATIONS.
 9) ALL SLOPES MUST BE A MINIMUM OF 2:1 AT FINISH GRADES.
 10) SEE STRUCT SCHED FOR COMPS + QUANTITIES

APPROVED OFFICE OF PLANNING AND ZONING OF HOWARD COUNTY DATE: 11/21/72

REVIEWED FOR Howard S.C.D. NAME AND NEETS TECHNICAL REQUIREMENTS DATE 12/15/72 SIGNATURE [Signature] U.S. SOIL CONSERVATION SERVICE. LIMIT OF DISTURBANCE: 3708 SQ.FT. OR 0.09 ACRES. LIMIT OF WORK: 401 SQ.FT. OR 0.01 ACRES.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION & SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 APPROVED: [Signature] DATE 12/15/72
 DISTRICT COORDINATOR HOWARD SOIL CONSERVATION DISTRICT

"I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL, AND I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF DEVELOPER DATE
 SIGNATURE OF ENGINEER DATE
 OWNER CHEESAPEAKE CONFERENCE OF SEVENTH DAY ADVENTISTS COLUMBIA, MD. 21042 TEL. - 774-7717
 SECRETARY DATE

APPROVED FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT. COUNTY HEALTH OFFICER DATE 1/24/73
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING. PLANNING DIRECTOR DATE 1-31-73
 CHIEF DIVISION OF LAND DEVELOPMENT & TRANSPORTATION PLANNING DATE 1/31/73
 APPROVED FOR PRIVATE WATER, PRIVATE SEWERAGE & STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS. DIRECTOR DATE 1/25/73
 CHIEF BUREAU OF HIGHWAYS DATE 1/22/73

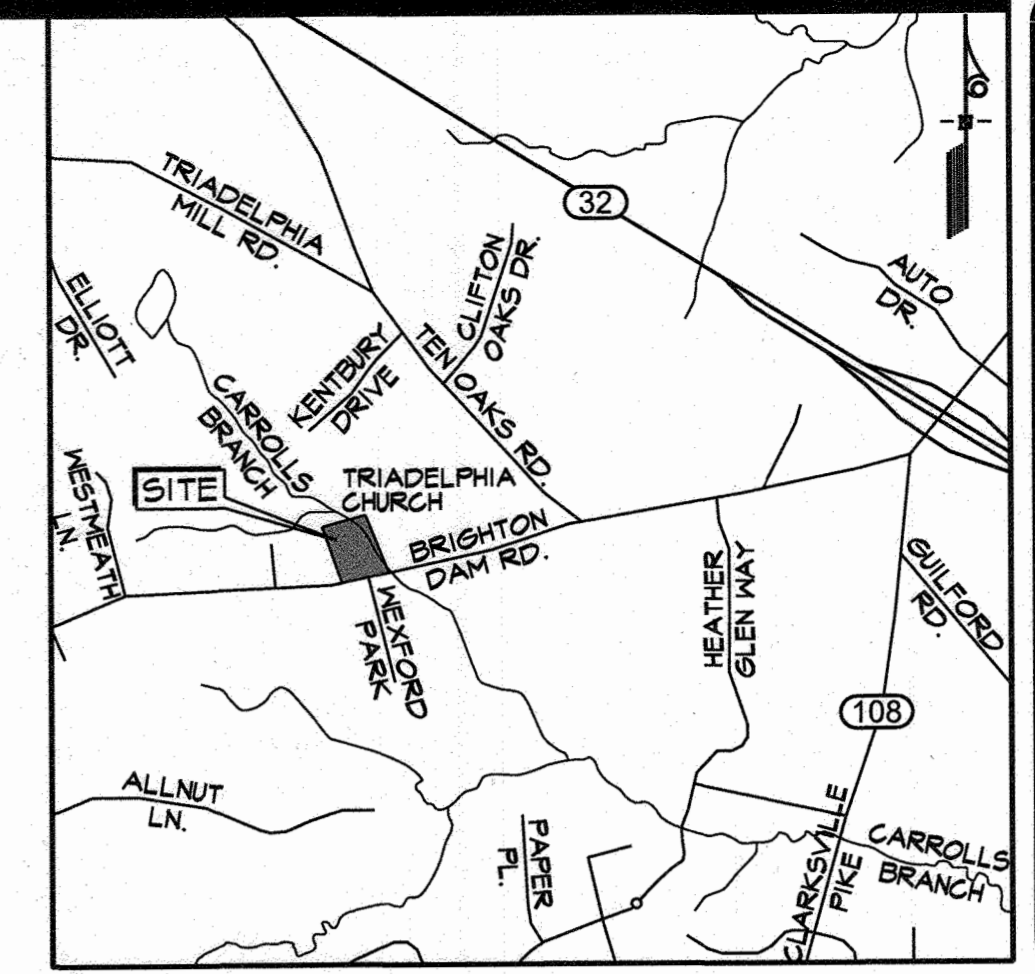
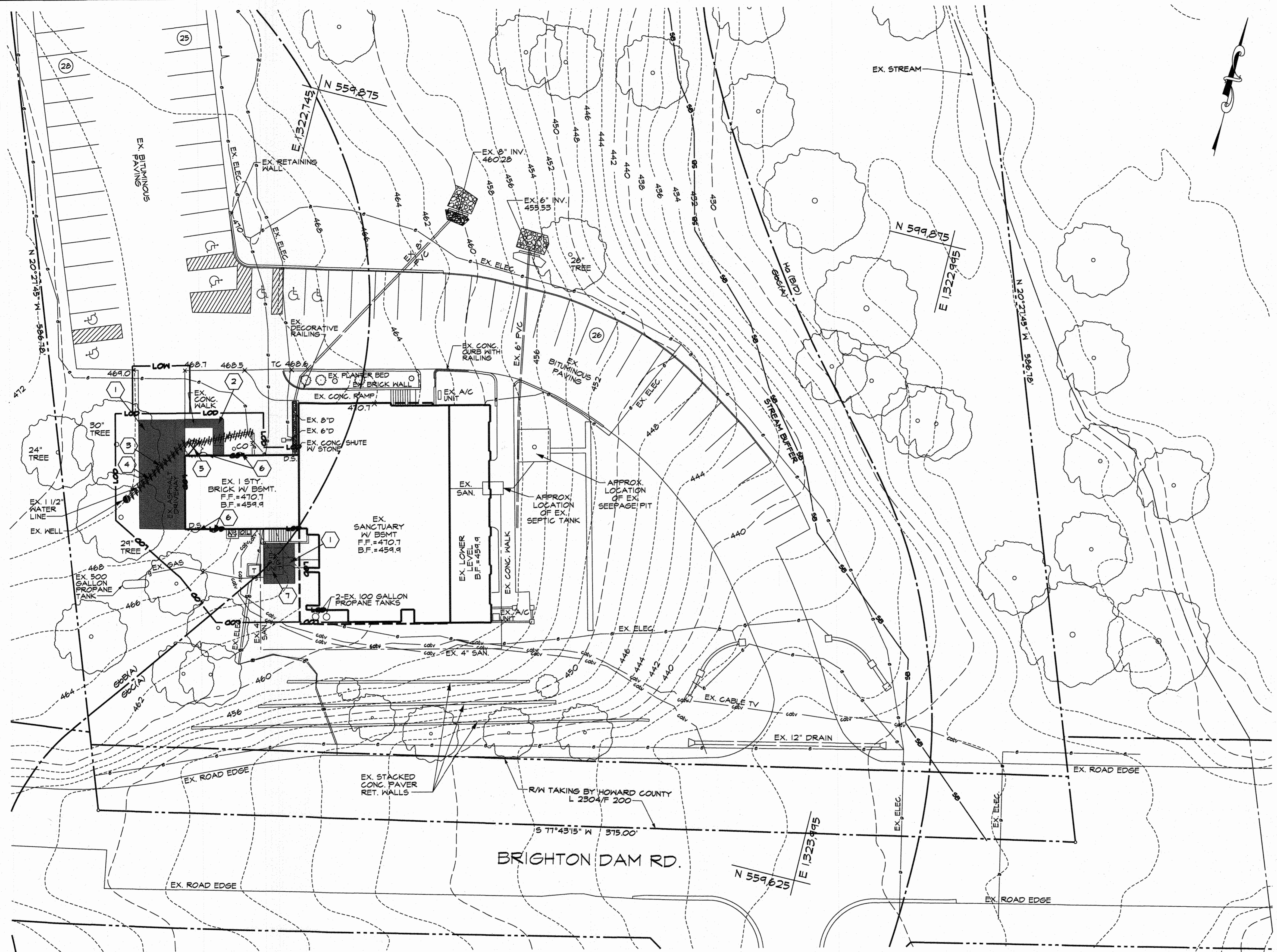
REVISOR: REVISED SITE DEVELOPMENT PLAN ARCHITECT: RICHARD G. HART 7406 FLOWER AVE. EAGLE HAWK, MD. TEL. 201.541.9141

TRIADELPHIA SEVENTH-DAY ADVENTIST CHURCH, BRIGHTON DAM ROAD HOWARD COUNTY, MD. SHEET NO. 5C

DATE: 1-9-73
 DRAWN: APPROVED: DATE: 13 OCT 72
 SDP-72-44. SHEET 1 OF 4

APPROVED HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 4-21-73
 CHIEF, DIVISION OF LAND DEVELOPMENT & TRANSPORTATION PLANNING DATE 5/1/73
 DIRECTOR DATE 5/15/73





VICINITY MAP
SCALE: 1" = 1000'

DEMOLITION NOTES

- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" 1-800-251-7711 AT LEAST FIVE (5) WORKING DAYS PRIOR TO STARTING ANY WORK.
- TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON AVAILABLE AS-BUILT PLANS PROVIDED BY HOWARD COUNTY DPW.
- EXISTING UTILITY INFORMATION SHOWN HEREON IS BASED ON THE BEST AVAILABLE INFORMATION WHICH INCLUDES AS-BUILT PLANS FROM HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS AND BALTIMORE GAS AND ELECTRIC COMPANY PLANS.
- OBSTRUCTIONS SHOWN ON THIS DRAWING ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. MK CONSULTING ENGINEERS, LLC DOES NOT WARRANT OR GUARANTEE THE CORRECTNESS OR THE COMPLETENESS OF THE INFORMATION GIVEN. THE CONTRACTOR MUST VERIFY ALL SUCH INFORMATION TO HIS OWN SATISFACTION. IN THE EVENT THAT INFORMATION IS IN CONFLICT WITH THE INFORMATION OUTLINED, THE CONTRACTOR SHALL IMMEDIATELY BRING IT TO THE ATTENTION OF THE ARCHITECT PRIOR TO STARTING ANY WORK.
- CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES SHOWN HEREON BEFORE STARTING ANY WORK ON THESE PLANS. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR THE COST OF ANY AND ALL DAMAGES WHICH OCCUR AS A RESULT OF A FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES INDICATED TO REMAIN.
- ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL ADJUST ALL FRAMES, GRATES AND COVERS OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF THE PROPOSED GRADES AS REQUIRED.
- THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES AT ALL TIMES.
- CONTRACTOR SHALL COORDINATE ALL DISCONNECTIONS AND REMOVAL OF EXISTING GAS, ELECTRIC AND TELEPHONE SERVICES AND EQUIPMENT WITH BALTIMORE GAS & ELECTRIC AND VERIZON.
- CONTRACTOR SHALL INSTALL SEDIMENT CONTROLS PRIOR TO BEGINNING ANY WORK AND MAINTAIN SEDIMENT CONTROLS THROUGHOUT THE ENTIRE DURATION OF DEMOLITION AND CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH ALL STATE AND COUNTY REQUIREMENTS.
- ALL EXCAVATION SHALL BE BACKFILLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. IN THE EVENT THAT A PORTION OF A UTILITY IS TO BE REMOVED, THE CONTRACTOR SHALL TERMINATE AND CAP TO THE LIMITS INDICATED IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS.
- IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO COMPLETE SUCH WORK.
- SHOULD THE CONTRACTOR DISCOVER DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS, THE ENGINEER IS TO BE NOTIFIED IMMEDIATELY TO RESOLVE THE SITUATION. SHOULD THE CONTRACTOR MAKE FIELD CORRECTIONS OR ADJUSTMENTS WITHOUT NOTIFYING THE ENGINEER, THEN THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR THOSE CHANGES.
- SOIL BORINGS WERE COMPLETED BY ENGINEERING. A COPY OF THE GEOTECHNICAL REPORT IS INCLUDED WITH THE PROJECT SPECIFICATIONS.
- CONTRACTOR SHALL SECURE THE CONSTRUCTION AREA AT THE END OF EACH WORKING DAY AND WILL INSPECT THE SECURITY FENCING TO INSURE ITS INTEGRITY.
- ALL CONSTRUCTION DEBRIS WILL BE REMOVED FROM THE SITE AND TAKEN TO AN APPROVED, PERMITTED DISPOSAL FACILITY. NO RUBBLE IS TO BE LEFT ON SITE.
- CONTRACTOR SHALL INSPECT AND TAKE PICTURES OF ADJACENT BUILDING WALLS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION ON THE SITE. EXISTING WALL CRACKS (IF ANY) WILL BE NOTED.
- CONTRACTOR SHALL CONTINUALLY MONITOR THE WALLS OF THE ADJACENT BUILDINGS FOR ANY SIGN OF STRUCTURAL DISTRESS. IF ANY DISTRESS IS NOTED, CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY OWNER.
- CONTRACTOR SHALL NOT EXPOSE, UNDERMINE, OR IMPACT THE ZONE OF INFLUENCE FOR FOOTINGS AND FOUNDATIONS OF ADJACENT BUILDINGS. CONTRACTOR WILL BE RESPONSIBLE FOR THE COST TO REPAIR ADJACENT BUILDINGS THAT ARE DAMAGED DUE TO HIS OPERATION.
- CONTRACTOR SHALL SAWCUT EXISTING PAVING TO MINIMIZE DAMAGE TO EXISTING PAVING REMAINING.
- CONTRACTOR SHALL REMOVE EXISTING CURBS & CONCRETE WALKS TO THE NEAREST JOINT. NO PATCHING WILL BE PERMITTED.
- THE DEMOLITION INFORMATION SHOWN ON THIS DRAWING IS FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LIMITS OF DEMOLITION AND REMOVAL OF AFFECTED SITE ITEMS.
- CONTRACTOR SHALL PROVIDE 6' HIGH TEMPORARY CONSTRUCTION FENCE AROUND THE LIMITS OF DISTURBANCE.
- THE CONTRACTOR SHALL PROVIDE A PRIVATE UTILITY LOCATOR TO LOCATE ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION.
- PAVING REMOVED BY TRENCHING, WILL BE REPLACED IN KIND.
- CONTRACTOR SHALL USE EXTREME CAUTION DURING EXCAVATION TO NOT DISRUPT SURROUNDING UTILITIES.

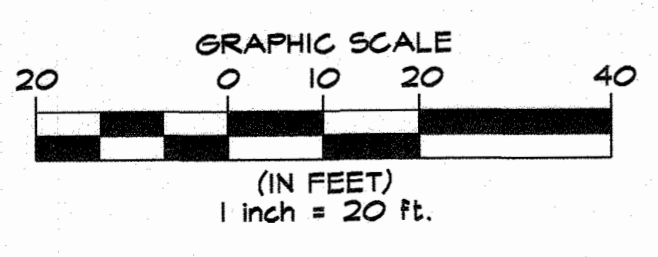
DEMOLITION PLAN
SCALE: 1" = 20'

LEGEND

---	EX. INDEX CONTOUR	○	EX. MANHOLE
- - - -	EX. INTERMEDIATE CONTOUR	□	EX. INLET
---	PROPERTY LINE	○	EX. TREE
---	RIGHT-OF-WAY LINE	○	EX. WOODS LINE
---	EX. CURB AND GUTTER	○	SOIL LINE
---	EX. 8" PVC	---	STREAM BUFFER
---	EX. SAN.	---	LIMIT OF DISTURBANCE
---	EX. WATER	---	LIMIT OF WORK
---	EX. GAS	---	APPROXIMATE LIMIT OF EX. UTILITIES TO BE REMOVED
---	EX. VERIZON SERVICE	---	APPROXIMATE LIMIT OF EX. PAVING, WALKS, STAIRS, WALLS AND FOOTINGS TO BE REMOVED
---	EX. UNDERGROUND ELECTRIC	---	EX. TREES AND SHRUBS TO BE REMOVED
---	EX. FENCE	---	
---	EX. CABLE TV	---	

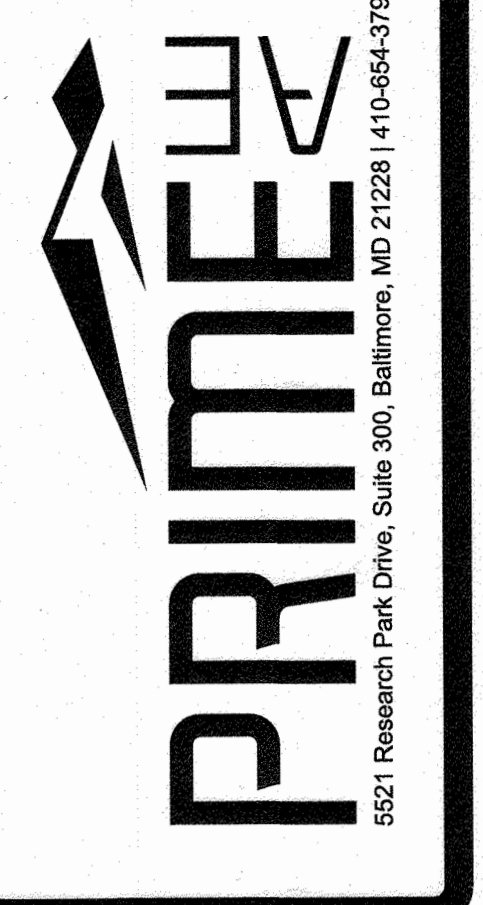
DEMOLITION REFERENCE LEGEND

- EXISTING PAVING TO BE REMOVED
- EXISTING CONCRETE WALK, CURB & GUTTER, AND ASPHALT PAVING TO BE REMOVED
- EXISTING WATER LINE TO BE REMOVED
- EXISTING ELECTRIC LINE TO BE REMOVED
- EXISTING BUSH TO BE REMOVED
- EXISTING WINDOW WELLS TO BE REMOVED FOR WATERPROOFING AND THEN REPLACED IN KIND.
- EX A/C UNIT TO BE REMOVED AND RELOCATED. SEE SHEET C-02 FOR NEW LOCATION MEP PLANS FOR DETAILS. (ADD ALTERNATE #1)



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING	
CHIEF DEVELOPMENT ENGINEERING DIVISION	4/21/23
DATE	5/15/23
CHIEF DIVISION OF LAND DEVELOPMENT	5/15/23
DATE	5/15/23
DIRECTOR	

THE LOD OF 3708 SFT. IS EXEMPT FROM PROVIDING STORMWATER MANAGEMENT. ANY CUMULATIVE FUTURE DISTURBANCE THAT EXCEEDS 500 SFT. SHALL MEET CURRENT STORMWATER STORMWATER MANAGEMENT REQUIREMENTS.

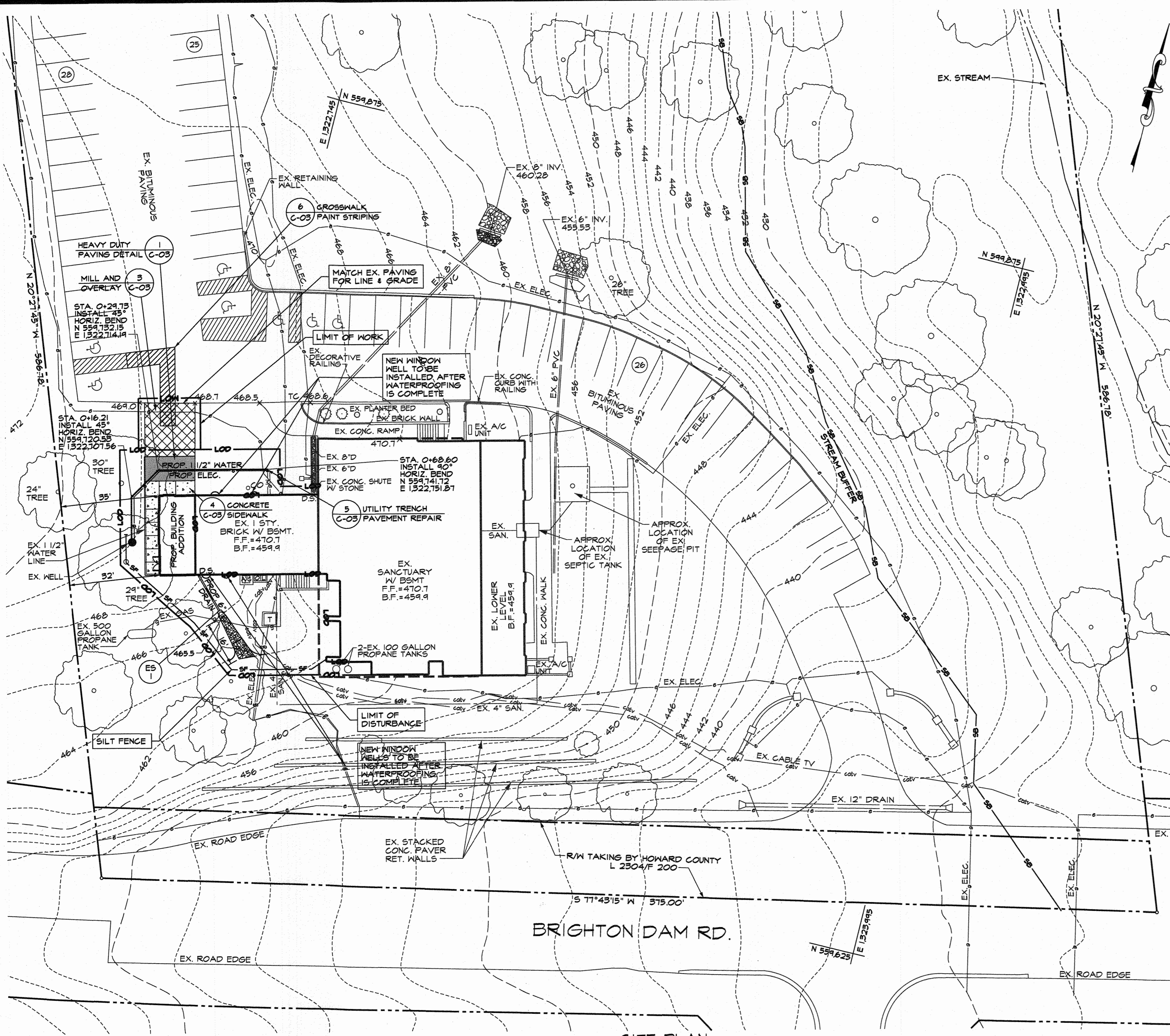


TRIADELPHIA SEVENTH-DAY ADVENTIST CHURCH
12950 Brighton Dam Rd.
Clarksville, MD 21029

04/06/2023
PERMIT SET

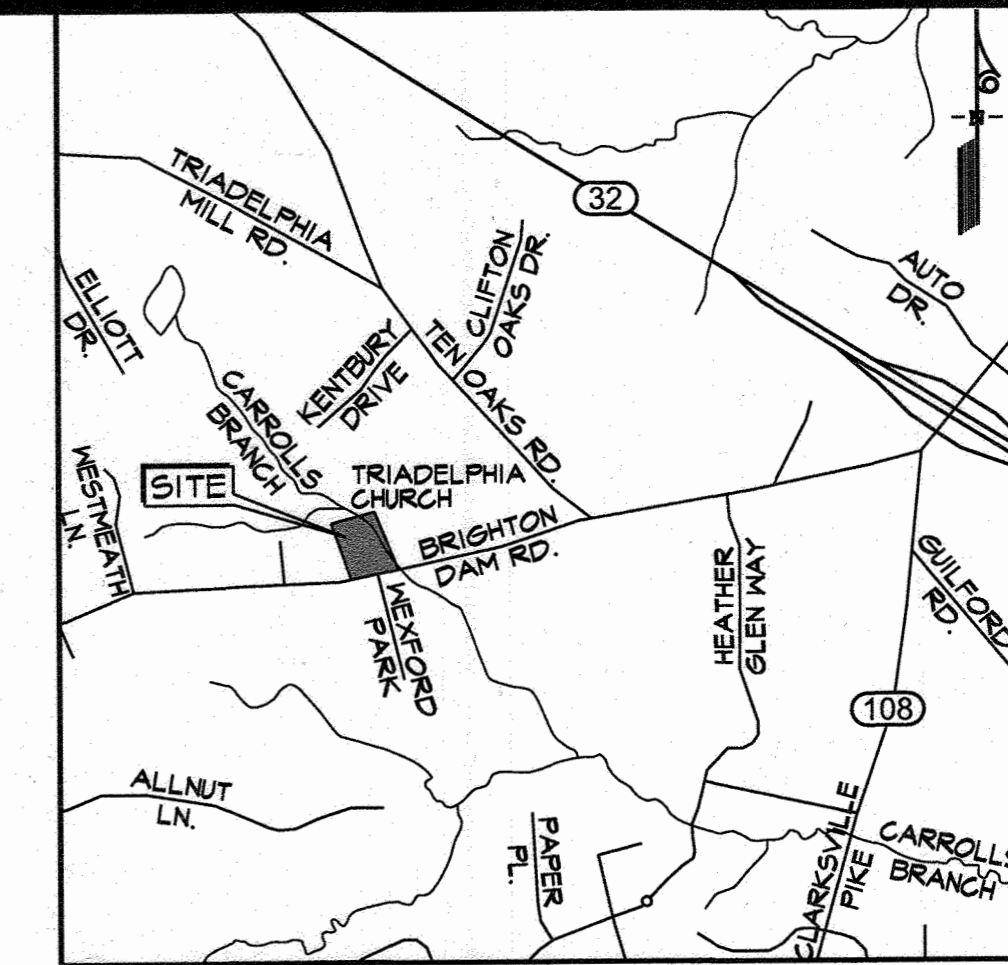
Revisions:		
No.	Date	Description
1	04/06/2023	REVISED SITE DEVELOPMENT PLAN

DEMOLITION PLAN
C-01
PAE 18020



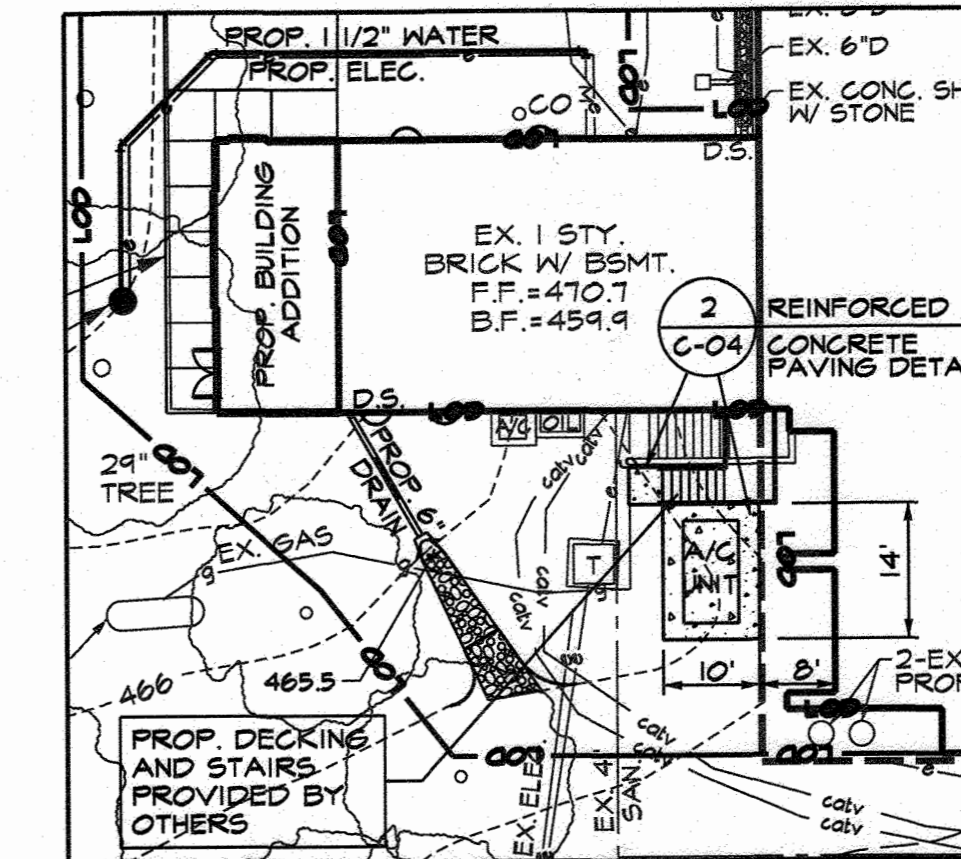
PURPOSE STATEMENT

THE PURPOSE OF THESE CHANGES IS TO PROVIDE A 729 GSF. ELEVATOR ADDITION TO PROVIDE ADEQUATE ADA ACCESS FOR THE CHURCH.



VICINITY MAP

SCALE: 1" = 1000'



ADD ALTERNATE #1

SCALE: 1" = 20'

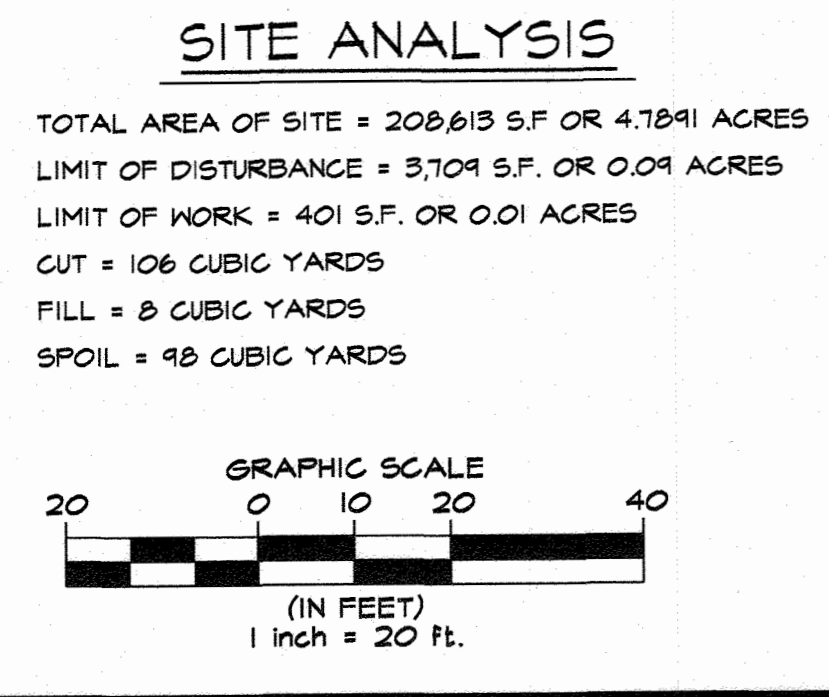
GENERAL NOTES

- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" (1-800-257-7777) AT LEAST FIVE (5) WORKING DAYS PRIOR TO STARTING ANY WORK.
- TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON HOWARD COUNTY GIS AND AVAILABLE AS-BUILT PLANS PROVIDED BY HOWARD COUNTY DPM.
- EXISTING UTILITY INFORMATION SHOWN HEREON IS BASED ON THE BEST AVAILABLE INFORMATION, WHICH INCLUDES AS-BUILT PLANS FROM HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS AND BALTIMORE GAS AND ELECTRIC COMPANY PLANS.
- OBSTRUCTIONS SHOWN ON THIS DRAWING ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. MK CONSULTING ENGINEERING, LLC DOES NOT WARRANT OR GUARANTEE THE CORRECTNESS OR THE COMPLETENESS OF THE INFORMATION GIVEN. THE CONTRACTOR SHALL VERIFY SUCH INFORMATION TO HIS OWN SATISFACTION. IN THE EVENT THAT INFORMATION IS IN CONFLICT WITH INFORMATION OUTLINED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT PRIOR TO STARTING ANY WORK.
- REMOVAL OF ANY SIDEWALK AND/OR CURB AND GUTTER SHALL BE TO THE NEAREST JOINT. NO PATCHING SHALL BE PERMITTED.
- ADJUST TOP OF CURB GRADES TO SMOOTH TRANSITION.
- SAVANT EXISTING PAVING AS NEEDED TO INSTALL NEW CONSTRUCTION.
- IT SHALL BE DISTINGUISHLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO COMPLETE SUCH WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER OF ANY DEVIATION FROM THIS PLAN PRIOR TO ANY CHANGE BEING MADE. ANY DEVIATION FROM THIS PLAN WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- SHOULD THE CONTRACTOR DISCOVER DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS, THE ENGINEER IS TO BE NOTIFIED IMMEDIATELY TO RESOLVE THE SITUATION. SHOULD THE CONTRACTOR MAKE FIELD CORRECTIONS OR ADJUSTMENTS WITHOUT NOTIFYING THE ENGINEER, THEN THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR THOSE CHANGES.
- THE CONTRACTOR SHALL NOTE THAT IN CASE OF ANY DISCREPANCY BETWEEN THE SCALED AND FIGURED DIMENSIONS SHOWN ON THESE PLANS THE FIGURED DIMENSIONS SHALL GOVERN.
- IF A CONFLICT EXISTS BETWEEN DRAWINGS (AND/OR SPECIFICATIONS), THE MORE STRINGENT AND MORE COSTLY REQUIREMENT SHALL APPLY. ITEMS SHOWN ON THE DRAWINGS, BUT NOT SPECIFIED, SHALL APPLY AND BE FURNISHED AND INSTALLED BY THE CONTRACTOR IF AN ITEM IS SHOWN ON THE DRAWINGS, BUT IS NOT INCLUDED IN THE SPECIFICATIONS, PROVIDE ITEM OF A QUALITY LEVEL CONSISTENT WITH THE GENERAL QUALITY LEVEL OF THE CONTRACT REQUIREMENTS. BRING CONFLICTS BETWEEN THE DRAWINGS AND SPECIFICATIONS TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
- FILL IN STRUCTURAL AND PAVEMENT AREAS SHALL BE PLACED IN HORIZONTAL, EIGHT-INCH MAXIMUM LOOSE LIFTS AND COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY & WITHIN 2% OF THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D-1557. IN BUILDING AREAS FILL SHALL EXTEND A MINIMUM OF 3 FEET BEYOND THE BUILDING LIMITS AND SHALL BE COMPACTED TO 95 PERCENT OF THE MAXIMUM DRY DENSITY PER ASTM D-1557. FILL SLOPES NOT STEEPER THAN 2:1 SHALL BE USED. FILL IN LAWNS AND UNPAVED AREAS SHOULD BE COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY PER ASTM D-1557. SEE THE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST HOWARD COUNTY STANDARD DETAILS AND SPECIFICATIONS AND ALL REVISIONS THERETO, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE TO SNALES AND/OR STORM DRAIN SYSTEMS AT ALL TIMES.
- THE CONTRACTOR SHALL PROVIDE A PRIVATE UTILITY LOCATOR TO LOCATE ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION.

SITE PLAN
SCALE: 1" = 20'

LEGEND

- - - - - 450	EX. INDEX CONTOUR	○ D.S.	PROP. DOWNSPOUT
- - - - - 448	EX. INTERMEDIATE CONTOUR	— LOD —	LIMIT OF DISTURBANCE
—————	PROPERTY LINE	— LOW —	LIMIT OF WORK
—————	RIGHT-OF-WAY LINE	— SF —	SILT FENCE
—————	EX. CURB AND GUTTER	▨	APPROXIMATE LIMITS OF MILL AND OVERLAY
EX. 8" PVC	EX. STORM DRAIN	▩	APPROXIMATE LIMITS OF PROPOSED CONCRETE
EX. SAN.	EX. SANITARY SEWER	■	APPROXIMATE PAVING TO BE REPLACED IN KIND
EX. 1 1/2" WATER	EX. WATER		
EX. GAS	EX. GAS		
— —	EX. VERIZON SERVICE		
— x —	EX. UNDERGROUND ELECTRIC		
— x —	EX. FENCE		
— CATV —	EX. CABLE TV		
		○	PROP. CLEANOUT



STORM DRAIN STRUCTURE SCHEDULE

NO.	DESCRIPTION	REMARKS	COORDINATES	
			NORTHING	EASTING
ES-1	ADS OR APPROVED EQUAL	STEEL END SECTION	N 559,688.91	E 1,322,747.26
CO-1	CLEANOUT	SEE DETAIL SHEET C-03	N 559,768.61	E 1,322,766.13

THE LOD OF 3,709 SF. IS EXEMPT FROM PROVIDING STORMWATER MANAGEMENT. ANY CUMULATIVE FUTURE DISTURBANCE THAT EXCEEDS 5,000 SF. SHALL MEET CURRENT STORMWATER STORMWATER MANAGEMENT REQUIREMENTS.

APPROVED BY HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 4/21/23
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE 5/15/23

[Signature] 5/15/23
 CHIEF, DIVISION OF LAND DEVELOPMENT & S
 DIRECTOR DATE

5521 Research Park Drive, Suite 300, Baltimore, MD 21228 | 410-654-3790

mk
 Consulting Engineers, LLC

Whitehall Mill
 3300 Clipper Mill Road, Suite 201
 Baltimore, MD 21211
 667-309-6193

TRIADELPHIA SEVENTH-DAY ADVENTIST CHURCH

12950 Brighton Dam Rd.
 Clarksville, MD 21029

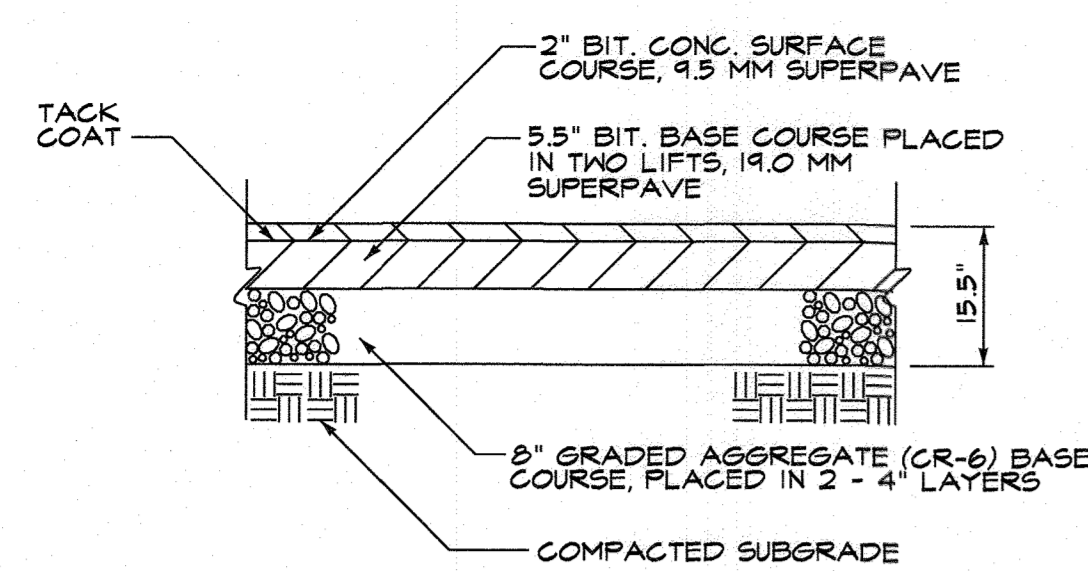
04/06/2023
PERMIT SET

Revisions:
 No. Date Description
 1 04/06/2023 REVISED SITE DEVELOPMENT PLAN

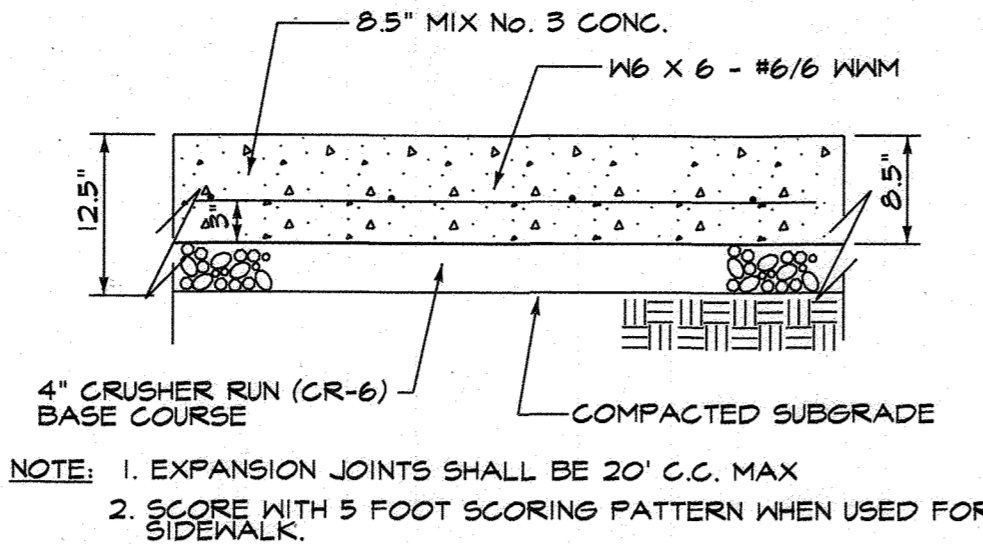
SITE PLAN

C-02

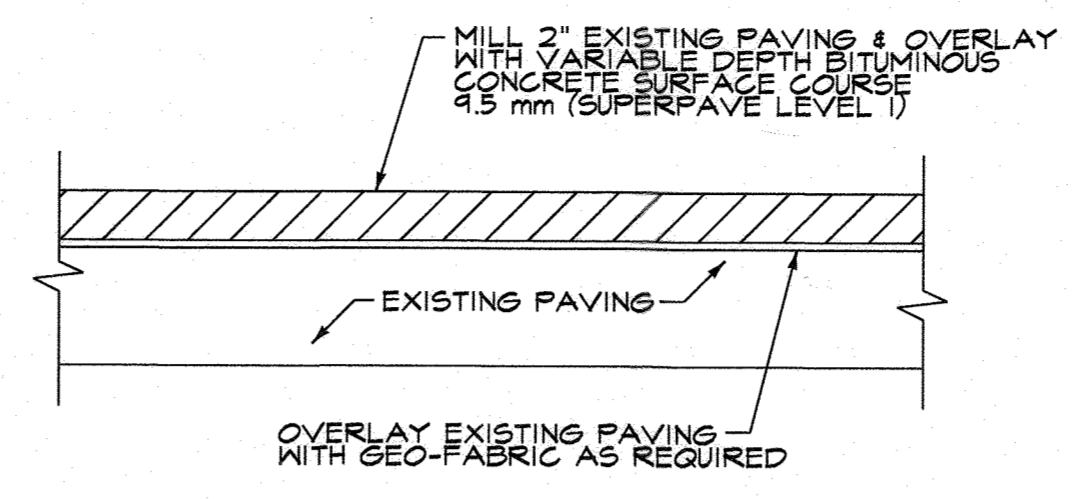
PAE 18020



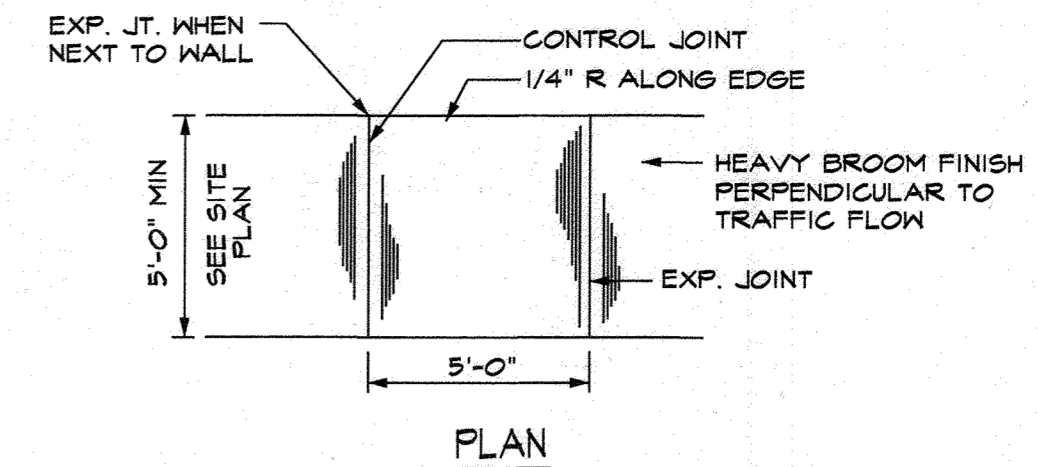
1 HEAVY DUTY PAVING DETAIL
C-03 SCALE: N.T.S.



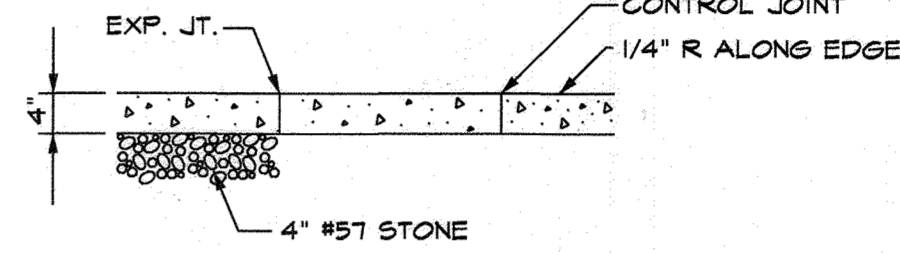
2 REINFORCED CONCRETE PAVING DETAIL
C-03 SCALE: N.T.S.



3 VARIABLE DEPTH MILL & OVERLAY
C-03 SCALE: N.T.S.

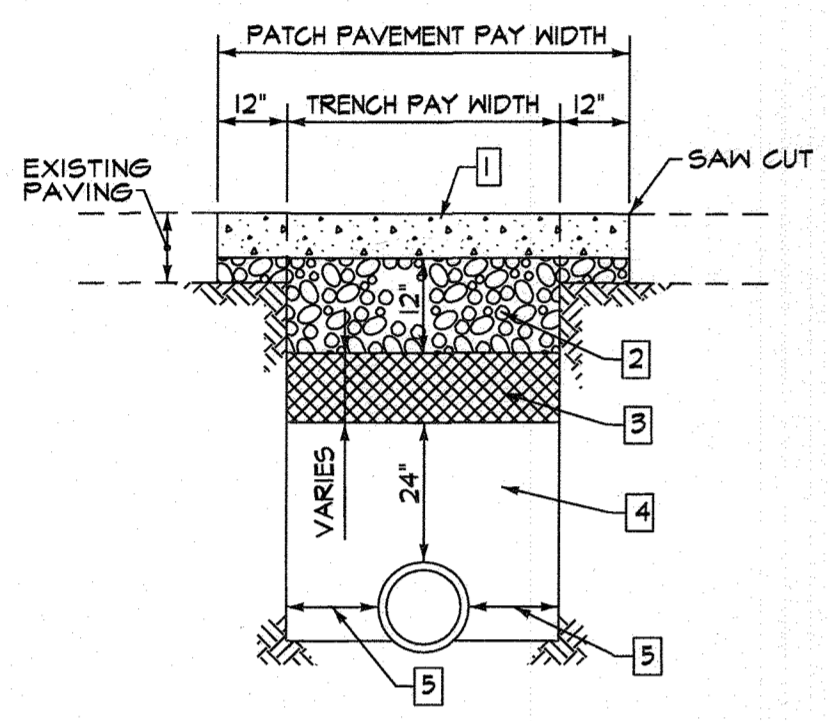


- PLAN**
1. PROVIDE EXPANSION JOINTS 20' C.C. MAX. AND SCORE JOINTS 5' C.C. (UNLESS OTHERWISE NOTED). EXPANSION JOINTS SHALL BE 1/2" BITUMINOUS FIBERBOARD SEALED WITH A POLYURETHANE SEALANT.
 2. WHEN SIDEWALK ABUTS CURB, SIDEWALK SHALL BE NO MORE THAN 1/8" ABOVE CURB WITH 1 PLY ROOFING FELT SATURATED ON BOTH SIDES WITH ASPHALTIC MATERIAL BETWEEN THEM. ROOFING PAPER SHALL NOT WEIGH LESS THAN 34.8 LBS. PER S.F.



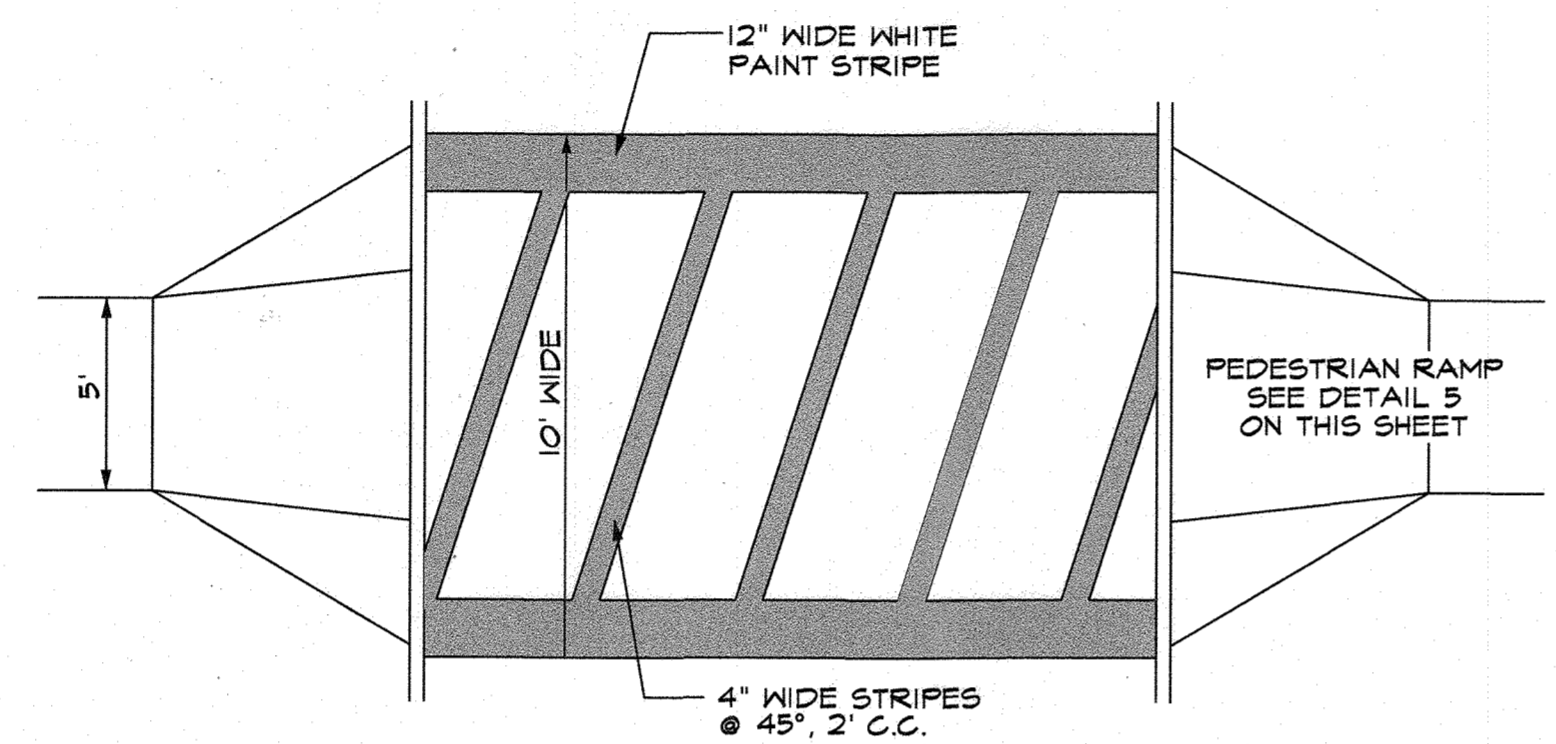
- PROFILE**
- NOTE: PROVIDE 2% CROSS-SLOPE FOR POSITIVE DRAINAGE AS REQUIRED. CROSS-SLOPE SHOULD NOT EXCEED 2% IF IT IS AN ADA ACCESSIBLE ROUTE.

4 CONCRETE SIDEWALK DETAIL
C-03 SCALE: N.T.S.

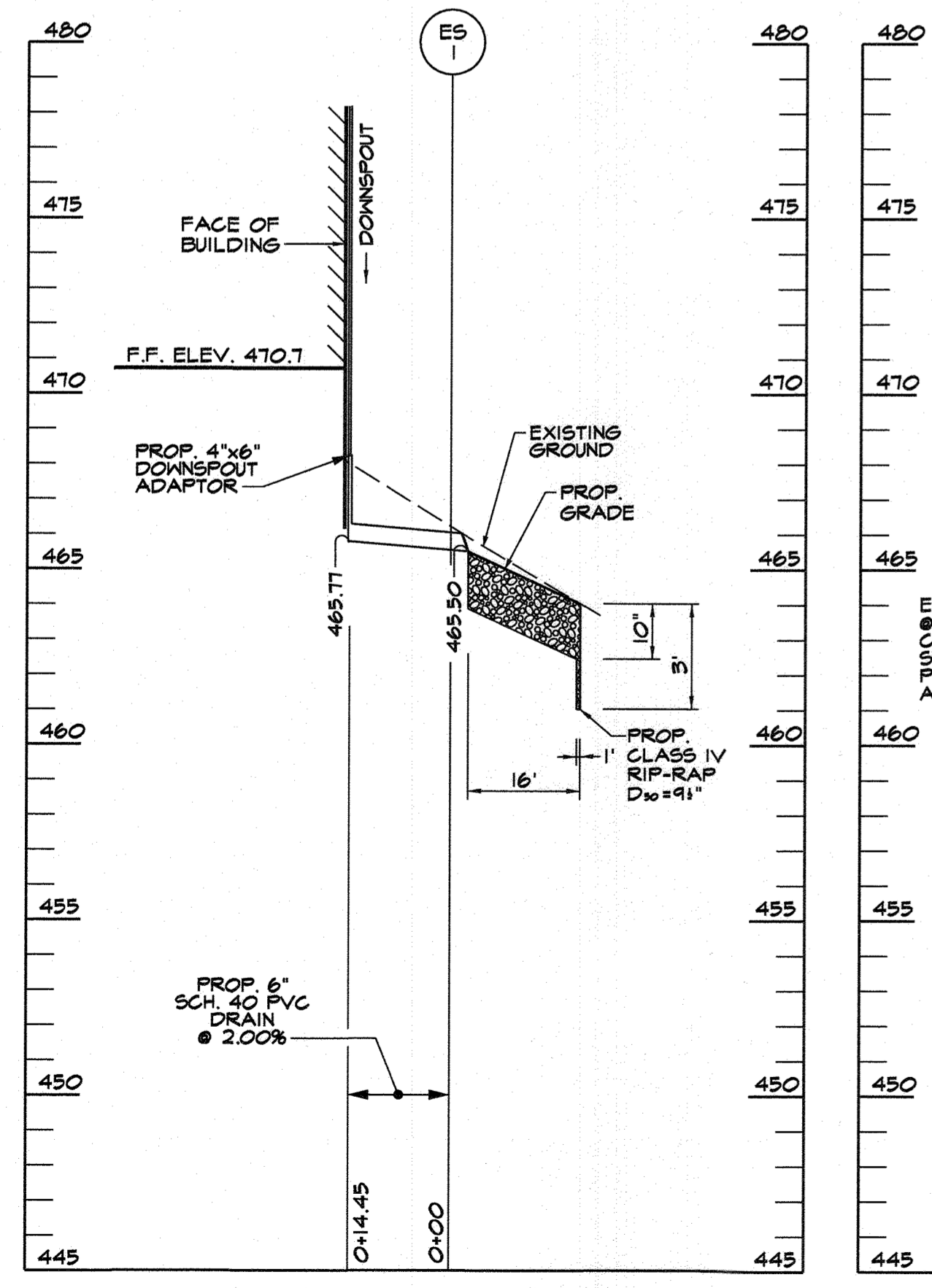


- NOTES:**
- 1) 4" CONCRETE SIDEWALK
 - 2) DENSE GRADED CR-6 AGGREGATE BASE COURSE PLACED AND COMPACTED IN THREE LAYERS
 - 3) BACKFILL COMPACT TO 92% DENSITY PLACED AND COMPACTED IN MAXIMUM 4" LAYERS
 - 4) HAND COMPACT BACKFILL PLACED AND COMPACTED IN MAXIMUM 4" LAYERS
 - 5) 12" MINIMUM FOR PIPE DIAMETERS OF 36" AND SMALLER
15" MINIMUM FOR PIPE DIAMETERS LARGER THAN 36"

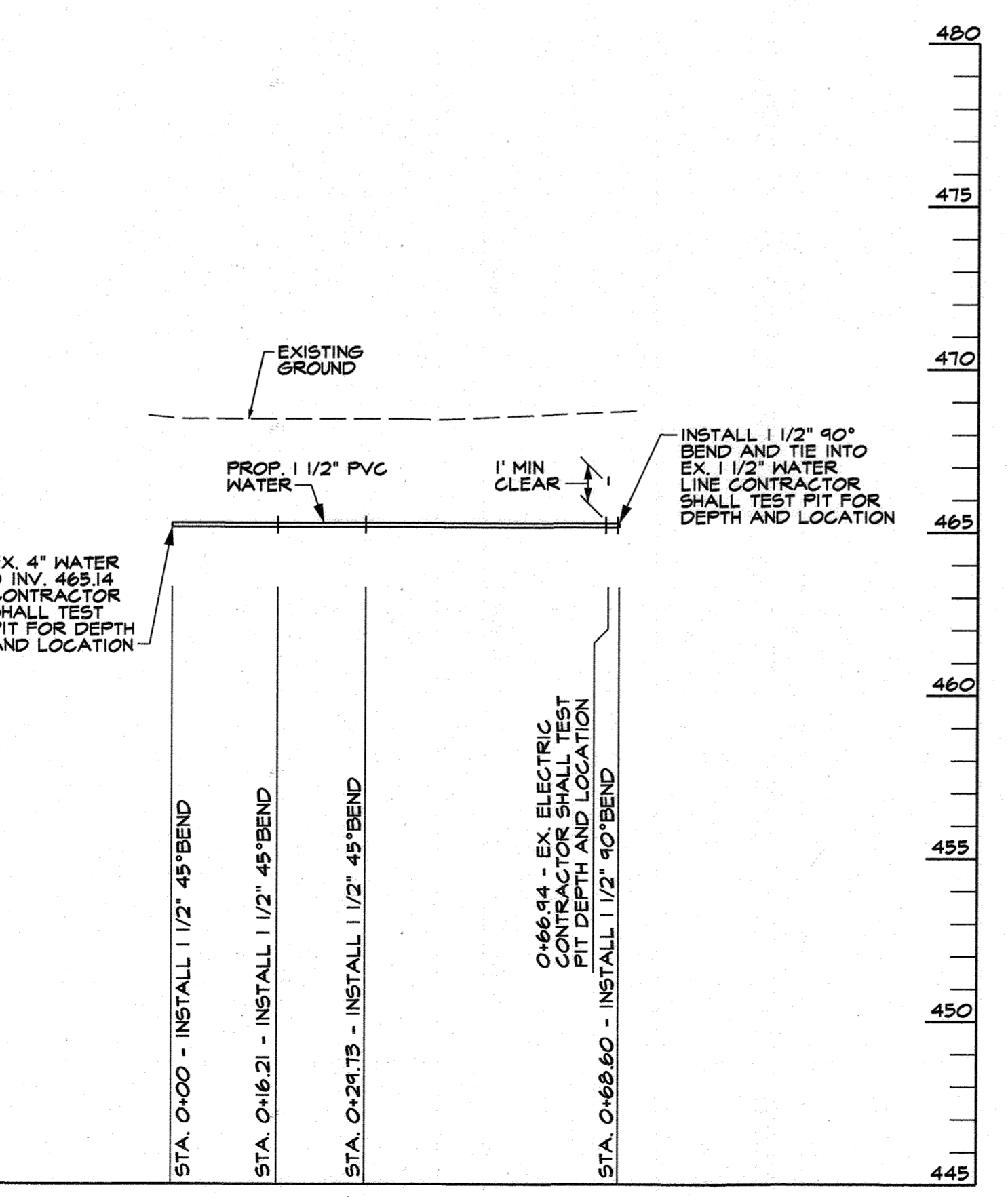
5 UTILITY TRENCH PAVEMENT REPAIR DETAIL
C-04 SCALE: N.T.S.



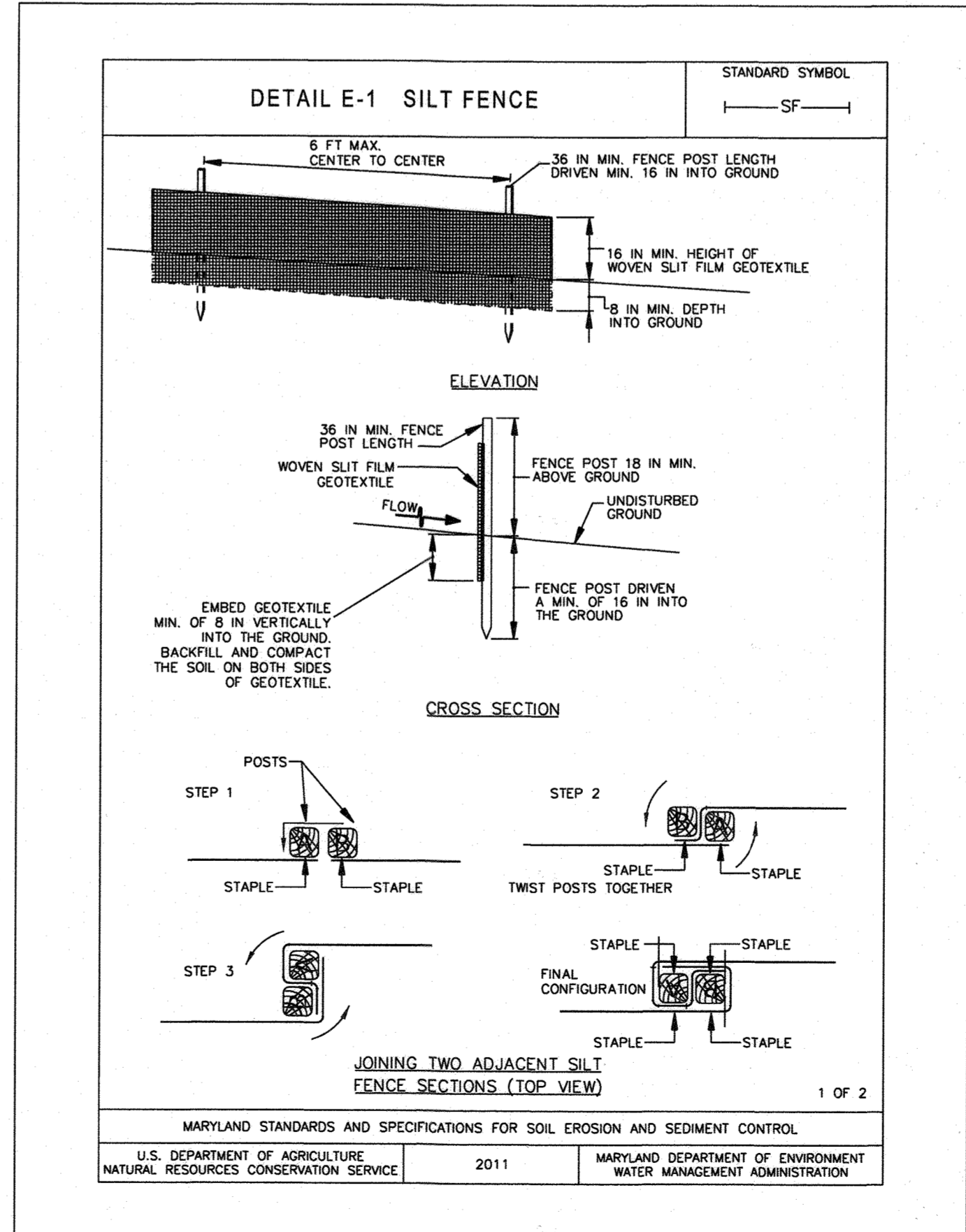
6 CROSSWALK PAINT STRIPING
C-04 SCALE: N.T.S.



STORM DRAIN PROFILE
SCALE: HORZ.: 1" = 20'
VERT.: 1" = 2'



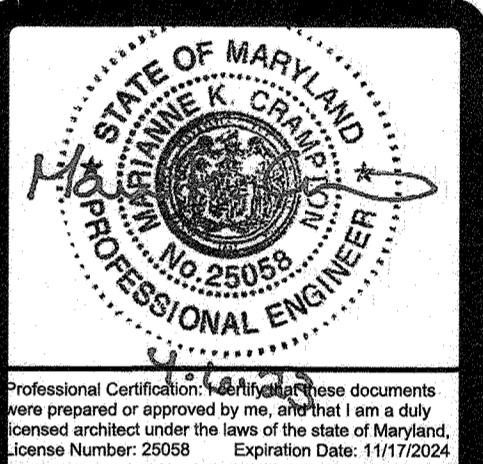
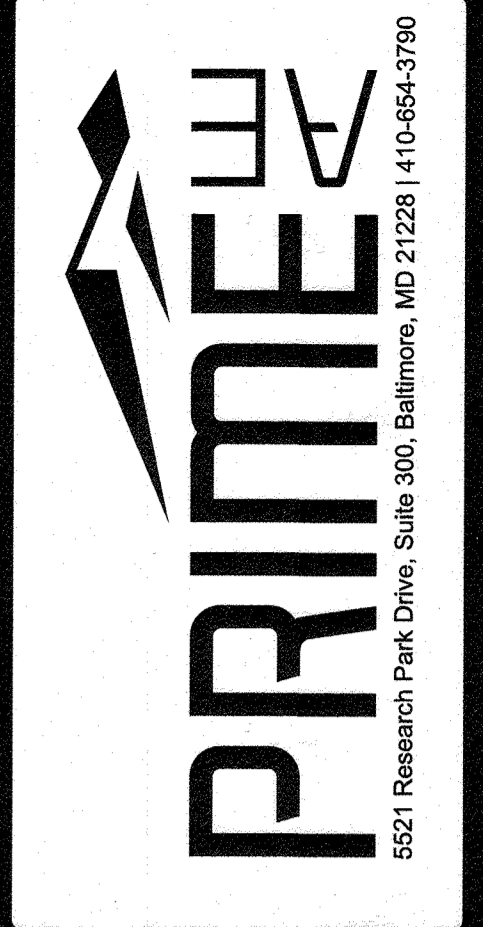
WATER LINE PROFILE
SCALE: HORZ.: 1" = 20'
VERT.: 1" = 2'



MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

THE LOD OF 3708 SFT. IS EXEMPT FROM PROVIDING STORMWATER MANAGEMENT. ANY CUMULATIVE FUTURE DISTURBANCE THAT EXCEEDS 5,00 SFT. SHALL MEET CURRENT STORMWATER STORMWATER MANAGEMENT REQUIREMENTS.

APPROVED: *Howard* COUNTY DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 4/21/23
CHIEF DIVISION OF LAND DEVELOPMENT & P.
Maryland DIRECTOR
DATE: 5/15/23



TRIADELPHIA SEVENTH-DAY ADVENTIST CHURCH
12950 Brighton Dam Rd.
Clarksville, MD 21029

04/06/2023
PERMIT SET

Revisions:		
No.	Date	Description
1	04/06/2023	REVISED SITE DEVELOPMENT PLAN

SITE DETAILS
C-03
PAE 18020