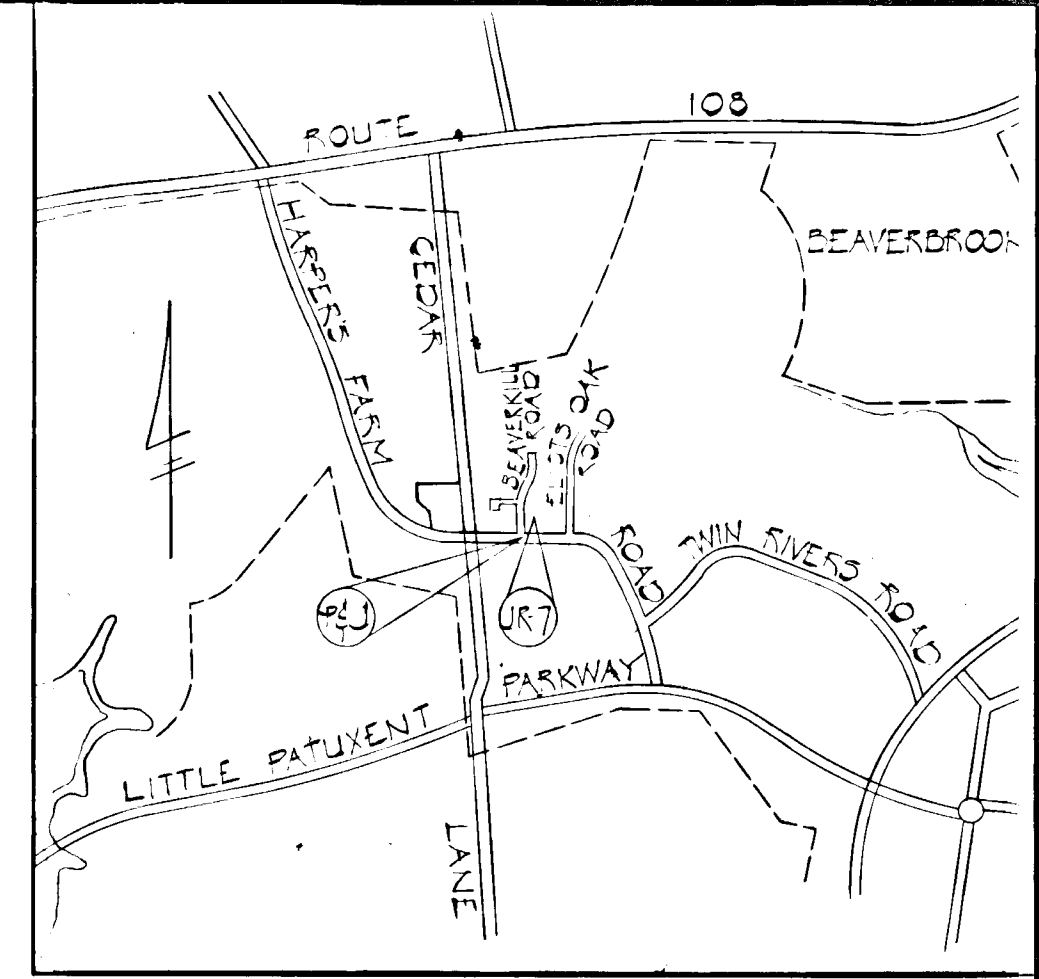


**BENCH MARKS**  
 PJJ F.K. nail in Int. Harpers Farm Rd. and Beaverkill Rd. ELEV. 482.63  
 JRS7 Pipe 20" Lt. E. Sta. C3+28 on Harpers Farm Rd. near Elliotts Oak Rd. ELEV. 474.97

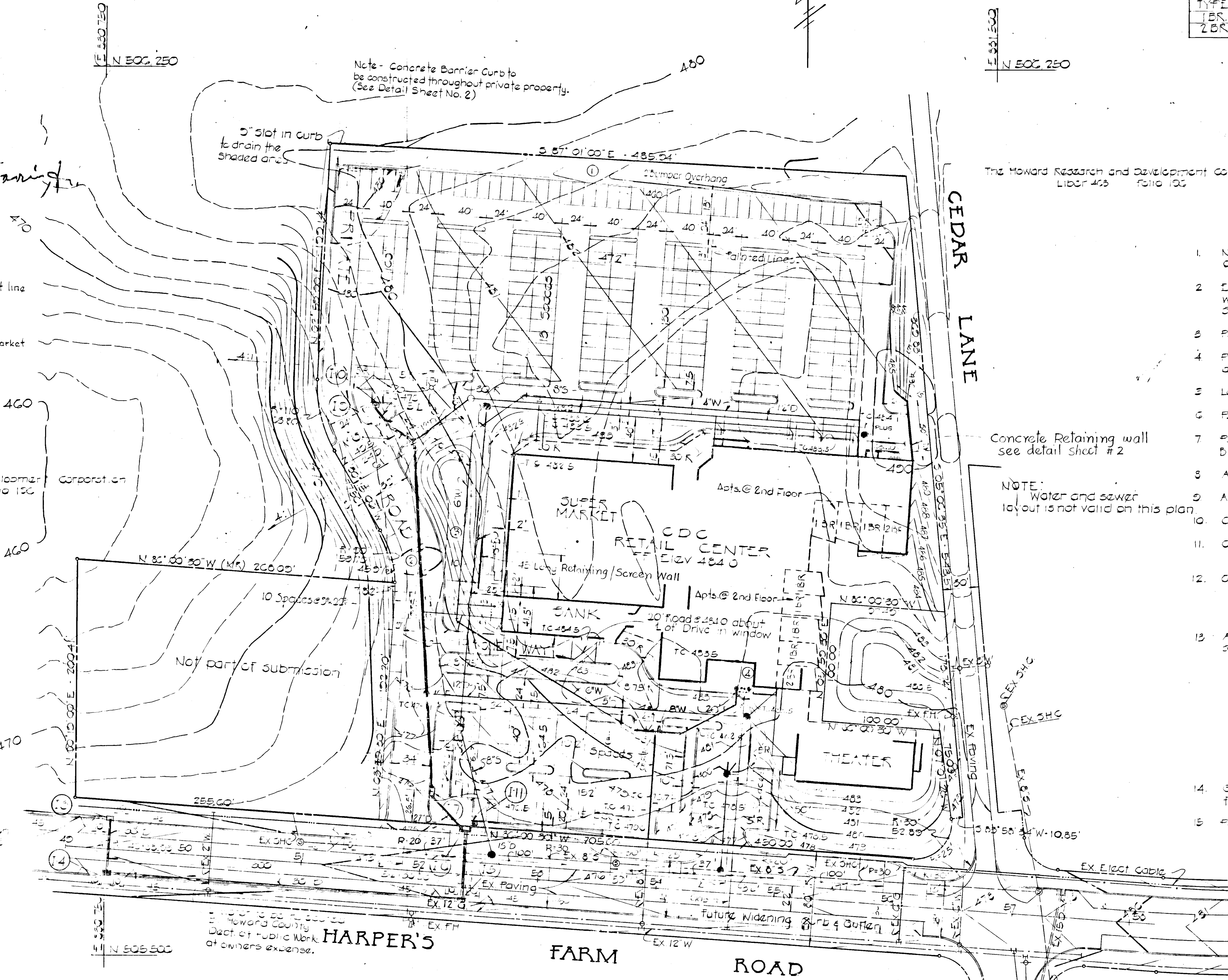
Minimum building setback from property line and the right-of-way of any public road or street to be determined with the proposed final development plan notation.

APT. UNITS PROVIDED		
TYPE	NO.	MIN. FLOOR SPACE
1BR	7	550 sq ft
2BR	2	660 sq ft



**APPROVED**  
 PLANNING BOARD  
 OF HOWARD COUNTY  
 DATE NOV 18 1970  
 Thomas L. Harp...  
 REVISOR  
 DIVISION OF LAND MANAGEMENT  
 SUPPLY OF PLANNING AND ZONING  
 OF HOWARD COUNTY  
 DATE APR 1972

- 1 Relocated parking along rear lot line
- 2 Added parking along entrance road
- 3 Revised grading west of Supermarket
- 4 Relocated water meter



The Howard Research and Development Corporation  
 Liber 453 Folio 100

**GENERAL NOTES**

1. No onsite grading shall be done until sediment basins previously approved by the Soil Conservation Service are completed.
2. Except where otherwise noted all construction materials and details shall be in accordance with the latest revisions of the Howard County Code Construction Code and Standard Specifications.
3. Public water and sanitary sewer facilities are available and adequate.
4. Proposed grade contours represent finished grade. Contractor shall make required allowances to subgrade for roadbed, paving and other surface finishes as required.
5. Location of existing utilities is approximate only and is obtained from record drawings.
6. Parking lot curbs to be Howard County Standard concrete combination as per detail.
7. Parking lot finish shall consist of 4" Bituminous Concrete Base (Band C-2 or C-3) and 1" Bituminous Concrete Surface (Band C-3).
8. All parking lot radii to be 8' 3" except where otherwise noted.
9. All parking spaces 10' x 20'.
10. Cedar Lane paving to remain intact.
11. Contours - Existing - 4'00" - 2' interval  
Proposed - 4'00" - 1' interval
12. Contractor shall notify following utility companies prior to commencing work:  
 Bell Telephone System 303-3040  
 Long Distance Cable Div. 353-3333  
 Baltimore Gas and Electric Co. 552-3000 ext. 601
13. All areas disturbed by grading or contractor's operations not being paved, shall be topsoiled, seeded and mulched in accordance with the following:  
 a. place 3" layer of topsoil to finished grade  
 b. seed 200 lbs/1000 sq ft with timothy or clover at rate of 1 lb per 1000 sq ft  
 c. spread 500 lb/1000 sq ft of commercial grade fertilizer at rate of 500 lb per acre  
 d. immediately spread mulch to depth of 3"  
 e. seed grass at 200 lb/1000 sq ft of 700 lbs per acre  
 f. mulch 2" immediately after seeding with unweathered small grain, straw, or hay at rate of 1 1/2 tons/acre spray mulch with emulsified asphalt (RS-102) at rate of 2 lb per 100 sq ft
14. Grade at inlets 1-1, 1-2, 1-3, 1-4, 1-5, & 1-6 to provide positive flow to inlets.
15. Parking Requirements -  

Category	Area	Ratio	Requirement
Retail Building	45,000 sq ft	5 cars/1000 sq ft	225 cars
Office Building	14,000 sq ft	3 cars/1000 sq ft	42 cars
Apartments	3 units	15 cars/unit	45 cars
<b>Total cars required</b>			<b>288 cars</b>
<b>Total cars provided</b>			<b>288 cars</b>
16. All slopes 4:1 or steeper shall be sodded.
17. See sheets 213 for road and storm drainage profiles and other storm drainage information and other details.
18. See architectural drawings for building dimensions.

**HARPER'S CHOICE VILLAGE CENTER**  
 COLUMBIA, MARYLAND

RETAIL CENTER  
 CDC DEVELOPER  
 EINEZ OF DISTRICT 5

COCHRAN, STEPHENSON & DONKROVET  
 INCORPORATED  
 ARCHITECTS  
 925 NORTH CHARLES ST. BALTIMORE, MD 21201

VAN RENSSLAER P. SAXE  
 CONSULTING STRUCTURAL ENGINEER

HENRY ADAMS  
 CONSULTING ENGINEERS

PURDUM & JESCHKE  
 CIVIL ENGINEERS

SITE PLAN  
 VILLAGE CENTER  
 VILLAGE OF HARPER'S CHOICE  
 SECTION 5  
 PLATBOOK 10  
 FOLIO 12  
 DATE 9/18/70  
 DWG NO. 1 OF 3  
 DRAWN BY S. WOODRUFF  
 CHECKED BY J. WOODRUFF

Revised by...

NOTE: This site development plan to be in accordance with sections 7-6-4B, 7-6-4C and 7-07 Howard County Zoning Regulations.

NOTE: Vehicular ingress and egress to Harpers Farm Road is restricted except at points of access approved by the office of Planning and Zoning.

NOTE: All construction to be in accordance with final Development Plan 10/15/70.

**PURDUM & JESCHKE**  
 CONSULTING ENGINEERS  
 AND  
 LAND SURVEYORS  
 1025 NORTH CALVERT ST.  
 BALTIMORE, MARYLAND 21203

**PROFESSIONAL ENGINEER**  
 I certify that the plan of development and the plan for control of site and erosion meets the requirements, standards and specifications of the Howard Soil Conservation District.  
 Signature: *James M. Woodruff*  
 Date: 11/19/70

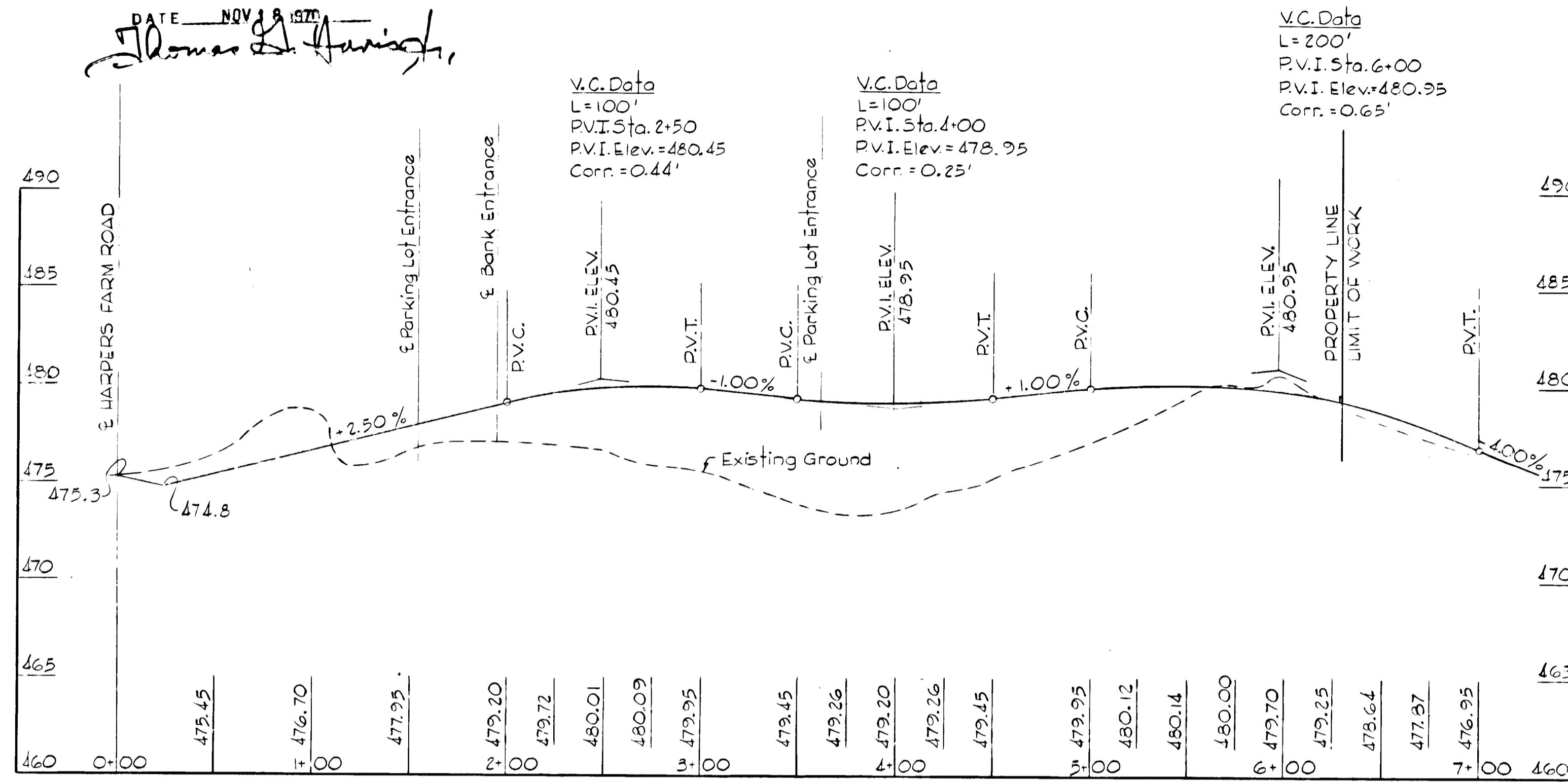
**LANDSCAPE ARCHITECT**  
 I certify that the development and/or construction will be done according to the plan of development and plan of site and easement control.  
 Signature: *Esther Cathcart*  
 Date: 8-10-70

**HOWARD SOIL CONSERVATION DISTRICT**  
 This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.  
 Reviewed: *James M. Woodruff* 1-11-71  
 District Conservationist Date  
 Approved: *Robert B. Campbell* 1-11-71  
 Howard Soil Conservation District Date

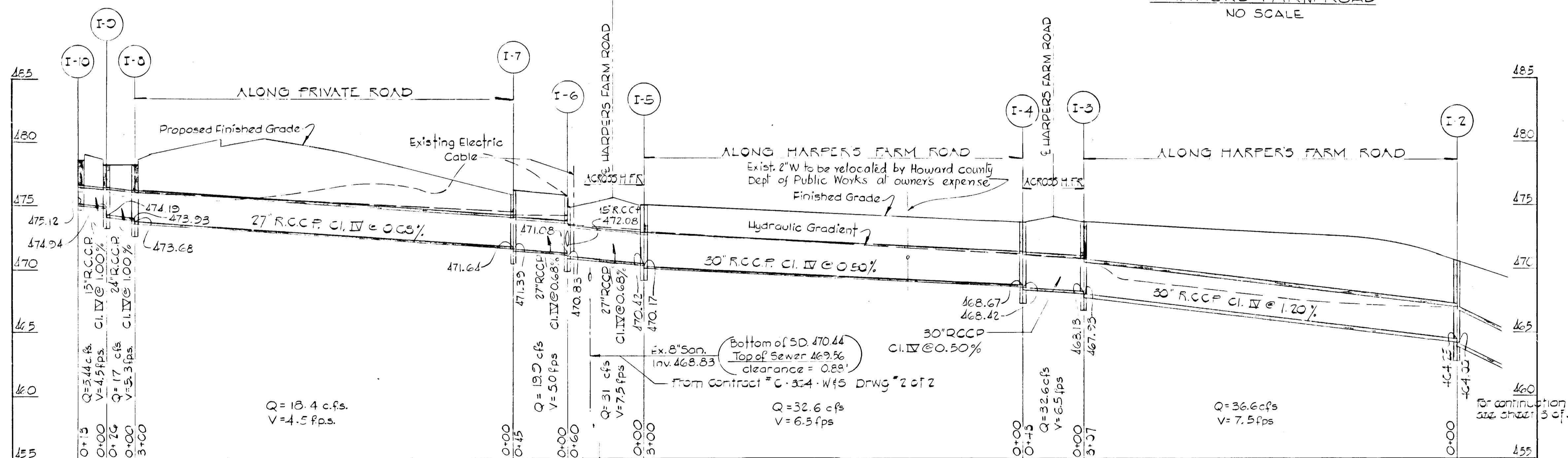
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS: Harpers Farm, Health Department, 12-3-70  
 APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND ROADS: Harpers Farm, Health Department, 12-4-70  
 APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND ROADS: Harpers Farm, Health Department, 12-4-70  
 APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND ROADS: Harpers Farm, Health Department, 12-4-70

APPROVED  
PLANNING BOARD  
OF HOWARD COUNTY

DATE NOV 18 1970  
*Thomas L. Harris*



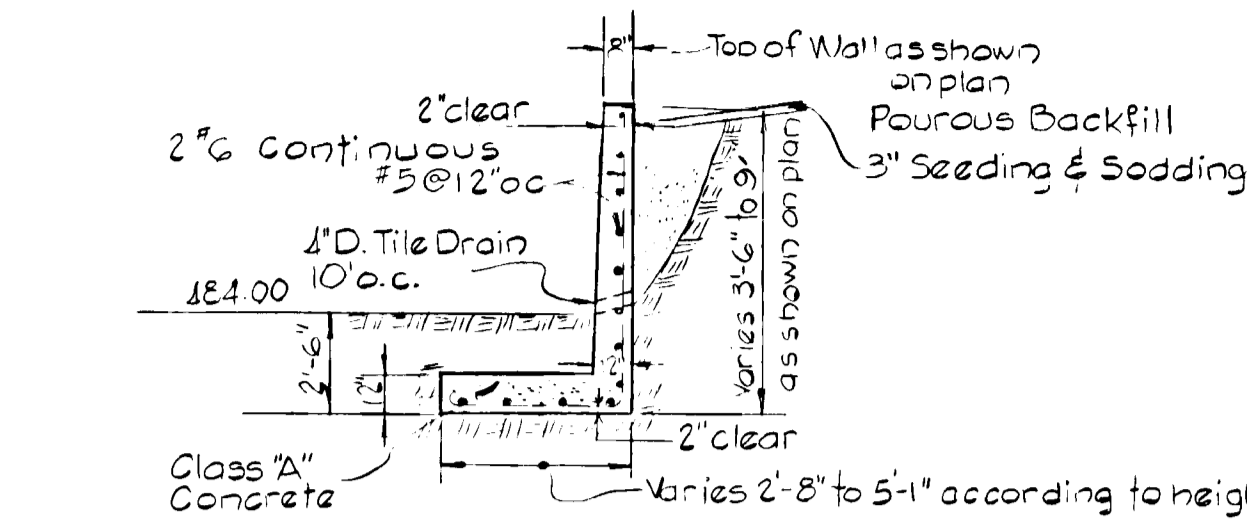
PRIVATE ROAD & PROFILE  
SCALE: HOR: 1"=50'  
VERT: 1"=5'



STORM DRAIN PROFILE  
SCALE: HOR: 1"=50'  
VERT: 1"=5'

PURDUM & JESCHKE  
CONSULTING ENGINEERS  
AND LAND SURVEYORS  
1023 N. CALVERT STREET  
BALTIMORE, MARYLAND

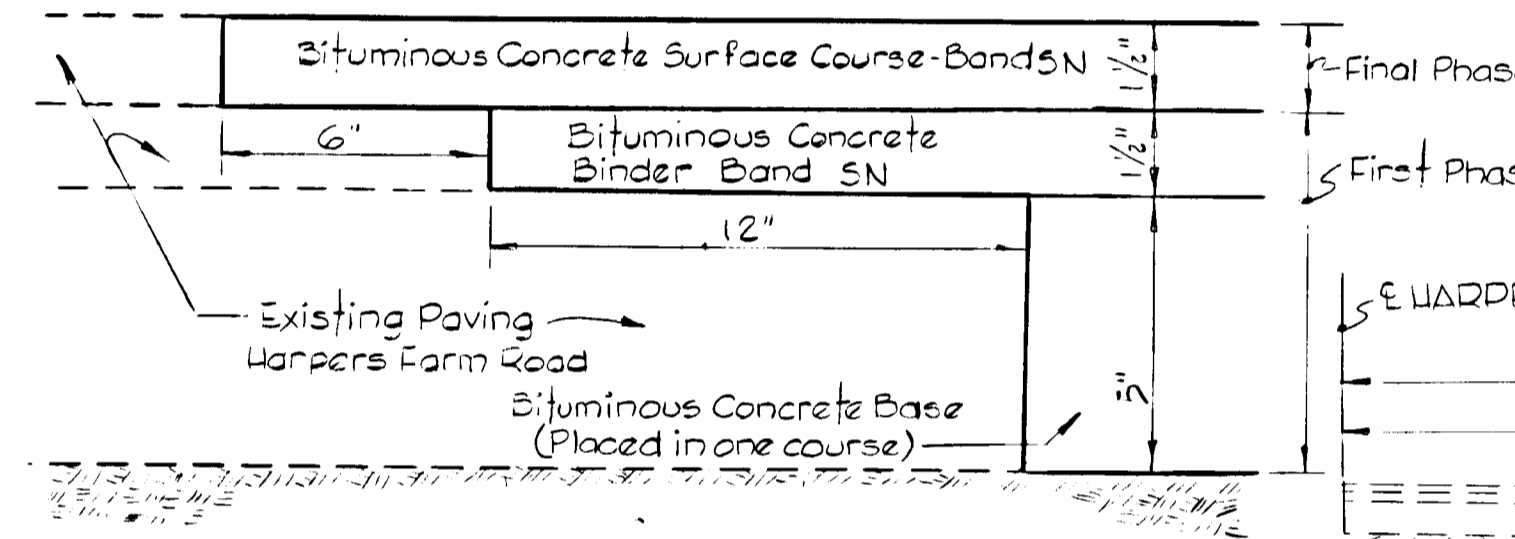
Construction joints 35' on center.



DETAIL-CONC. RETAINING WALL  
SCALE: 1"=5'

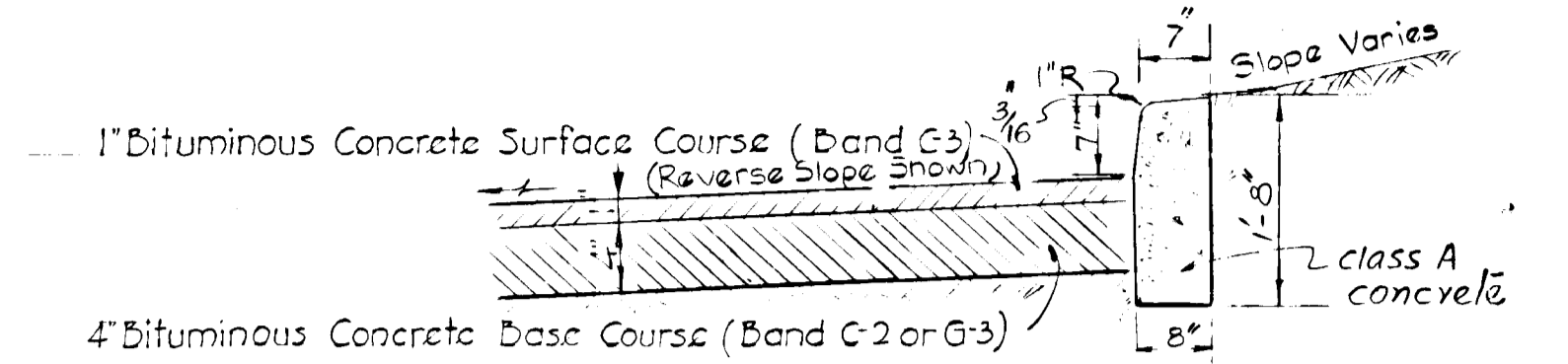
NO.	TYPE	TOP ELEV.	REMARKS
I-1	A-5 Inlet	*	Std. Drawg. No. D-C4A
I-2	B-10 Inlet	*	Std. Drawg. No. D-C4B
I-3	A-5 Inlet	*	Std. Drawg. No. D-C4A
I-4	Comb. Inlet	*	Std. Drawg. No. D-C4C
I-5	Comb. Inlet	475.70	Std. Drawg. No. D-C4C
I-6	B-10 Inlet	475.50	Std. Drawg. No. D-C4B
I-7	B-10 Inlet	476.40	Std. Drawg. No. D-C4B
I-8	A-5 Inlet	475.50	Std. Drawg. No. D-C4A
I-9	Comb. Inlet	475.50	Std. Drawg. No. D-C4C
I-10	A-5 Inlet	475.50	Std. Drawg. No. D-C4A
I-11	A-5 Inlet	475.50	Std. Drawg. No. D-C4A
M-1	Manhole	447.85	Std. Drawg. No. D-105

\* See Harpers Farm Road drawings for top elevations for inlets I-1, I-2, I-3 and I-4

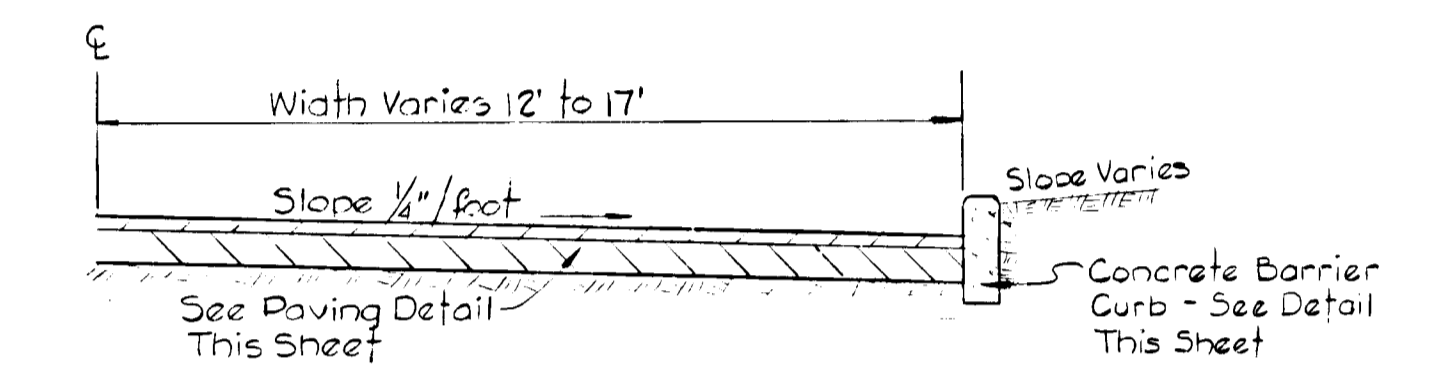


PAVING DETAIL  
HARPERS FARM ROAD  
NO SCALE

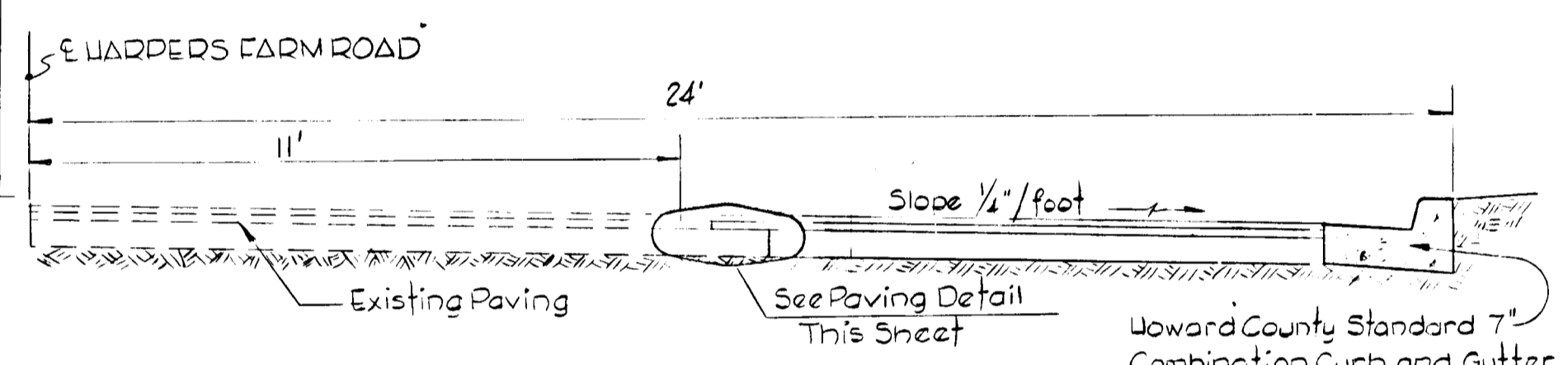
NOTE -  
Concrete Barrier Curb to be constructed throughout private property.



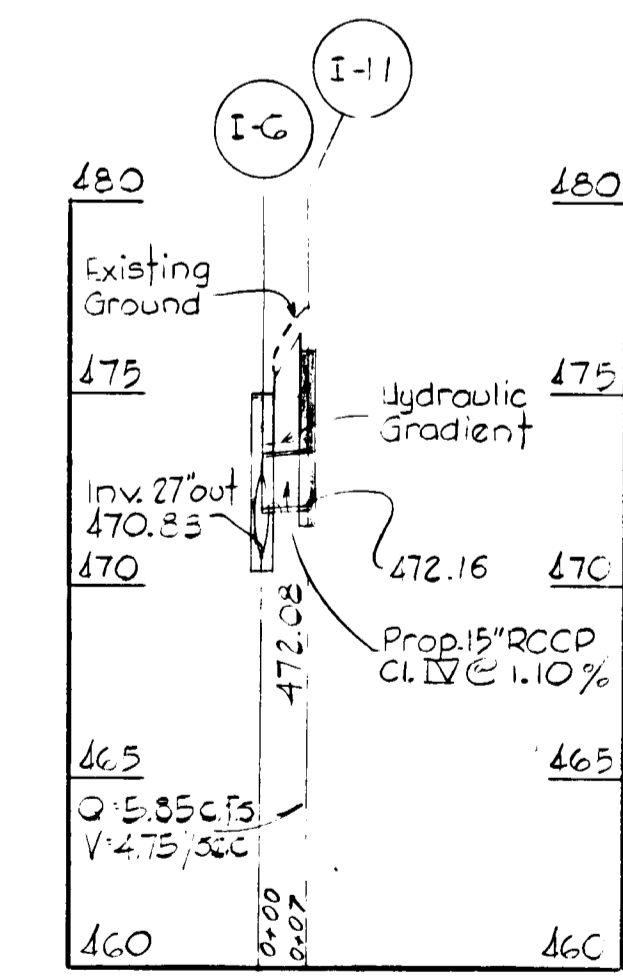
DETAIL-CONCRETE BARRIER CURB  
PRIVATE ROAD AND PARKING LOT PAVING  
NO SCALE



TYPICAL HALF SECTION PRIVATE ROAD  
SCALE: 3/8"=1'-0"



TYPICAL HALF SECTION HARPERS FARM ROAD  
AT INLETS AND ENTRANCES  
SCALE: 3/4"=1'-0"



STORM DRAIN PROFILE  
SCALE: HOR: 1"=50'  
VERT: 1"=5'

**HARPER'S CHOICE VILLAGE CENTER**  
COLUMBIA, MARYLAND

DETAIL CENTER  
C.D.C. DEVELOPER  
ELECTION DISTRICT #3

COCHRAN, STEPHENSON & DONKERVOLT  
INCORPORATED  
ARCHITECTS  
925 NORTH CHARLES ST. BALTIMORE MD. 21201

VAN RENSSLAER P. SAXE  
CONSULTING STRUCTURAL ENGINEER

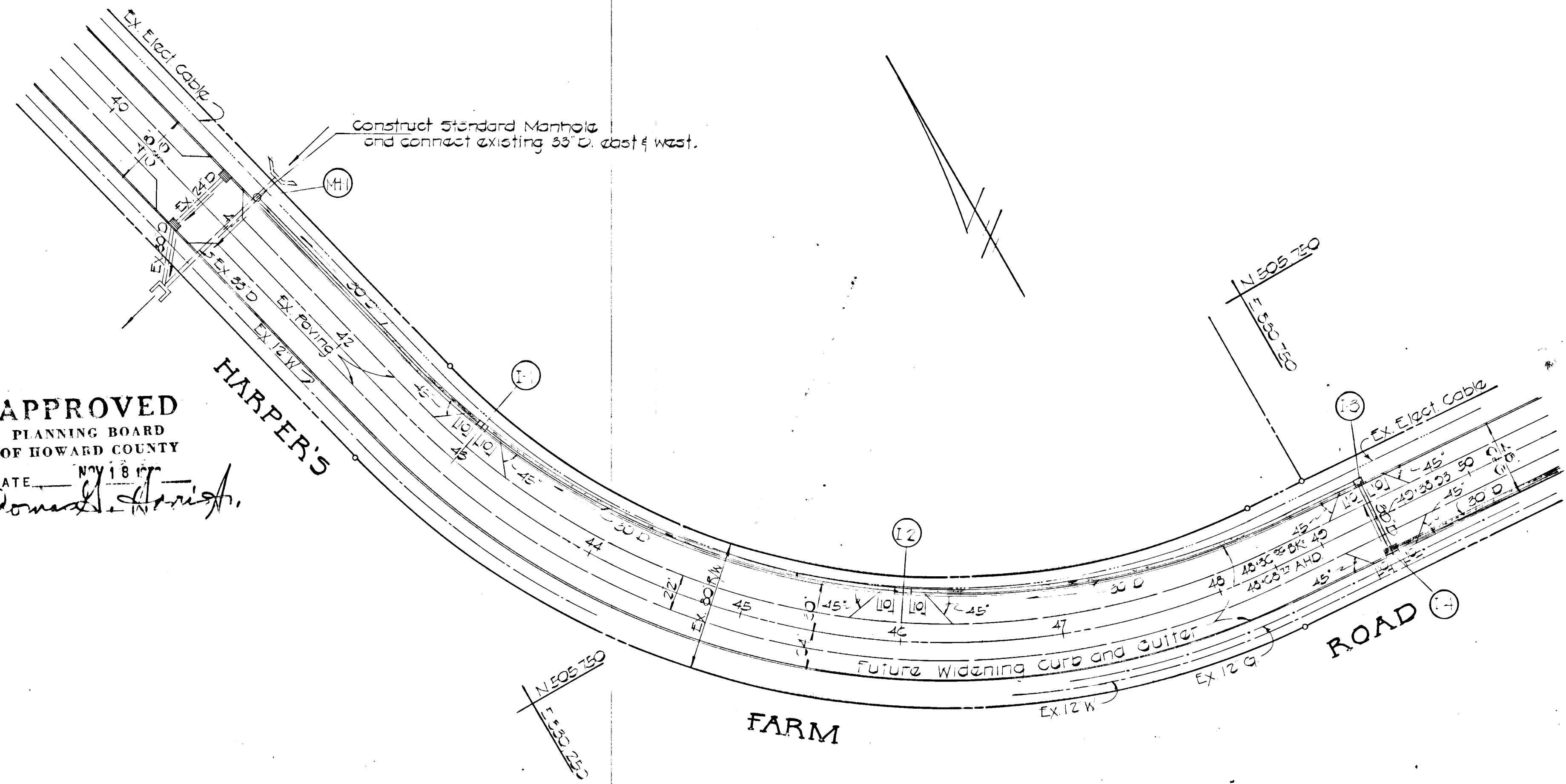
HENRY ADAMS  
CONSULTING ENGINEERS

PURDUM & JESCHKE  
CIVIL ENGINEERS

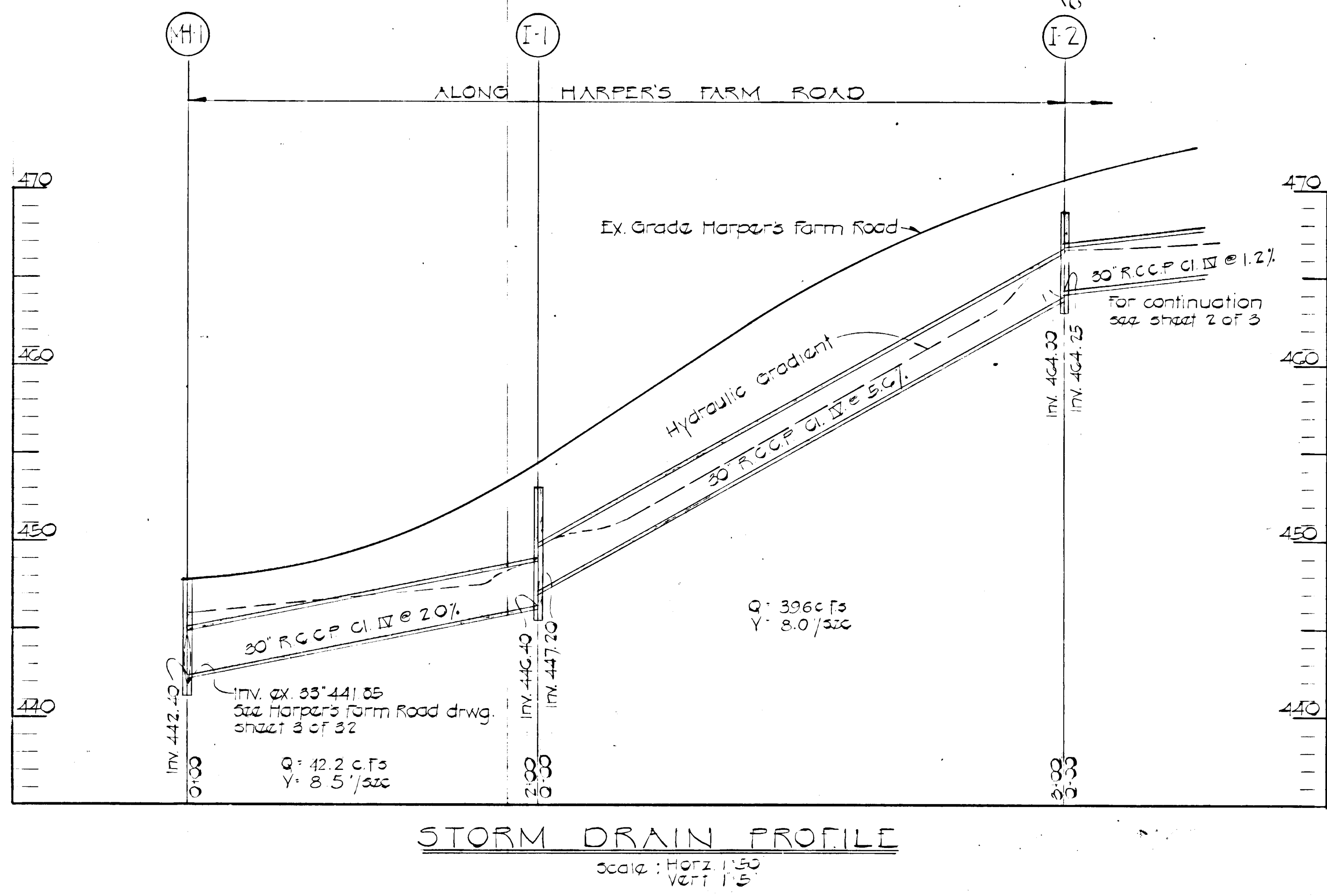
PROFILES & DETAILS  
VILLAGE CENTER  
VILLAGE OF HARPERS CHOICE  
SECTION 5 AREA 2  
PLATBOOK 18 FOLIO 12

DATE 9-18-70 2 of 3  
DRAWN BY R. CHURCH SCALE: AS SHOWN

APPROVED  
 PLANNING BOARD  
 OF HOWARD COUNTY  
 DATE: Nov 18 1970  
*Thomas H. Smith*



PLAN  
 Scale: 1"=50'



STORM DRAIN PROFILE  
 Scale: Horiz. 1"=50' Vert. 1"=5'

PURDUM & JESCHKE  
 CONSULTING ENGINEERS  
 AND  
 LAND SURVEYORS  
 1023 NORTH CALVERT ST.  
 BALTIMORE, MARYLAND 21202

**HARPER'S CHOICE VILLAGE CENTER**  
 COLUMBIA, MARYLAND

RETAIL CENTER  
 CDC DEVELOPER  
 ELECTION DISTRICT 5

COCHRAN, STEPHENSON & DONKERVOLT  
 INCORPORATED  
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 925 NORTH CHARLES ST. BALTIMORE, MD. 21201

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 CIVIL ENGINEERS

PLAN & PROFILE  
 VILLAGE OF HARPER'S CHOICE  
 SECTION 5 AREA 2  
 PLATBOOK 10 FOLIO 12  
 SHEET NO. 3 OF 3  
 DATE: 2-18-70  
 DRAWN BY: S. Woody Scale: As Shown