

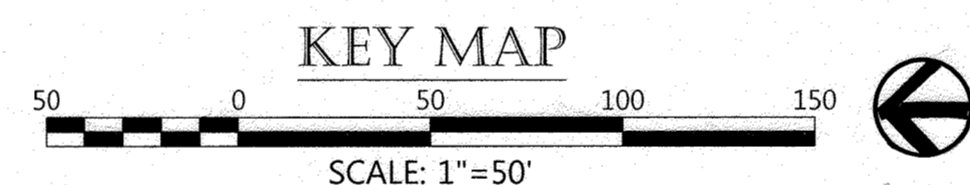
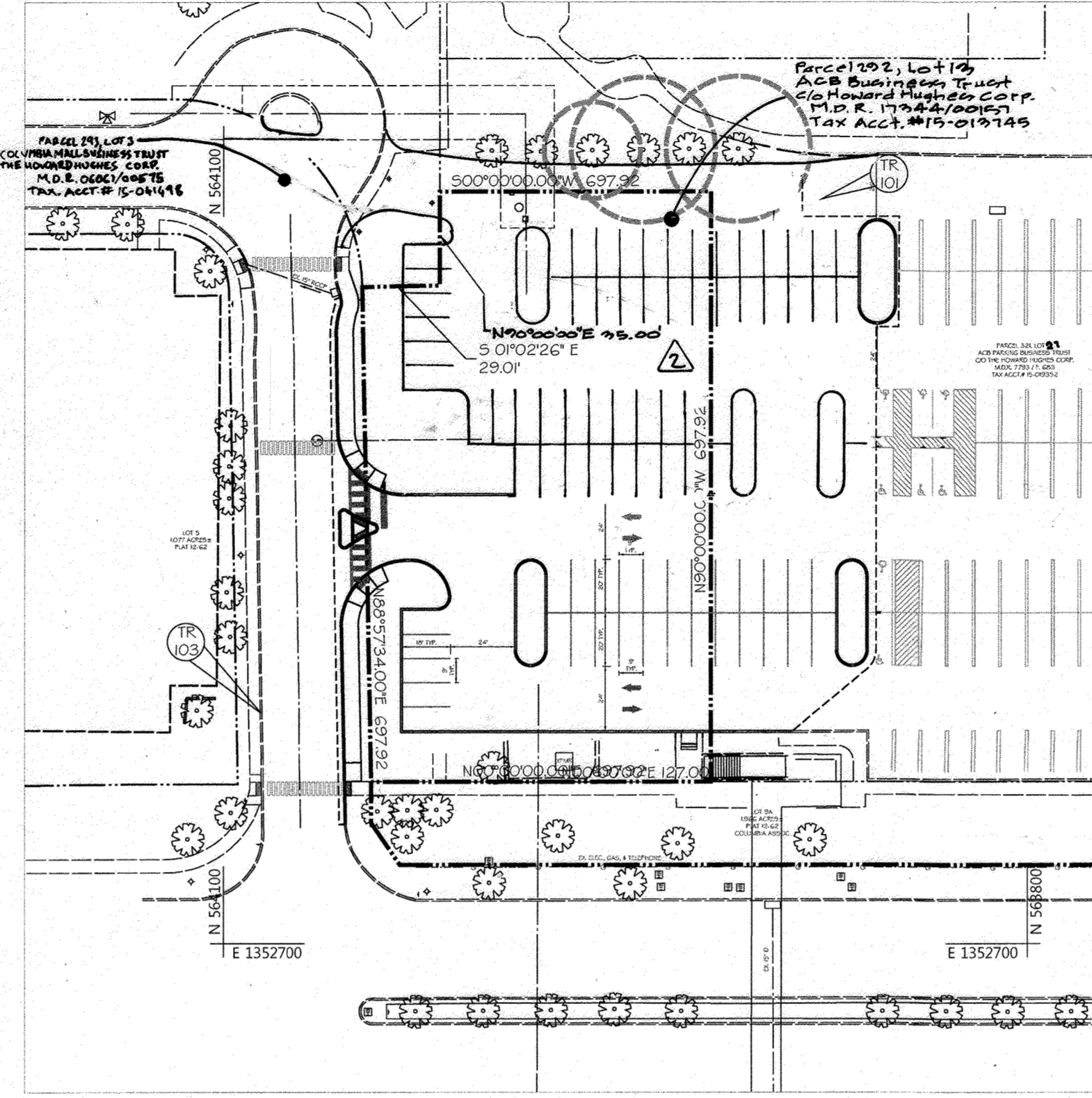
**GENERAL NOTES**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- EXISTING TOPOGRAPHIC INFORMATION SHOWN HEREON REFLECTS THE TOPOGRAPHIC SURVEY PERFORMED BY DMW, INC. ON AUGUST 27, 2019. THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH ONE FOOT CONTOUR INTERVALS PREPARED BY DMW, INC. ON AUGUST 27, 2019.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UP ON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NO'S 36AA, 36GA, 36DB & 36EA.
- EXISTING PUBLIC WATER CONSTRUCTED UNDER SDP 69-904.
- EXISTING PUBLIC SEWER CONSTRUCTED UNDER SDP 69-904.
- PROPOSED STORMWATER MANAGEMENT BY MEANS OF MICRO-BIORETENTION WILL BE PRIVATE AND THE MAINTENANCE RESPONSIBILITY WILL BE THE OWNER'S. STORMWATER MANAGEMENT IS PROVIDED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL VOLUME I, STORM DRAINAGE, AND REVISED MAY 3, 2010. THIS REVISION TO THE DESIGN MANUAL (CHAPTER 5 - STORM WATER MANAGEMENT) AMENDS HOWARD COUNTY'S STANDARD FOR DESIGN AND CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES IN ACCORDANCE WITH THE STATE'S STORMWATER MANAGEMENT ACT OF 2007. **STORMWATER PROVIDED UNDER PHASE 2 WILL BE PRIVATELY OWNED AND MAINTAINED (SEE SHEET 15).**
- EXISTING UTILITIES ARE BASED ON FIELD LOCATIONS BY AT DATA, INC. AND SUPPLEMENTED WITH OBSERVABLE EVIDENCE DMW, INC. FIELD CREWS.
- THERE ARE NO WETLANDS ON THIS SITE.
- A TRAFFIC IMPACT STUDY STATEMENT, PREPARED BY WELLS AND ASSOCIATES, DATED OCTOBER 27, 2017, WAS REVIEWED AND APPROVED AS A PART OF THE FDP DOWNTOWN COLUMBIA LAKEFRONT CORE NEIGHBORHOOD PHASE 1. THE TRAFFIC GENERATED AS A RESULT OF THIS SDP-69-904 PLAN DOES NOT WARRANT A TRAFFIC SIGNAL AT THIS TIME.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF A 2.0 FOOT PROTECTIVE COVER OVER ALL UTILITIES DURING CONSTRUCTION.
- ALL OUTDOOR LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF ZONING SECTION 134. ALL EXTERIOR LIGHT FIXTURES SHALL BE ORIENTED TO DIRECT LIGHT INWARD AND DOWNWARD AND AWAY FROM ALL ADJOINING RESIDENTIAL PROPERTIES AND PUBLIC ROADS IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
- THE SITE HAS BEEN DESIGNED TO BE IN CONFORMANCE WITH ADA REGULATIONS 28 CFR PART 36, REVISED SEPTEMBER 15, 2010. HANDICAP PARKING DETAILS AND SIGNAGE SHALL BE IN ACCORDANCE WITH ADAAG (AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES) AND COMAR (CODE OF MARYLAND REGULATIONS) SECTION 5.02.02.
- ANY DAMAGE TO THE COUNTY OWNED RIGHT-OF-WAY SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- ALL SIDEWALKS SHALL BE CROSS SLOPED AT 1/4 INCH PER FOOT.
- TRENCH BEDDING FOR STORM DRAINAGE STRUCTURES SHALL BE IN ACCORDANCE WITH HOWARD COUNTY STANDARD G2.01.
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS OR MSHA STANDARDS AS SPECIFIED ON THE STRUCTURE.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL VOLUME IV.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING PROPERTY WHICH MAY OCCUR AS A RESULT OF NEGLIGENCE DURING THE EXECUTION OF WORK.
- ELECTRIC, GAS, CABLE, TELEPHONE AND LIGHTING LINES ARE DESIGNED BY OTHERS.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$6,510.00 FOR 12 SHADE TREES AND 97 SHRUBS.
- THE SUBJECT PROPERTY IS ZONED NT PER THE COMPREHENSIVE PLAN EFFECTIVE 10/03/13 AND DESIGNATED DMUA PER THE DOWNTOWN COLUMBIA PLAN AND FDP-DC-L-1.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAM(S) OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREA AND 100-YEAR FLOODPLAIN.

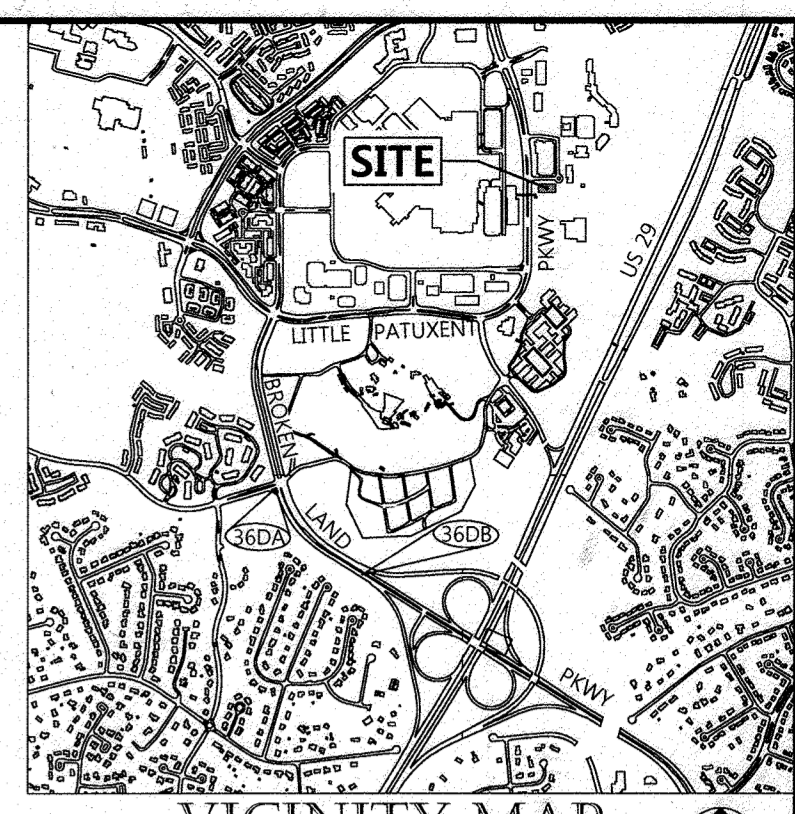
- ON OCTOBER 1, 2020 THE HOWARD COUNTY PLANNING BOARD MET AND CONSIDERED THIS SITE DEVELOPMENT PLAN REDLINE REVISION FOR THE CONSTRUCTION OF TEMPORARY (DESCRIBED SITE IMPROVEMENTS) ON 0.629+ ACRES OF LAND ZONED NEW TOWN - NT IN THE 5TH ELECTION DISTRICT OF HOWARD COUNTY, MARYLAND.
- AS A POINT OF CLARIFICATION, THE IMPROVEMENTS ON THIS SDP ARE TEMPORARY, INCLUDING THE PARKING AND GREEN SPACE. THE NUMBER OF TEMPORARY PARKING SPACES CONSTRUCTED WITHIN THE LIMITS OF THIS SDP MAY BE INCREASED IN THE FUTURE CONSISTENT WITH THE DESIGN SHOWN, AND THE AMOUNT OF GREEN SPACE MAY BE CORRESPONDINGLY REDUCED, WITH THE APPROVAL OF PLANNING AND ZONING.
- THE DIRECTOR, DEPARTMENT OF PLANNING AND ZONING, MAY APPROVE MODIFICATIONS TO SDP-69-904 MEETING THE FOLLOWING CRITERIA. ANY MODIFICATIONS NOT MEETING THESE CRITERIA MUST BE APPROVED BY THE PLANNING BOARD:
  - THE DESIGN OF ADDITIONAL PARKING MUST BE CONSISTENT WITH THE OVERALL DESIGN OF THE PARKING APPROVED BY THE PLANNING BOARD.
  - LANDSCAPING MUST BE INCLUDED IN CONFORMANCE WITH THE APPROVED LAKEFRONT CORE NEIGHBORHOOD DESIGN GUIDELINES.
  - ANY MODIFICATIONS FOR THE ADDITIONAL PARKING MUST BE WELL-ORGANIZED IN TERMS OF THE LOCATION OF ACCESS POINTS, ARRANGEMENT OF PARKING SPACES, AND VEHICULAR AND PEDESTRIAN CIRCULATION. AND
  - DESIGN AND CONSTRUCTION MUST COMPLY WITH ALL PERMITTING REQUIREMENTS, INCLUDING PROVISION OF ADDITIONAL STORMWATER MANAGEMENT IF REQUIRED.
- THE DEVELOPER SHALL SEND A NOTICE TO THE PLANNING BOARD IF A REDLINE REVISION IS APPROVED THAT WOULD ALTER THE PARKING OR GREEN AREA UNDER CONDITIONS A AND B ABOVE.

# SITE DEVELOPMENT PLAN DOWNTOWN COLUMBIA 10227 WINCOPIN CIRCLE PARCEL 298 SDP-69-904 HOWARD COUNTY MARYLAND

## AS-BUILT



SHEET INDEX	
SHEET NUMBER	SHEET TITLE
01	COVER SHEET
02	EXISTING CONDITIONS & DEMOLITION PLAN
03	SITE GRADING AND UTILITY PLAN
04	SITE & UTILITY DETAILS
05	STORM DRAIN PROFILES AND DRAINAGE AREA MAP
06	SWM FACILITY I DETAIL PLANTING AND DRAINAGE AREA MAP
07	SWM NOTES AND DETAILS
08	SEDIMENT AND EROSION CONTROL PLANS
09	SEC DRAINAGE AREA MAPS
10	SEC DETAILS
11	SEC SPECIFICATIONS
12	LANDSCAPE PLAN
13	LANDSCAPE DETAILS
14	LANDSCAPE NOTES
15	SITE GRADING AND UTILITY PLAN - PHASE 2
16	SEDIMENT AND EROSION CONTROL PLAN - PHASE 2



SCALE: 1"=2000'  
HOWARD COUNTY ADC  
MAP NUMBER 4935  
GRND NO. D6

HOWARD COUNTY GEODETIC COORDINATES

BENCH MARK ID: 350B NORTHING: 1559340.816 EASTING: 1350845.671 ELEV: 344.648	BENCH MARK ID: 350A NORTHING: 1565849.324 EASTING: 1350077.51 ELEV: 363.651
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**BENCHMARK**

DESCRIPTION	TR101	TR103
N: 563.8762910 E: 1352.9775570 ELEV=332.67 MAGNAIL IN PAVEMENT	N: 564.0863200 E: 1352.7854820 ELEV=328.67 MAGNAIL IN CURB	

**SITE ANALYSIS DATA CHART**

- GENERAL SITE DATA
  - PRESENT ZONING: NT
  - APPLICABLE DPZ FILE REFERENCES: SDP-69-904, P813-013, FDP-DC-L-1, F-18-062, F-20-004, SDP-73-23, SDP-22-19
  - PROPOSED USE: SURFACE PARKING LOT (15,488 SF)
  - EXISTING USE: VACANT LOT
  - PROPOSED WATER: N/A
  - PROPOSED SEWER: N/A
  - ANY OTHER RELEVANT INFORMATION: N/A
  - AREA OF STEEP SLOPES: 0 ACRES
  - AREA OF FLOODPLAIN: N/A
- AREA TABULATION
  - TOTAL SITE AREA: 0.629 AC +/-
  - LIMIT OF DISTURBED AREA: 45,450 SF. OR 1.04 AC +/-
  - TOTAL IMPERVIOUS AREA: 20,125 S.F. OR 0.46 AC +/-
  - BUILDING COVERAGE OF SITE: N/A
- PARKING SPACE DATA
  - EXISTING PARKING SPACES: 159 SPACES
  - EXISTING PARKING TO REMAIN: 157 SPACES
  - EXISTING HANDICAPPED SPACES: 8 TOTAL (4 STANDARD, 4 VAN)
  - NEW TEMPORARY PARKING SPACES PROVIDED: 89 SPACES (24 @ 9'x20', 65 @ 9'x18')
  - TOTAL PARKING SPACES: 248 SPACES
  - REQUIRED HANDICAPPED SPACES FOR FACILITY: 6 SPACES (5 STANDARD, 1 VAN)
  - REQUIRED NEW HANDICAPPED SPACES: 0 SPACES

A Parking assessment and agreement L17401 E146 Recorded January 13, 2017 provides 67 parking spaces on this lot for uses shown on SDP-73-23.

**ADDRESS CHART**

LOT NUMBER	STREET ADDRESS
13	10227 WINCOPIN CIRCLE, COLUMBIA, MD 21044

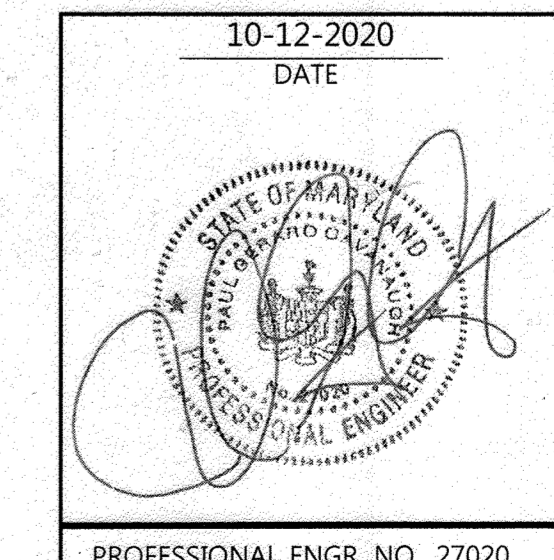
**PURPOSE STATEMENT:**  
THE PURPOSE OF REDLINE REVISION #1 IS TO:  
1. PROVIDE TEMPORARY SURFACE PARKING IN PREPARATION FOR THE FUTURE REDEVELOPMENT OF DOWNTOWN COLUMBIA AS PART OF THE LAKESIDE REDEVELOPMENT.  
2. PROVIDE NEW STORMWATER MANAGEMENT BMP'S TO TREAT REQUIRED STORMWATER RUNOFF.

Date	No.	Revision Description
05/21/22	1	Added PH 2 Parking lot & rev. notes accordingly
04/02/20	1	REPLACEMENT OF ORIGINAL SDP SET WITH TEMPORARY PARKING LOT DESIGN SET

**TEMPORARY SURFACE LOT  
PARCEL 298, LOT 13 10227 WINCOPIN  
CIRCLE COLUMBIA, MD 21044**

OWNER / DEVELOPER:  
AMERICAN CITY BUILDING BUSINESS TRUST  
C/O THE HOWARD HUGHES CORPORATION  
COLUMBIA REGIONAL OFFICE  
10960 GRANTCHESTER WAY, SUITE 110  
COLUMBIA, MD 21044  
(410) 964-4800

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27020, EXPIRATION DATE: 01/25/22.

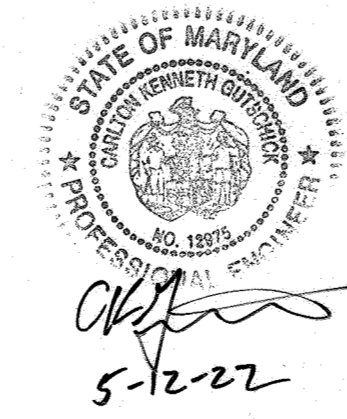


**AS-BUILT CERTIFICATION**  
I HEREBY CERTIFY, BY MY SEAL, THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THE FACILITIES SHOWN ON THIS PLAN WERE CONSTRUCTED AS SHOWN ON THIS "AS-BUILT" PLAN MEET THE APPROVED PLANS AND SPECIFICATIONS. THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO: 12475 EXPIRATION DATE: MAY 26, 2024  
DATE OF SURVEY: AUGUST, 2023

Carlton R. Gutchick  
PROFESSIONAL ENGINEER  
MARYLAND REG. NO. 12475

**Professional Certification**  
I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland.  
License No. 12475  
Expiration Date: May 26, 2024

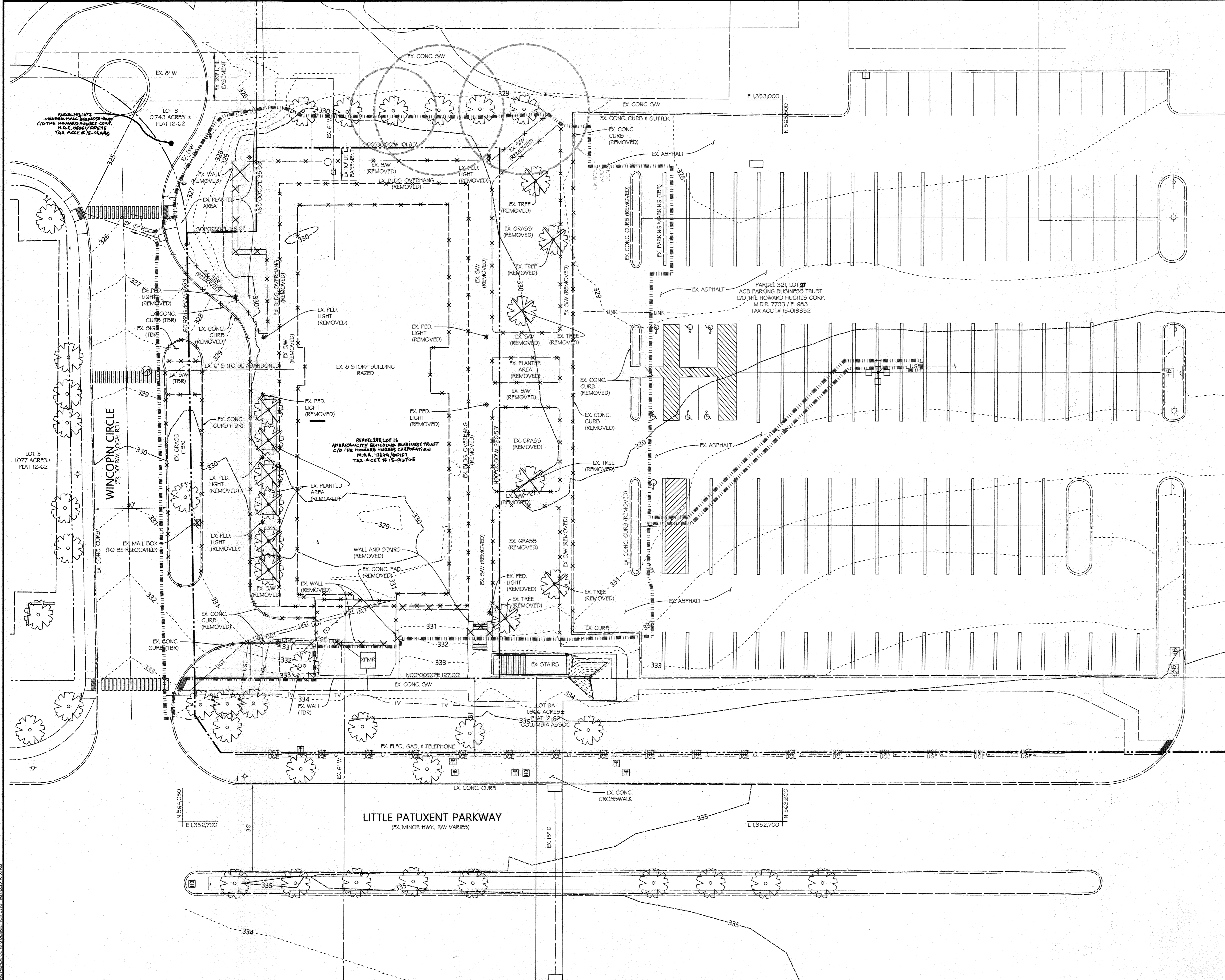
Certification For Revision 2 Only



APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	
CHIEF, DEVELOPMENT ENGINEERING DIVISION	10/23/20
CHIEF, DIVISION OF LAND DEVELOPMENT	11/11/21
DIRECTOR	1-11-20

COVER SHEET			
AS-BUILT DATE: AUG. 2023			
REVISED SITE DEVELOPMENT PLAN			
Des. By	PAB	SCALE: AS SHOWN	Proj. No. 19029.00
Drn. By	PAB	DATE: 04-02-2020	AS-BUILT SHEET 1 OF 6
Chk. By	RRP	Approved RRP	01 of 16

SDP-69-904 AS-BUILT



**LEGEND**

---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	EX. 5' CONTOUR
---	EX. 5' CONTOUR
---	EX. CURB
---	EX. SIDEWALK
---	EX. BUILDING OVERHANG
---	EX. BUILDING
○	EX. TREE
○	EX. WATER LINE
○	EX. WATER STRUCTURE
○	EX. STORM DRAIN PIPE
○	EX. STORM DRAIN INLET
○	EX. SANITARY SEWER PIPE
○	EX. SANITARY SEWER MANHOLE
---	EX. UNDERGROUND TELEPHONE LINE
---	EX. UNDERGROUND ELECTRIC LINE
---	EX. UNDERGROUND FIBEROPTIC LINE
---	EX. UNDERGROUND TELEVISION LINE
---	EX. UNDERGROUND GAS LINE
---	EX. UNKNOWN UNDERGROUND LINE
□	EX. HAND BOX
□	EX. PEDESTRIAN LIGHT
+	EX. STREET LIGHT
+	EX. SIGN
---	LIMIT OF DISTURBANCE
---	EX. FEATURE TO BE DEMOLISHED

**NO ASBUILT INFORMATION**  
9/14/23

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27020. EXPIRATION DATE: 01/25/22

04-02-2020  
DATE

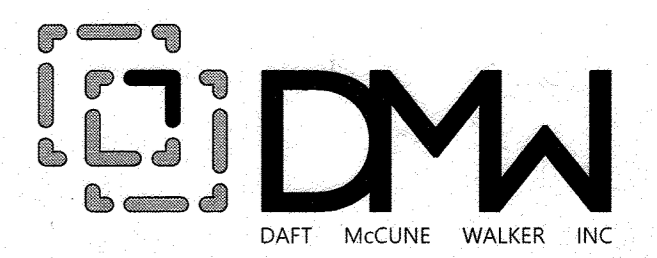
PROFESSIONAL ENGR. NO. 27020

APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: October 1, 2020

04/02/20	REPLACEMENT OF ORIGINAL SDP SET WITH TEMPORARY PARKING LOT DESIGN SET
Date	Revision Description

**TEMPORARY SURFACE LOT**  
**PARCEL 218, LOT 13 10227 WINCOPIN**  
**CIRCLE COLUMBIA, MD 21044**

**OWNER / DEVELOPER:**  
AMERICAN CITY BUILDING BUSINESS TRUST  
C/O THE HOWARD HUGHES CORPORATION  
COLUMBIA REGIONAL OFFICE  
10960 GRANTCHESTER WAY, SUITE 110  
COLUMBIA, MD 21044  
(410) 564-4800



501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286  
P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM

SUBDIVISION NAME	COLUMBIA TOWN CENTER	SECTION/AREA	0001	LOT/PARCEL #	13/0298 & 17/0321				
PLAY # CR. EX. #	8-13-F-13	ZONE	NT	TAX ZONE/AMT #	36	PLAT DISTRICT	5-03	CENSUS TRACT	605402
WATER CODE	550	SEWER CODE	LITTLE PATUXENT	STAGE	1				

**EXISTING CONDITIONS & DEMOLITION PLAN**  
REVISED SITE DEVELOPMENT PLAN

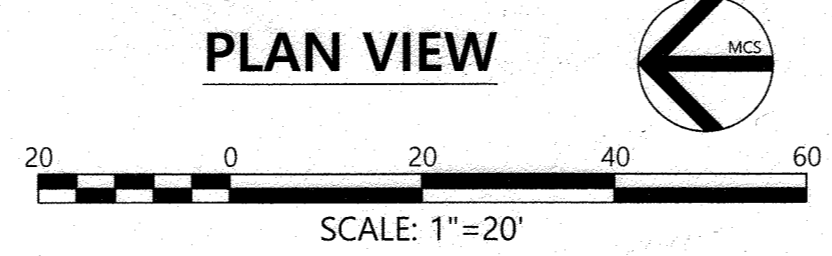
Des. By	PAB	SCALE:	1"=20'	Proj. No.	19029.00
Drn. By	PAB	Date	04-02-2020		
Chk. By	RRP	Approved	RRP		02 of 16

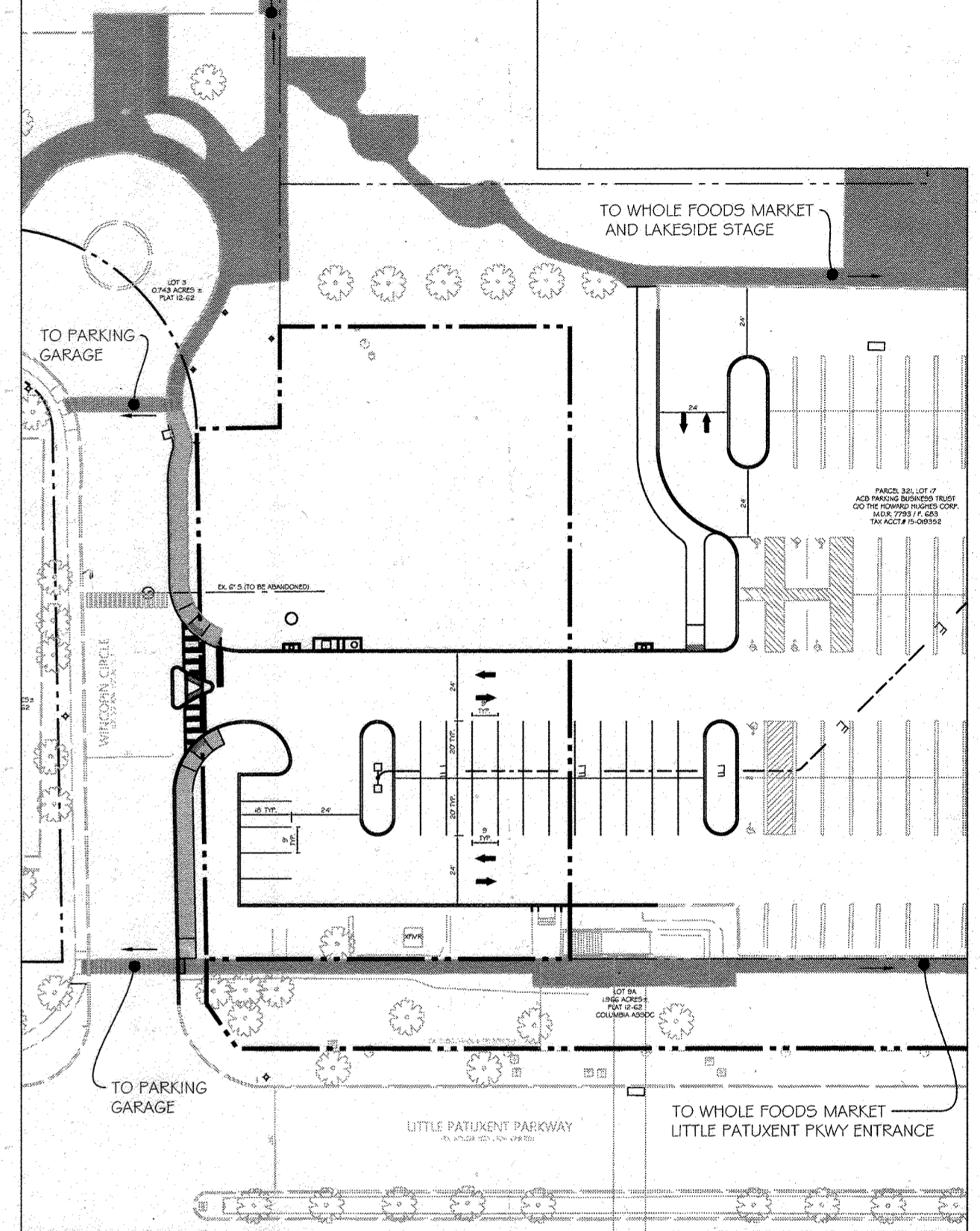
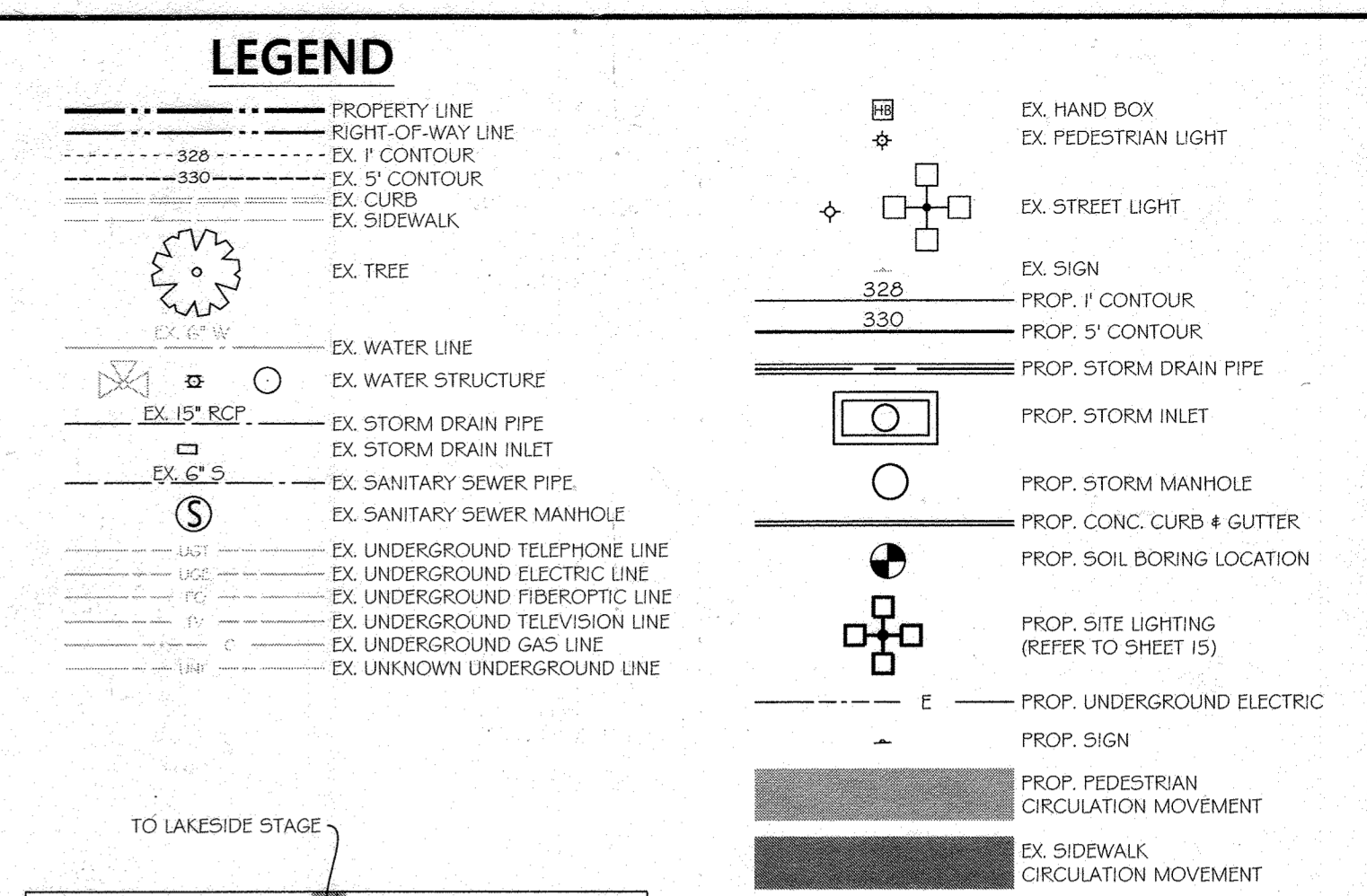
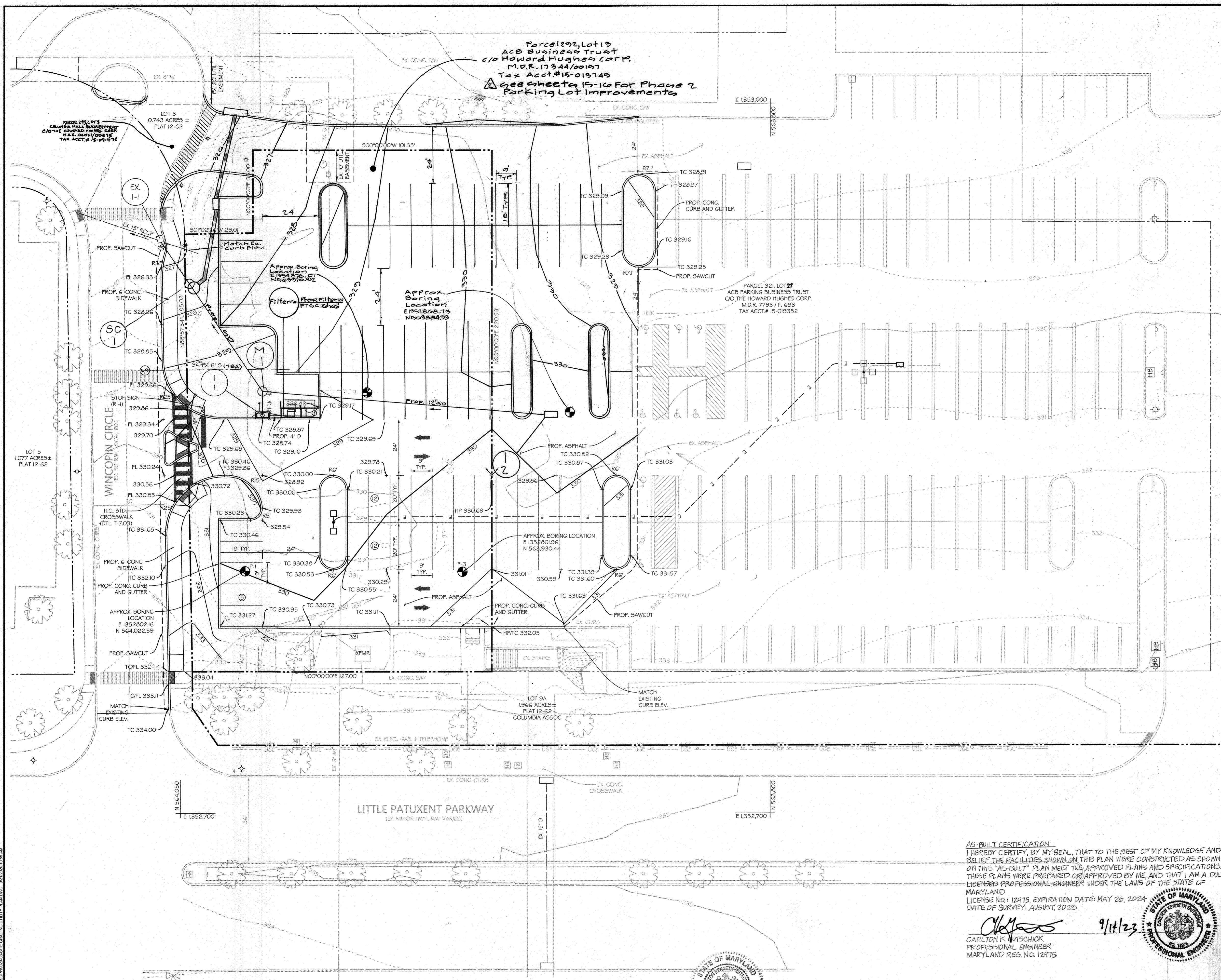
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

10/23/20  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

11/21  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

1-11-21  
DIRECTOR DATE

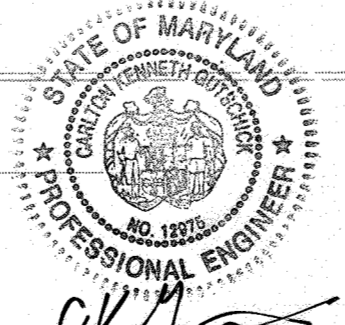
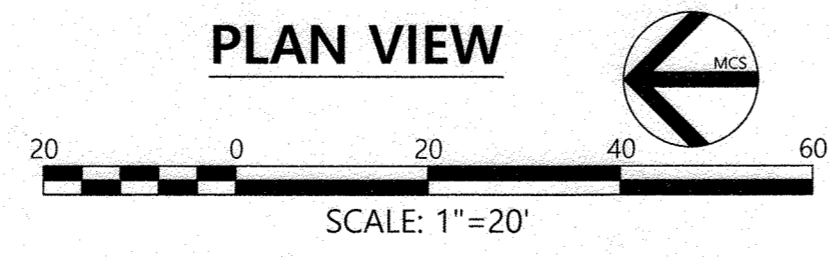




**PEDESTRIAN CIRCULATION MOVEMENT**  
SCALE: 1" = 50'

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 CHIEF DEVELOPMENT ENGINEERING DIVISION  
 DATE: 10/23/20  
 DATE: 11/1/21  
 DATE: 1-11-21

NOTE: SEE SHEET 5 FOR STORM DRAIN PROFILES

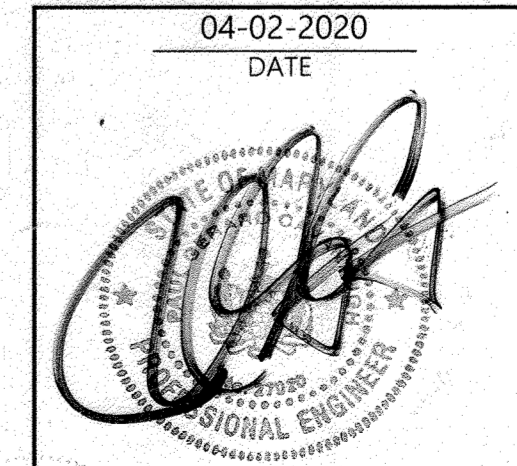


**Professional Certification**  
 I hereby certify these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland.  
 License No. 12475  
 Expiration Date: May 26, 2024

**AS-BUILT CERTIFICATION**  
 I HEREBY CERTIFY, BY MY SEAL, THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THE FACILITIES SHOWN ON THIS PLAN WERE CONSTRUCTED AS SHOWN ON THIS "AS-BUILT" PLAN MEET THE APPROVED PLANS AND SPECIFICATIONS. THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO.: 12475, EXPIRATION DATE: MAY 26, 2024  
 DATE OF SURVEY: AUGUST, 2023

9/11/23  
 CARLTON R. GUTSCHICK  
 PROFESSIONAL ENGINEER  
 MARYLAND REG. NO. 12475

**PROFESSIONAL CERTIFICATION**  
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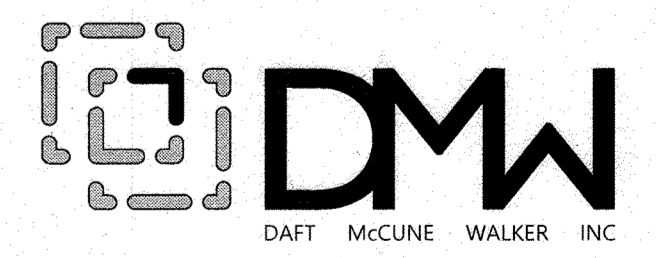
PROFESSIONAL ENGR. NO. 27020

APPROVED:  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE: October 1, 2020

Date	No.	Revision Description
04/02/20	1	ADDED PHASE 2 PARKING LOT
	2	REPLACEMENT OF ORIGINAL SDP SET WITH TEMPORARY PARKING LOT DESIGN SET

**TEMPORARY SURFACE LOT  
 PARCEL 278, LOT 13 10227 WINCOPIN  
 CIRCLE COLUMBIA, MD 21044**

OWNER / DEVELOPER:  
 AMERICAN CITY BUILDING BUSINESS TRUST  
 C/O THE HOWARD HUGHES CORPORATION  
 COLUMBIA REGIONAL OFFICE  
 10960 GRANTCHESTER WAY, SUITE 110  
 COLUMBIA, MD 21044  
 (410) 964-4800

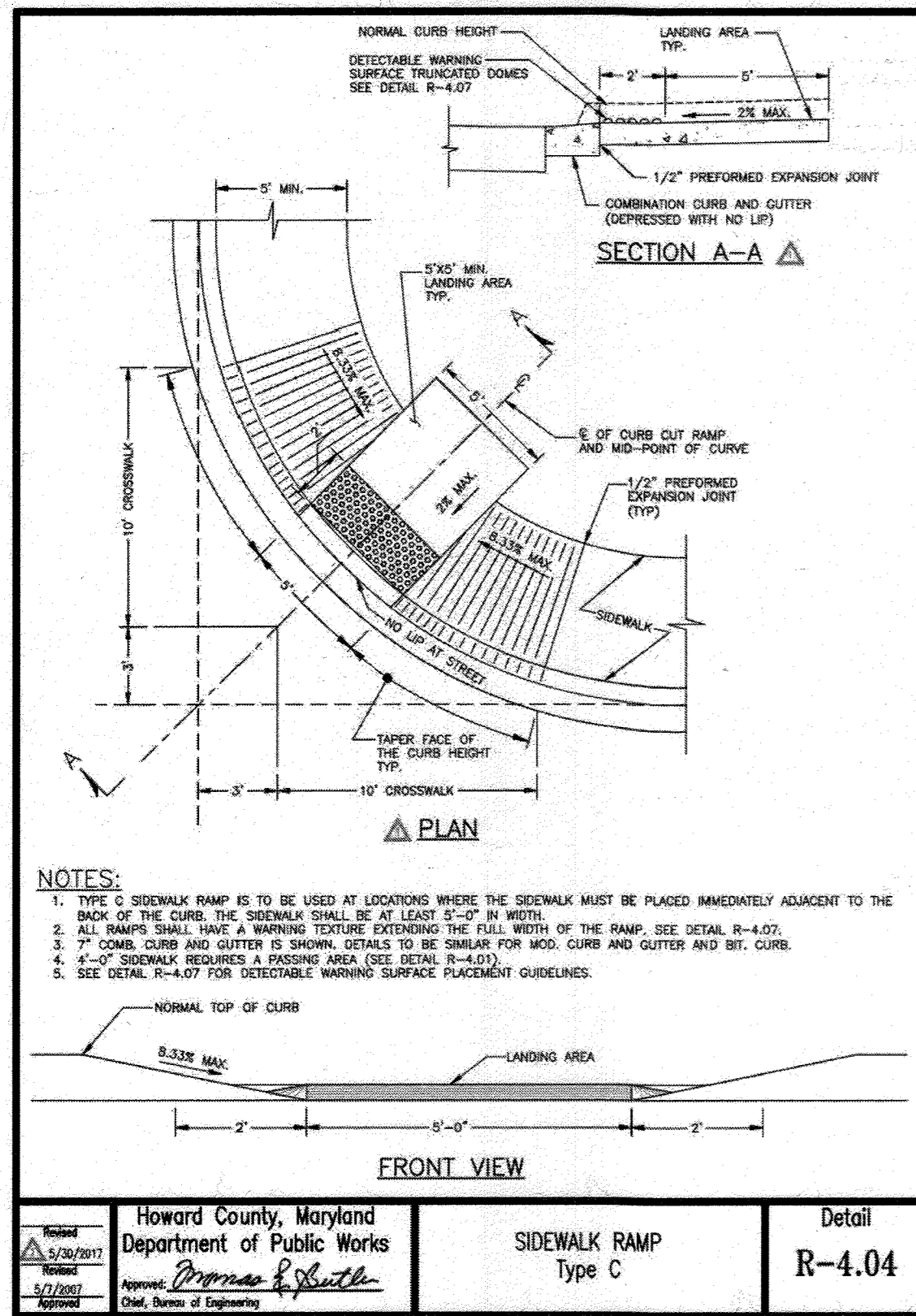


501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286  
 P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM

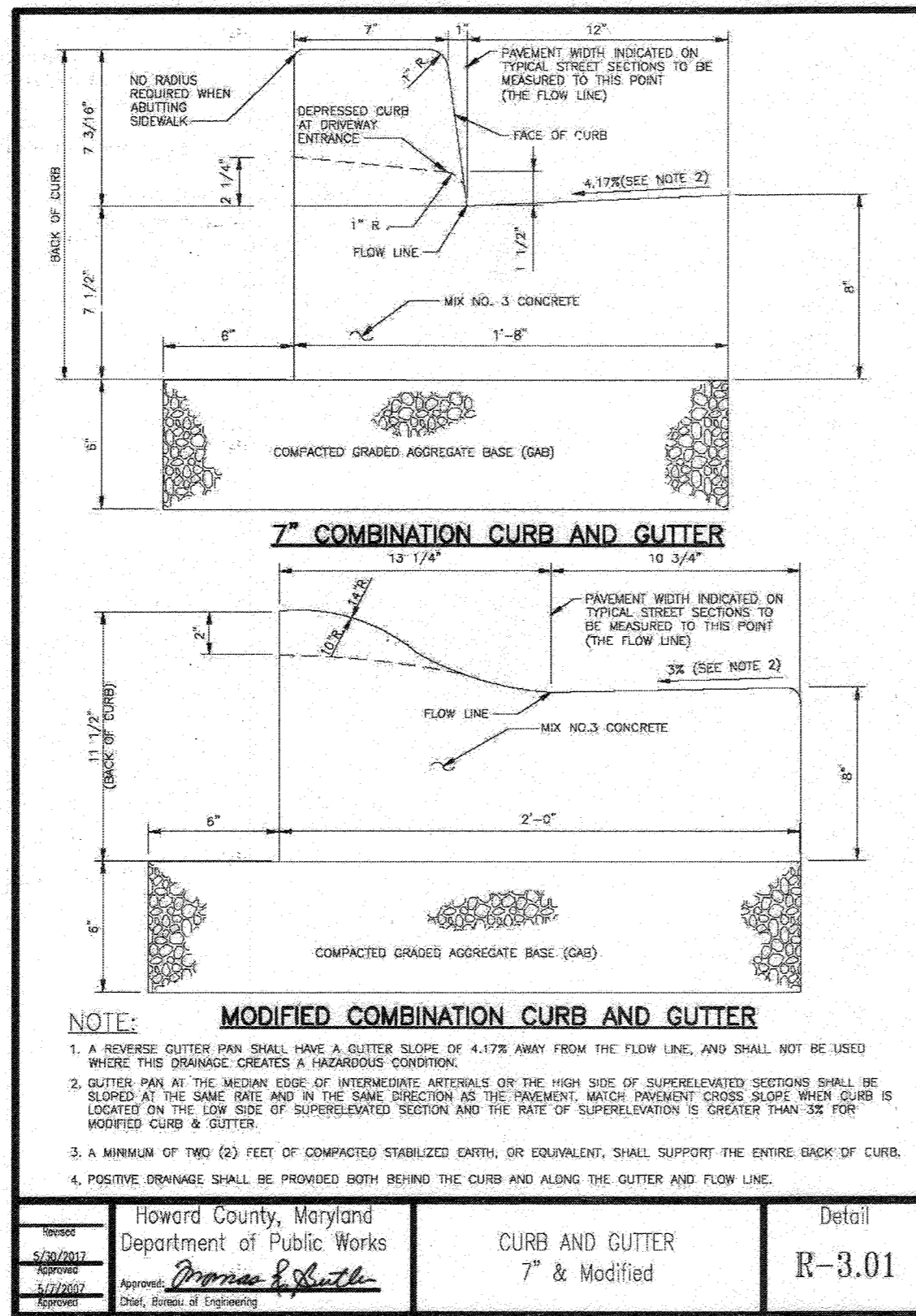
SUBDIVISION NAME	COLUMBIA TOWN CENTER	SECTION/AREA	0001	LOT/PARCEL #	13/0298 & 17/0321
PLAT OR L.P.	B-13-F-13	BLOCK #	36	TAX ZONE/MAP	5-03
WATER CODE	550	SEWER CODE	LITTLE PATUXENT	STAGE	1

**SITE GRADING AND UTILITY PLAN  
 REVISED SITE DEVELOPMENT PLAN**

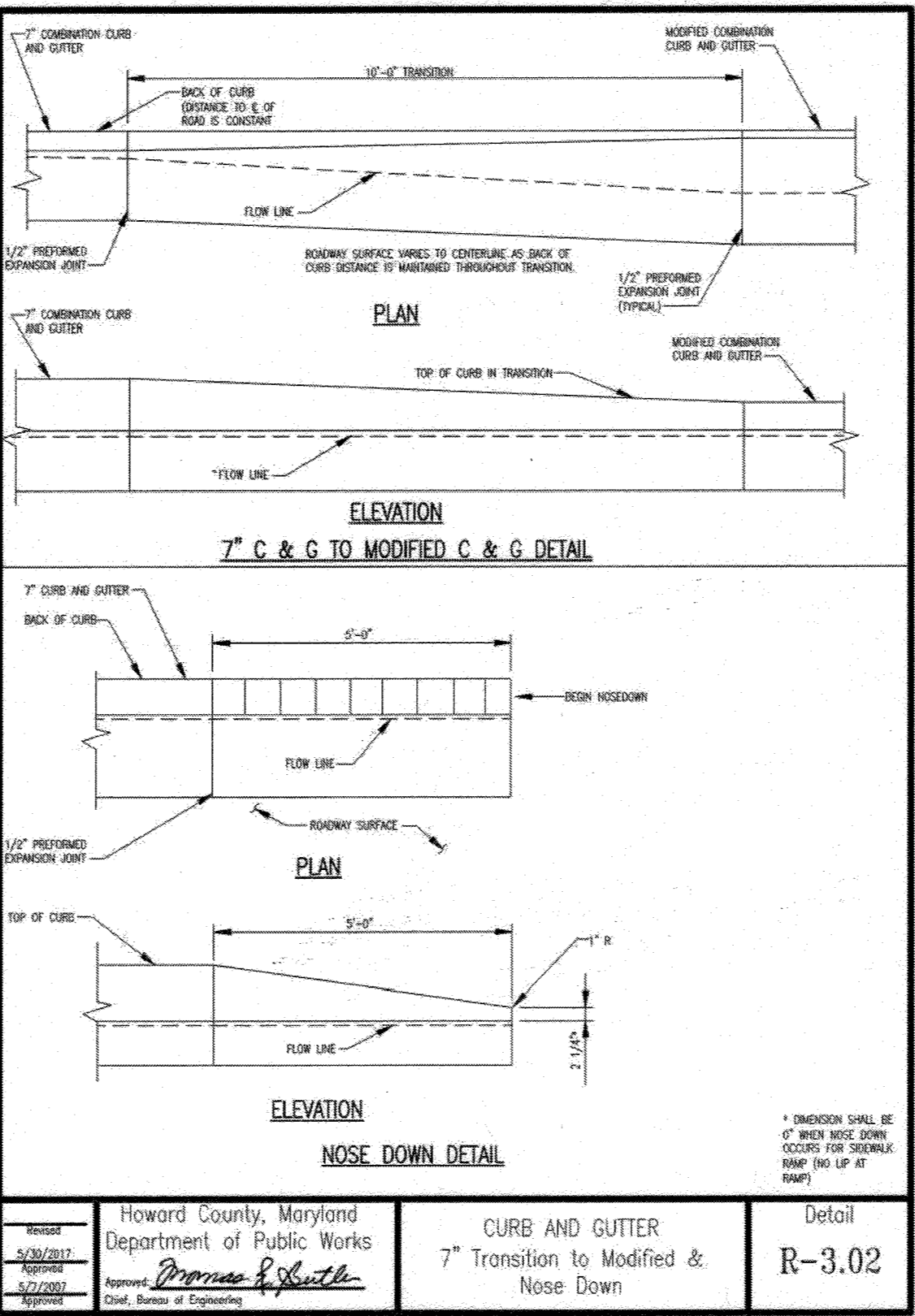
Des. By	PAB	SCALE:	AS NOTED	Proj. No.	19029.00
Drn. By	PAB	Date	04-02-2020	AS-BUILT SHEET 20P/6	
Chk. By	RRP	Approved	RRP	03 of 16	



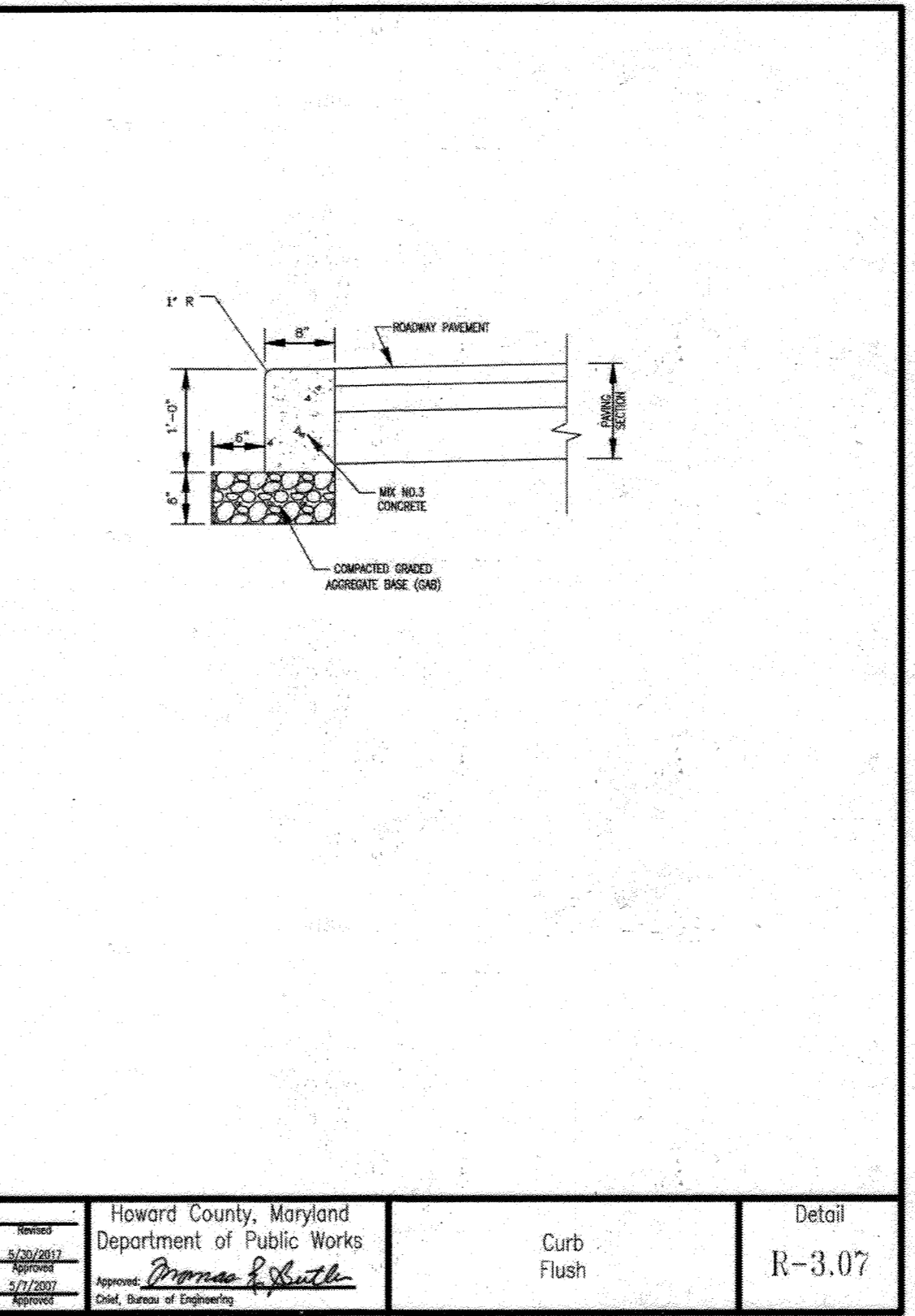
Project: Howard County, Maryland Department of Public Works	Detail: R-4.04
Drawn: <i>P. Smith</i>	Checked: <i>P. Smith</i>
Approved: <i>P. Smith</i>	Approved: <i>P. Smith</i>
Scale: As Shown	Scale: As Shown



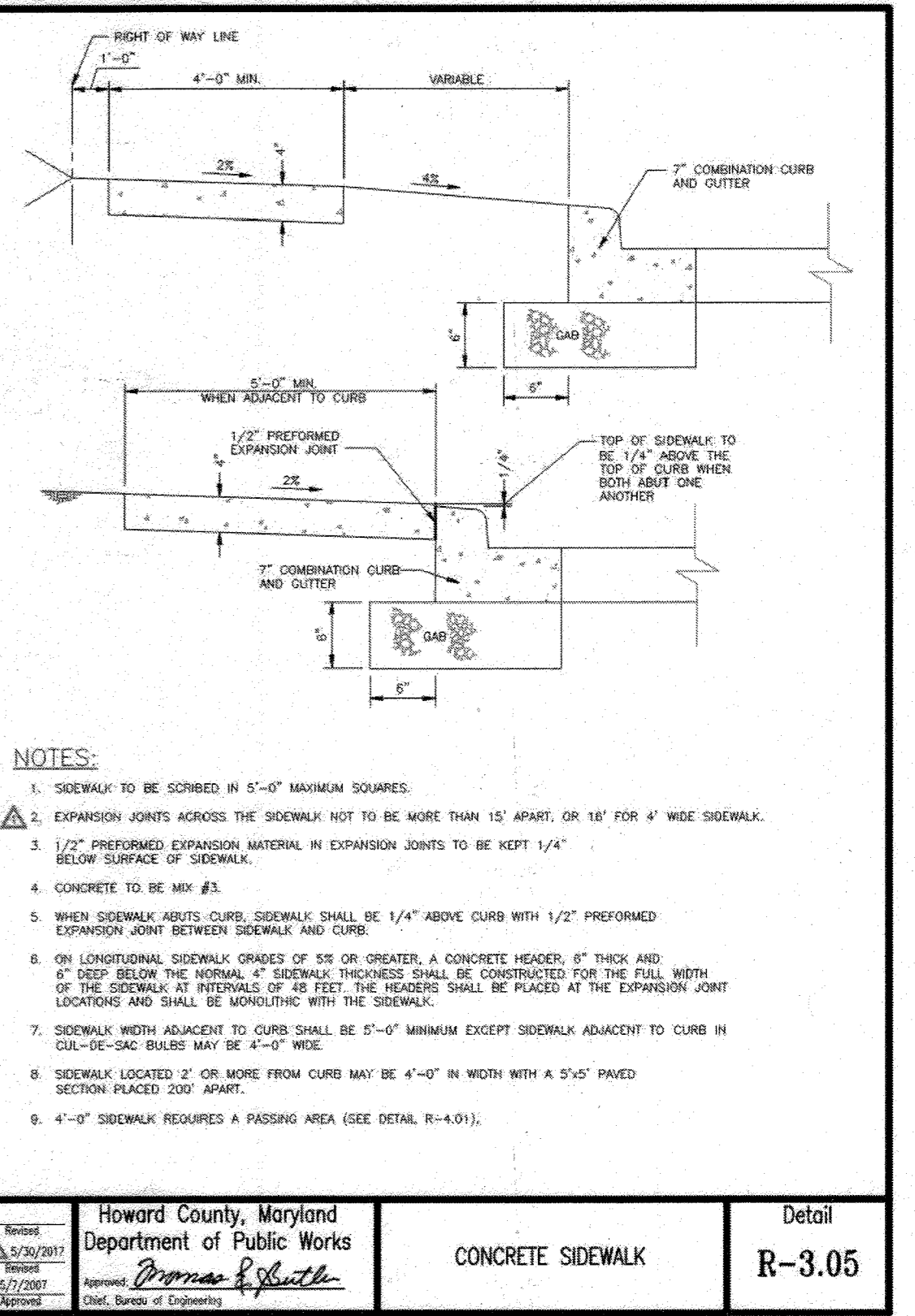
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Drawn: <i>P. Smith</i>	Checked: <i>P. Smith</i>
Approved: <i>P. Smith</i>	Approved: <i>P. Smith</i>
Scale: As Shown	Scale: As Shown



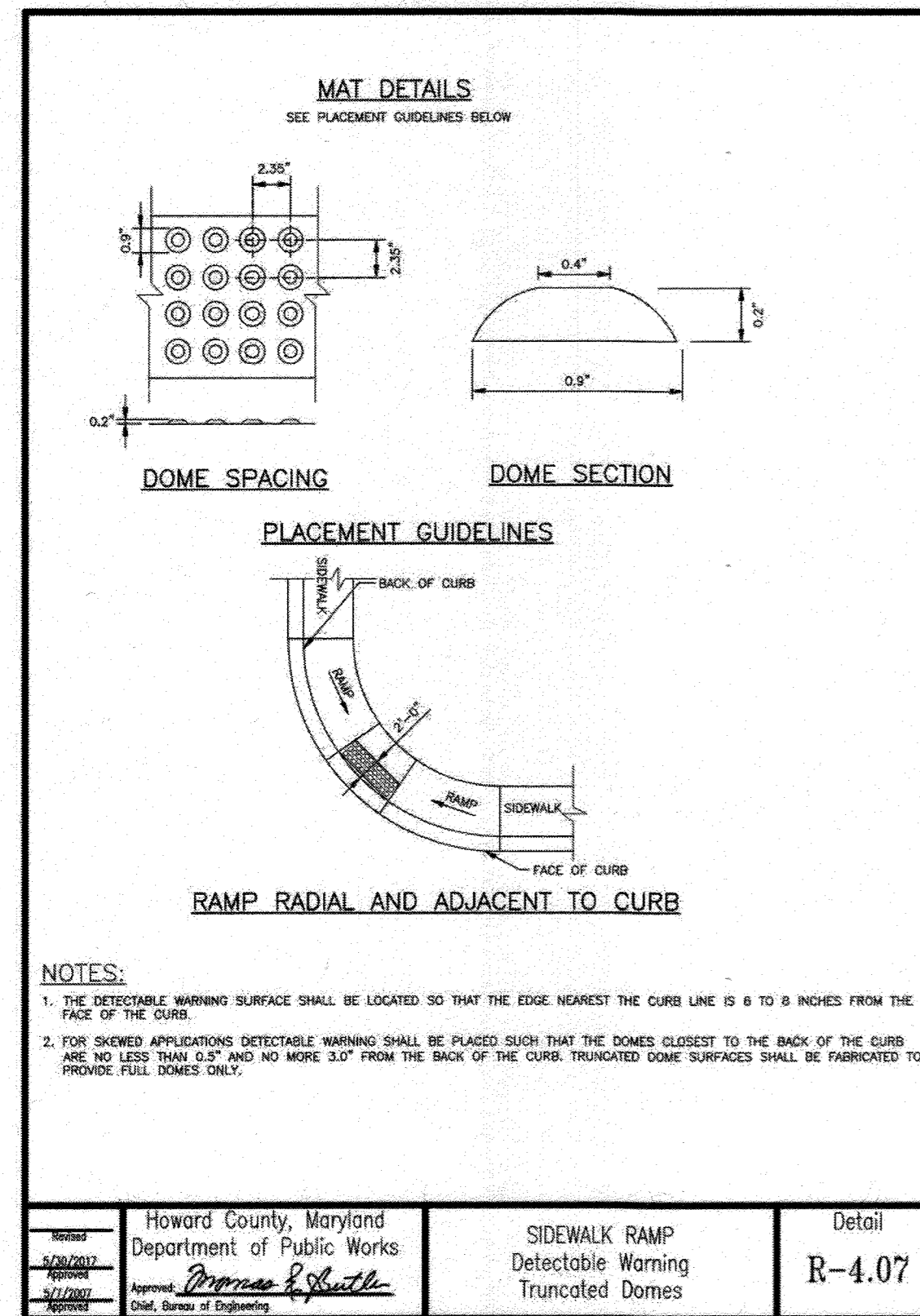
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Drawn: <i>P. Smith</i>	Checked: <i>P. Smith</i>
Approved: <i>P. Smith</i>	Approved: <i>P. Smith</i>
Scale: As Shown	Scale: As Shown



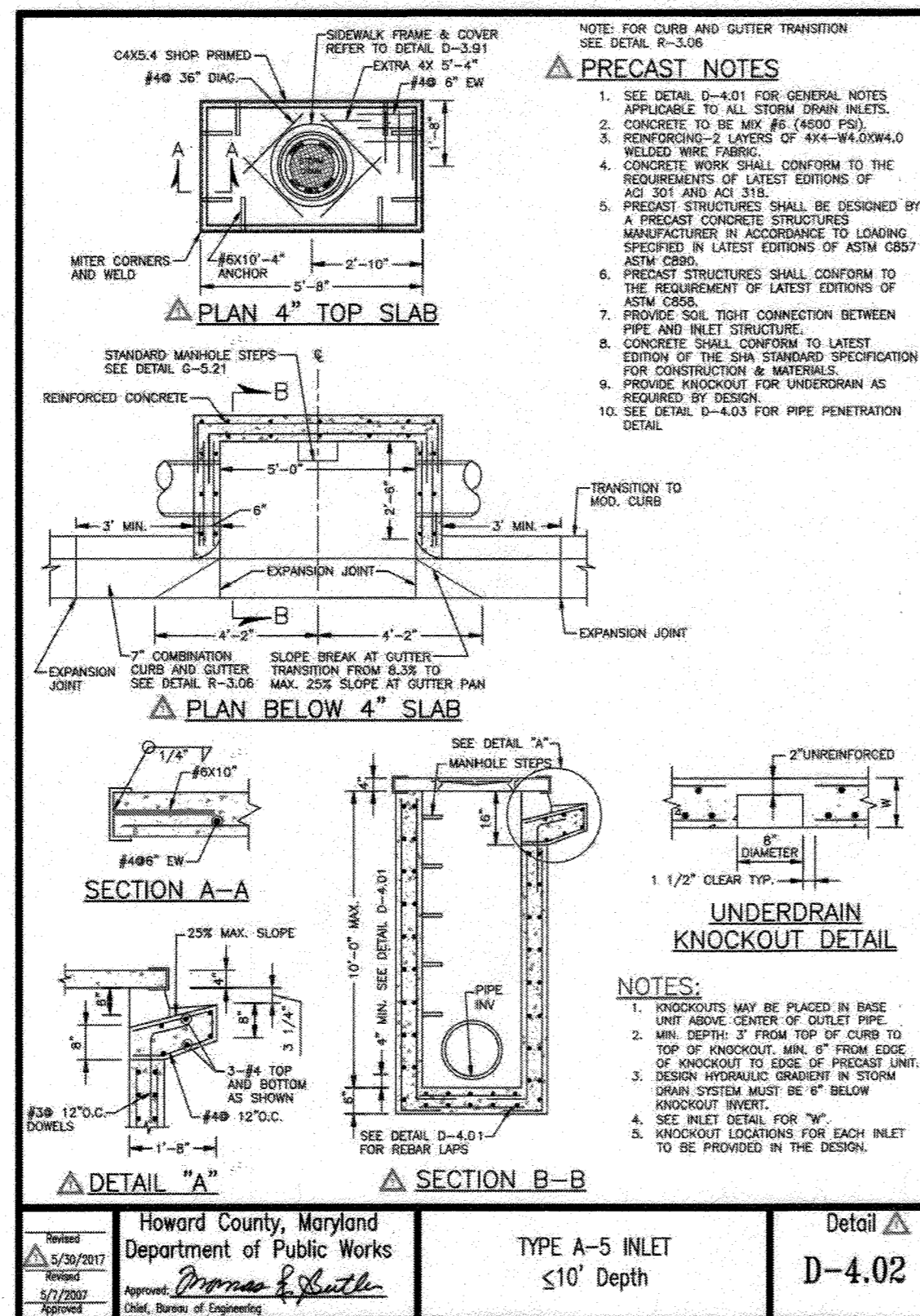
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Approved: <i>P. Smith</i>	Approved: <i>P. Smith</i>
Scale: As Shown	Scale: As Shown



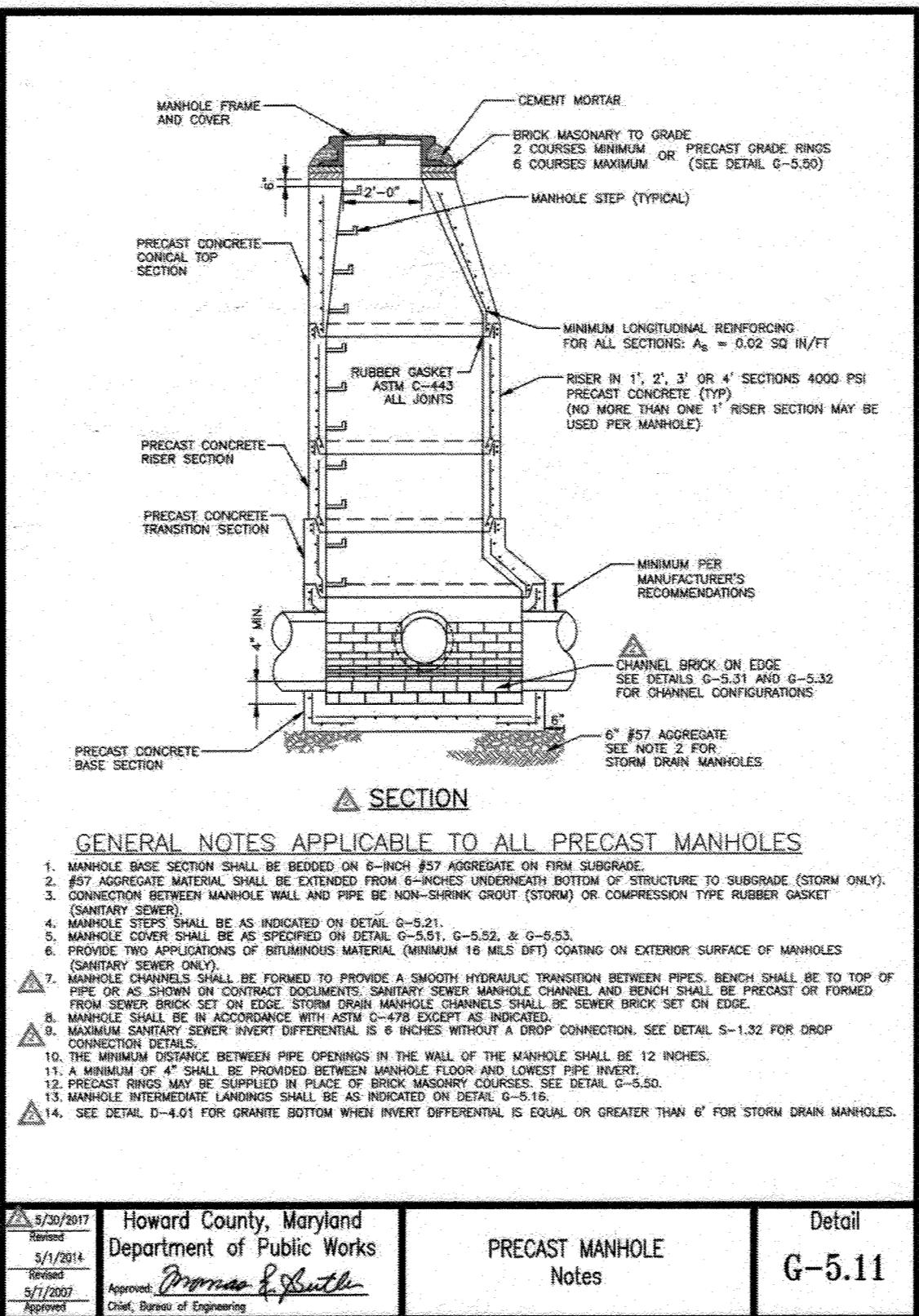
Project: Howard County, Maryland Department of Public Works	Detail: R-3.05
Drawn: <i>P. Smith</i>	Checked: <i>P. Smith</i>
Approved: <i>P. Smith</i>	Approved: <i>P. Smith</i>
Scale: As Shown	Scale: As Shown



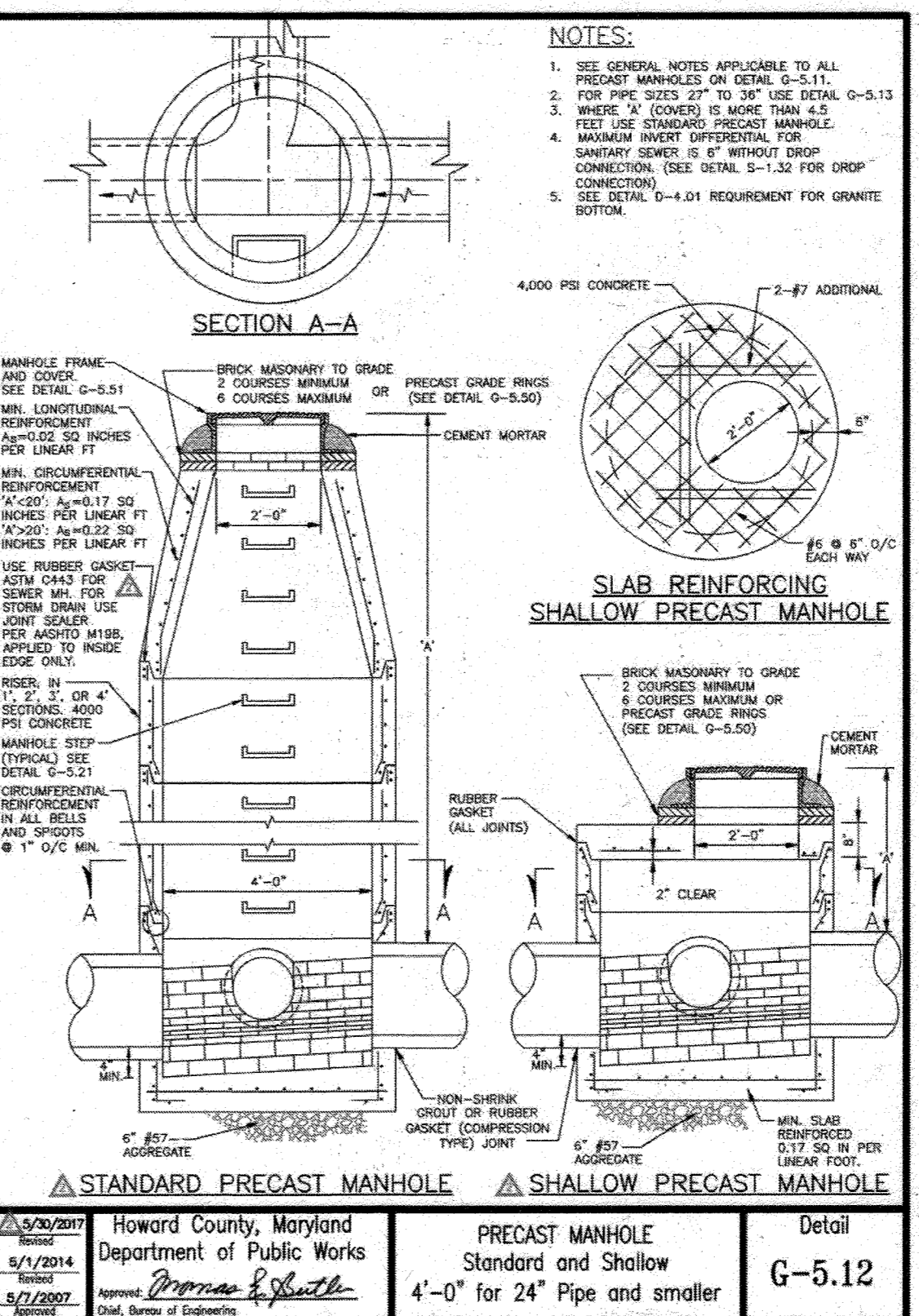
Project: Howard County, Maryland Department of Public Works	Detail: R-4.07
Drawn: <i>P. Smith</i>	Checked: <i>P. Smith</i>
Approved: <i>P. Smith</i>	Approved: <i>P. Smith</i>
Scale: As Shown	Scale: As Shown



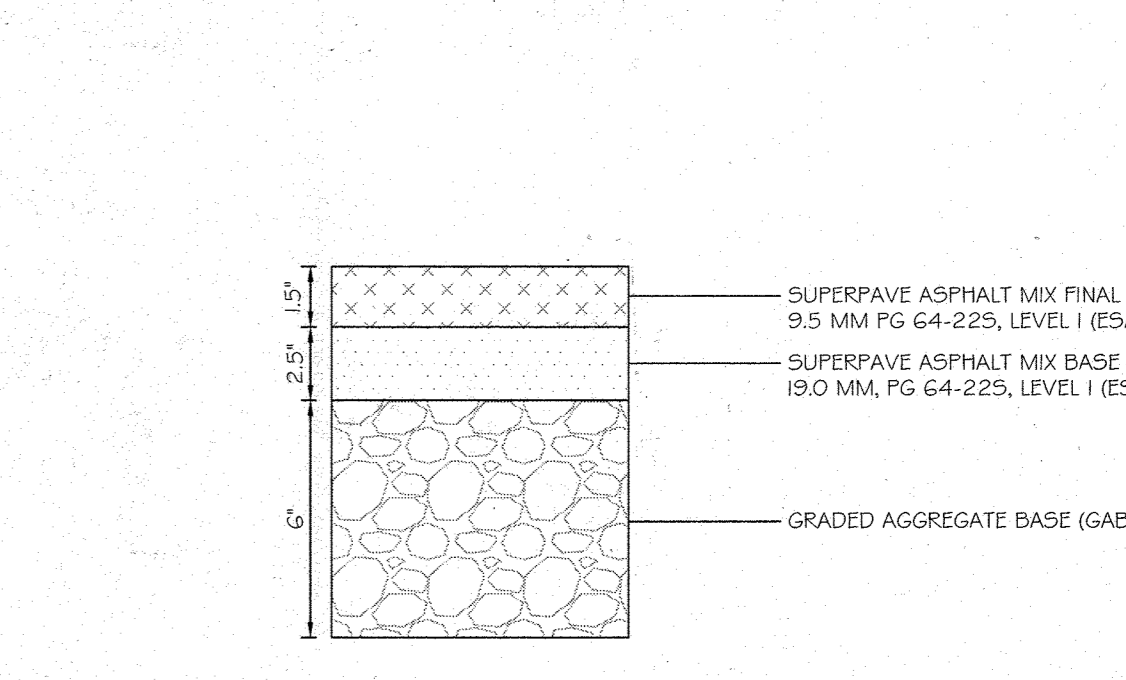
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Drawn: <i>P. Smith</i>	Checked: <i>P. Smith</i>
Approved: <i>P. Smith</i>	Approved: <i>P. Smith</i>
Scale: As Shown	Scale: As Shown



Project: Howard County, Maryland Department of Public Works	Detail: G-5.11
Drawn: <i>P. Smith</i>	Checked: <i>P. Smith</i>
Approved: <i>P. Smith</i>	Approved: <i>P. Smith</i>
Scale: As Shown	Scale: As Shown



Project: Howard County, Maryland Department of Public Works	Detail: G-5.12
Drawn: <i>P. Smith</i>	Checked: <i>P. Smith</i>
Approved: <i>P. Smith</i>	Approved: <i>P. Smith</i>
Scale: As Shown	Scale: As Shown



ASPHALT PAVEMENT SECTION (P-1)  
NOT TO SCALE

NO ASBUILT INFORMATION  
9/14/13

Date	No.	Revision Description
04/02/20	1	REPLACEMENT OF ORIGINAL SDP SET WITH TEMPORARY PARKING LOT DESIGN SET

TEMPORARY SURFACE LOT  
PARCEL 218, LOT 13 10227 WINCOPIN  
CIRCLE COLUMBIA, MD 21044

OWNER / DEVELOPER:  
AMERICAN CITY BUILDING BUSINESS TRUST  
C/O THE HOWARD HUGHES CORPORATION  
COLUMBIA REGIONAL OFFICE  
10960 GRANTCHESTER WAY, SUITE 110  
COLUMBIA, MD 21049  
(410) 964-1800

501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286  
P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM

PROFESSIONAL ENGR. NO. 27020

APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: October 1, 2020

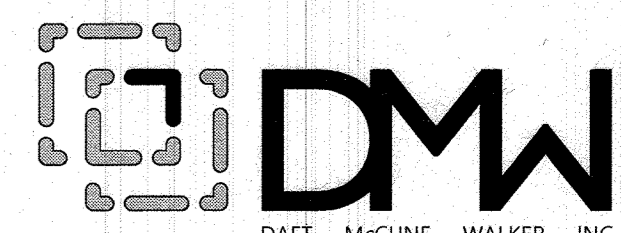
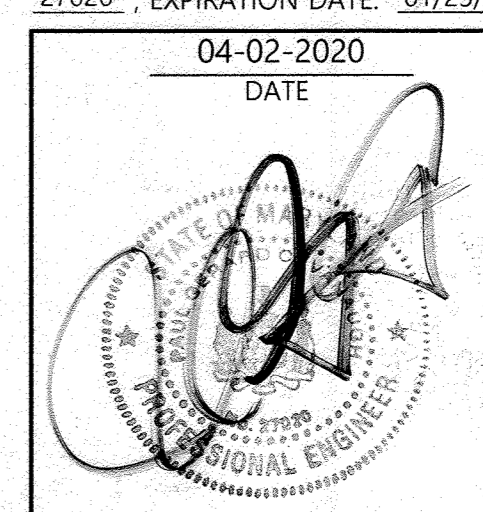
SITE & UTILITY DETAILS  
REVISED SITE DEVELOPMENT PLAN  
Des. By PAB SCALE: AS SHOWN Proj. No. 19029.00  
Date 04-02-2020  
Chk. By RRP Approved RRP 04 of 10

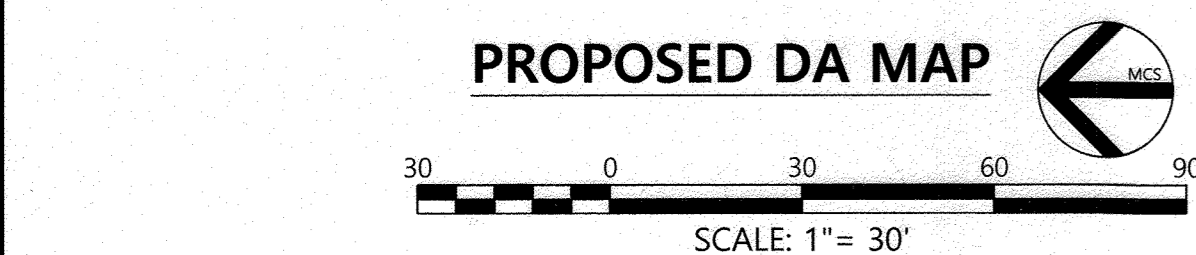
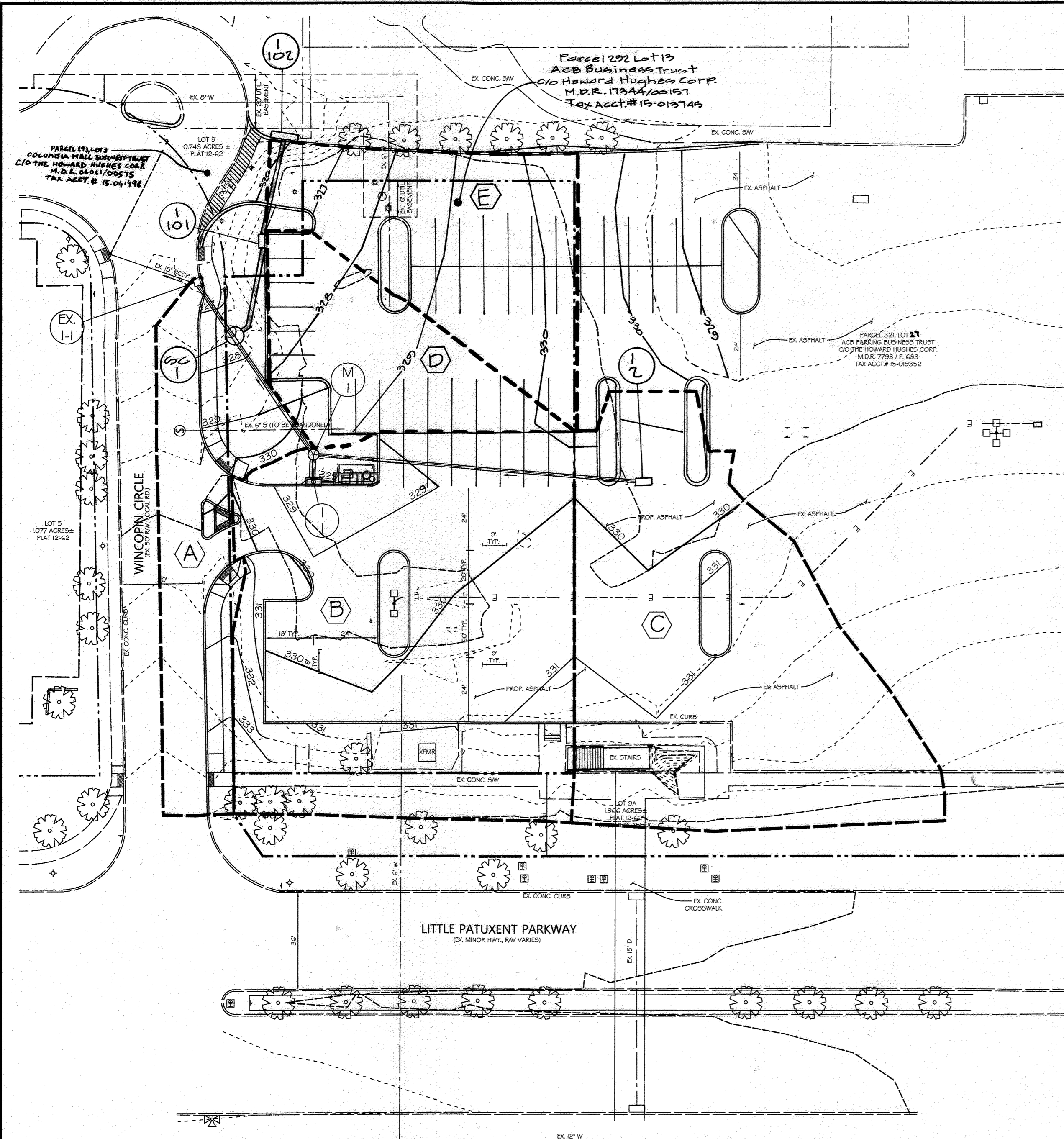
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

10/23/20  
DATE

10/24  
DATE

1-11-21  
DATE





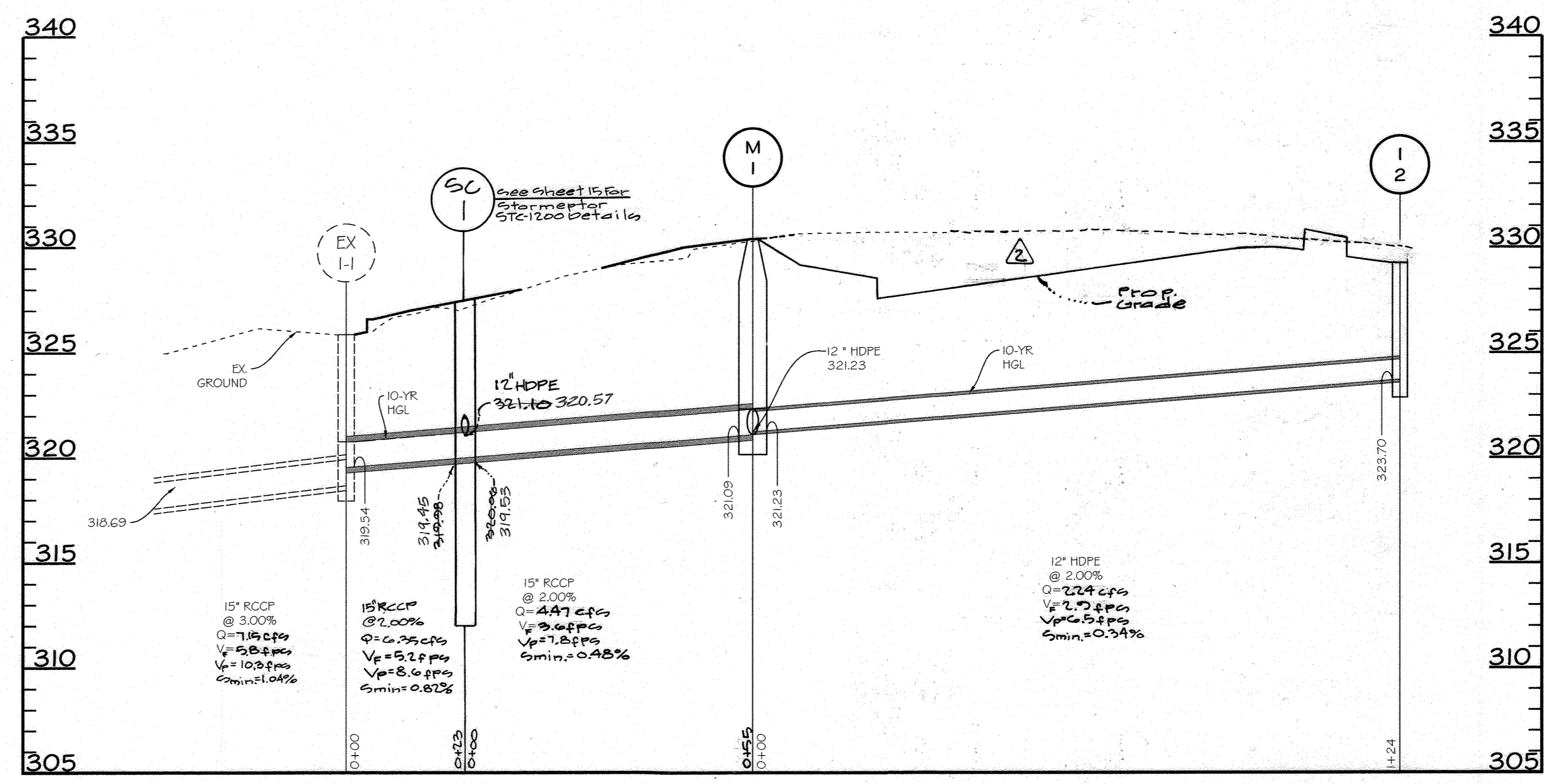
D.A. LABEL	D.A. SIZE (AC)	COEFF. C	IMP. (%)	Q (CFS)
A	0.14	0.49	40	113
B	0.47	0.64	65	244
C	0.76	0.73	79	232
D	0.11	0.80	91	051
E	0.17	0.80	91	081

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

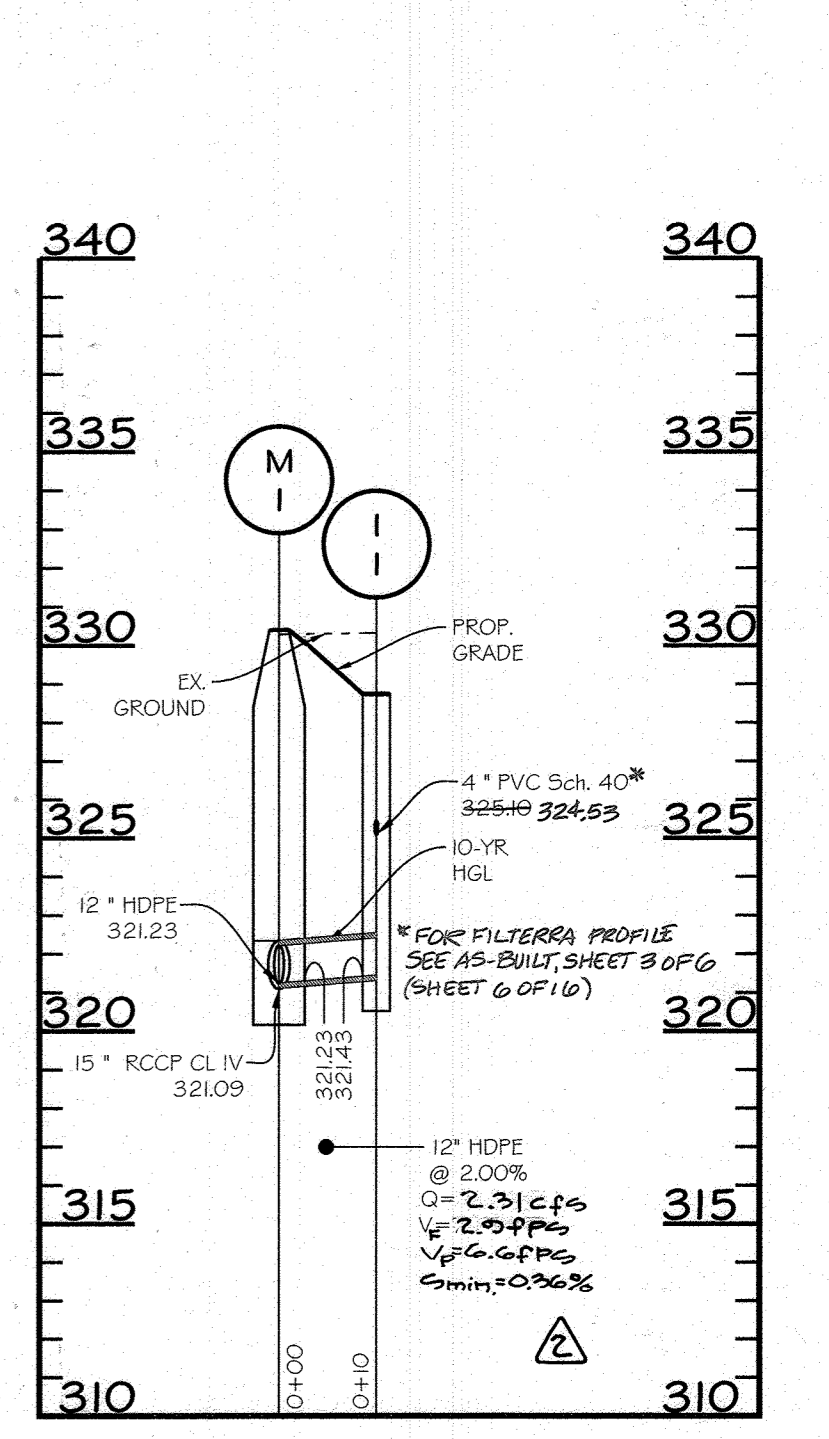
CHIEF, DEVELOPMENT ENGINEERING DIVISION *[Signature]* 10/27/20 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT *[Signature]* 11/1/21 DATE

DIRECTOR *[Signature]* 1-11-21 DATE



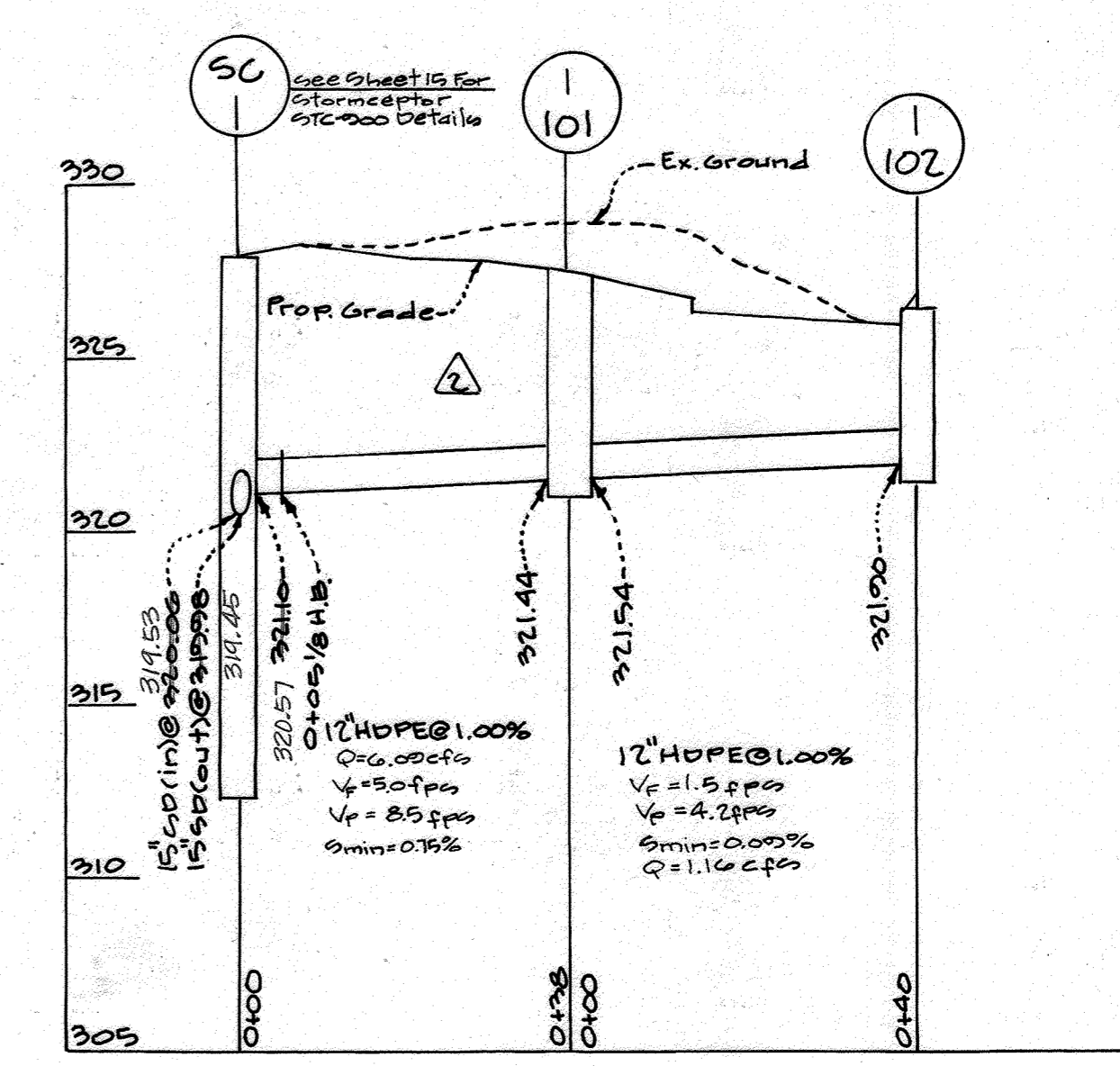
PROFILE: Ex. I-1 to I-2  
SCALE: HORIZ. 1"=20'  
VERT. 1"=5'



PROFILE: M-1 to I-1  
SCALE: HORIZ. 1"=20'  
VERT. 1"=5'

NO.	TYPE	PIPE SIZE	RIM / WEIR ELEV.	INV. IN	INV. OUT	NORTHING	EASTING
EX-I-1	TYPE A-5 INLET - PRECAST - D-4.0I	IN 15" OUT 15"	325.80	319.54	318.69	564,058.61	1,352,942.81
I-1	HOWARD CO. TYPE A-5 INLET - PRECAST - D-4.0I	IN 4" OUT 12"	328.74	325.10	321.43	564,015.22	1,352,868.35
I-2	HOWARD CO. Double Type A Inlet - D-4.25	OUT 12"	328.91		323.70	563,892.06	1,352,868.35
M-1	48" PRECAST STANDARD MANHOLE - G-5I2	IN 12" OUT 15"	330.40	321.23	321.09	564,015.22	1,352,878.49
I-101	Howard Co. Type A-5 - Precast - D-4.0I	In 12" Out 12"	327.48	321.54	321.44	564,034.00	1,352,958.71
I-102	Howard Co. Type A-10 - Precast - D-4.0I	Out 12"	326.72		321.90	564,026.78	1,352,907.95
SC-1	Stormceptor STC 500	In 15" Out 15"	328.00	321.12	319.08	564,034.00	1,352,928.21

- LEGEND**
- PROPERTY LINE
  - RIGHT-OF-WAY LINE
  - EX. 1' CONTOUR
  - EX. 5' CONTOUR
  - EX. CURB
  - EX. SIDEWALK
  - EX. TREE
  - EX. 6" W
  - EX. WATER LINE
  - EX. WATER STRUCTURE
  - EX. 15" RCP
  - EX. STORM DRAIN PIPE
  - EX. STORM DRAIN INLET
  - EX. 6" S
  - EX. SANITARY SEWER PIPE
  - EX. SANITARY SEWER MANHOLE
  - EX. UNDERGROUND TELEPHONE LINE
  - EX. UNDERGROUND ELECTRIC LINE
  - EX. UNDERGROUND FIBEROPTIC LINE
  - EX. UNDERGROUND TELEVISION LINE
  - EX. UNDERGROUND GAS LINE
  - EX. UNKNOWN UNDERGROUND LINE
  - EX. HAND BOX
  - EX. PEDESTRIAN LIGHT
  - EX. STREET LIGHT
  - EX. SIGN
  - PROP. 1' CONTOUR
  - PROP. 5' CONTOUR
  - PROP. CONC. CURB & GUTTER
  - PROP. STORM DRAIN PIPE
  - PROP. STORM INLET
  - PROP. STORM MANHOLE
  - PROP. SITE LIGHTING (REFER TO SHEET 15)
  - PROP. UNDERGROUND ELECTRIC
  - PROP. SIGN
  - DRAINAGE AREA BOUNDARY
  - DRAINAGE AREA DESIGNATION



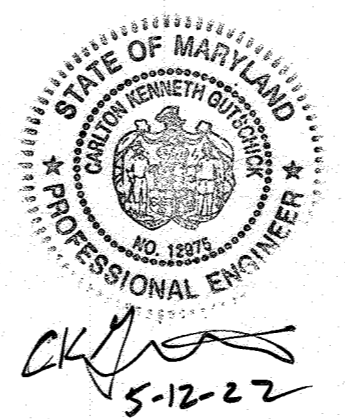
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Scale: Horiz. 1"=20'  
Vert. 1"=5'

**AS-BUILT CERTIFICATION**

I HEREBY CERTIFY, BY MY SEAL, THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THE FACILITIES SHOWN ON THIS PLAN WERE CONSTRUCTED AS SHOWN ON THIS "AS-BUILT" PLAN MEET THE APPROVED PLANS AND SPECIFICATIONS. THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO.: 12475 EXPIRATION DATE: MAY 26, 2024  
DATE OF SURVEY: AUGUST, 2023

*[Signature]* 9/14/23  
CARLTON K. GUTSCHICK  
PROFESSIONAL ENGINEER  
MARYLAND REG. NO. 12475



**Professional Certification**

I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the state of Maryland.

License No. 12475  
Expiration Date: May 26, 2024

Certification for Revision A Only

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27020 - EXPIRATION DATE: 01/25/22

04-02-2020  
DATE

*[Signature]*  
PROFESSIONAL ENGR. NO. 27020

APPROVED:  
PLANNING BOARD OF HOWARD COUNTY

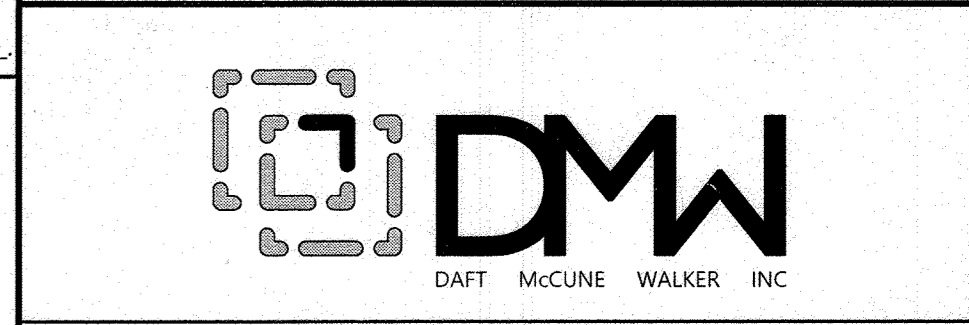
DATE: October 1, 2020

Date	No.	Revision Description
04/02/20	1	REVISION PER ADDITION OF PHASE 2 PARKING LOT
04/02/20	2	REPLACEMENT OF ORIGINAL SDP SET WITH TEMPORARY PARKING LOT DESIGN SET

**TEMPORARY SURFACE LOT**  
**PARCEL 298, LOT 13 10227 WINCOPIN**  
**CIRCLE COLUMBIA, MD 21044**

OWNER / DEVELOPER:  
AMERICAN CITY BUILDING BUSINESS TRUST  
C/O THE HOWARD HUGHES CORPORATION

COLUMBIA REGIONAL OFFICE  
10960 GRANTCHESTER WAY, SUITE 110  
COLUMBIA, MD 21044  
(410) 964-1800

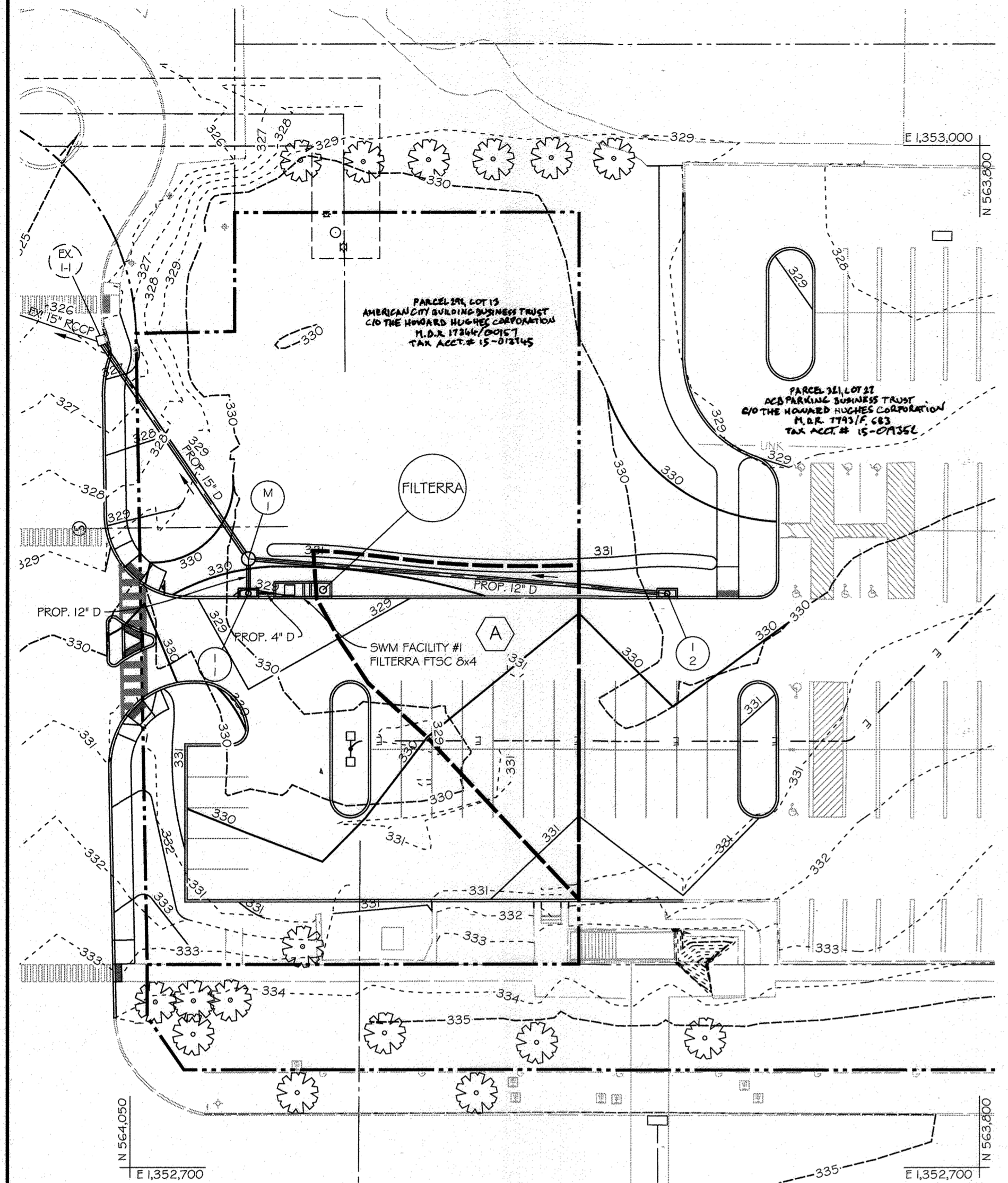


501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286  
P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM

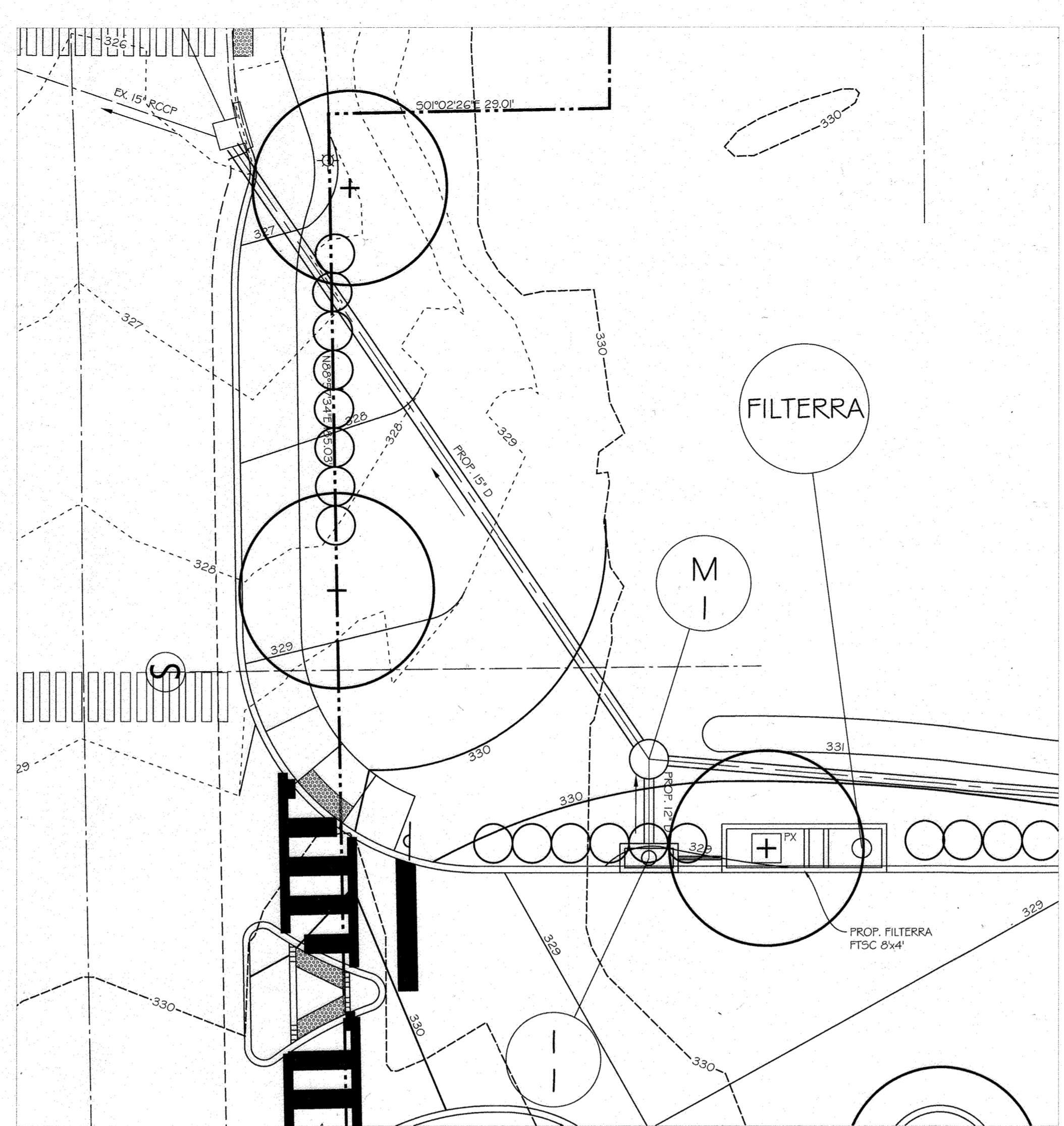
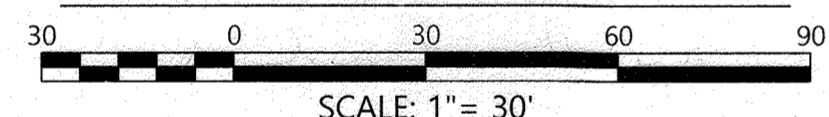
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL #
COLUMBIA TOWN CENTER	0001	13/0298 & 17/0321
PLAT OR L.P.	BLOCK # ZONE	TRACT DISTRICT
B-13-F-13	NT 36	5-03
WATER CODE	SEWER CODE	STAGE
550	LITTLE PATUXENT	1

**TITLE**  
**STORM DRAIN PROFILES AND**  
**DRAINAGE AREA MAP**  
**AUG. 2023**

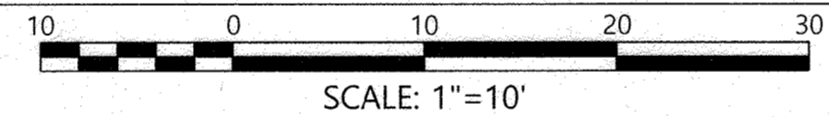
Des. By PAB SCALE: ##### Proj. No. 19029.00  
Dwn. By PAB Date 04-02-2020 AS-BUILT SHEET 3 OF 6  
Chk. By RRP Approved RRP 05 of 10



**SWM DRAINAGE AREA MAP**



**SWM FACILITY #1 PLAN & PLANTING**



KEY	QTY	BOTANICAL/Common NAME	PLANT SIZE	ROOT	REMARKS
<b>TREES</b>					
PX	1	Prunus x cistena / Purpleleaf Sand Cherry	2.5" cal.	B&B	See Filterra Planting Specs

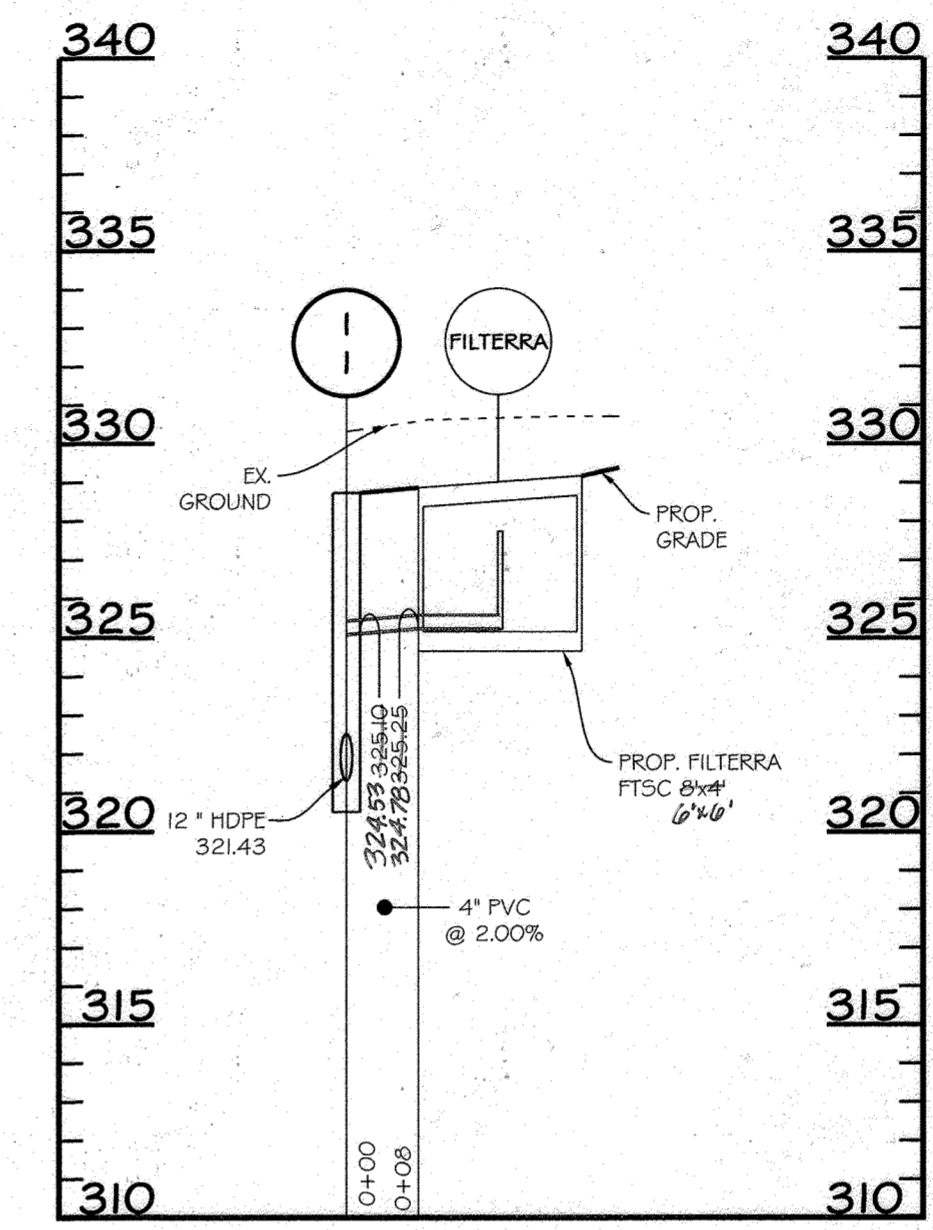
ESD Treatment Summary			
TOTAL Target WQv =	276	c.f. Required	
75% WQv for Micro-Bioretenion =	207	c.f. Required	
<b>I. Bioretention (Filterra): Facility No. 1</b>			
Drainage Area =	A		
ESDv =	283	c.f. Provided	
Imp. Area =	3,632	Ac. Provided	

Unified Stormwater Sizing Criteria		
Sizing Criteria	Required	Provided
Water Quality Volume (WQv) (c.f.)	276	283
Recharge Volume (Rev) (c.f.)	n/a	n/a
Channel Protection Volume (Cpv)	n/a	n/a
Overbank Flood Protection Volume (Oov)	n/a	n/a
Extreme Flood Volume (Ev)	n/a	n/a

\* WQv Required: Accounts for 75% of New Target ESDv for Micro-Bioretenion  
 \*\* Oov Required: Is based on the existing conditions

**FILTERRA SEQUENCE OF CONSTRUCTION**

- SEE EROSION AND SEDIMENT CONTROL PLANS FOR OVERALL SEQUENCE OF CONSTRUCTION AND IMPLEMENTATION OF FILTERRA SEQUENCE OF CONSTRUCTION.
- UNIT SHALL BE CONSTRUCTED AT THE LOCATION AND ELEVATIONS SHOWN ON THESE DRAWINGS. ANY MODIFICATIONS TO THE ELEVATIONS OR LOCATION SHALL BE AT THE DIRECTION OF THE ENGINEER OF RECORD.
- DURING UTILITY AND CURB & GUTTER INSTALLATION, EXCAVATE TO COMPACTED SUB-GRADE FOR THE FOOTPRINT OF THE UNIT. REFER TO INSTALLATION GUIDELINES FOR FILTERRA LOCATED ON THIS SHEET FOR PLACEMENT OF UNIT. THROAT OF UNIT SHALL BE BLOCKED AT ALL TIMES BEFORE, DURING, AND AFTER THE INSTALLATION PROCESS.
- PROVIDE FILTER SOCK IN FRONT OF THROAT OPENING OF UNIT.
- ONCE CONTRIBUTING DRAINAGE AREA TO THE FILTERRA HAS BEEN STABILIZED, CONTACT SUPPLIER (CONTECH) AND SCHEDULE INSPECTION WITH SUPPLIER AND HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- UPON THE WRITTEN APPROVAL OF THE SUPPLIER AND THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR, ACTIVATE THE FILTERRA UNIT (REMOVE FILTER SOCK AND ANY OTHER THROAT BLOCKING AND ALLOW RUNOFF TO ENTER THE UNIT).



**PROFILE: I-1 to Filterra**

SCALE: HORIZ. 1"=20'  
VERT. 1"=5'

**LEGEND**

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EX. 1' CONTOUR
- EX. 5' CONTOUR
- EX. CURB
- EX. SIDEWALK
- EX. TREE TO REMAIN
- EX. 6" W
- EX. WATER LINE
- EX. WATER STRUCTURE
- EX. 15" RCP
- EX. STORM DRAIN PIPE
- EX. STORM DRAIN INLET
- EX. 6" S
- EX. SANITARY SEWER PIPE
- EX. SANITARY SEWER MANHOLE
- EX. UNDERGROUND TELEPHONE LINE
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- EX. UNDERGROUND FIBEROPTIC LINE
- EX. UNDERGROUND TELEVISION LINE
- EX. UNDERGROUND GAS LINE
- EX. UNKNOWN UNDERGROUND LINE
- EX. HAND BOX
- EX. PEDESTRIAN LIGHT
- EX. STREET LIGHT
- EX. SIGN
- PROP. SITE LIGHTING (REFER TO SHEET 15)
- PROP. UNDERGROUND ELECTRIC
- PROP. SIGN
- PROP. 1' CONTOUR
- PROP. 5' CONTOUR
- PROP. STORM DRAIN PIPE
- PROP. STORM INLET
- PROP. STORM MANHOLE
- PROP. CONC. CURB & GUTTER
- PROPOSED SITE PLANTINGS (REFER SHEET 13)

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION *[Signature]* 10/23/20  
DATE

CHIEF, DIVISION OF LAND DEVELOPMENT *[Signature]* 11/1/20  
DATE

DIRECTOR *[Signature]* 1-11-21  
DATE

**AS-BUILT CERTIFICATION**  
 I HEREBY CERTIFY, BY MY SEAL, THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THE FACILITIES SHOWN ON THIS PLAN WERE CONSTRUCTED AS SHOWN ON THIS "AS-BUILT" PLAN MEET THE APPROVED PLANS AND SPECIFICATIONS. THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO.: 12975 EXPIRATION DATE: MAY 26, 2024  
 DATE OF SURVEY: AUGUST, 2023

*[Signature]* 9/14/23  
 CARLTON K. GUTSCHICK  
 PROFESSIONAL ENGINEER  
 MARYLAND REG. NO. 12975

**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27020. EXPIRATION DATE: 01/25/22

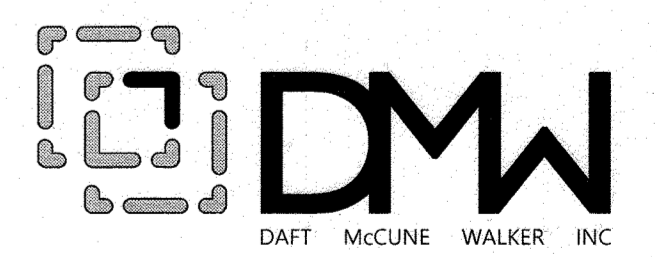
04-02-2020  
DATE

*[Signature]*  
 PROFESSIONAL ENGR. NO. 27020

04/02/20	REPLACEMENT OF ORIGINAL SDP SET WITH TEMPORARY PARKING LOT DESIGN SET
Date	Revision Description

**TEMPORARY SURFACE LOT  
 PARCEL 218, LOT 13 10227 WINCOPIN  
 CIRCLE COLUMBIA, MD 21044**

OWNER / DEVELOPER:  
 AMERICAN CITY BUILDING BUSINESS TRUST  
 C/O THE HOWARD HUGHES CORPORATION  
 COLUMBIA REGIONAL OFFICE  
 10960 GRANTCHESTER WAY, SUITE 110  
 COLUMBIA, MD 21044  
 (410) 964-4800



501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286  
 P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM

SUBDIVISION NAME	COLUMBIA TOWN CENTER	SECTION/AREA	0001	LOT/PARCEL #	13/0298 & 17/0321
PLAT/PLAN #	8-13-F-13	RECORD #	NT	TAX ZONE/MAP	5-03
WATER CODE	550	SEWER CODE	LITTLE PATUXENT	STAGE	1

TITLE: **SWM FACILITY 1 DETAIL PLANTING AND DRAINAGE AREA MAP**  
 REVISED SITE DEVELOPMENT PLAN

AS-BUILT DATA  
 AUG. 2023

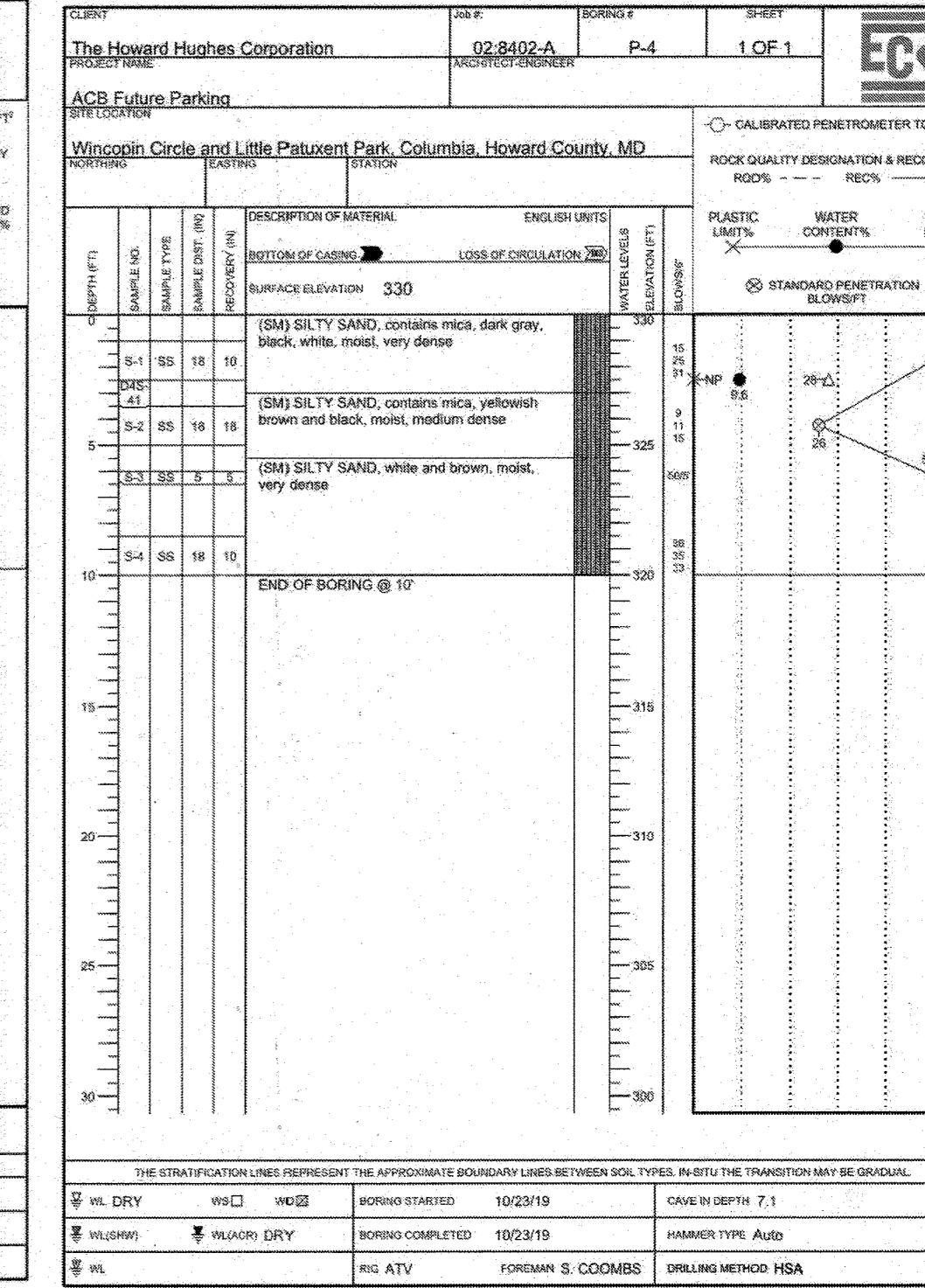
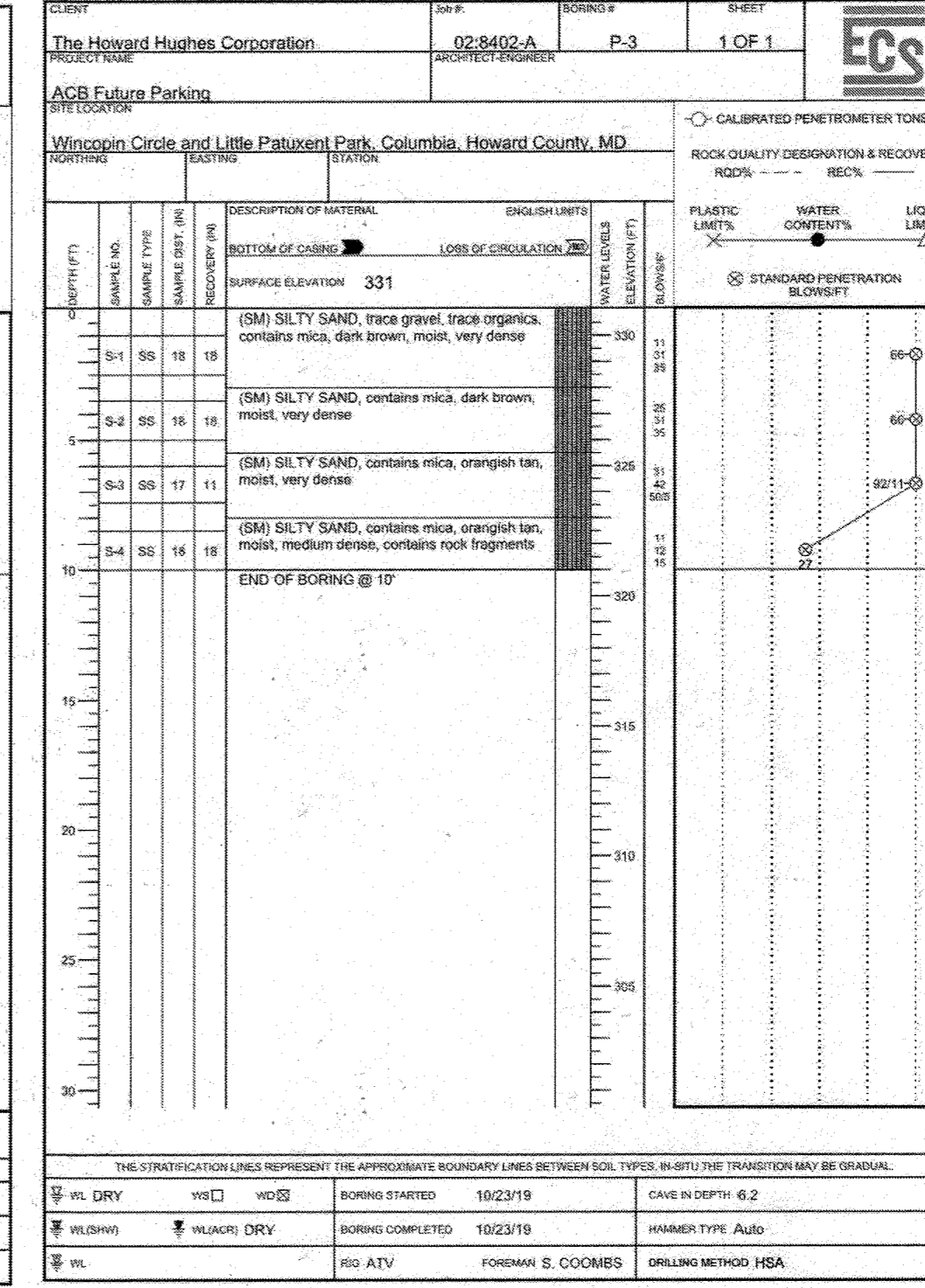
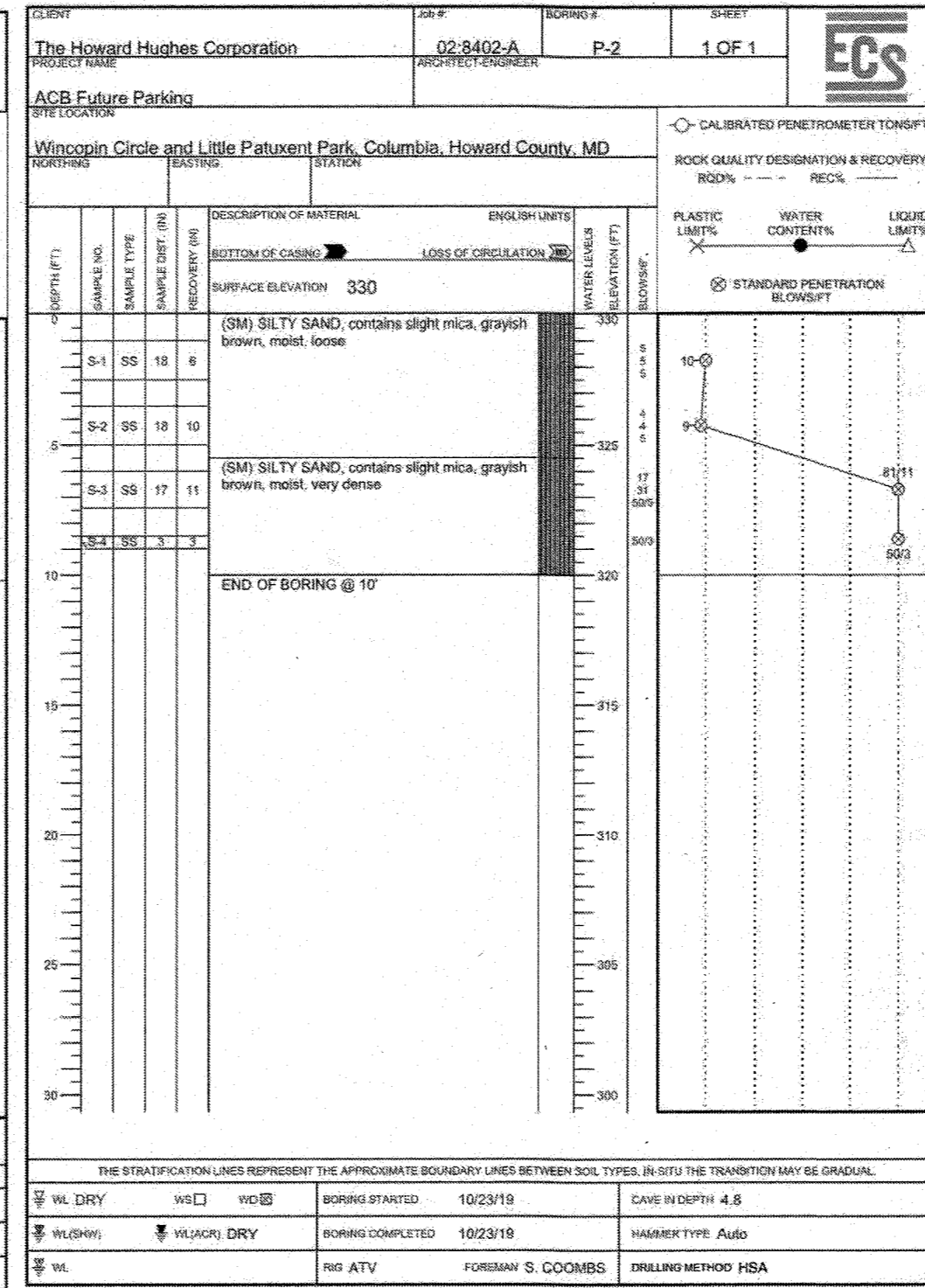
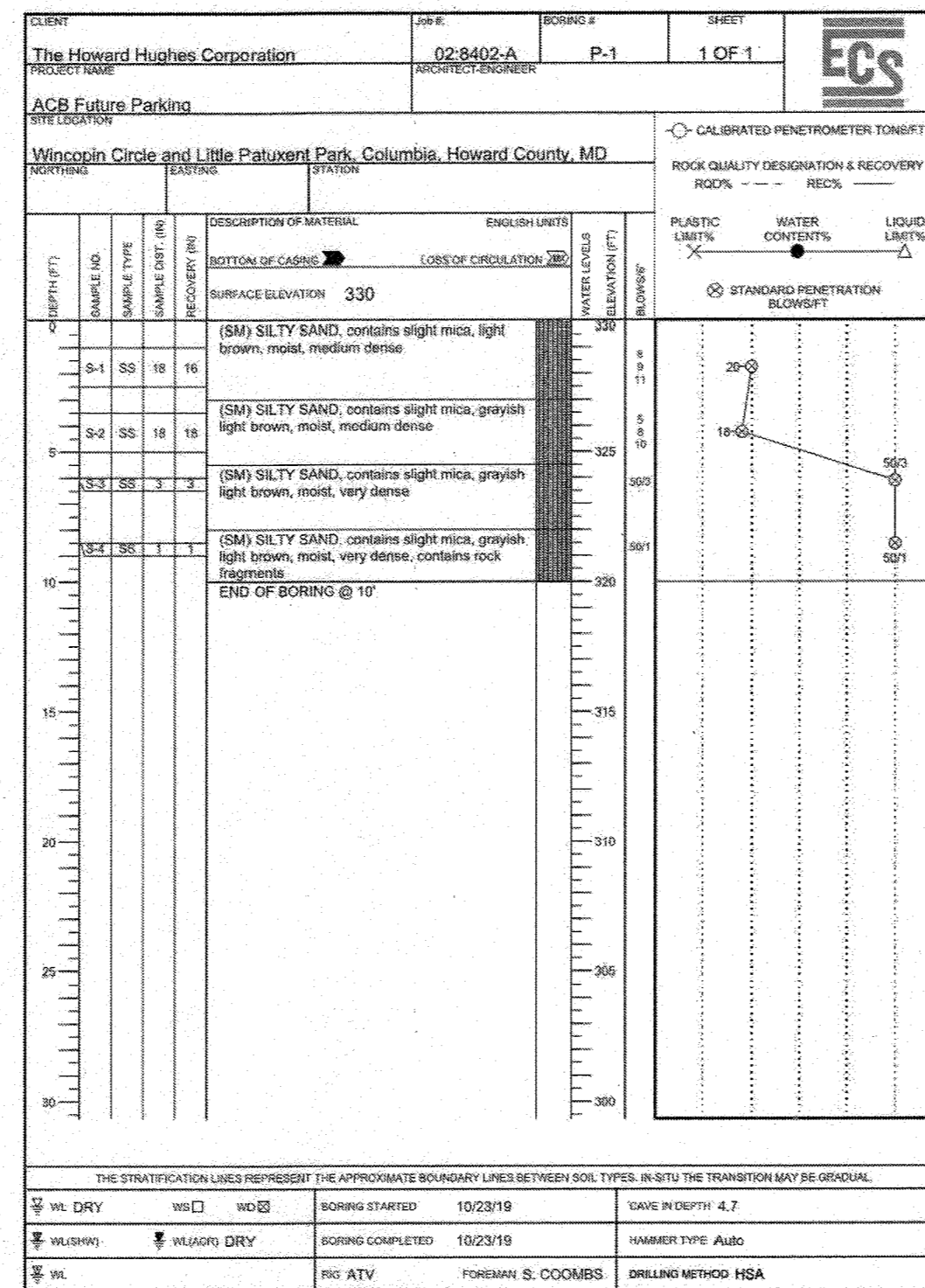
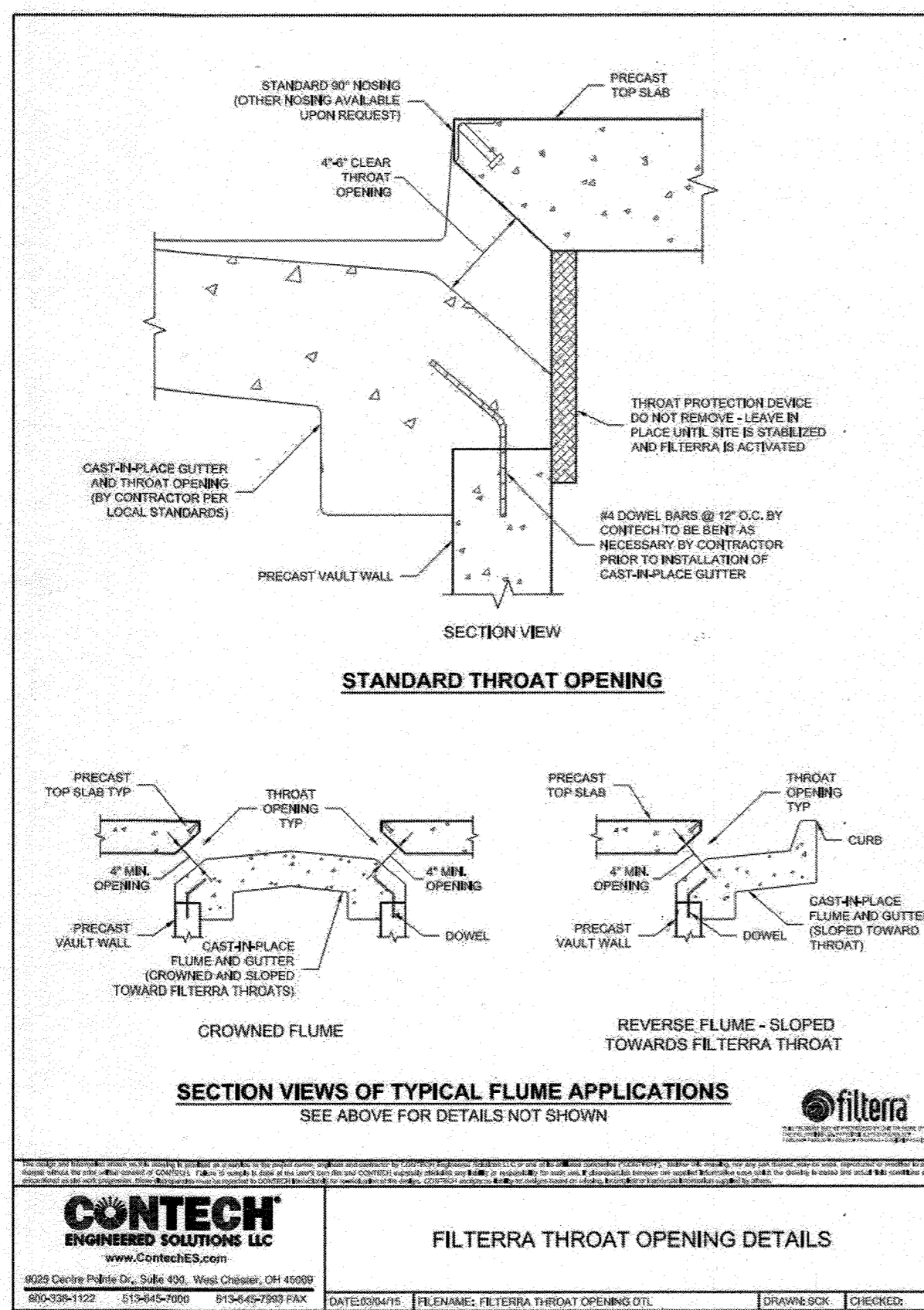
Des. By PAB SCALE: AS NOTED Proj. No. 19029.00  
 Drn. By PAB Date 04-02-2020 AS-BUILT SHEET 4 OF 6  
 Chk. By RRP Approved RRP 06 of 16

**OPERATION AND MAINTENANCE SCHEDULE FOR FILTERRA**

- THE START OF THE MAINTENANCE PLAN BEGINS WHEN THE SYSTEM IS ACTIVATED FOR FULL OPERATION. FULL OPERATION IS DEFINED AS THE UNIT INSTALLED, CURB AND GUTTER AND TRANSITIONS IN PLACE AND ACTIVATION BY SUPPLIER WHEN MULCH AND PLANT ARE IN PLACE AND TEMPORARY THROAT PROTECTION REMOVED. ACTIVATION CANNOT BE CARRIED OUT UNTIL THE SITE IS FULLY STABILIZED (FULL LANDSCAPING, GRASS COVER, FINAL PAVING AND STREET SWEEPING COMPLETED).
- OWNER SHALL LEAVE THE FIRST YEAR OF MAINTENANCE UP TO THE SUPPLIER. SINCE IT IS INCLUDED IN THE PURCHASE OF THE SYSTEM, OWNER MUST PROMPTLY NOTIFY THE MAINTENANCE SUPPLIER OF ANY DAMAGE TO THE PLANT(S) AND SHALL ADVISE OTHER LANDSCAPE OR MAINTENANCE CONTRACTORS TO LEAVE ALL MAINTENANCE TO THE SUPPLIER (I.E. NO PRUNING OR FERTILIZING). AFTER THE FIRST YEAR, THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER TWICE A YEAR. MAINTENANCE SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING OR FALL. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FILTERRA PLANT SELECTION LIST.
- THE OWNER SHALL PERFORM A PLANT INSPECTION IN THE SPRING AND IN THE FALL OF EACH YEAR. DURING THE INSPECTION, THE OWNER SHALL REMOVE DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT. REPLACE DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL. TREAT DISEASED TREES AND SHRUBS, AND REPLACE ALL DEFICIENT TREES AND WIRES.
- THE OWNER SHALL INSPECT THE MULCH EACH SPRING AND FALL. THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS. MULCH MAY NEED TO BE REPLACED MORE FREQUENTLY DEPENDING ON RAINFALL PATTERNS. THE PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS APPLIED.
- THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, BUT AT A MINIMUM, TWICE PER YEAR AND AFTER EACH HEAVY STORM.
- BI-ANNUALLY REMOVE TRASH & DEBRIS AS IT ACCUMULATES. THIS SHOULD BE DONE IN THE SPRING AND THE FALL. THE SPRING MAINTENANCE SHALL TARGET CLEANING UP WINTER DEBRIS (SALT AND SANDS) WHILE THE FALL MAINTENANCE SHALL TARGET THE REMOVAL OF LEAF LITTER.
- REMOVE AND REPLACE TOP FEW INCHES OF FILTER MEDIA WHEN WATER POUNDS FOR MORE THAN 48 HRS. REFER TO FILTERRA'S MAINTENANCE VISIT PROCEDURE.
- PRUNE AND REPLACE DEAD VEGETATION AS NECESSARY WHEN PERFORMING MAINTENANCE VISITS. CONSULT FILTERRA PLANT LIST FOR ACCEPTABLE SPECIES.
- WATER VEGETATION DURING DRY PERIODS.

**INSTALLATION GUIDELINES FOR FILTERRA**

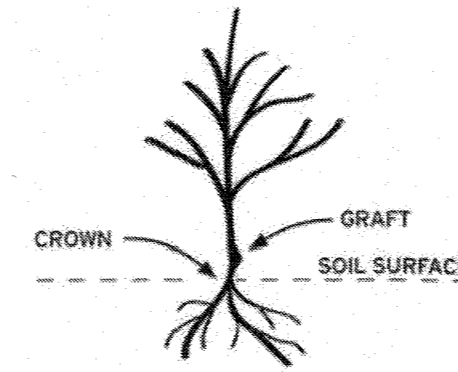
- EACH UNIT SHALL BE CONSTRUCTED AT THE LOCATIONS AND ELEVATIONS ACCORDING TO THE SIZES SHOWN ON THE APPROVED DRAWINGS. ANY MODIFICATIONS TO THE ELEVATIONS OR LOCATIONS SHALL BE AT THE DIRECTION OF AND APPROVED BY THE ENGINEER.
- IF THE FILTERRA IS STORED BEFORE INSTALLATION, THE TOP SLAB MUST BE PLACED ON THE BOX USING THE 2x4 WOOD PROVIDED TO PREVENT CONTAMINATION FROM THE SITE. ALL INTERNAL FITTINGS SUPPLIED (IF ANY), MUST BE LEFT IN PLACE PER THE DELIVERY.
- THE UNIT SHALL BE PLACED ON THE COMPACTED SUB-GRADE WITH A MINIMUM 6-INCH GRAVEL BASE MATCHING THE FINAL GRADE OF THE CURB LINE IN THE AREA OF THE UNIT. THE UNIT IS TO BE PLACED SUCH THAT THE UNIT AND TOP SLAB MATCH THE GRADE OF THE CURB IN THE AREA OF THE UNIT. COMPACT UNDISTURBED SUB-GRADE MATERIALS TO 95% OF THE MAXIMUM DENSITY AT +1% TO 2% OF THE OPTIMUM MOISTURE. UNSUITABLE MATERIAL BELOW SUB-GRADE SHALL BE REPLACED TO SITE ENGINEER'S APPROVAL. CONTACT CONTECH FOR GUIDANCE WHERE SLOPE EXCEEDS 5%.
- ONCE THE UNIT IS SET, THE INTERNAL WOODEN FORMS AND PROTECTIVE SILT FABRIC COVER MUST BE LEFT INTACT. ONLY REMOVE THE TEMPORARY WOODEN SHIPPING BLOCKS BETWEEN THE BOX AND THE TOP SLAB. THE TOP LID SHOULD BE SEALED ONTO THE BOX BEFORE BACKFILLING, USING A NON-SHRINK GROUT, BUTYL RUBBER OR SIMILAR WATERPROOF SEAL. THE BOARDS ON THE TOP OF THE LID AND BOARDS SEALED IN THE UNIT'S THROAT MUST NOT BE REMOVED. THE SUPPLIER WILL REMOVE THESE SECTIONS AT THE TIME OF ACTIVATION.
- OUTLET CONNECTIONS SHALL BE ALIGNED AND SEALED TO MEET THE APPROVED DRAWINGS WITH MODIFICATIONS NECESSARY TO MEET SITE CONDITIONS AND LOCAL REGULATIONS. THE CORRECT OUTLET WILL BE MARKED ON THE FILTERRA BOX. DO NOT USE PLUGGED COUPLINGS MARKED "USE OTHER CONNECTION".
- BACKFILLING SHALL BE PERFORMED IN A CAREFUL MANNER, BRINGING THE APPROPRIATE FILL MATERIAL UP IN 6" LIFTS ON ALL SIDES. PRECAST SECTIONS SHALL BE SET IN A MANNER THAT WILL RESULT IN A WATER TIGHT JOINT. IN ALL INSTANCES, INSTALLATION OF THE FILTERRA UNIT SHALL CONFORM TO ASTM SPECIFICATION C891 "STANDARD PRACTICE FOR INSTALLATION OF UNDERGROUND PRECAST UTILITY STRUCTURES" UNLESS SPECIFIED OTHERWISE IN CONTRACT DOCUMENTS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE CURB AND GUTTER AND TRANSITION TO THE FILTERRA UNIT FOR PROPER STORMWATER FLOW INTO THE SYSTEM THROUGH THE THROAT OPENING. CONTRACTOR SHALL ENSURE THAT THE FLOW LINE OF THE FILTERRA UNIT IS AT A HIGHER ELEVATION THAN THE FLOW LINE OF THE BYPASS STRUCTURE OR RELIEF EFFECTIVE BYPASS FOR THE FILTERRA SYSTEM IS ESSENTIAL FOR CORRECT OPERATION. FAILURE TO COMPLY WITH THIS GUIDELINE MAY CAUSE FAILURE AND/OR DAMAGE TO THE FILTERRA DEVICE. A STANDARD DRAWING OF THE THROAT AND GUTTER DETAIL IS SHOWN ON THIS SHEET.



**Planting Requirements for Filterra® Systems**

**Plant Material Selection**

- Select plant(s) as specified in the engineering plans and specifications.
- Select plant(s) with full root development but not to the point where root bound.
- Use local nursery container plants only. Ball and burlapped plants are not permitted.
- For precast Filterra systems, plant(s) must not have scaffold limbs at least 14 inches from the crown due to spacing between the top of the mulch and the tree grate. Lower branches can be pruned away provided there are sufficient scaffold branches for tree or shrub development.
- For precast Filterra systems, at the time of installation plant(s) must be at least 4 feet tall from the crown.
- Plant(s) shall not have a mature height greater than 25 feet.
- For standard 21" media depth, a 7 - 15 gallon container size shall be used. Media less than 21" (Filterra boxes only) will require smaller container plants.
- Plant(s) must have a single trunk at installation, and pruning may be necessary at activation and maintenance for some of the faster-growing species, or species known to produce basal sprouts.



**Plant Installation**

- During transport protect the plant leaves from wind and excessive jostling.
- Prior to removing the plant(s) from the container, ensure the soil moisture is sufficient to maintain the integrity of the root ball. If needed, pre-wet the container plant.
- Cut away any roots which are growing out of the container drain holes. Plants with excessive root growth from the drain holes should be rejected.
- Plant(s) should be carefully removed from the pot by gently pounding on the sides of the container with the fist to loosen root ball. Then carefully slide out. Do not lift plant(s) by trunk as this can break roots and cause soil to fall off. Extract the root ball in a horizontal position and support it to prevent it from breaking apart. Alternatively the pot can be cut away to minimize root ball disturbance.
- Remove any excess soil from above the root flare after removing plant(s) from container.
- Excavate a hole with a diameter 4" greater than the root ball, gently place the plant(s).
- If plant(s) have any circling roots from being pot bound, gently tease them loose without breaking them.
- If root ball has a root mat on the bottom, it should be shaved off with a knife just above the mat line.
- Plant the tree/shrub/grass with the top of the root ball 1" above surrounding media to allow for settling.
- All plants should have the main stem centered in the tree grate upon completion of installation.
- With all trees/shrubs, remove dead, diseased, crossed/rubbing, sharply crooked branches or branches growing excessively long or in wrong direction compared to majority of branches.

- To prevent transplant shock (especially if planting takes place in the hot season), it may be necessary to prune some of the foliage to compensate for reduced root uptake capacity. This is accomplished by pruning away some of the smaller secondary branches or a main scaffold branch if there are too many. Too much foliage relative to the root ball can dehydrate and damage the plant.
- Plant staking may be required.

**Mulch Installation**

- Only mulch that has been analyzed and approved by the Contech Engineered Solutions lab can be used in the Filterra system.
- Mulch must be applied to a depth of 3" evenly over the surface of the media.

**Irrigation Requirements**

- Each Filterra® system must receive adequate irrigation to ensure survival of the living system during periods of drier weather.
- Irrigation sources include rainfall runoff from downspouts and/or gutter flow, applied water through the tree grate or in some cases from an irrigation system with emitters installed during construction.
- At Activation:** Apply about one (cool climates) to two (warm climates) gallons of water per inch of trunk diameter over the root ball.
- During Establishment:** In common with all plants, each Filterra® plant will require more frequent watering during the establishment period. One inch of applied water per week for the first three months is recommended for cooler climates (2 to 3 inches for warmer climates). If the system is receiving rainfall runoff from the drainage area, then irrigation may not be needed. Inspection of the soil moisture content can be evaluated by gently brushing aside the mulch layer and feeling the soil. Be sure to replace the mulch when the assessment is complete. Irrigate as needed\*\*.
- Established Plants:** Established plants have fully developed root systems and can access the entire water column in the media. Therefore irrigation is less frequent but requires more applied water when performed. For a mature system assume 3.5 inches of available water within the media matrix. Irrigation demand can be estimated as 1" of irrigation demand per week. Therefore if dry periods exceed 3 weeks, irrigation may be required. It is also important to recognize that plants which are exposed to windy areas and reflected heat from paved surfaces may need more frequent irrigation. Long term care should develop a history which is more site specific.

\*\* Five gallons per square yard approximates 1 inch of water. Therefore for a 6' by 6 foot Filterra® approximately 20-60 gallons of applied water is needed. To ensure even distribution of water it needs to be evenly sprinkled over the entire surface of the filter bed, with special attention to make sure the root ball is completely wetted. NOTE: If needed, measure the time it takes to fill a five gallon bucket to estimate the applied water flow rate. Then calculate the time needed to irrigate the Filterra®, For example is the flow rate of the sprinkler is 5 gallons/minute then it would take 12 minutes to irrigate a 6x6' filter.

**Filterra Bioretention Systems Mulch Specifications**

**General Description**

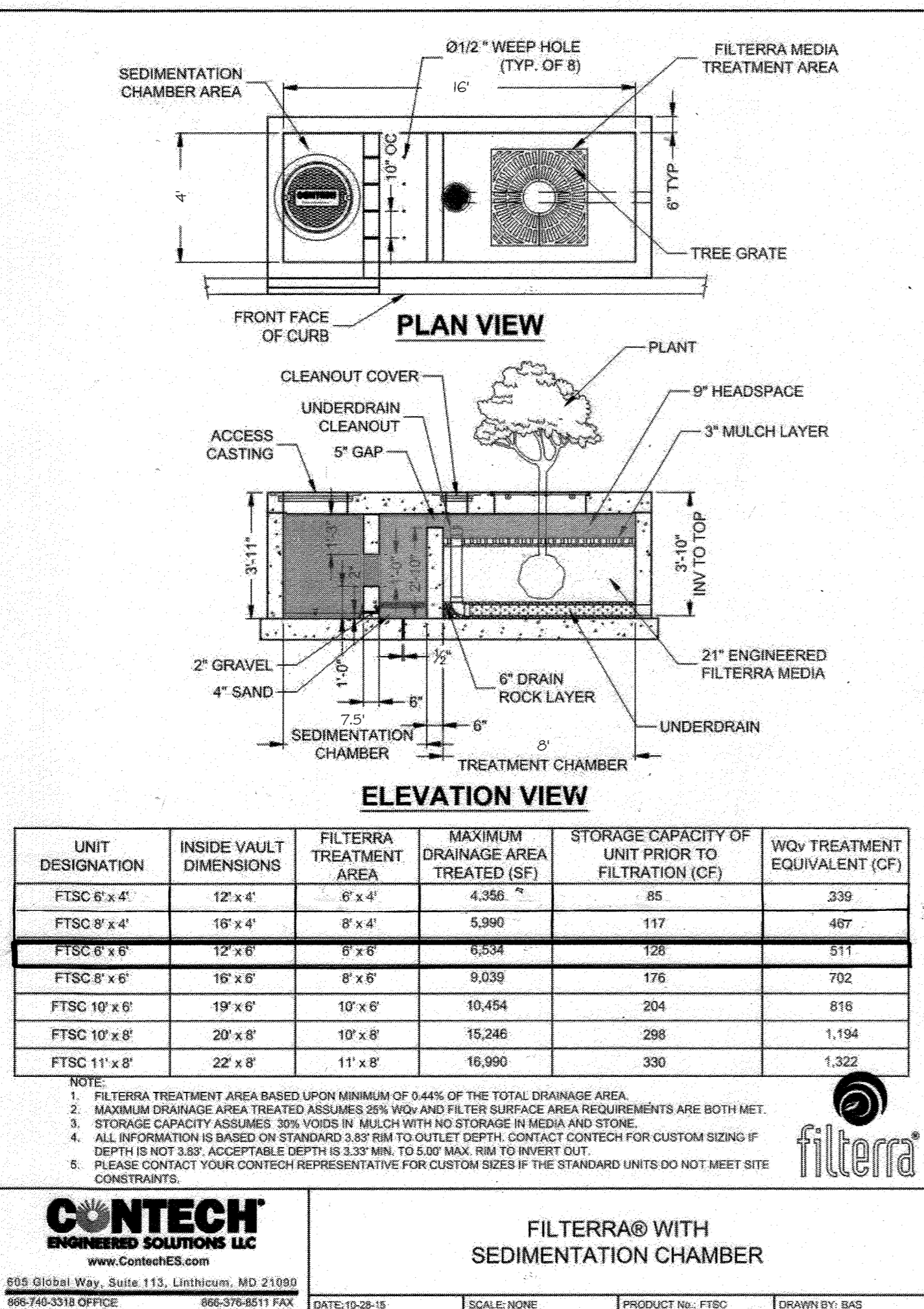
Filterra Bioretention Systems mulch consists of double shredded wood or bark mulch.

**Basic Use**

The mulch is used in Filterra Bioretention Systems as the surface component for pretreatment of stormwater runoff, protection of the Filterra bioretention media and moisture control. No more than a 3" mulch layer should be applied.

**Technical Specifications**

- Mulch should be approved by Contech Engineered Solutions LLC for use in Filterra systems
- Mulch should include only hardwood, fir or cedar material.
- Mulch should be double shredded wood or bark, but not bark nugget mulch.
- If dyed, Mulch should be brown or black only.
- Mulch should be certified by the Mulch and Soil Council.
- Mulch should be of a type that is low in total phosphorus (TP).



UNIT DESIGNATION	INSIDE VAULT DIMENSIONS	FILTERRA TREATMENT AREA	MAXIMUM DRAINAGE AREA TREATED (SF)	STORAGE CAPACITY OF UNIT PRIOR TO FILTRATION (CF)	WOV TREATMENT EQUIVALENT (CF)
FTSC 6' x 4'	12' x 4'	6' x 4'	4,356	85	339
FTSC 8' x 4'	16' x 4'	8' x 4'	5,990	117	467
FTSC 6' x 6'	12' x 6'	6' x 6'	6,534	128	511
FTSC 8' x 6'	16' x 6'	8' x 6'	9,039	176	702
FTSC 10' x 6'	19' x 6'	10' x 6'	10,454	204	816
FTSC 10' x 8'	20' x 8'	10' x 8'	15,246	298	1,194
FTSC 11' x 8'	22' x 8'	11' x 8'	16,990	330	1,322

NOTE:  
1. FILTERRA TREATMENT AREA BASED UPON MINIMUM OF 0.44% OF THE TOTAL DRAINAGE AREA.  
2. MAXIMUM DRAINAGE AREA TREATED ASSUMES 20% WOV AND FILTER SURFACE AREA REQUIREMENTS ARE BOTH MET.  
3. STORAGE CAPACITY ASSUMES 30% VOLUME IN MULCH WITH NO STORAGE IN MEDIA AND STONE.  
4. ALL INFORMATION IS BASED ON STANDARD 3.8" RIM TO OUTLET DEPTH. CONTACT CONTECH FOR CUSTOM SIZING IF DEPTH IS NOT 3.8". ACCEPTABLE DEPTH IS 3.3" MIN. TO 4.0" MAX. RISE TO INVERT OUT.  
5. PLEASE CONTACT YOUR CONTECH REPRESENTATIVE FOR CUSTOM SIZES IF THE STANDARD UNITS DO NOT MEET SITE CONSTRAINTS.

FILTERRA® WITH SEDIMENTATION CHAMBER

CONTECH ENGINEERED SOLUTIONS LLC  
www.conteches.com

855 Global Way, Suite 111, Litchfield, MD 21180  
996-740-5318 OFFICE 996-378-8611 FAX DATE: 10-28-15 SCALE: NONE PRODUCT NO.: FTSC DRAWN BY: BAS

**AS-BUILT CERTIFICATION**  
I HEREBY CERTIFY, BY MY SEAL, THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THE FACILITIES SHOWN ON THIS PLAN WERE CONSTRUCTED AS SHOWN ON THIS "AS-BUILT" PLAN MEET THE APPROVED PLANS AND SPECIFICATIONS. THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO.: 12975, EXPIRATION DATE: MAY 20, 2024. DATE OF SURVEY: AUGUST, 2023.

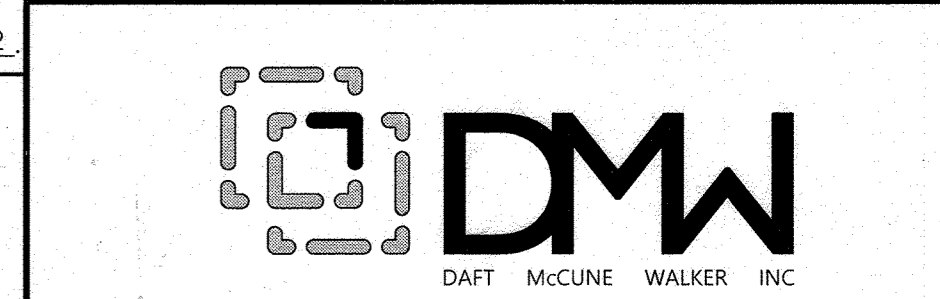
CKA  
CARLTON K. BUSCHICK  
PROFESSIONAL ENGINEER  
MARYLAND REG. NO. 12975

9/14/23  
STATE OF MARYLAND  
PROFESSIONAL ENGINEER

DATE	NO.	ADJUSTED FILTERRA CALLOUT	REVISION DESCRIPTION
04/02/20	1	REPLACEMENT OF ORIGINAL SDP SET WITH TEMPORARY PARKING LOT DESIGN SET	

**TEMPORARY SURFACE LOT**  
**PARCEL 218, LOT 13 10227 WINCOPIN**  
**CIRCLE COLUMBIA, MD 21044**

OWNER / DEVELOPER:  
AMERICAN CITY BUILDING BUSINESS TRUST  
C/O THE HOWARD HUGHES CORPORATION  
COLUMBIA REGIONAL OFFICE  
10960 GRANTCHESTER WAY, SUITE 110  
COLUMBIA, MD 21044  
410.964.1800



501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286  
P. 410 296 3333 F. 410 296 4705 WWW.DMW.COM

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL #
COLUMBIA TOWN CENTER	0001	10/0298 & 17/0321
PLAT OR LOT	BLOCK # ZONE	TAX ZONE/APP. DISTRICT
B. 13.13	NT	36 5-03
WATER CODE	SEWER CODE	CENSUS TRACT
550	LITTLE PATUXENT	605402
STAGE		1

TITLE: **SWM NOTES AND DETAILS**  
AS-BUILT DATE: AUG 2023  
REVISED SITE DEVELOPMENT PLAN

Des. By: PAB SCALE: AS SHOWN Proj. No.: 19029.00  
Date: 04-02-2020  
Dwn. By: PAB Date: 04-02-2020 AS-BUILT SHEET 50P/60  
Chk. By: RRP Approved: RRP 07 of 16

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 27020. EXPIRATION DATE: 01/25/22.

04-02-2020  
DATE

PROFESSIONAL ENGR. NO. 27020

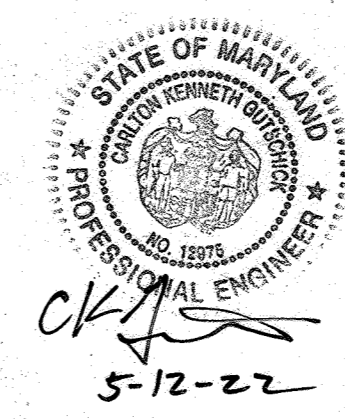
APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: October 1, 2020

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

10/23/20  
DATE

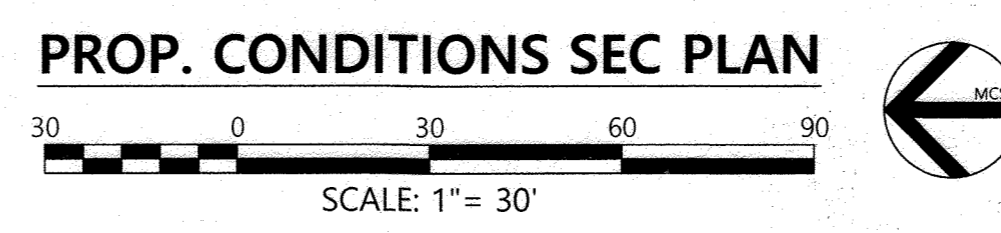
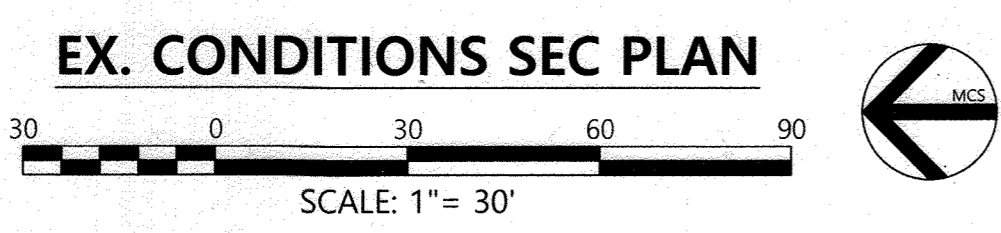
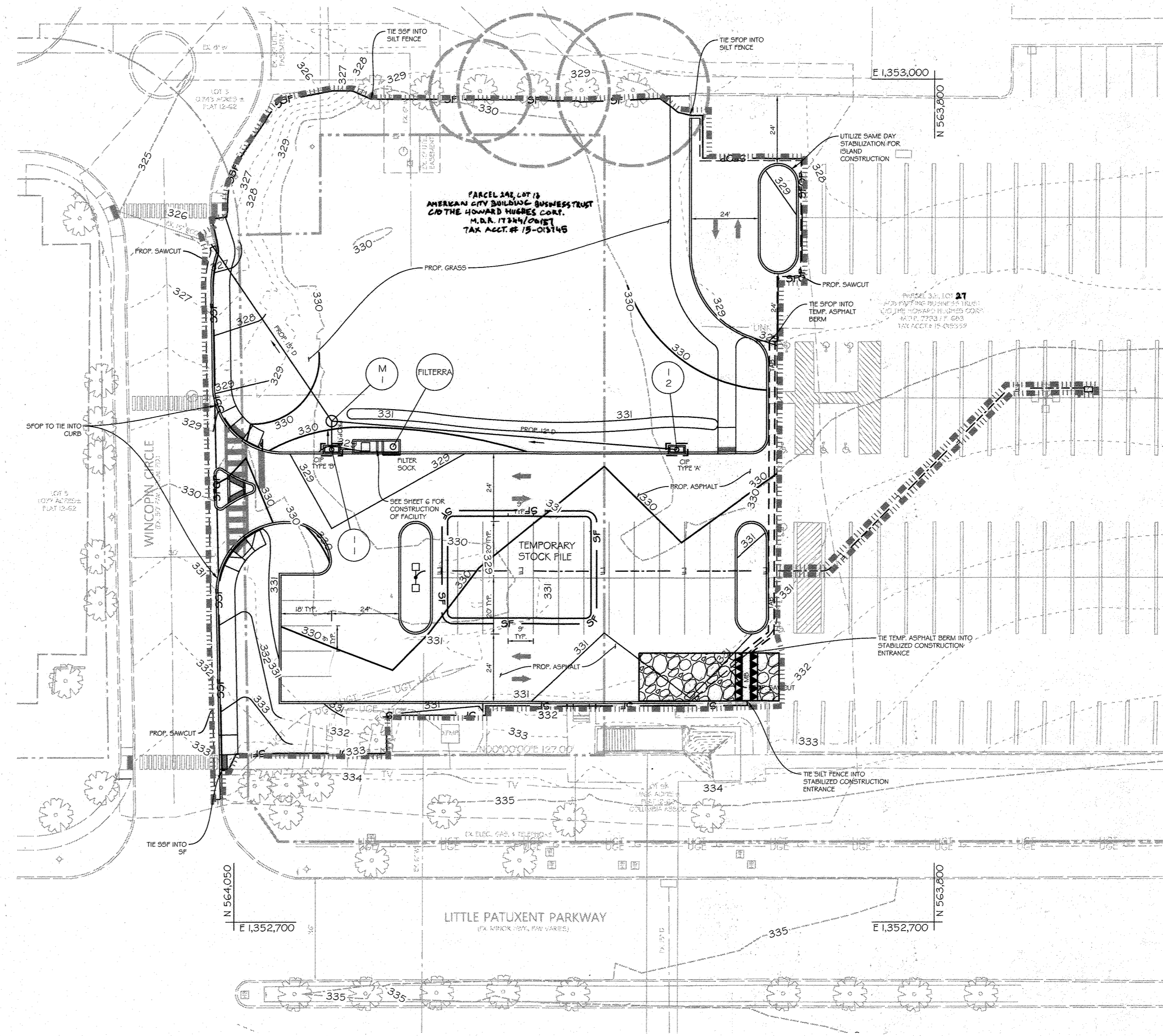
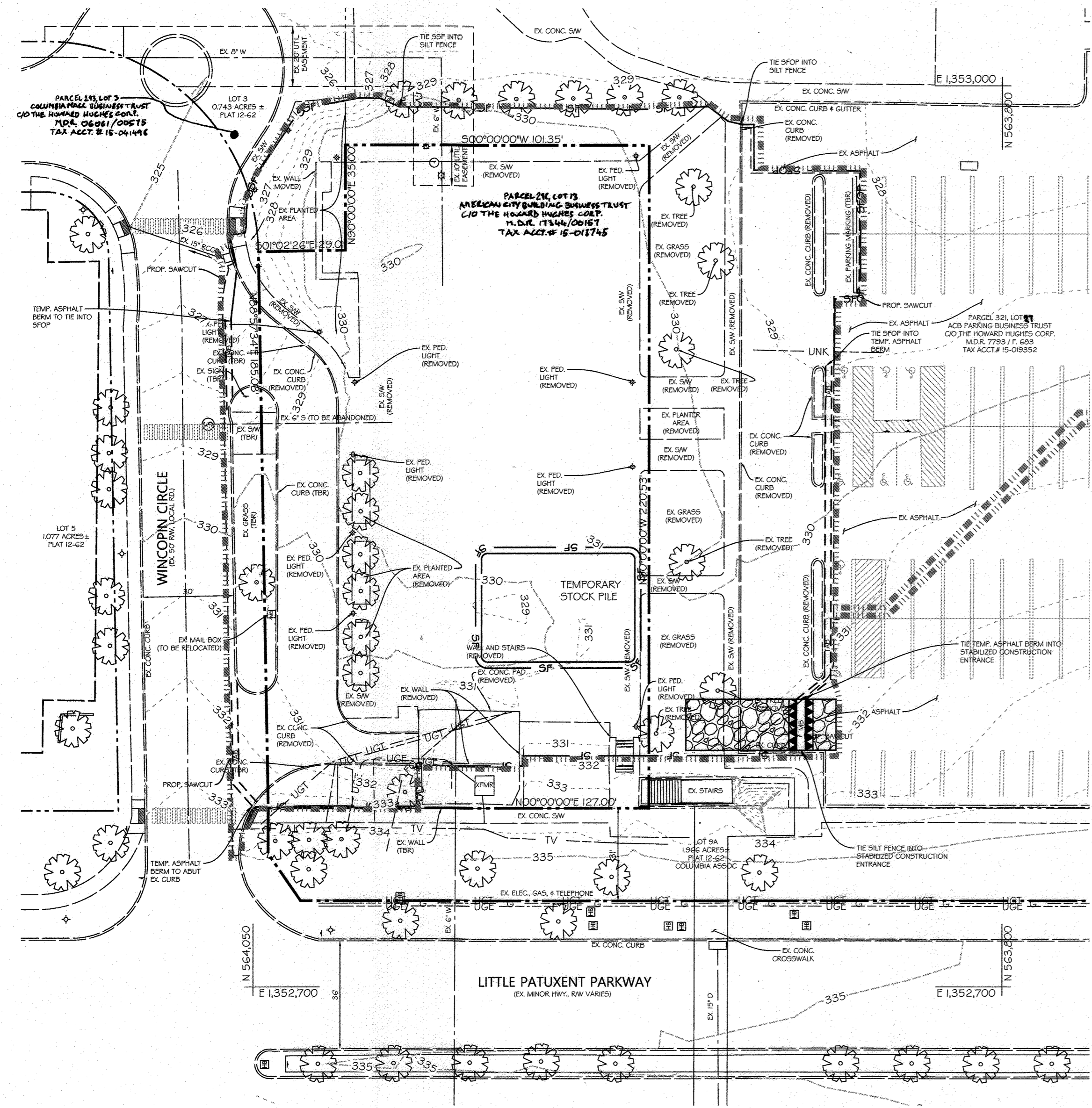
11/12/20  
DATE

1-11-2021  
DATE



Professional Certification  
I hereby certify that these plans were prepared or approved by me and that I am a duly licensed Professional Engineer under the laws of the State of Maryland. License No. 12975. Expiration Date: May 20, 2024.

Certification For Revision Only



**LEGEND**

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	EX. 1' CONTOUR
	EX. 5' CONTOUR
	EX. CURB
	EX. SIDEWALK
	EX. BUILDING OVERHANG
	EX. BUILDING
	EX. TREE
	EX. WATER LINE
	EX. WATER STRUCTURE
	EX. STORM DRAIN PIPE
	EX. STORM DRAIN INLET
	EX. SANITARY SEWER PIPE
	EX. SANITARY SEWER MANHOLE
	EX. UNDERGROUND TELEPHONE LINE
	EX. UNDERGROUND ELECTRIC LINE
	EX. UNDERGROUND FIBEROPTIC LINE
	EX. UNDERGROUND TELEVISION LINE
	EX. UNDERGROUND GAS LINE
	EX. UNKNOWN UNDERGROUND LINE
	EX. HAND BOX
	EX. PEDESTRIAN LIGHT
	EX. STREET LIGHT
	EX. SIGN
	PROP. 1' CONTOUR
	PROP. 5' CONTOUR
	PROP. SITE LIGHTING (REFER TO SHEET 15)
	PROP. UNDERGROUND ELECTRIC
	PROP. SIGN
	PROP. STORM DRAIN PIPE
	PROP. STORM DRAIN INLET
	PROP. STORM MANHOLE
	PROP. CONC. CURB & GUTTER
	SILT FENCE
	SILT FENCE ON PAVEMENT
	SUPER SILT FENCE
	LIMIT OF DISTURBANCE
	CURB INLET PROTECTION
	TEMPORARY ASPHALT BERM
	STABILIZED CONSTRUCTION ENTRANCE W/ MOUNTABLE BERM

**UTILITY CONSTRUCTION NOTES**

- (FOR ALL UTILITY CONSTRUCTION BEYOND EROSION AND SEDIMENT CONTROL MEASURES)
- CONTRACTOR SHOULD OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY.
  - PLACE ALL EXCAVATED MATERIAL ON THE UPHILL SIDE OF A TRENCH.
  - ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.

**DAILY STABILIZATION NOTES**

- (FOR ALL CONSTRUCTION OUTSIDE PERIMETER SEDIMENT AND EROSION CONTROL MEASURES)
- CONTRACTOR SHALL ONLY DISTURB THAT AREA WHICH CAN BE COMPLETED AND STABILIZED BY THE END OF EACH WORKING DAY. ALL EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF A TRENCH. STABILIZATION SHALL BE AS FOLLOWS:
- FOR AREAS TO BE PAVED, THE APPLICATION OF STONE BASE.
  - FOR AREAS TO BE VEGETATIVELY STABILIZED:
    - PERMANENT SEED AND SOIL STABILIZATION MATTING OR SOD FOR ALL STEEP SLOPES, CHANNELS OR SWALES
    - PERMANENT SEED AND MULCH FOR ALL OTHER AREAS.
- IF THE CONTRACTOR IS UNABLE TO BACKFILL AND STABILIZE TRENCH, THEN SILT FENCE WILL BE PLACED ON THE DOWNSLOPE SIDE OF A TRENCH.
- ANY SOIL/SEDIMENT TRACKED ONTO ROADWAYS MUST BE REMOVED IMMEDIATELY BY MECHANICAL METHODS (SCRAPING, SWEEPING, ETC.) AND FLUSHING OF PAVEMENT WILL NOT BE PERMITTED.

ALL UNDERLYING SOILS WITHIN LIMIT OF DISTURBANCE ARE URBAN LAND-UDORTHEMIS COMPLEX (LUB), 0 TO 8% SLOPES WHICH ARE HYDROLOGIC SOIL GROUP 'D'.

**SEQUENCE OF CONSTRUCTION**

- OBTAIN A GRADING PERMIT FOR THE PROPOSED WORK. NOTIFY THE HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES (DLP) AT LEAST 48 HOURS PRIOR TO BEGINNING WORK. (2 DAYS)
  - INSTALL THE STABILIZED CONSTRUCTION ENTRANCE (SCE) AND PERIMETER CONTROLS: SUPER SILT FENCE (SSF), SILT FENCE (SF), SILT FENCE ON PAVEMENT (SFP), AND TEMPORARY ASPHALT BERM (TAB) AS SHOWN ON THE PLANS (5 DAYS)
- NOTE: REFER TO DAILY STABILIZATION NOTES FOR WORK PERFORMED OUTSIDE OF THE PERIMETER CONTROLS SHOWN ON THESE PLANS.
- IF NECESSARY, AN ON-SITE STOCKPILE AREA WILL BE LOCATED WITHIN THE LIMIT OF DISTURBANCE WITH THE COORDINATION AND DISCRETION OF THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR AND THE GENERAL CONTRACTOR.
  - WITH THE SEDIMENT CONTROL INSPECTOR'S WRITTEN APPROVAL, BEGIN GRADING SITE TO GRADES SHOWN ON THESE PLANS MAKING SURE TO ACCOUNT FOR THE PAVEMENT SECTION. ALL SPOIL WILL NEED TO BE TAKEN TO A SITE WITH AN APPROVED OPEN GRADING PERMIT AND AN APPROVED SEDIMENT CONTROL PLAN. (2 WEEKS)
  - WHILE GRADING OPERATIONS ARE UNDERWAY, INSTALL PROPOSED STORM DRAIN SYSTEMS AND LIGHTING/ELECTRIC. UTILIZE PUMP AND PORTABLE SEDIMENT TANK AND DISCHARGE TO A STABILIZED OUTLET OR STORM DRAIN SYSTEM IN A NON-EROSIVE MANNER. INSTALL FILTERTRA SYSTEM, ENSURING THAT THROAT OPENING IS BLOCKED WITH BOARD FROM SUPPLIER. SEE STORMWATER MANAGEMENT SEQUENCE OF CONSTRUCTION FOR INSTALL. INSTALL FILTER SOCK AT THROAT OPENING AS EXTRA MEASURE AS SOON AS INLETS ARE INSTALLED. IMMEDIATELY INSTALL INLET PROTECTION. (1 WEEK)
  - INSTALL CURB AND GUTTER, SIDEWALK, RAMPS, AND ASPHALT PAVEMENT SECTION. CONTRACTOR SHALL WORK FROM STABILIZED CONSTRUCTION ENTRANCE TOWARDS WINCOPIN CIRCLE. AFTER THESE ITEMS ARE INSTALLED, RELOCATE PERIMETER CONTROLS SPECIFICALLY SUPER SILT FENCE (SSF). REMOVE TEMPORARY ASPHALT BERMS ALONG WINCOPIN ONCE CURB AND PAVEMENT IS INSTALLED. (3 WEEKS)
- NOTE: STEPS 5 AND 6 MAY BE DONE CONCURRENTLY.
- INSTALL SITE AND STORMWATER PLANTINGS PER LANDSCAPE PLANS PROVIDED IN THIS SET. (2 WEEKS)
  - WITH THE SEDIMENT CONTROL INSPECTOR'S & SUPPLIER'S WRITTEN APPROVAL THAT THE STORMWATER MANAGEMENT FACILITIES CONTRIBUTING DRAINAGE AREA IS PERMANENTLY STABILIZED, REMOVE FILTER SOCK AND THROAT OPENING BLOCKAGE ON FILTERTRA AND ALLOW RUNOFF TO ENTER FACILITIES (ACTIVATE FILTERTRA). REMOVE INLET PROTECTION ON INLETS. (2 DAYS)
  - WITH THE SEDIMENT CONTROL INSPECTOR'S WRITTEN APPROVAL, REMOVE REMAINING CONTROLS AND IMMEDIATELY STABILIZE/REPAIR THOSE AREAS DISTURBED BY THEIR REMOVAL. (3 DAYS)

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION *[Signature]* 10/23/20 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT *[Signature]* 11/1/20 DATE

DIRECTOR *[Signature]* 1-11-21 DATE

LIMIT OF DISTURBANCE: 45,450 SF / 1.04 AC ±

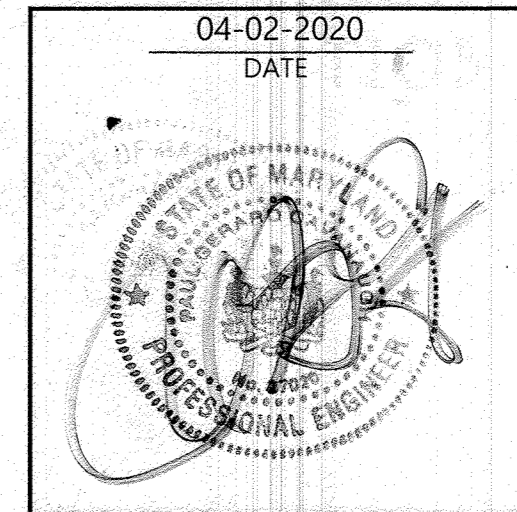
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

*[Signature]* 10/21/20 DATE

HOWARD SOIL CONSERVATION DISTRICT

**NO ASBUILT INFORMATION**  
9/14/23

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27020. EXPIRATION DATE: 01/25/22



PROFESSIONAL ENGR. NO. 27020

APPROVED: PLANNING BOARD OF HOWARD COUNTY DATE: October 1, 2020

**OWNERS/DEVELOPER CERTIFICATION:**

"I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."

OWNER'S/DEVELOPER'S SIGNATURE *[Signature]* DATE: 09-21-2020

GREG FITCHETT - REGIONAL PRESIDENT PRINTED NAME & TITLE

**DESIGN CERTIFICATION:**

"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

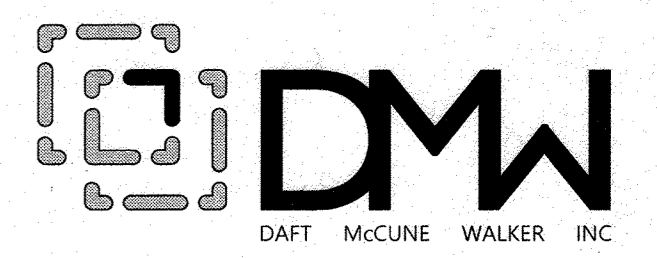
DESIGNER'S SIGNATURE *[Signature]* DATE: SEPT 21, 2020

PAUL G. CAVANAUGH 27020 MD REGISTRATION NO. PRINTED NAME P.E., R.L.S., OR R.L.A. (CIRCLE ONE)

Date	No.	Revision Description
04/02/20	1	REPLACEMENT OF ORIGINAL SDP SET WITH TEMPORARY PARKING LOT DESIGN SET

**TEMPORARY SURFACE LOT**  
**PARCEL 218, LOT 13 10227 WINCOPIN CIRCLE COLUMBIA, MD 21044**

OWNER / DEVELOPER:  
AMERICAN CITY BUILDING BUSINESS TRUST  
C/O THE HOWARD HUGHES CORPORATION  
COLUMBIA REGIONAL OFFICE  
10960 GRANTCHESTER WAY, SUITE 110  
COLUMBIA, MD 21044  
(410) 964-1800



501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286  
P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM

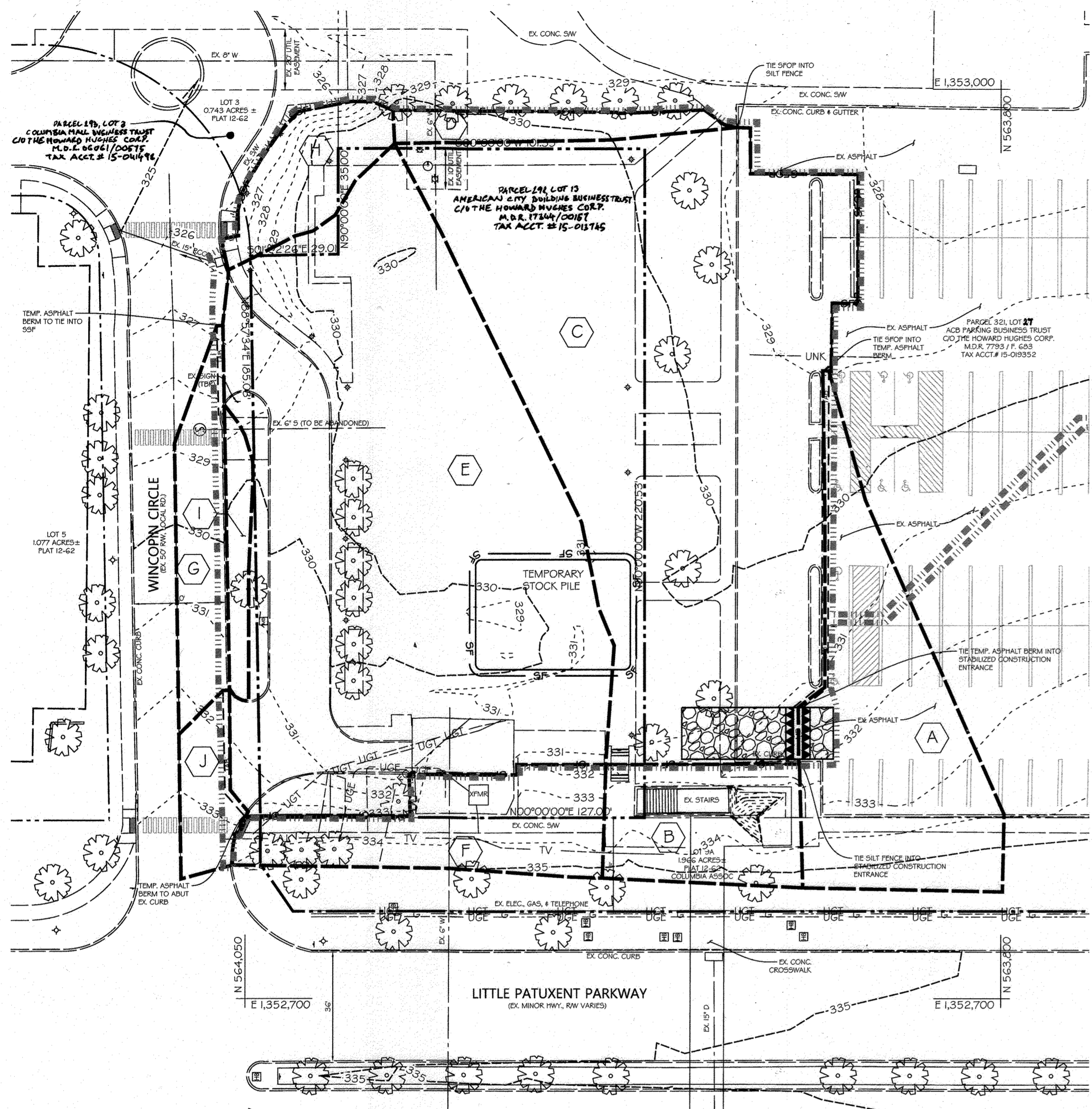
SUBDIVISION NAME	COLUMBIA TOWN CENTER	SECTION/AREA	0001	LOT/PARCEL #	13/0298 & 17/0321
PLAT OR LOT	B 13.F.13	BLOCK #	36	TAX ZONE/MAP	NT
WATER CODE	550	SEWER CODE	36	ELECT. DISTRICT	5-03
				CENSUS TRACT	605402
				STAGE	1

TITLE			
<b>SEDIMENT AND EROSION CONTROL PLANS</b>			
<b>REVISED SITE DEVELOPMENT PLAN</b>			
Des. By	PAB	SCALE: 1"=20'	Proj. No. 19029.00
Drn. By	PAB	Date 04-02-2020	
Chk. By	RRP	Approved RRP	08 of 16



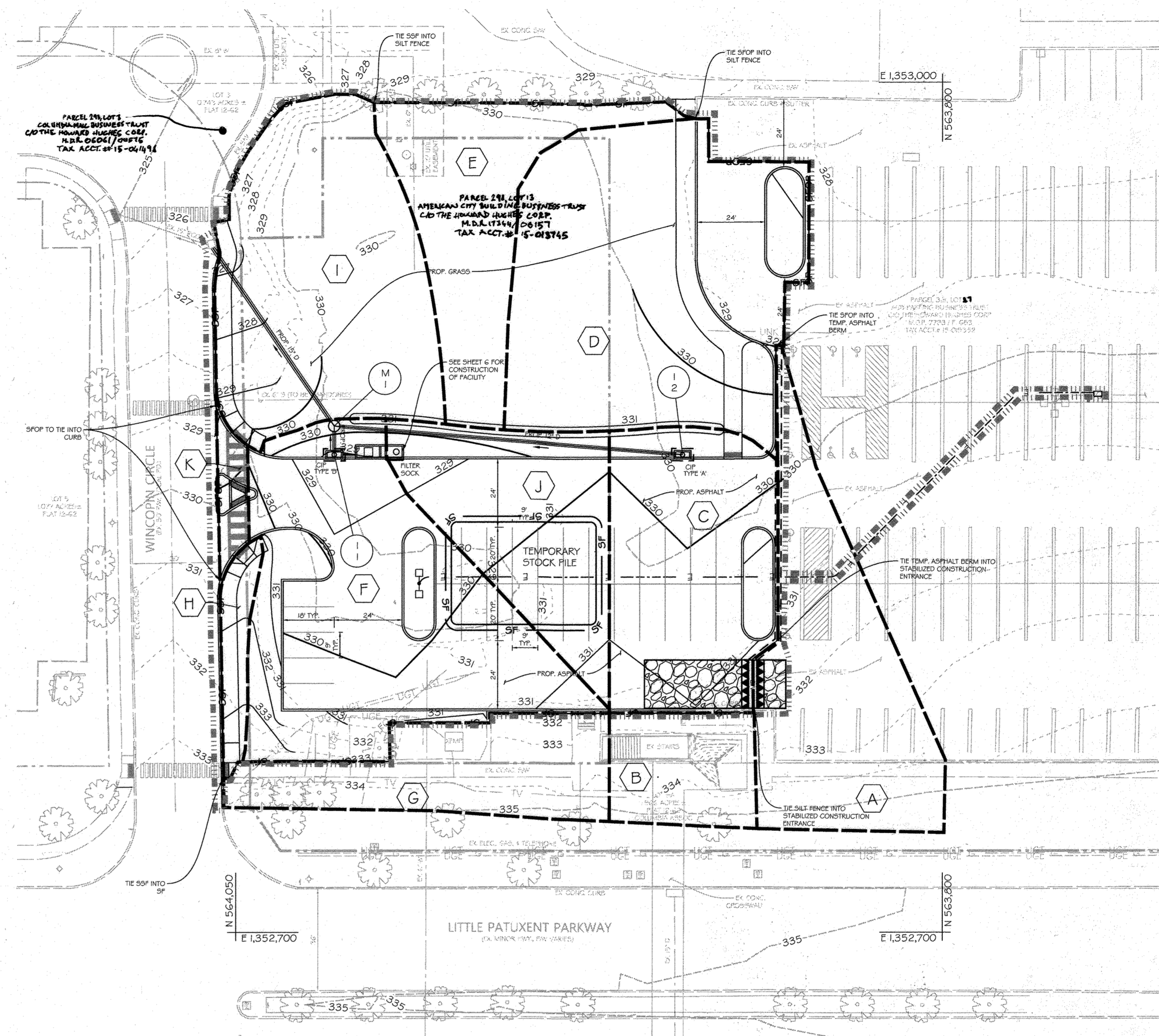
**LEGEND**

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- 328 EX. 1' CONTOUR
- 330 EX. 5' CONTOUR
- EX. CURB
- EX. SIDEWALK
- EX. BUILDING OVERHANG
- EX. BUILDING
- EX. TREE
- EX. WATER LINE
- EX. WATER STRUCTURE
- EX. STORM DRAIN PIPE
- EX. STORM DRAIN INLET
- EX. SANITARY SEWER PIPE
- EX. SANITARY SEWER MANHOLE
- EX. UNDERGROUND TELEPHONE LINE
- EX. UNDERGROUND ELECTRIC LINE
- EX. UNDERGROUND FIBEROPTIC LINE
- EX. UNDERGROUND TELEVISION LINE
- EX. UNDERGROUND GAS LINE
- EX. UNKNOWN UNDERGROUND LINE
- EX. HAND BOX
- EX. PEDESTRIAN LIGHT
- EX. STREET LIGHT
- EX. SIGN
- 328 PROP. 1' CONTOUR
- 330 PROP. 5' CONTOUR
- PROP. STORM DRAIN PIPE
- PROP. STORM INLET
- PROP. STORM MANHOLE
- PROP. CONC. CURB & GUTTER
- PROP. SITE LIGHTING (REFER TO SHEET 15)
- PROP. UNDERGROUND ELECTRIC
- PROP. SIGN
- 5' SILT FENCE
- 50' SILT FENCE ON PAVEMENT
- SUPER SILT FENCE
- LIMIT OF DISTURBANCE
- STANDARD INLET PROTECTION
- CURB INLET PROTECTION
- TEMPORARY ASPHALT BERM
- STABILIZED CONSTRUCTION ENTRANCE W/ MOUNTABLE BERM
- DRAINAGE AREA BOUNDARY
- DRAINAGE AREA DESIGNATION



**EX. SEC DRAINAGE AREA MAP**  
SCALE: 1" = 30'

DRAINAGE AREA	AREA DRAINING TO CONTROL (AC.)	CONTROL TYPE	NOTES
A	0.14	TEMP. ASPHALT BERM	
B	0.06	SILT FENCE	DRAINS TO AREA 'C'
C	0.39 (0.45 TOTAL)	SILT FENCE ON PAVEMENT	RECEIVES AREA 'B'
D	0.02	SILT FENCE	
E	0.48 (0.55 TOTAL)	SILT FENCE ON PAVEMENT	RECEIVES AREA 'F'
F	0.07	SILT FENCE	DRAINS TO AREA 'E'
G	0.04	SUPER SILT FENCE	
H	0.04	SUPER SILT FENCE	
I	0.02	SUPER SILT FENCE	
J	0.02	TEMP. ASPHALT BERM	



**PROP. SEC DRAINAGE AREA MAP**  
SCALE: 1" = 30'

DRAINAGE AREA	AREA DRAINING TO CONTROL (AC.)	CONTROL TYPE	NOTES
A	0.14	TEMP. ASPHALT BERM	
B	0.05	SILT FENCE	DRAINS TO AREA 'C'
C	0.13 (0.18 TOTAL)	CURB INLET PROTECTION	RECEIVES AREA 'B'
D	0.23	SILT FENCE ON PAVEMENT	
E	0.1	SILT FENCE	
F	0.21 (0.29 TOTAL)	CURB INLET PROTECTION	RECEIVES AREA 'G'
G	0.06	SILT FENCE	DRAINS TO AREA 'F'
H	0.02	SUPER SILT FENCE	
I	0.06	SUPER SILT FENCE	
J	0.1	FILTER SOCK	
K	0.01	SILT FENCE ON PAVEMENT	

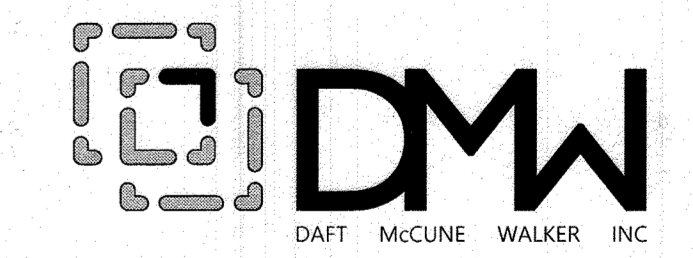
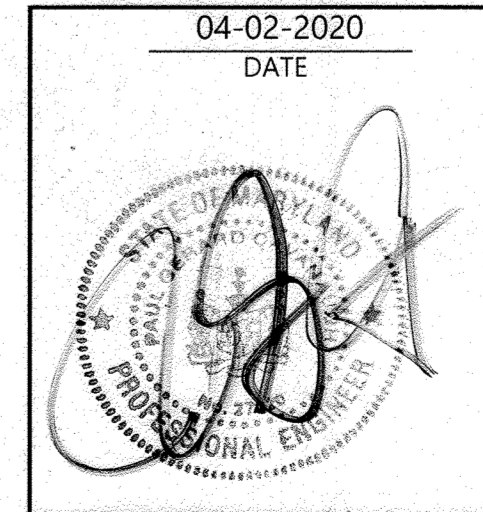
**NO ASBUILT INFORMATION**  
9/14/23

Date	No.	Revision Description
04/02/20	1	REPLACEMENT OF ORIGINAL SDP SET WITH TEMPORARY PARKING LOT DESIGN SET

**TEMPORARY SURFACE LOT PARCEL 218, LOT 13 10227 WINCOPIN, CIRCLE COLUMBIA, MD 21044**

OWNER / DEVELOPER:  
AMERICAN CITY BUILDING BUSINESS TRUST  
C/O THE HOWARD HUGHES CORPORATION  
COLUMBIA REGIONAL OFFICE  
10960 GRANTCHESTER WAY, SUITE 110  
COLUMBIA, MD 21044  
(410) 964-4800

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27020. EXPIRATION DATE: 01/25/22.



501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286  
P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM

SUBDIVISION NAME	COLUMBIA TOWN CENTER	SECTION/AREA	0001	LOT/PARCEL #	13/0298 & 17/0321
PLAT OR LOT	B 13.1-13	BLK/CK #	NT	TAX ZONE/MAP	36
WATER CODE	550	SEWER CODE	NT	DISTRICT	5-03
				CENSUS TRACT	605402
				STAGE	1

PROFESSIONAL ENGR. NO. 27020

APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: October 1, 2020

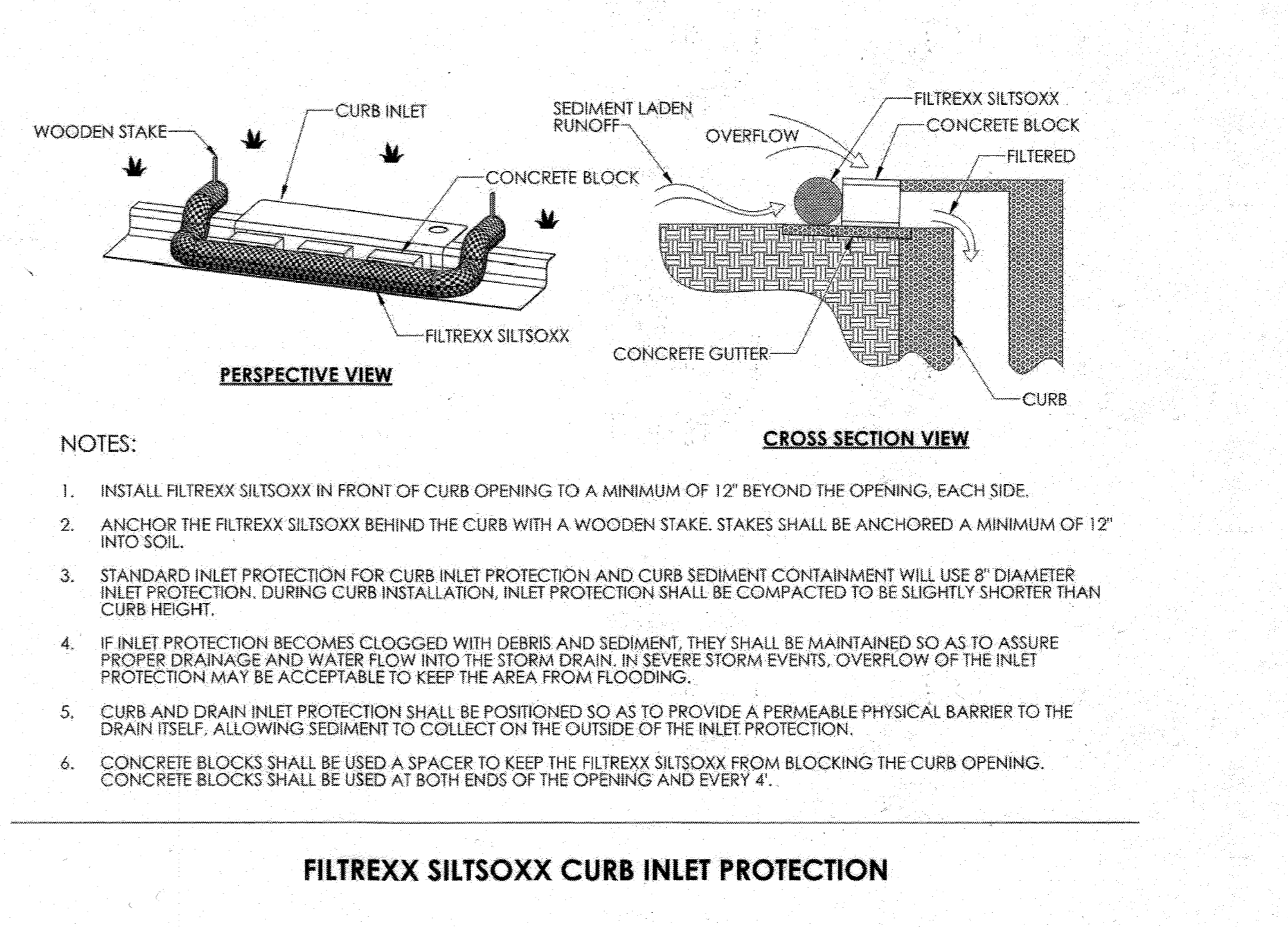
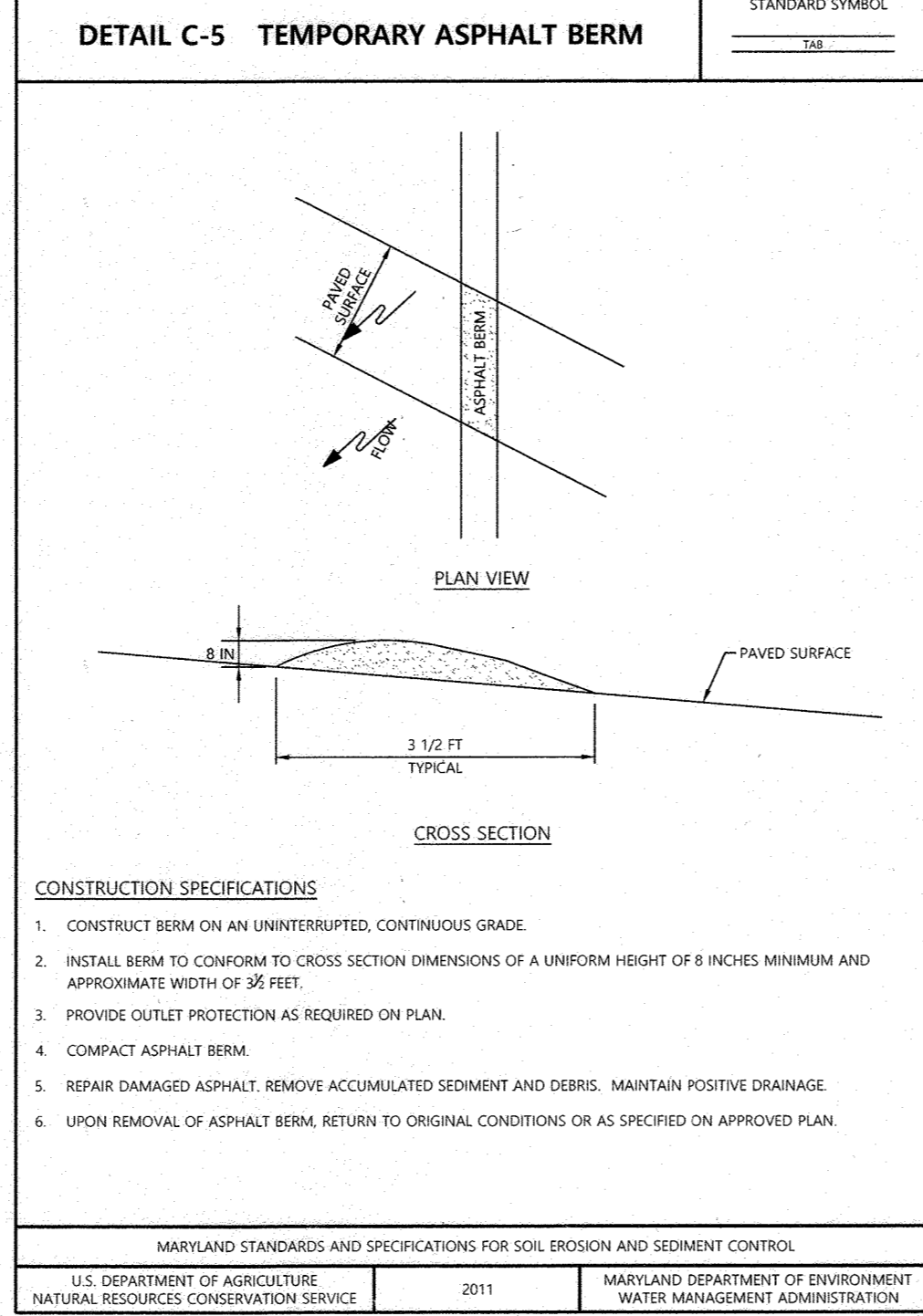
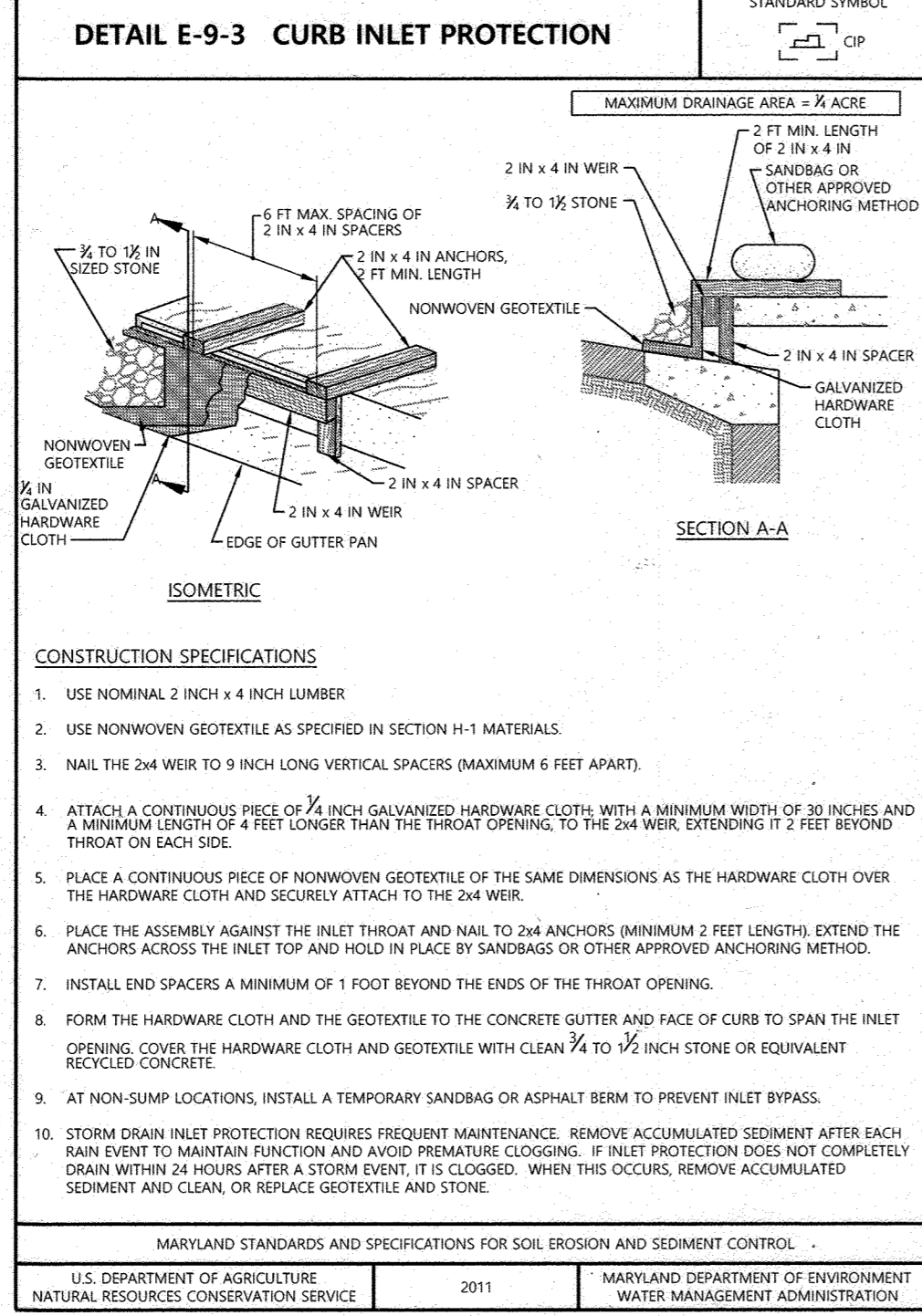
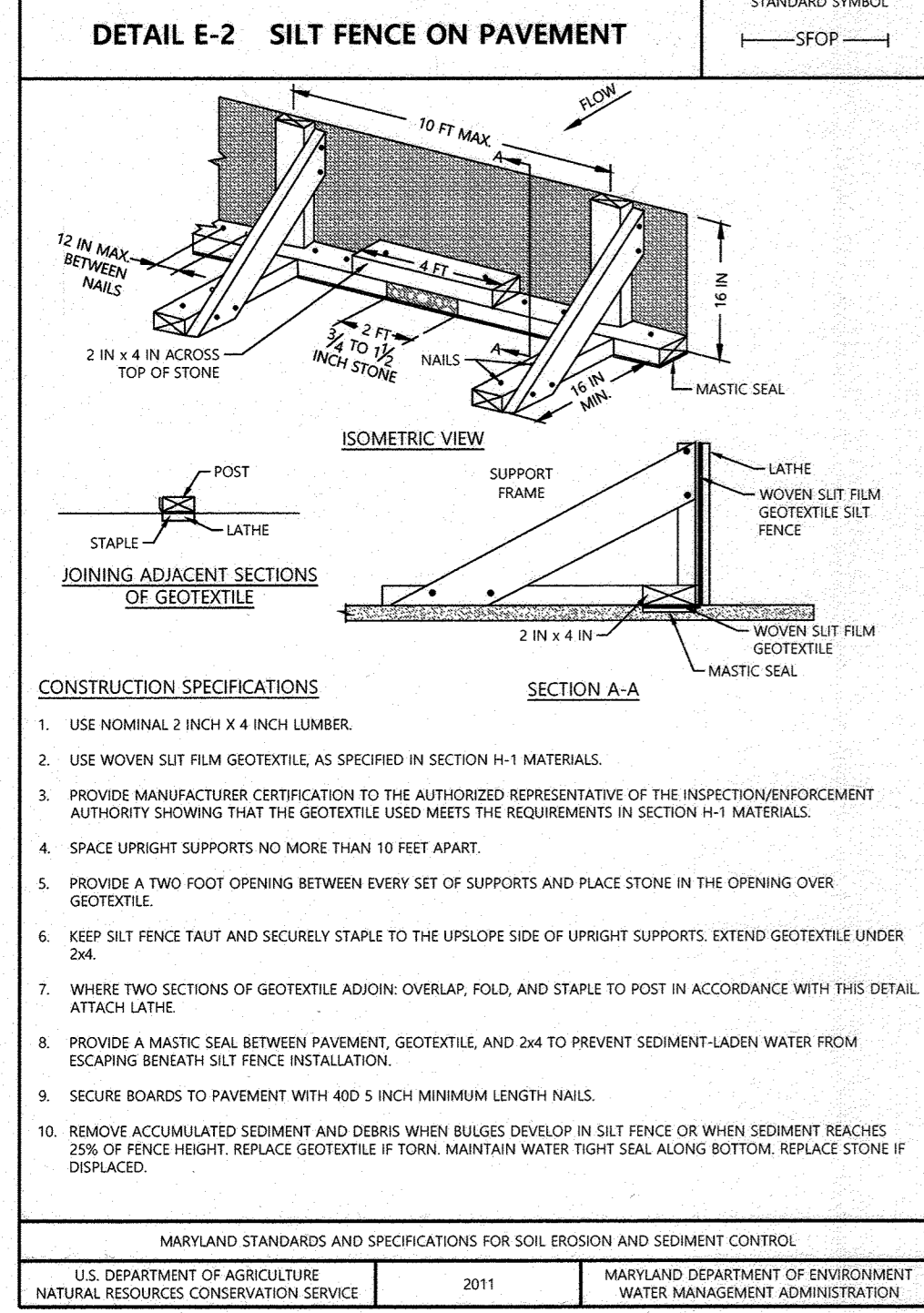
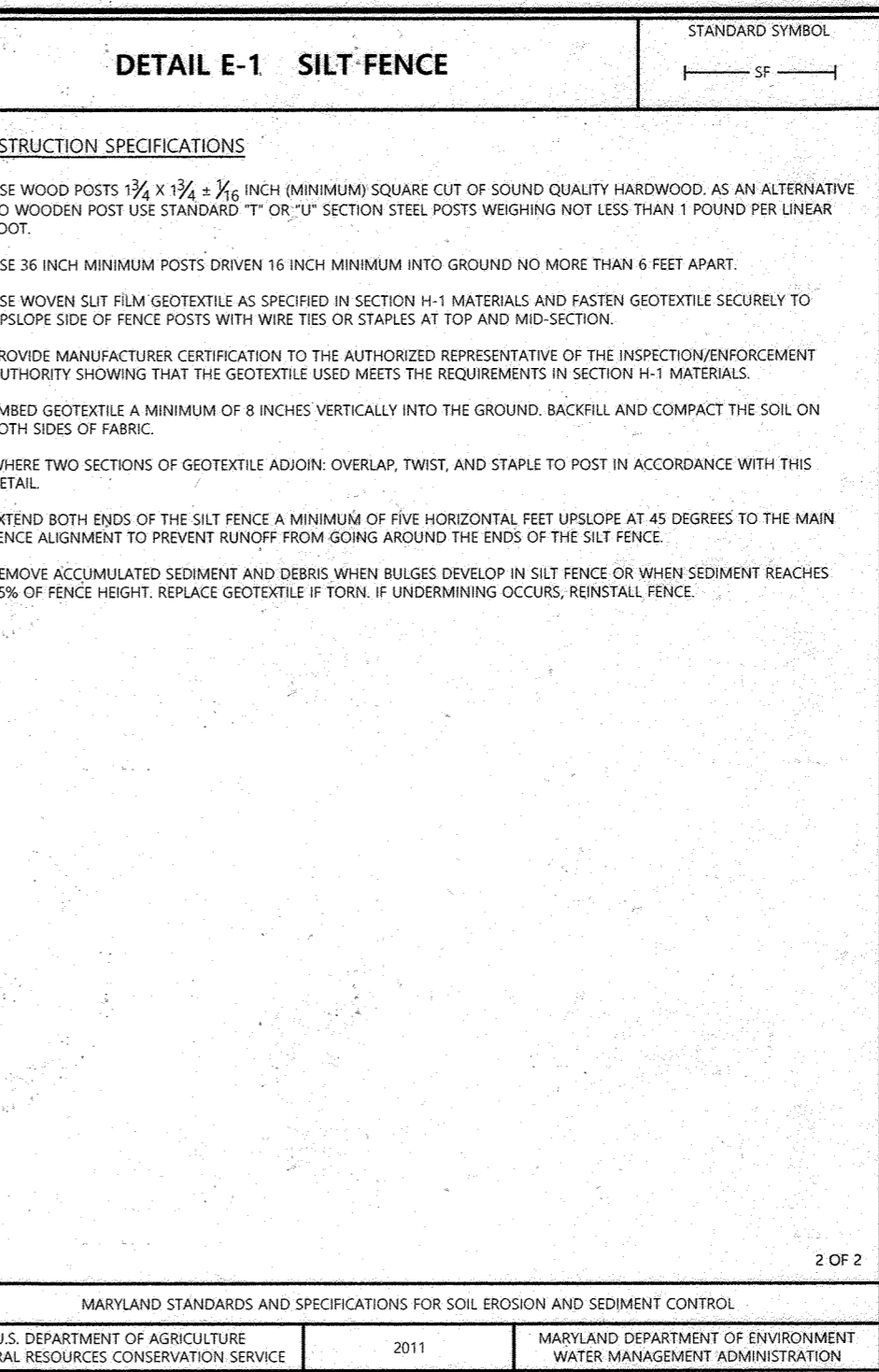
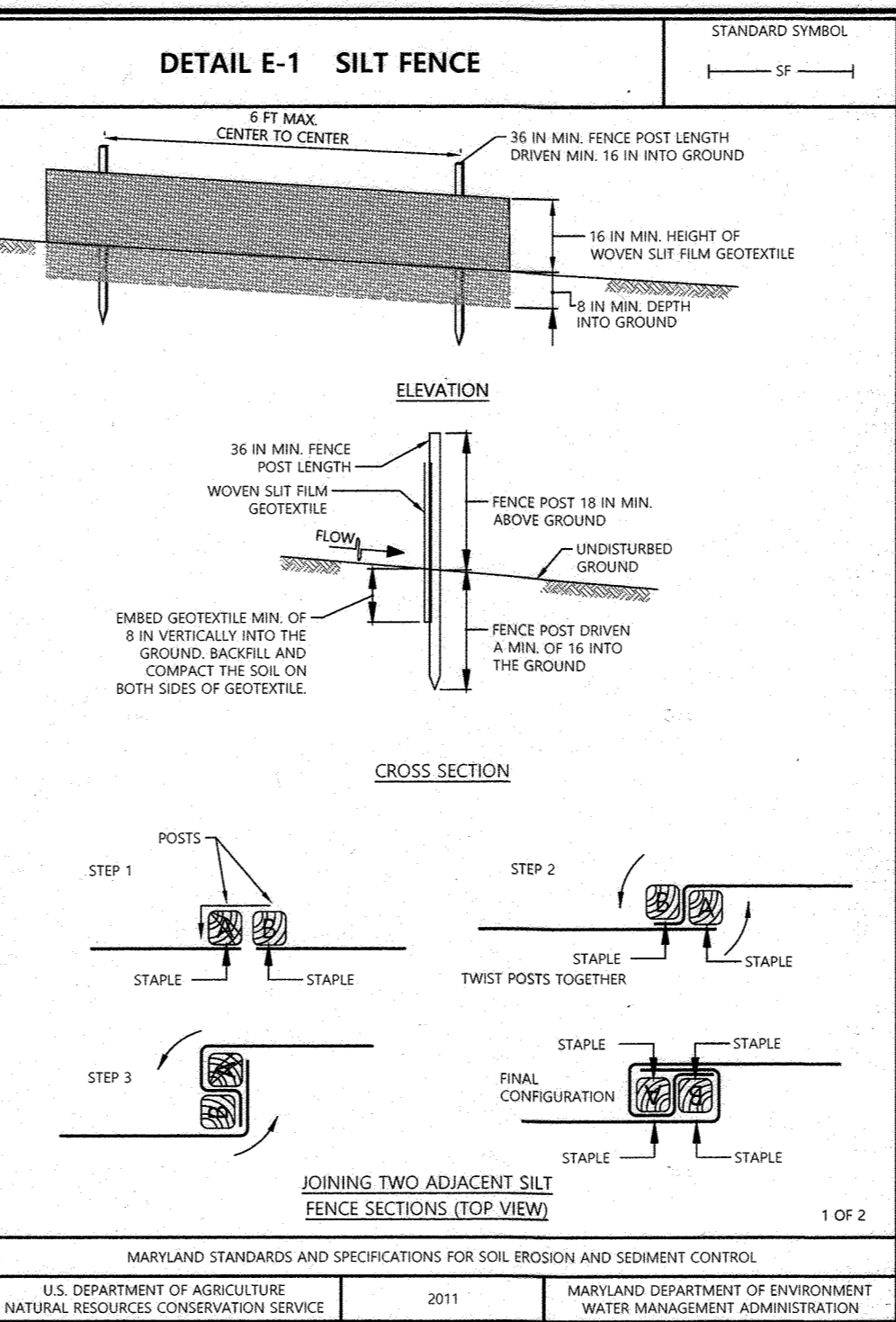
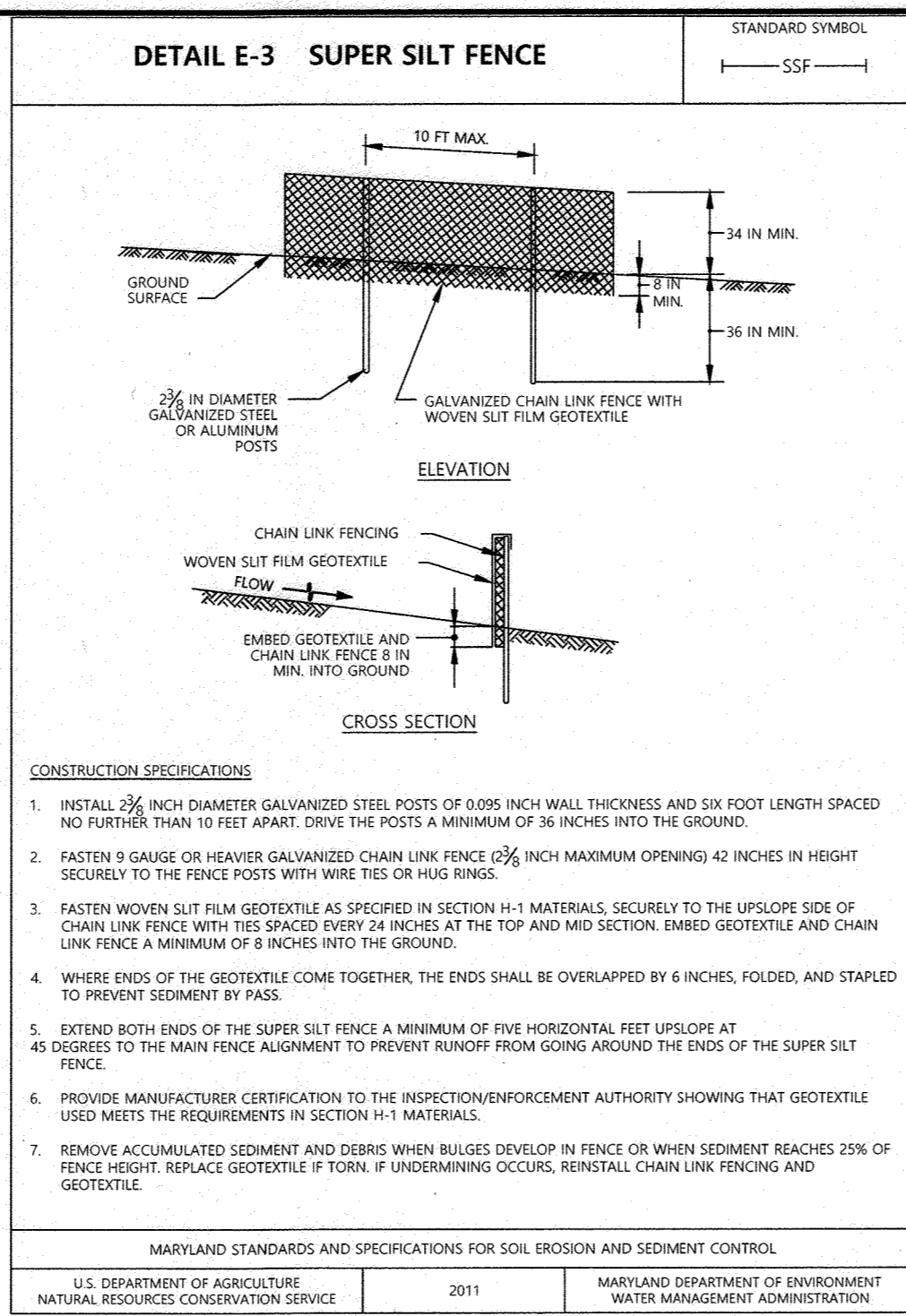
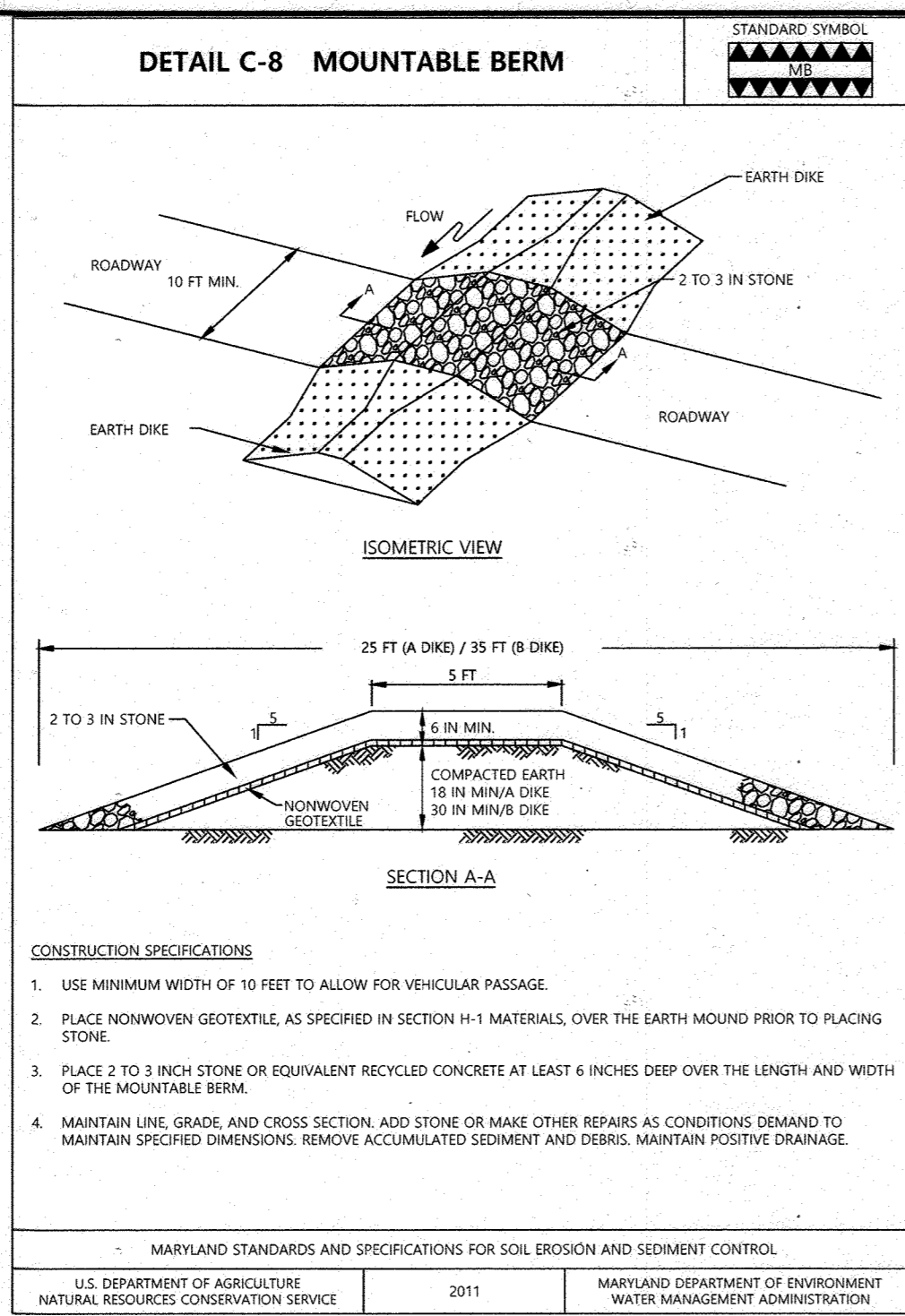
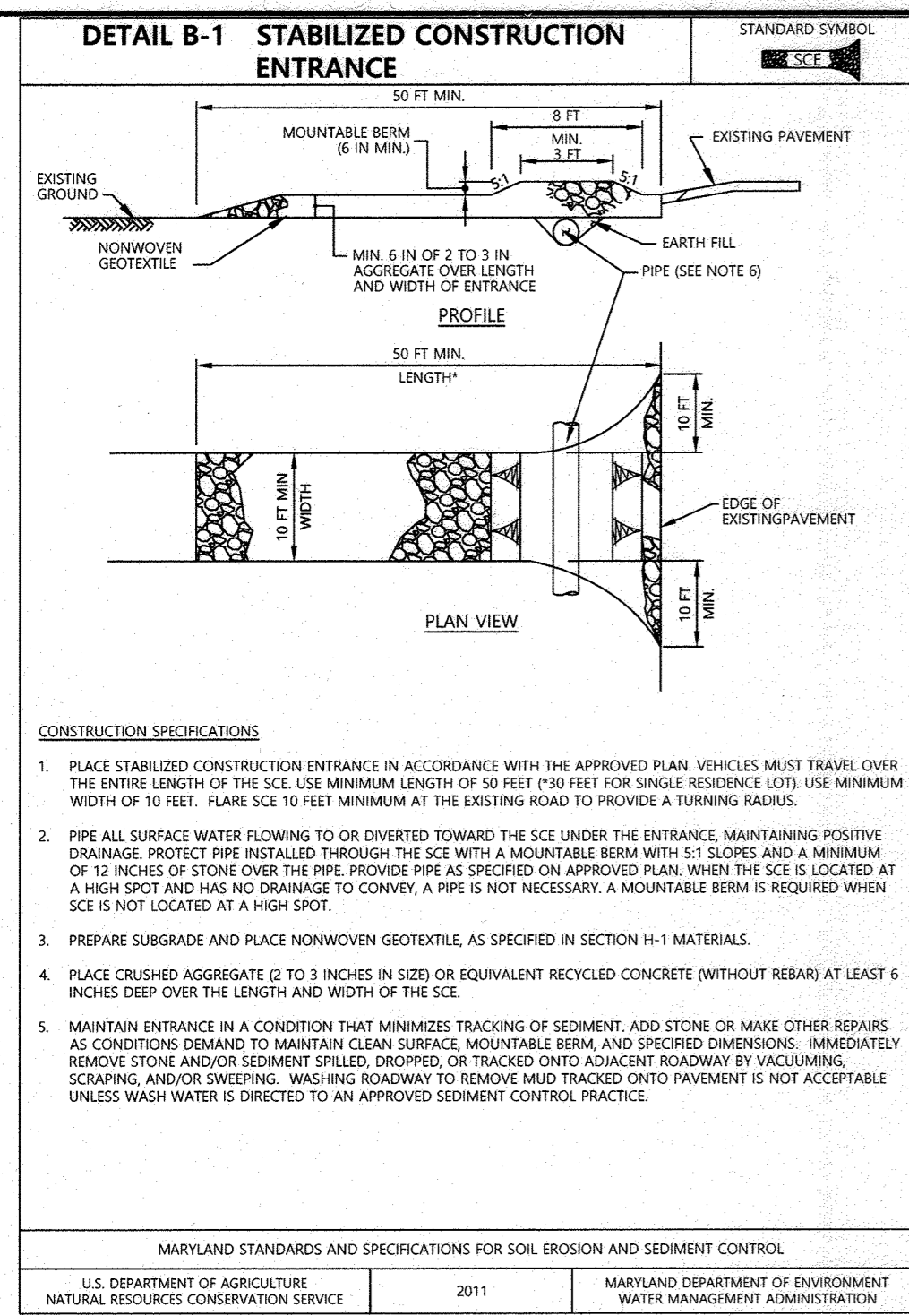
LIMIT OF DISTURBANCE: 45,450 SF / 1.04 AC ±  
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT  
*John K. Bluto*  
HOWARD SOIL CONSERVATION DISTRICT  
DATE: 10/1/20

SEC DRAINAGE AREA MAPS			
REVISED SITE DEVELOPMENT PLAN			
Des. By	PAB	SCALE: AS SHOWN	Proj. No. 19029.00
Drn. By	PAB	Date 04-02-2020	
Chk. By	RRP	Approved RRP	09 of 16

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APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
CHIEF, DEVELOPMENT ENGINEERING DIVISION 10/23/20  
CHIEF, DIVISION OF LAND DEVELOPMENT 11/1/20  
DIRECTOR 1-11-21

ALL UNDERLYING SOILS WITHIN LIMIT OF DISTURBANCE ARE URBAN LAND-UDORTHEMIS COMPLEX (UUB), 0 TO 8% SLOPES WHICH ARE HYDROLOGIC SOIL GROUP 'D'.



**NO ASBUILT INFORMATION**  
9/14/23

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

10/23/20  
DATE

11/1/23  
DATE

1-11-21  
DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

John R. Blanton  
HOWARD SOIL CONSERVATION DISTRICT

10/21/20  
DATE

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27020, EXPIRATION DATE: 01/25/22.

04-02-2020  
DATE

PROFESSIONAL ENGR. NO. 27020

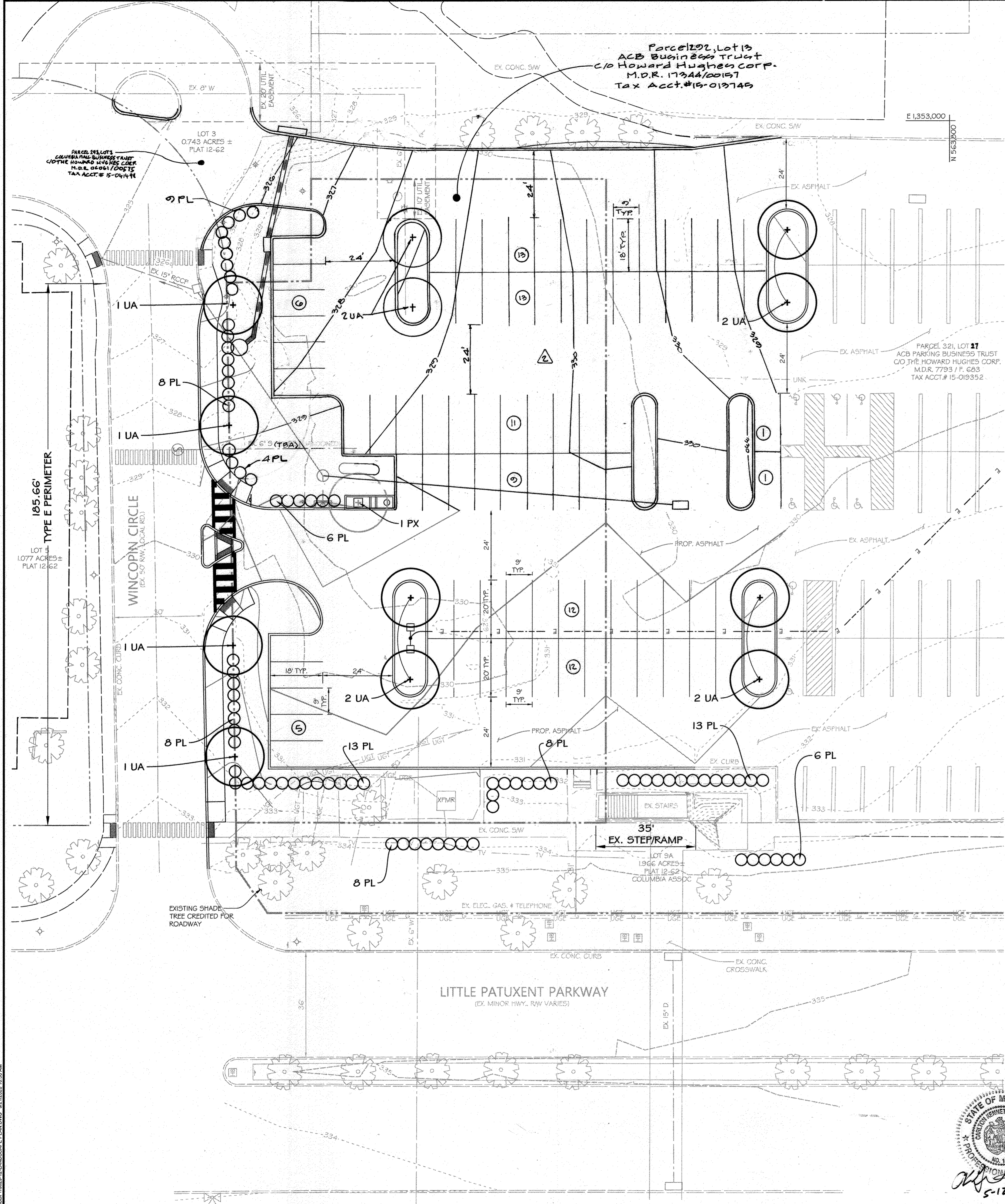
APPROVED:  
PLANNING BOARD OF HOWARD COUNTY

DATE: October 1, 2020

04/02/20	REPLACEMENT OF ORIGINAL SDP SET WITH TEMPORARY PARKING LOT DESIGN SET
Date	No. Revision Description
<b>TEMPORARY SURFACE LOT PARCEL 218, LOT 13 10227 WINCOPIN CIRCLE COLUMBIA, MD 21044</b>	
OWNER / DEVELOPER: AMERICAN CITY BUILDING BUSINESS TRUST C/O THE HOWARD HUGHES CORPORATION COLUMBIA REGIONAL OFFICE 10960 GRANTCHESTER WAY, SUITE 110 COLUMBIA, MD 21044 (410) 964-4800	
<b>DMW</b> DAFT McCUNE WALKER INC	
501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286 P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM	
SUBDIVISION NAME	COLUMBIA TOWN CENTER
SECTION/AREA	0001
LOT/PARCEL #	13/02298 & 17/0321
PLAN OR LOT	B-13-F-13
BLOCK #	36
TAX ZONE/APP	NT
SECT. DISTRICT	5-03
CENSUS TRACT	605402
WATER CODE	550
SEWER CODE	LITTLE PATUXENT
STAGE	1
TITLE	
<b>SEC DETAILS</b> REVISED SITE DEVELOPMENT PLAN	
Des. By	PAB SCALE: AS SHOWN Proj. No. 19029.00
Drn. By	PAB Date 04-02-2020
Chk. By	RRP Approved RRP 10 of 10

A:\102298\102298\DWG\SDP\SDP-69-904-10-SEC-DETAILS.DWG 02/10/2020 10:37 AM





**FLP PLANT SCHEDULE**

KEY	QTY	BOTANICAL/Common Name	PLANT SIZE	ROOT	REMARKS
<b>TREES</b>					
PX	1	Prunus x cistena / Purpleleaf Sand Cherry	2.5" cal.	B&B	Single Trunk Tree Form
UA	12	Ulmus americana 'Princeton' / Princeton American Elm	2.5" cal.	B&B	Locations Per Plan
	13	<b>Total</b>			
<b>SHRUBS</b>					
PL	83	Prunus laurocerasus 'Schipkaensis' / Cherry Laurel	30"	B&B/cont.	4' o.c.
	83	<b>Total</b>			

**SCHEDULE A**  
PERIMETER LANDSCAPE EDGE

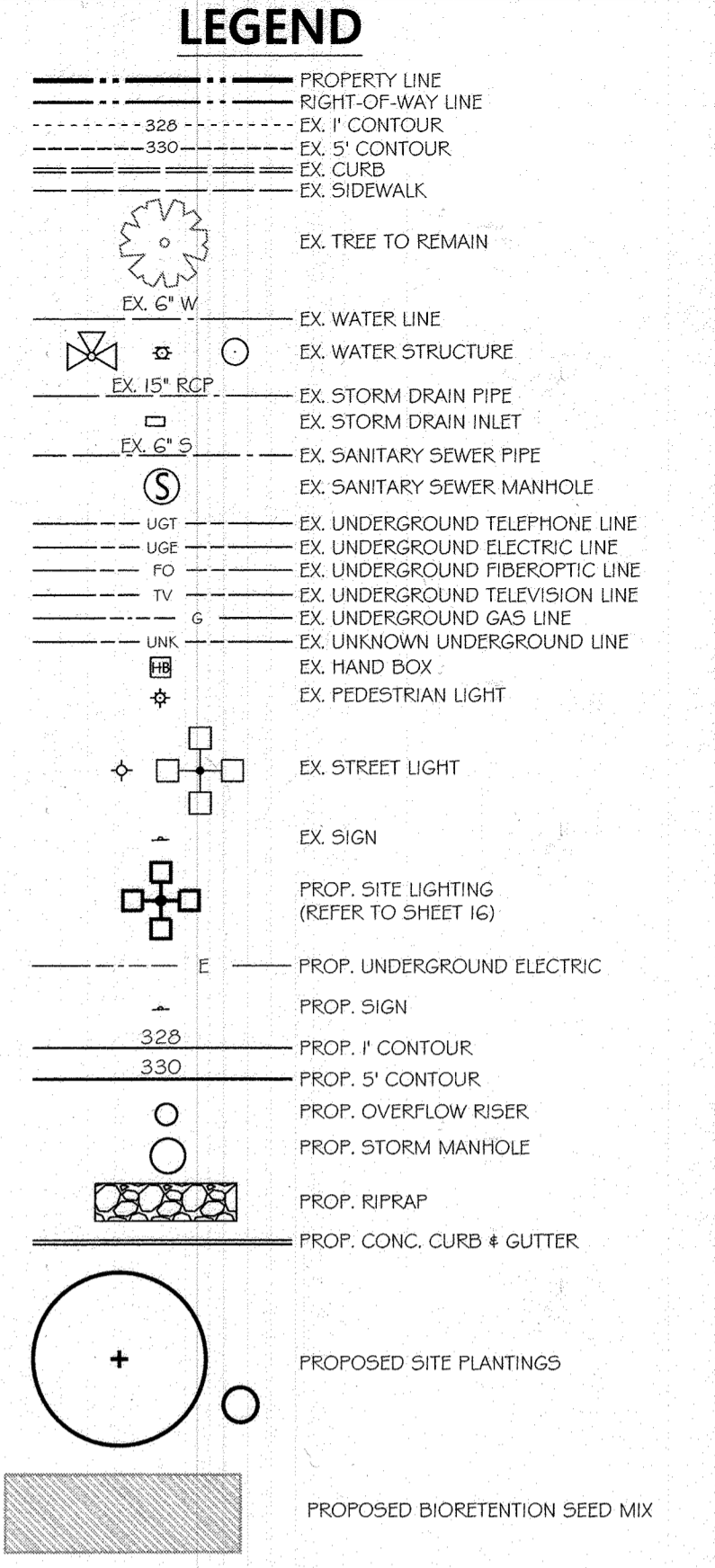
Category	Adjacent to Roadways	Adjacent to Perimeter Properties
Landscape Type	E	A
Linear Feet of Roadway Frontage/ Perimeter	185 + 180 = 365	144
Credit for Existing Vegetation (Yes, No, Linear Feet)	Yes, 1 existing trees to remain	Yes, credit for 24 large existing trees
Credit for Existing Screen Wall, Steps, and Ramp	No	
Number of Plants Required:		
Shade Trees (1:40)	5	10
Evergreen Trees	0	0
Shrubs (1:4) 230-35=195	47	36
Number of Plants Provided:		
Shade Trees	4	24 Existing
Evergreen Trees	0	
Shrubs	63	Credit For Shade Trees
Other Trees (2:1 sub.)	0	

**SCHEDULE B**  
PARKING LOT INTERNAL LANDSCAPING

Number of Parking Spaces	83
Number of Trees Req'd (1sh/20sp.)	5.00
Number of Plants Required:	
Shade Trees	5.00
Evergreen Trees	0
Shrubs	0
Number of Plants Provided:	
Shade Trees	8
Evergreen Trees	0
Shrubs	6
Other Trees (2:1 sub.)	0

**TOTAL**

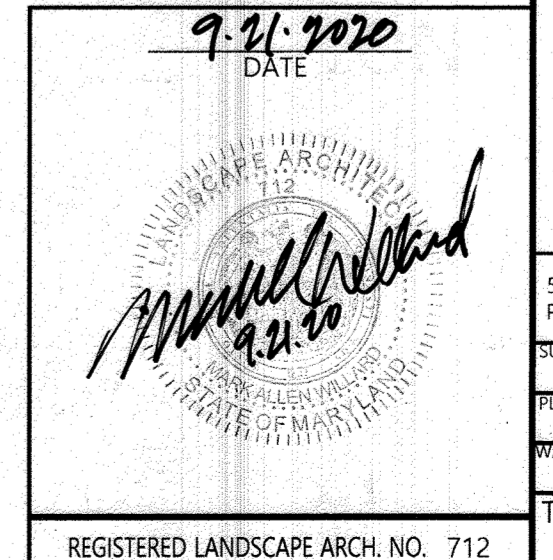
Number of Plants :	Provided	Req'd
Shade Trees	12	5
Evergreen Trees	0	
Shrubs	63	83
Other Trees (2:1 sub.)	0	24 Ex. Trees to Remain



- PLANTING PLAN NOTES:**
- VERIFY LOCATION OF ALL EXISTING AND PROPOSED UTILITIES AND SITE FEATURES PRIOR TO CONSTRUCTION AND PLANT INSTALLATION.
  - CONTRACTOR TO REVIEW FINAL LIGHTING PLAN PRIOR TO CONSTRUCTION AND ADJUST PLANTING CONFLICTS ACCORDINGLY.
  - ALL PLANT LOCATIONS TO BE APPROVED BY DMW PRIOR TO INSTALLATION.
  - ALL GROUNDCOVER, PERENNIAL, AND SHRUB PLANTING BEDS SHALL BE EXCAVATED TO DEPTHS SPECIFIED IN THE PLANTING DETAILS AND THE PLANTING SOIL MIX SHALL BE USED TO BACKFILL ALL PLANTING BEDS.
  - ALL EXISTING PLANTING WITHIN LOD TO BE REMOVED UNLESS OTHERWISE NOTED.
  - REFER TO SWM PLANS FOR SWM PLANTING
  - REFER ARCHITECTURE PLANS FOR SIGNAGE LOCATIONS
  - EXISTING SITE LIGHTING TO REMAIN PER PLAN. NO NEW SITE LIGHTING IS PROPOSED.
  - ALL AREAS NOT SHOWN AS PAVED OR PLANTED SHALL BE SEEDDED WITH TURFGRASS PER SPECIFICATIONS.
- STANDARD LANDSCAPE NOTES:**
- AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
  - THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
  - THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL WITH 12 SHADE TREES, 0 ORNAMENTAL TREES, 0 EVERGREEN TREES, AND 83 SHRUBS PROVIDED WITH LANDSCAPE SURETY IN THE AMOUNT OF \$6,510 WITH THE DPW, DEVELOPER'S AGREEMENT.

**NO ASBUILT INFORMATION**  
9/14/23

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 712. EXPIRATION DATE: 11/10/21.



**CERTIFICATION NOTE:**

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE LAKEFRONT REDEVELOPMENT DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION OF A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER/OWNER'S NAME: GREG FITCHETT - REGIONAL PRESIDENT

DEVELOPER/OWNER'S NAME: [Signature]

**06/12/22** **ADDED PHASE 2 PARKING LOT AND REVISED LANDSCAPING**

Date	No.	Revision Description
04/02/20		REPLACEMENT OF ORIGINAL SDP SET WITH TEMPORARY PARKING LOT DESIGN SET

**TEMPORARY SURFACE LOT**  
**PARCEL 298, LOT 13 10227 WINCOPIN**  
**CIRCLE COLUMBIA, MD 21044**

**OWNER / DEVELOPER:**  
AMERICAN CITY BUILDING BUSINESS TRUST  
C/O THE HOWARD HUGHES CORPORATION  
COLUMBIA REGIONAL OFFICE  
10960 GRANTCHESTER WAY, SUITE 110  
COLUMBIA, MD 21044  
(410) 964-4800

**DMW**  
DAFT MCCUNE WALKER INC

501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286  
P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL #
COLUMBIA TOWN CENTER	0001	13/0298 & 17/0321

PLAT OR LOT: B 13 & 13 BLOCK # ZONE TAX ZONE/ADAP DISTRICT PERMISS. TRACT  
8 13 & 13 NT 36 5-03 605402

WATER CODE: 550 SEWER CODE: LITTLE PATUXENT STAGE: 1

**LANDSCAPE PLAN**  
**REVISED SITE DEVELOPMENT PLAN**

Des. By	SCALE:	Proj. No.
PAB	1"=20'	19029.00
Drn. By	Date	
PAB	04-02-2020	
Chk. By	Approved	
RRP	RRP	12 of 16

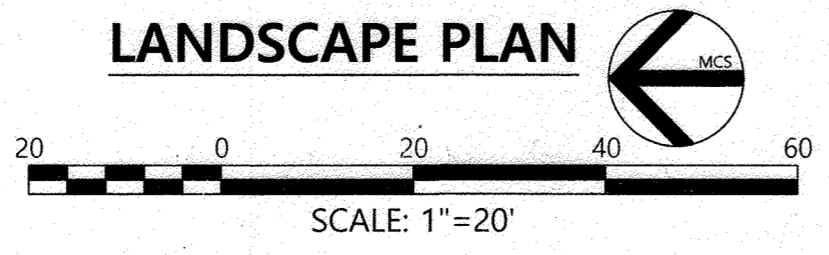
SDP-69-904

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION: [Signature] 10/23/20 DATE

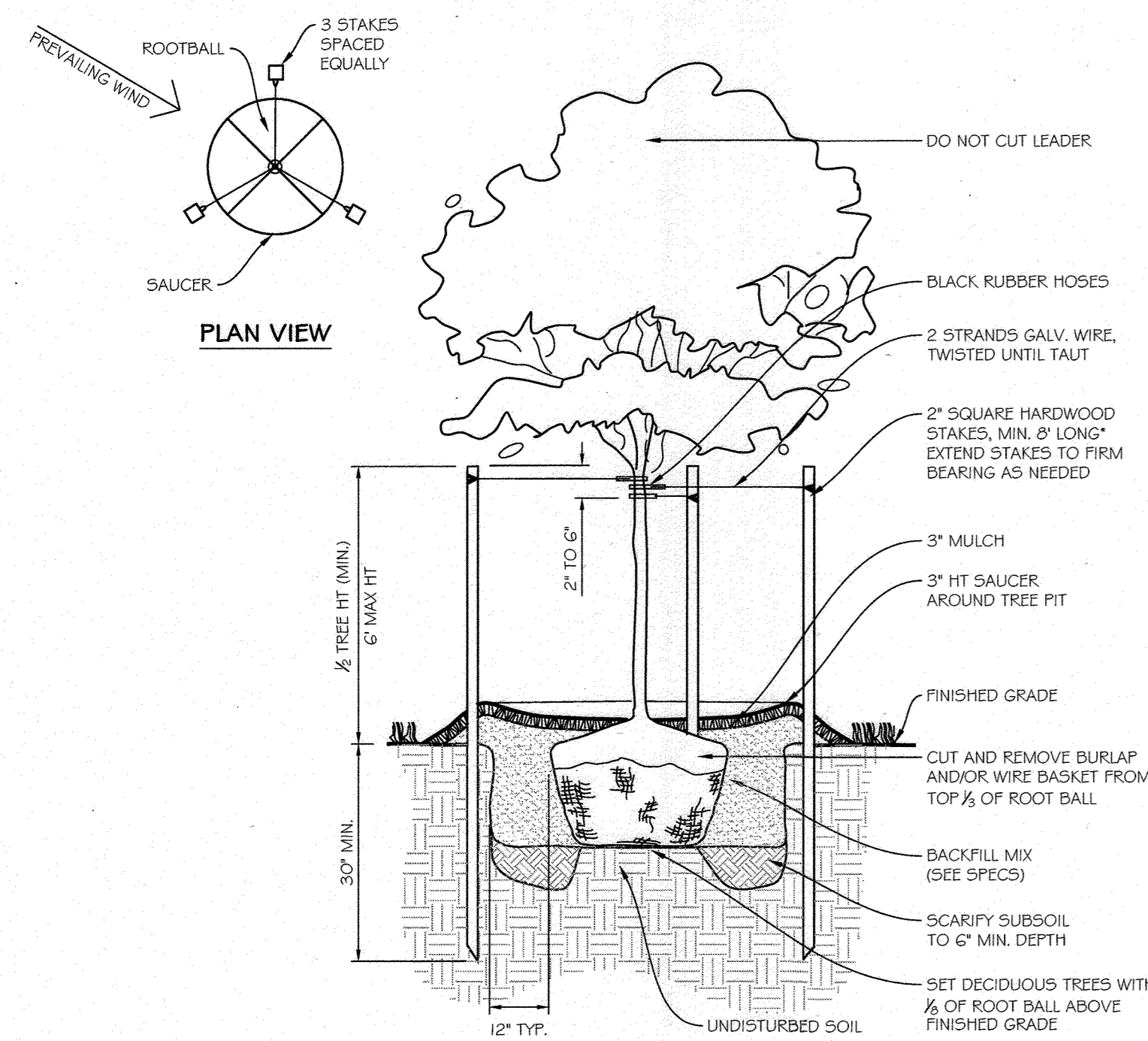
CHIEF, DIVISION OF LAND DEVELOPMENT: [Signature] 11/13 DATE

DIRECTOR: [Signature] 1-11-21 DATE

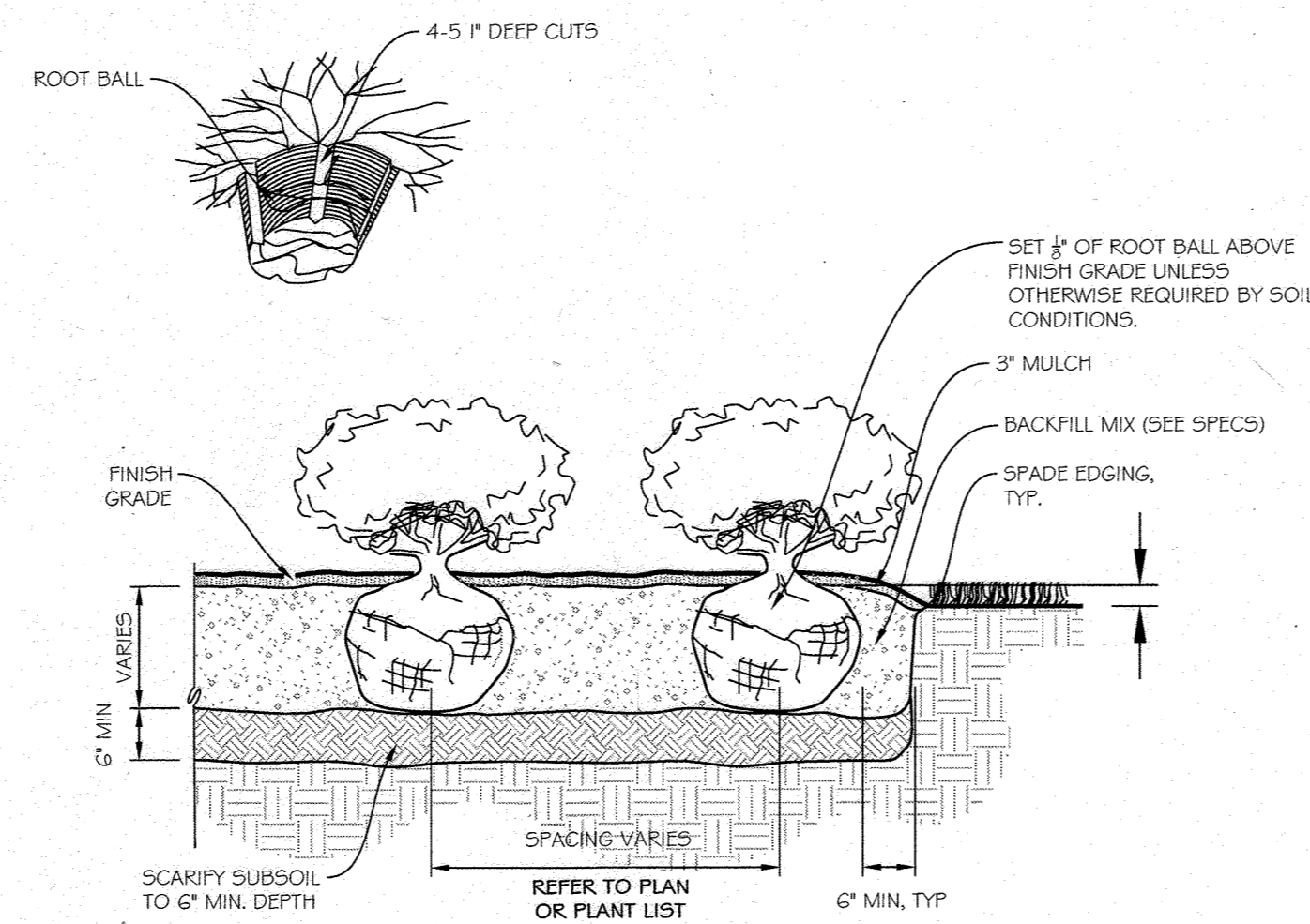


**Professional Certification**  
I hereby certify that these plans were prepared or approved by me and that I am a duly licensed Professional Engineer under the laws of the State of Maryland License No. 12975 Expiration Date: May 26, 2024

Certification For Revision 2 only



**1 DECIDUOUS TREE PLANTING**  
NOT TO SCALE



- NOTES:
- FOR CONTAINER SHRUBS, COMPLETELY REMOVE ALL NON-BIODEGRADABLE CONTAINERS AND SCARIFY ROOTBALL BY USING A SHARP BLADE AND MAKING 4 TO 5 ONE INCH CUTS THE LENGTH OF THE ROOTBALL.
  - FOR B&B SHRUBS, CUT AND REMOVE BURLAP FROM TOP 1/3 OF ROOT BALL.

**2 SHRUB PLANTING**  
NOT TO SCALE

**CERTIFICATION NOTE:**

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE LAKEFRONT REDEVELOPMENT DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER/SOWNER'S NAME  
GREG FITCHITT - REGIONAL PRESIDENT

DEVELOPER/SOWNER'S NAME  
*[Signature]*

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION *[Signature]* 10/20/20 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT *[Signature]* 11/17/20 DATE

DIRECTOR *[Signature]* 1-11-2021 DATE

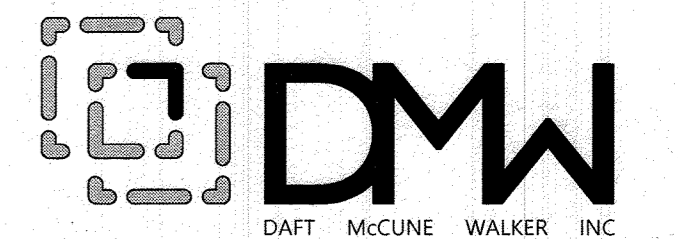
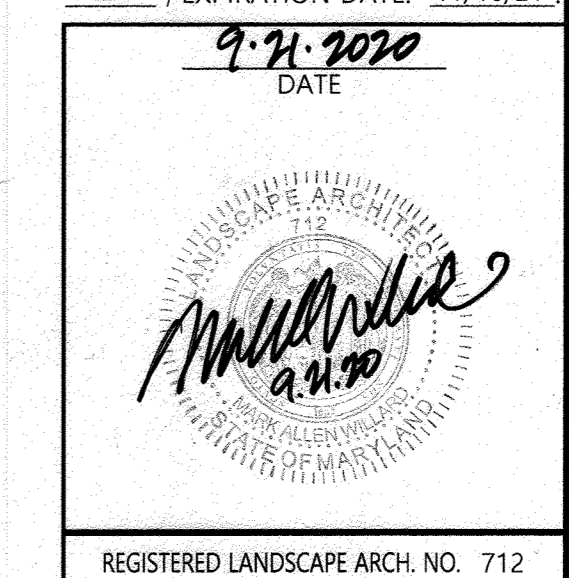
**NO ASBUILT INFORMATION**  
9/14/23

04/02/20	REPLACEMENT OF ORIGINAL SDP SET WITH TEMPORARY PARKING LOT DESIGN SET
Date	Revision Description

**TEMPORARY SURFACE LOT  
PARCEL 298, LOT 13 10227 WINCOPIN  
CIRCLE COLUMBIA, MD 21044**

**OWNER / DEVELOPER:**  
AMERICAN CITY BUILDING BUSINESS TRUST  
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COLUMBIA, MD 21044  
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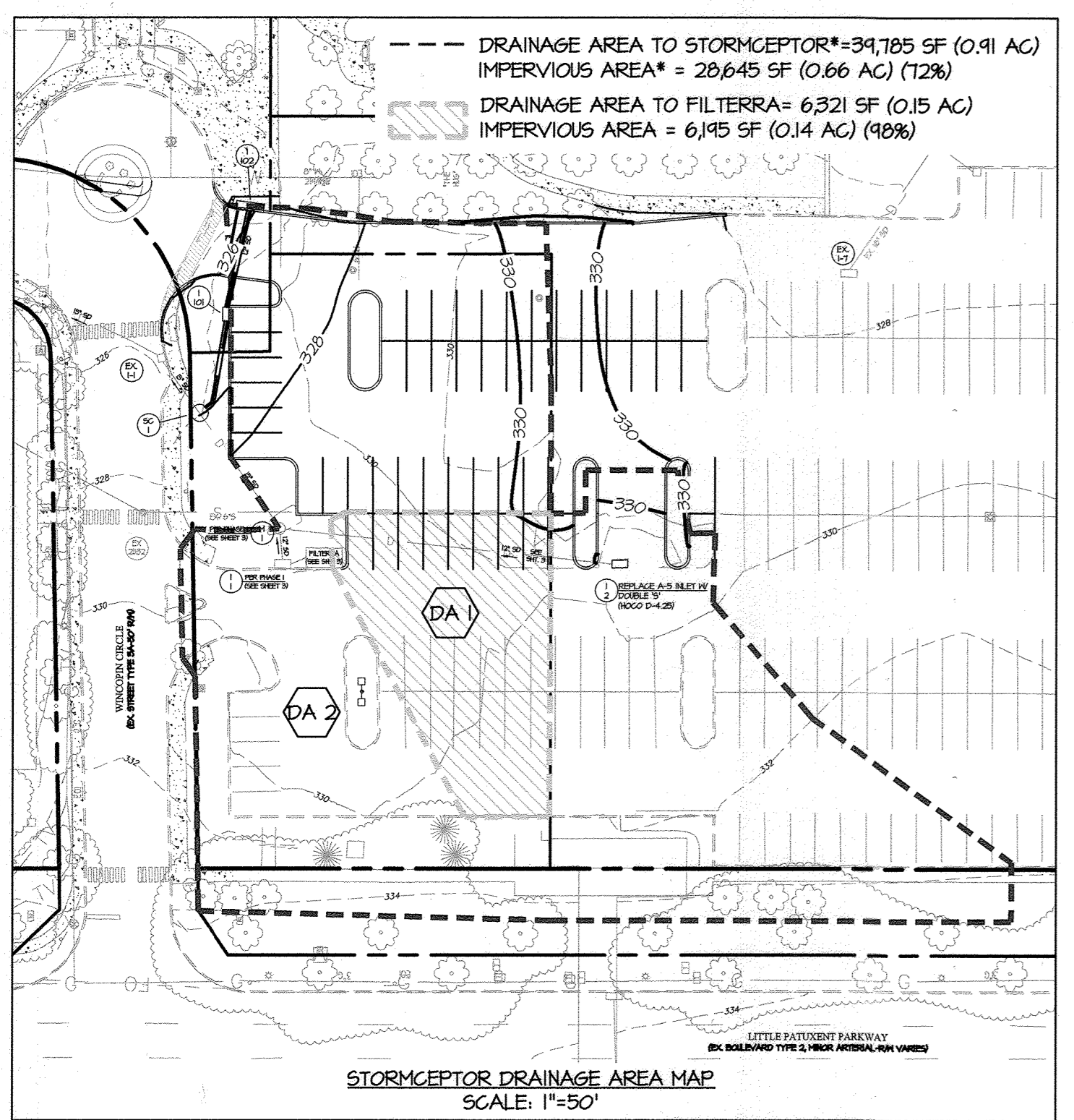
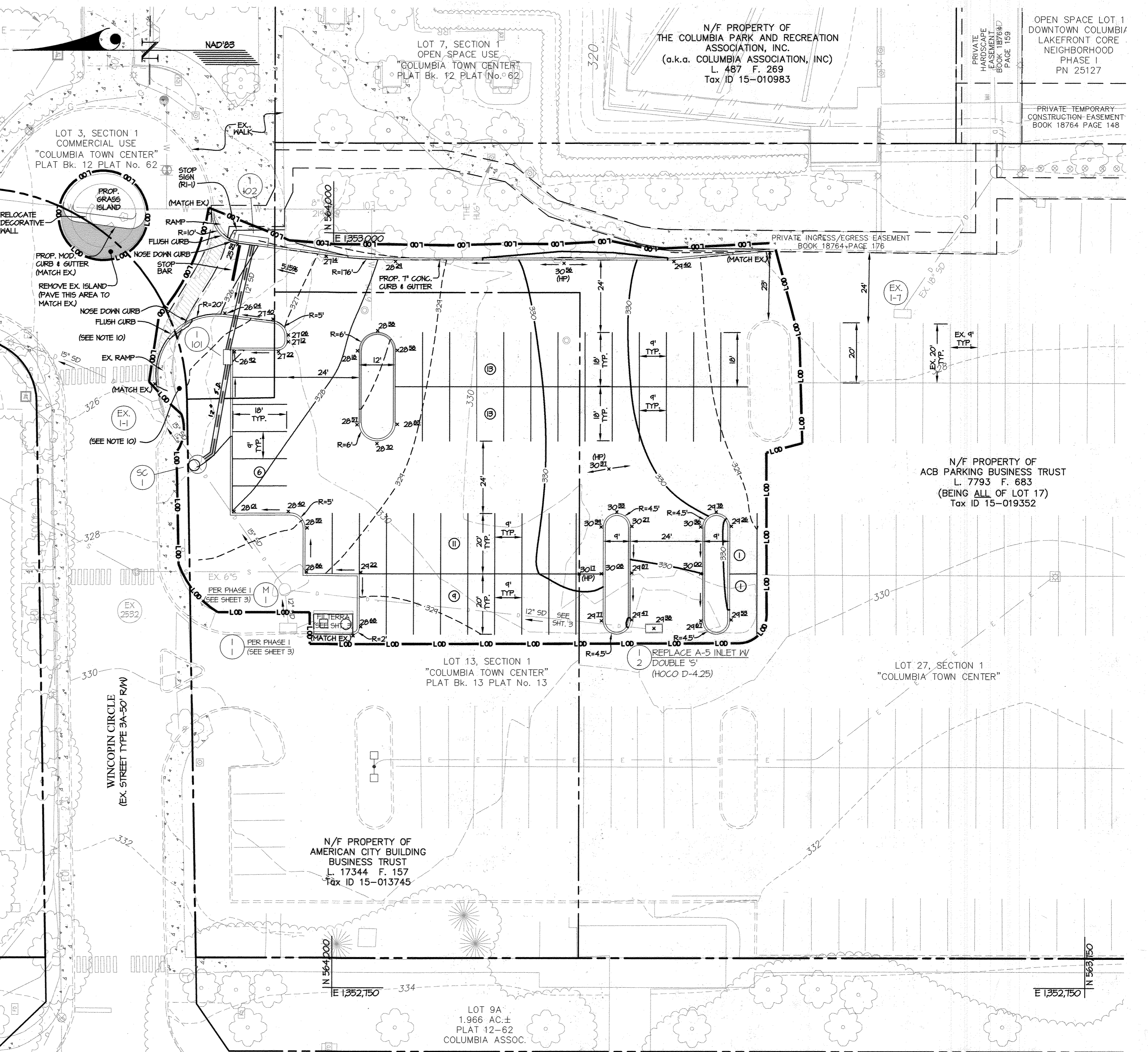
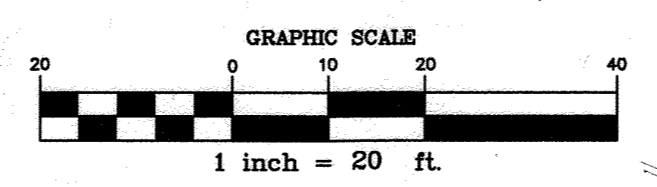
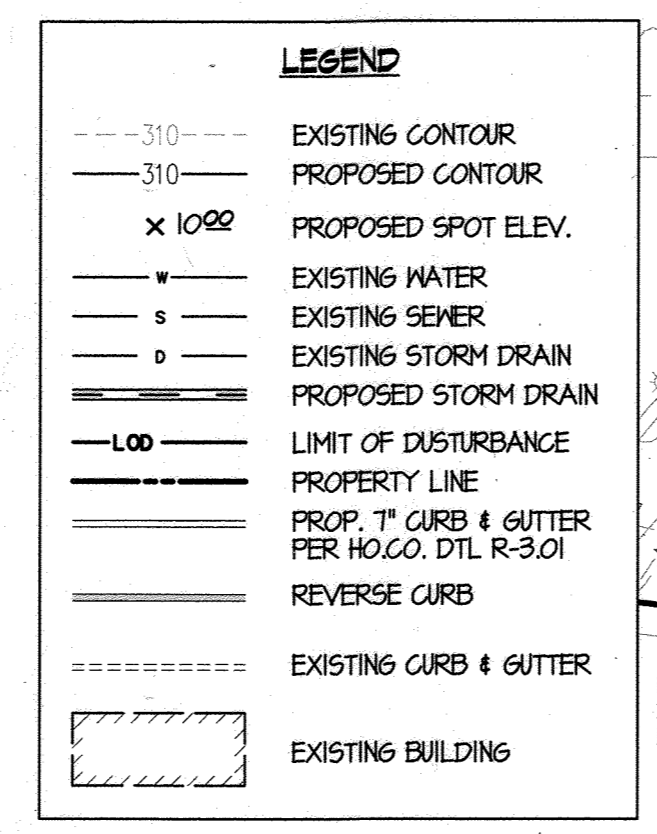
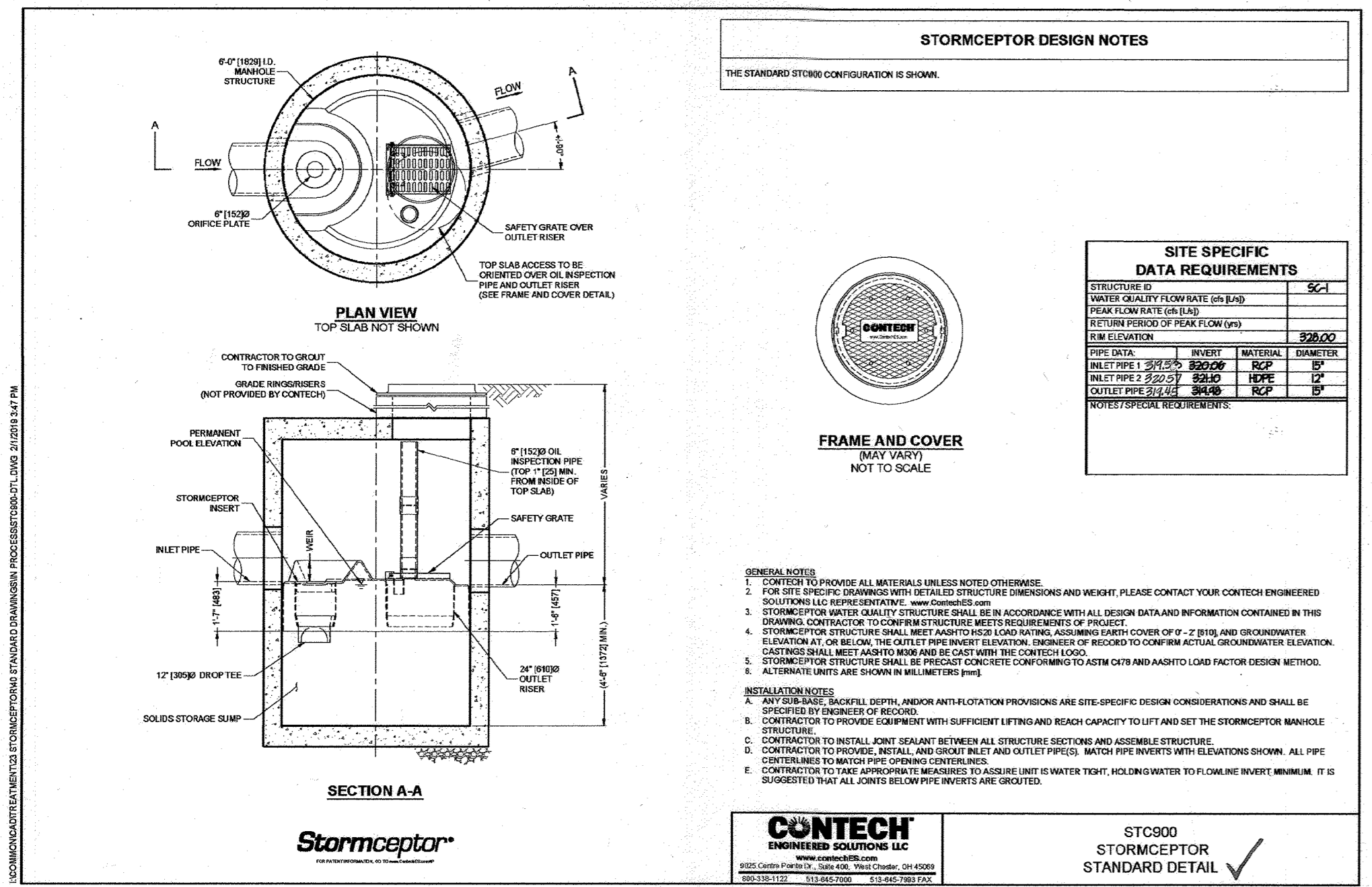
501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286  
P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM

SUBDIVISION NAME	COLUMBIA TOWN CENTER	SECTION/AREA	0001	LOT/PARCEL #	13/0298 & 17/0321
PLAN# OR LY	B-13-F-13	BLOCK #	36	FAX ZONE/MAP	5-03
WATER CODE	550	SEWER CODE	LITTLE PATUXENT	STAGE	1

LANDSCAPE DETAILS			
REVISED SITE DEVELOPMENT PLAN			
Des. By	PAB	SCALE:	Proj. No. 19029.00
Drn. By	PAB	Date	04-02-2020
Chk. By	RRP	Approved	RRP
			13 of 16

APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: October 1, 2020





**STORMCEPTOR OPERATION AND MAINTENANCE**  
 PRIVATELY OWNED AND MAINTAINED STORMCEPTOR WATER QUALITY DEVICE

- THE OWNER SHALL INSPECT THE STORMCEPTOR UNIT YEARLY AT A MINIMUM. THE INLET AND OUTLET PIPES SHALL BE CHECKED FOR ANY OBSTRUCTIONS. STRUCTURAL PARTS SHALL BE REPAIRED OR REPLACED AS NEEDED. THE STORMCEPTOR SHALL BE CLEANED IMMEDIATELY AFTER PETROLEUM SPILLS. THE STORMCEPTOR INITIAL PRE-CLEANING INSPECTION SHALL BE PERFORMED BY USING A GRADE STICK OR SIMILAR DEVICE. IF THE MEASUREMENT SHOWS MORE THAN 6 INCHES OF SEDIMENT, THEN THE UNIT IS TO BE CLEANED OUT WITH A VACUUM TRUCK. THE SUBSEQUENT STRUCTURAL CONFINED SPACE INSPECTION WILL INSURE THE INFALL AND OUTFALL PIPES ARE ACCEPTABLE ALONG WITH OTHER COMPONENT PARTS OF THE STORMCEPTOR.
- EVERY 3 YEARS THEREAFTER THERE WILL BE AN ABOVEGROUND PRE-CLEANING INSPECTION. AFTER THIS INSPECTION, THE STORMCEPTOR MANUFACTURER'S GENERAL GUIDELINES WILL DETERMINE CLEAN OUT DEPTH.
- THE MAINTENANCE OF THE STORMCEPTOR UNIT SHALL BE DONE USING A VACUUM TRUCK WHICH WILL REMOVE THE WATER, SEDIMENT DEBRIS, FLOATING CARBONS AND OTHER MATERIAL IN THE UNIT.
- ALL SPOILS/DEBRIS FROM THE STORMCEPTOR SHALL BE HAULED TO AN APPROVED MARYLAND DEPARTMENT OF THE ENVIRONMENT DISPOSAL SITE. ORIGINAL TRIP TICKETS, WITH THE SITE DESCRIPTION, WILL BE REQUIRED AND SHALL BE MAILED TO THE BUREAU OF ENVIRONMENTAL SERVICES ATTENTION JOHN SLATER.

STORMWATER MANAGEMENT REQUIREMENTS				
STUDY AREA:	44,866 SF			
EX IMPERVIOUS AREA:	33,603 SF			
(PER DPZ LETTER DATED APRIL 8, 2011, ALL OF DOWNTOWN COLUMBIA QUALIFIES FOR REDEVELOPMENT)				
PROPOSED IMPERVIOUS AREA:	36,718 SF			
NET IMPERVIOUS:	+3,045 SF			
SITE IS 100% D SOILS. TARGET P <sub>6</sub> FOR NEW IMPERVIOUS IS 2.0"				
ESDV REQUIREMENT = 50% * 33,603 SF = 1,333 CF (1" TREATMENT) + 3,045 SF (2.0" TREATMENT) = 442 CF = 1,225 CF				
STORMWATER MANAGEMENT PROVIDED BY DEVICE				
FILTERRA (M-6):	508 CU-FT			
STORMCEPTOR STC 1200 (M-6):	1,333 CU-FT*			
<b>TOTAL:</b>	<b>1,823 CU-FT</b>			
ESD SUMMARY TABLE				
AREA NO.	AREA (SF)	IMPERVIOUS	ESDV (CF)	P <sub>6</sub> PROVIDED
DA 1	6,420	100%	508	1.00"
DA 2	34,666*	72%	1,333*	1.00"
<b>TOTAL</b>	<b>46,106</b>	<b>75%</b>	<b>1,823</b>	<b>---</b>
* MAXIMUM STORMCEPTOR ESD				
** FOR STORMWATER MANAGEMENT CREDIT PURPOSES, THE DRAINAGE AREA TO THE FILTERRA HAS BEEN DISCOUNTED FROM THE STORMCEPTOR DRAINAGE AREA. STORMCEPTOR MODEL SIZING BASED ON FULL DRAINAGE AREA TO THE DEVICE 46,106 SF TOTAL, 34,580 SF IMPERVIOUS (75%)				

\* FOR STORMWATER MANAGEMENT CREDIT PURPOSES, THE DRAINAGE AREA TO THE FILTERRA HAS BEEN DISCOUNTED FROM THE STORMCEPTOR DRAINAGE AREA. STORMCEPTOR MODEL SIZING BASED ON FULL DRAINAGE AREA TO THE DEVICE (46,106 SF TOTAL, 34,580 SF IMPERVIOUS (75%))

**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**  
 Date: **OCTOBER 1, 2020**

SEE SHEET 1, NOTE 3)

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: **6/07/22**

Chief, Division of Land Development: *[Signature]* Date: **6/27/22**

Chief, Development Engineering Division: *[Signature]* Date: **6/8/22**

**NOTES:**

- FOR PROPERTY LINE BEARINGS AND DISTANCES, SEE SHEET 3.
- TOPOGRAPHIC INFORMATION SHOWN REFLECTS TOPOGRAPHIC SURVEY PERFORMED BY GLW IN 12/2021 AS WELL AS TOPOGRAPHIC SURVEY PERFORMED BY DMJ, INC. ON AUGUST 21, 2014.
- TOTAL LIMIT OF DISTURBANCE FOR PHASE 2 PARKING LOT = 25,450 SF
- ALL PROPOSED PAVEMENT TO BE TYPE P-1 PER H.O.C.O. STANDARD DETAIL R-2.01.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY (DESIGN MANUAL, VOL. IV) PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- ALL SPOT ELEVATIONS ARE TO FLOW LINE UNLESS OTHERWISE NOTED.
- SEE SHEET 4 FOR ALL DETAILS NOT SHOWN ON THIS SHEET.
- SEE SHEET 5 FOR STORM DRAIN PROFILES.
- SEE SHEET 12 FOR LANDSCAPING PLAN.
- HOWARD COUNTY HIGHWAYS TO DETERMINE IF A STOP SIGN IS NEEDED FOR SOUTHBOUND WINCOPIN. DETERMINATION WILL BE MADE AFTER CONSTRUCTION IS COMPLETE. CONTACT PARIS ZIRKENBACH AT 410-313-5152 PRIOR TO INSTALLING ANY SIGNS.

**AS-BUILT CERTIFICATION**  
 I HEREBY CERTIFY, BY MY SEAL, THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THE FACILITIES SHOWN ON THIS PLAN WERE CONSTRUCTED AS SHOWN ON THIS "AS-BUILT" PLAN MEET OR APPROVED THE APPROVED PLANS AND SPECIFICATIONS. THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO.: 12975, EXPIRATION DATE: MAY 26, 2024  
 DATE OF SURVEY: AUGUST, 2023

*[Signature]* 9/14/23  
 CARLTON K. GITSCHICK  
 PROFESSIONAL ENGINEER  
 MARYLAND REG. NO. 12975

**GLW**  
 PLANNING | ENGINEERING | SURVEYING

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM  
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	DDS
DRAWN BY:	AWL
CHECKED BY:	CKG
DATE:	05/02/22
REVISION:	ADDED SHEET 15 TO SET TO SHOW PHASE 2 PARKING LOT
DATE:	5/9/22
REVISION:	

**OWNER/DEVELOPER**  
 AMERICAN CITY BUILDING BUSINESS TRUST  
 C/O THE HOWARD HUGHES CORPORATION  
 10960 GRANTCHESTER WAY, SUITE 110  
 COLUMBIA, MD 21044  
 410-964-4800

**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 12975  
 EXPIRATION DATE: MAY 26, 2024

*[Signature]* 5/9/22  
 CARLTON K. GITSCHICK  
 PROFESSIONAL ENGINEER  
 MARYLAND REG. NO. 12975

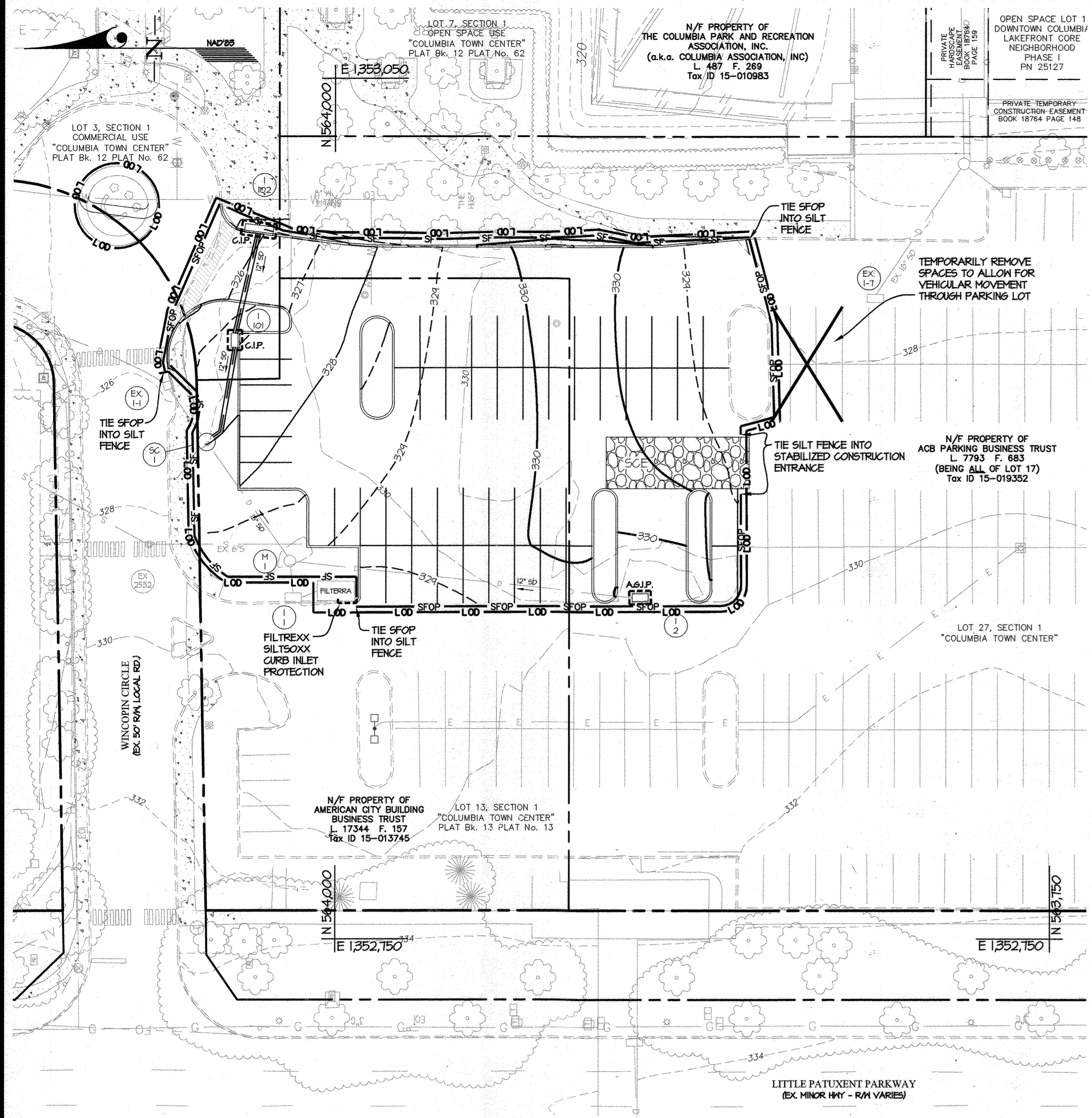
**SITE DEVELOPMENT PLAN - PHASE 2 PARKING LOT**

**TEMPORARY SURFACE LOT**  
**PARCEL 298, LOT 13**  
**10227 WINCOPIN CIR. COLUMBIA, MD 21044**

ELECTION DISTRICT No. 5

SCALE	1"=20'	ZONING	NT	G. L. W. FILE NO.	18047
DATE	AUG. 2023	TAX MAP - GRID	36	SHEET	15 OF 16
MAY, 2022		AS-BUILT SHIT: 6 OF 16		SDP-69-904	

L:\CADD\WORKBOOKS\18047\18047-SDP-06-06-2023-SHEET 15 (NEW).dwg  
 PLOTTED: 4/20/2023 10:45:45 AM BY: J. G. [Signature]  
 © GLW 2021



**LEGEND**

- 310--- EXISTING CONTOUR
- - - - - PROPOSED CONTOUR
- W --- EXISTING WATER
- S --- EXISTING SEWER
- D --- EXISTING STORM DRAIN
- P --- PROPOSED STORM DRAIN
- L --- PROPERTY LINE
- P.1 --- PROP. 1" CURB & GUTTER PER H.O.G.O. DTL. R-3.01
- G.1 --- EXISTING CURB & GUTTER
- [Hatched Box] EXISTING BUILDING
- SFOP --- SILT FENCE ON PAVEMENT
- SF --- SILT FENCE
- [Box with A&G.P.] AT-GRADE INLET PROTECTION (MDE DETAIL E-4-2)
- [Box with G.P.] CURB INLET PROTECTION (MDE DETAIL E-4-3)
- L.O.D. --- LIMIT OF DISTURBANCE

**GENERAL NOTES:**

- FOR SEDIMENT CONTROL DETAILS NOT SHOWN ON THIS SHEET, SEE SHEET 10
- FOR UTILITY CONSTRUCTION NOTES AND DAILY STABILIZATION NOTES, SEE SHEET 8

**GRAPHIC SCALE**  
1 inch = 30 ft.

**DETAIL E-9-2 AT-GRADE INLET PROTECTION**

STANDARD SYMBOL: [Box with A&G.P.]

MAXIMUM DRAINAGE AREA = 1 ACRE

**PLAN / CUT AWAY VIEW**

**CROSS SECTION**

**CONSTRUCTION SPECIFICATIONS**

- USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
- LIFT GRATE AND WRAP WITH NONWOVEN GEOTEXTILE TO COMPLETELY COVER ALL OPENINGS. SECURE WITH WIRE TIES AND SET GRATE BACK IN PLACE.
- PLACE CLEAN ¾ TO 1½ INCH STONE OR EQUIVALENT RECYCLED CONCRETE 6 INCHES THICK ON THE GRATE.
- STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOSING. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOSED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
--	------	---

- SEQUENCE OF CONSTRUCTION**
- OBTAIN A GRADING PERMIT FOR THE PROPOSED WORK. NOTIFY THE HOWARD COUNTY DEPARTMENT OF LICENSES AND PERMITS (DLPP) AT LEAST 48 HOURS PRIOR TO BEGINNING WORK (2 DAYS)
  - INSTALL THE STABILIZED CONSTRUCTION ENTRANCE (SCE) AND PERIMETER CONTROLS: SILT FENCE (SF), FILTER SOCK ON FILTERRA, AND SILT FENCE ON PAVEMENT (SFOP) AS SHOWN ON THE PLANS (5 DAYS)
  - IF NECESSARY, AN ON-SITE STOCKPILE AREA WILL BE LOCATED WITHIN THE LIMIT OF DISTURBANCE WITH THE COORDINATION AND DISCRETION OF THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR AND THE GENERAL CONTRACTOR.
  - BEGIN GRADING SITE TO GRADES SHOWN ON THESE PLANS, MAKING SURE TO ACCOUNT FOR THE PAVEMENT SECTION. ALL SPOIL WILL NEED TO BE TAKEN TO A SITE WITH AN APPROVED OPEN GRADING PERMIT AND AN APPROVED SEDIMENT CONTROL PLAN. (4 WEEKS)
  - INSTALL PROPOSED STORMCEPTOR, STORM DRAIN SYSTEMS AND LIGHTING/ELECTRIC AS SHOWN ON THESE PLANS. AS SOON AS INLETS ARE INSTALLED, IMMEDIATELY INSTALL INLET PROTECTION (1 WEEK)
  - INSTALL CURB AND GUTTER AND ASPHALT PAVEMENT SECTION. AFTER THESE ITEMS ARE INSTALLED, RELOCATE PERIMETER CONTROLS AS NEEDED. (4 WEEKS)
  - NOTE: STEPS 5 AND 6 MAY BE DONE CONCURRENTLY
  - INSTALL SITE AND STORMWATER PLANTINGS PER LANDSCAPE PLANS PROVIDED IN THIS SET (2 WEEKS)
  - ONCE THE STORMWATER MANAGEMENT FACILITIES' CONTRIBUTING DRAINAGE AREA IS PERMANENTLY STABILIZED, REMOVE FILTER SOCK AND INLET PROTECTION ON INLETS (2 DAYS)
  - REMOVE ANY REMAINING CONTROLS AND IMMEDIATELY STABILIZE/REPAIR THOSE AREAS DISTURBED BY THEIR REMOVAL (3 DAYS)

- SEDIMENT CONTROL NOTES**
- A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID), 410-964-4800 AFTER THE FUTURE LOD AND PROTECTED AREAS ARE MARKED CLEARLY IN THE FIELD. A MINIMUM OF 48 HOURS NOTICE TO CID MUST BE GIVEN AT THE FOLLOWING STAGES:
    - PRIOR TO THE START OF GRADE DISTURBANCE
    - UPON COMPLETION OF THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.
    - PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR OPENING OF ANOTHER GRADING UNIT.
    - PRIOR TO THE REMOVAL OR MODIFICATION OF SEDIMENT CONTROL PRACTICES.
  - OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE. OTHER RELATED STATE AND FEDERAL PERMITS SHALL BE REFERENCED TO, ENSURE COORDINATION AND TO AVOID CONFLICTS WITH THIS PLAN.
  - ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THEREIN.
    - FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
      - 3 CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SHALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) AND
      - 7 CALENDAR DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE AREAS UNDER ACTIVE GRADING.
  - ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR TOPSOIL (SEC. B-4-2), PERMANENT SEEDING (SEC. B-4-5), TEMPORARY SEEDING (SEC. B-4-4) AND MULCHING (SEC. B-4-3). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES IF THE GROUND FROZEN. INCREMENTAL STABILIZATION (SEC. B-4-1) SPECIFICATIONS SHALL BE ENFORCED IN AREAS WITH 15' OF CUT AND/OR FILL. STOCKPILES (SEC. B-4-8) IN EXCESS OF 20 FT. MUST BE BENCHED WITH STABLE OUTLET. ALL CONCENTRATED FLOW, STEEP SLOPE, AND HIGHLY ERODIBLE AREAS SHALL RECEIVE SOIL STABILIZATION MATING (SEC. B-4-6).
  - ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE CID.
  - SITE ANALYSIS:
 

TOTAL AREA OF SITE	: 0.61 AC.
AREA DISTURBED	: 0.61 AC.
AREA TO BE ROOFED OR PAVED	: 0.41 AC.
AREA TO BE VEGETATIVELY STABILIZED	: 0.24 AC.
TOTAL CUT	: 1000 ± CY
TOTAL FILL	: 100 ± CY
OFF-SITE WASTE/BORROW	: A SITE WITH AN ACTIVE GRADING PERMIT
AREA LOCATION	

**ENGINEER'S CERTIFICATE**

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Carl Gutschick* 5/9/22  
ENGINEER'S SIGNATURE DATE  
CARL GUTSCHICK (215 P.E.)  
PRINTED NAME MD REGISTRATION NO.

THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Alexandra Bratchi* 06/02/22  
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED  
PLANNING BOARD OF HOWARD COUNTY

Date: OCTOBER 1, 2020

SEE SHEET 1, NOTE 31

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*John Goss* 6/27/22  
Director Date  
Chief, Division of Land Development 6/27/22 Date  
*John P.H.* 6/27/22 Date  
Chief, Development Engineering Division

**DEVELOPER'S/BUILDER'S CERTIFICATE**

I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

*W. T. Rowe* 5-3-2022  
SIGNATURE OF DEVELOPER/BUILDER DATE  
*W. T. Rowe SVP*  
PRINTED NAME & TITLE

**GLW**  
PLANNING | ENGINEERING | SURVEYING

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM  
PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY: DDS  
DRAWN BY: AWL  
CHECKED BY: CKG  
DATE: 05/02/22  
ADDED SHEET 16 TO THE SET TO SHOW PHASE 2 PARKING LOT

OWNER/DEVELOPER	AMERICAN CITY BUILDING BUSINESS TRUST C/O THE HOWARD HUGHES CORPORATION 10960 GRANTCHESTER WAY, SUITE 110 COLUMBIA, MD 21044
PROFESSIONAL CERTIFICATION	I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975 EXPIRATION DATE: MAY 28, 2024 5/9/22
SEDIMENT AND EROSION CONTROL PLANS - PHASE 2	
SCALE	1"=30'
ZONING	NT
G. L. W. FILE NO.	18047
DATE	MAY, 2022
TAX MAP - GRID	36
SHEET	16 OF 16

OWNER/DEVELOPER	AMERICAN CITY BUILDING BUSINESS TRUST C/O THE HOWARD HUGHES CORPORATION 10960 GRANTCHESTER WAY, SUITE 110 COLUMBIA, MD 21044
PROFESSIONAL CERTIFICATION	I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975 EXPIRATION DATE: MAY 28, 2024 5/9/22
SEDIMENT AND EROSION CONTROL PLANS - PHASE 2	
SCALE	1"=30'
ZONING	NT
G. L. W. FILE NO.	18047
DATE	MAY, 2022
TAX MAP - GRID	36
SHEET	16 OF 16

**SEDIMENT AND EROSION CONTROL PLANS - PHASE 2**

**TEMPORARY SURFACE LOT**  
PARCEL 298, LOT 13  
10227 WINCOPIN CIR. COLUMBIA, MD 21044

SCALE: 1"=30'

ZONING: NT

G. L. W. FILE NO.: 18047

DATE: MAY, 2022

TAX MAP - GRID: 36

SHEET: 16 OF 16

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

**NO ASBUILT INFORMATION**  
9/14/23

**SEDIMENT AND EROSION CONTROL PLANS - PHASE 2**

**TEMPORARY SURFACE LOT**  
PARCEL 298, LOT 13  
10227 WINCOPIN CIR. COLUMBIA, MD 21044

SCALE: 1"=30'

ZONING: NT

G. L. W. FILE NO.: 18047

DATE: MAY, 2022

TAX MAP - GRID: 36

SHEET: 16 OF 16

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

L:\CAD\DRAWINGS\18047-SDP-69-04-SHEET 16 (NEW).dwg  
DATE: 5/23/2022 2:58:58 PM  
DRAWN BY: AWL  
CHECKED BY: CKG  
DATE: 05/02/22