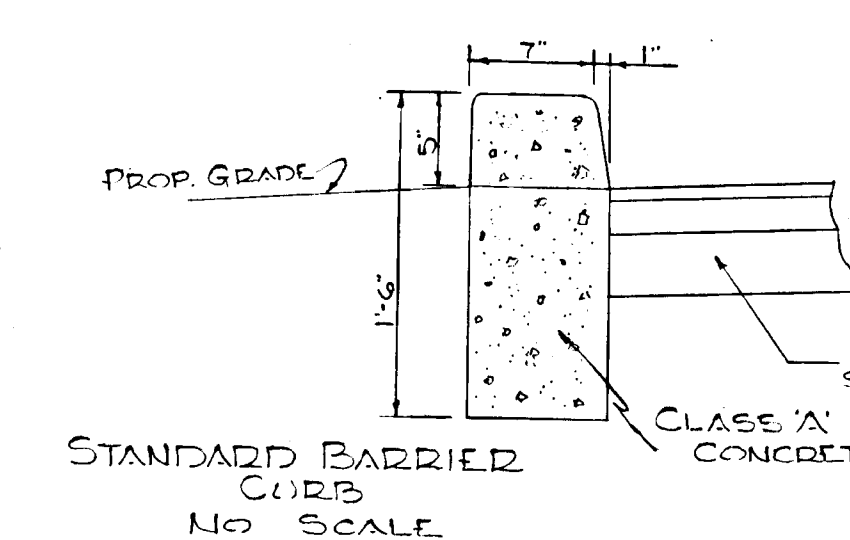


NOTES:
 1) All curbs shall be nosed-down at ramps.
 2) Typical sod swale section No. 104.

FINISHED GRADING NOTES:
 1) All unpaved areas disturbed by construction shall be sodded (three) inches top soil shall be sodded in accordance with Article 33a of Howard Co. Road Construction Code & Standard Specifications.

TYPICAL SOD SWALE SECTION
 No. 104

FINISHED GRADING NOTES
 1) All unpaved areas disturbed by construction shall be sodded (three) inches top soil shall be sodded in accordance with Article 33a of Howard Co. Road Construction Code & Standard Specifications.



APPROVED: FOR PUBLIC WATER & PUBLIC SEWAGE SYSTEMS, HOWARD CO. HEALTH DEPT.
Palmer F. Wine 5-26-69
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD CO. OFFICE OF PLANNING & ZONING
James H. Smith 5-27-69
 PLANNING DIRECTOR DATE

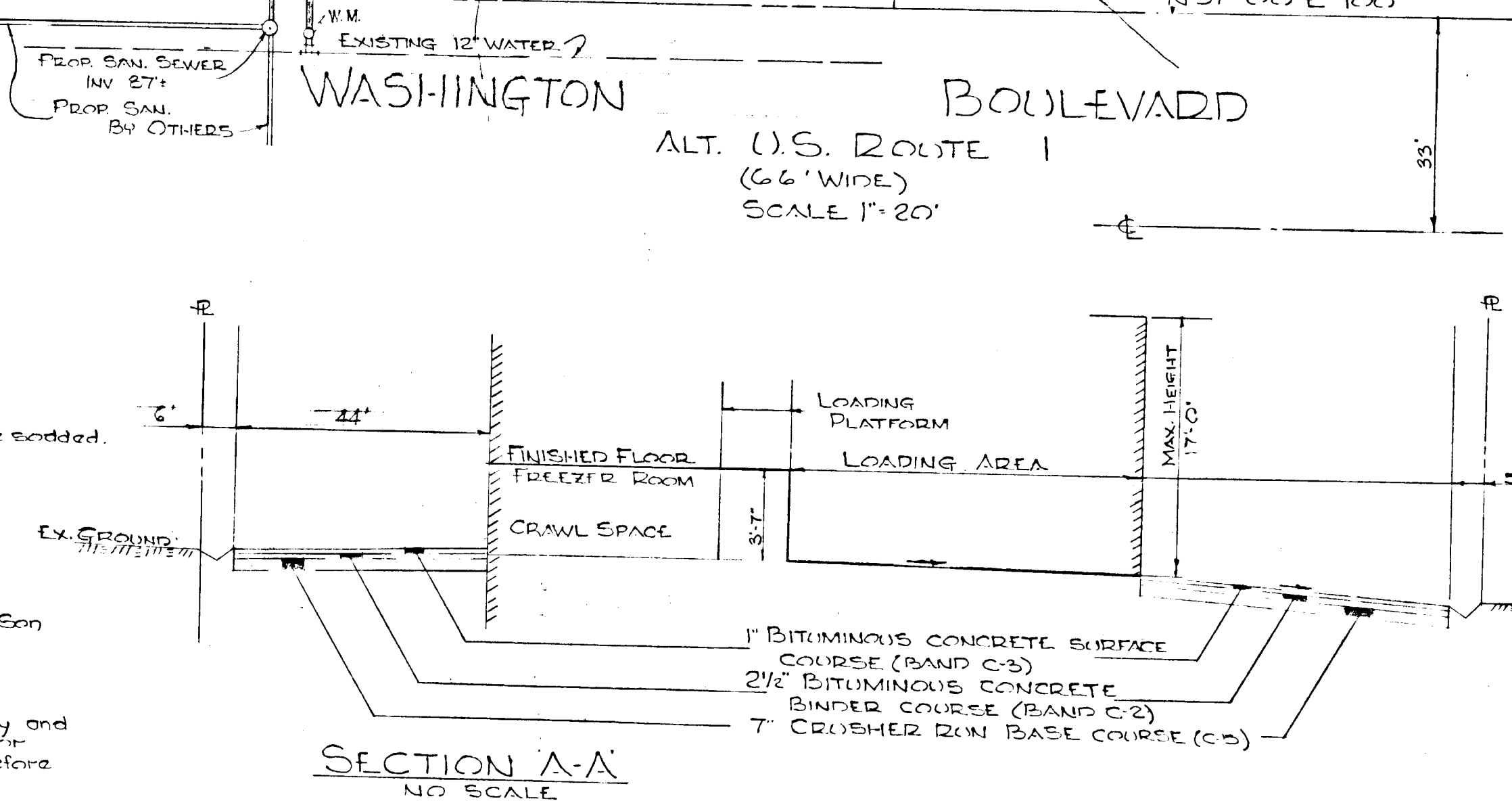
APPROVED: CHIEF ENGINEER, DIV. OF LAND DEVELOPMENT
J. H. Stewart 5-27-69
 CHIEF ENGINEER DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWAGE & STORM DRAINAGE SYSTEMS & ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Norman S. Bell 5-26-69
 DIRECTOR DATE

Franklin W. Kellum 5-26-69
 CHIEF, BUREAU OF HIGHWAYS DATE

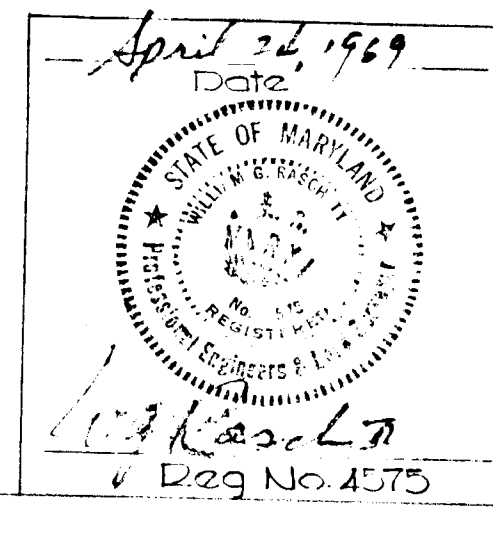
GENERAL NOTES

- All construction shown herein shall be in accordance with the Howard County Road Construction Code & Standard Specifications, dated Nov. 27, 1962 and revised August 1968, and the Zoning Regulations of Howard County.
- Site Analysis:
 - A) Gross Area - 125 ACRES ±
 - B) Present Zoning - M-1 & M-2
 - C) Total Number of Employees - 10
 - D) Floor Space - Office - 2400 sq ft; Freezer - 2450 sq ft; Loading Area - 3850 sq ft
- Parking Data:
 - A) Present Zoning - M-1 & M-2
 - B) Total Number of Employees - 10
 - C) Number of Spaces Required - 5
 - D) Number of Spaces Provided - 5
- All unpaved areas disturbed during construction shall be sodded.
- Public water/sewage facilities are adequate & available.
- Contours:
 - A) Existing - 100
 - B) Proposed - 102
- Bench Mark - Elevations shown herein are based on an assumed datum.
 - Bench Mark No. 1 Elev. 100.00
 - Large Nail set in G&E pole No. 226570 on Washington Blvd. in front of Robert Farrow & Son Bench Mark No. 2 Elev. 101.08
 - P.K. nail set on E. Roosevelt Blvd. Extension of property line between Lot 20 & 21
- Tax Map No. 45
- Location of utilities shown herein is approximate only and is obtained from the best information available. Contractor shall locate existing utilities to his own satisfaction before any connections are made.
- Contractor shall notify the following utilities prior to starting work shown herein:
 - A) Bell Telephone System 293-3649
 - B) Long Distance Cable Div. 293-3553 or 3554
 - C) Baltimore Gas & Electric Co. 532-8000 Ext. 691



PUDDUM & JESCHKE
 ENGINEERS & LAND SURVEYORS
 3627 PARK AVENUE
 ELLICOTT CITY, MARYLAND

DEVELOPER:
 RINK BUILDING SYSTEMS INC.
 1811 HOWARD LANE
 ELK RIDGE, MD.



SITE PLAN FOR
HEDSHEY CREAMERY INC.
 LOTS 19, 20, 21, 3 & 4
 WASHINGTON MANOR PARK
 1ST ELECTION DISTRICT
 HOWARD CO., MARYLAND
 SCALE: AS SHOWN
 MAY 13, 1969
 SDP 69-12

OWNER:
 HEDSHEY CREAMERY INC.
 PHILADELPHIA, PA.