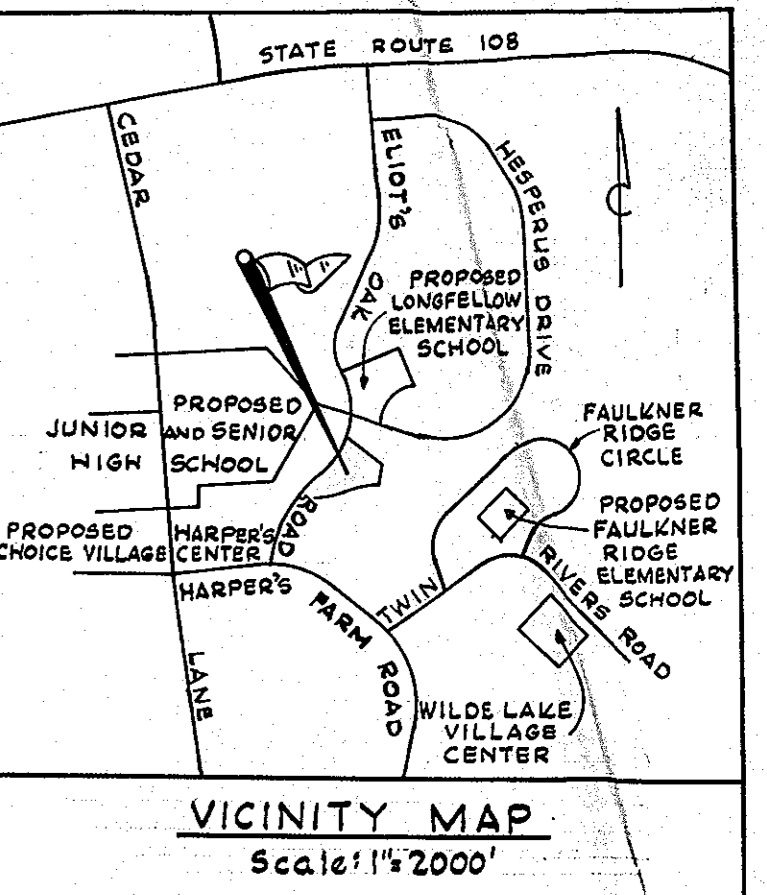


APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPT.  
 COUNTY HEALTH OFFICER DATE 4-9-69  
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.  
 PLANNING DIRECTOR DATE 4-9-69  
 CHIEF ENGINEER, DIVISION OF LAND DEVELOPMENT DATE 4-9-69  
 APPROVED FOR PUBLIC WATER, PUBLIC SEWER, AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.  
 DIRECTOR DATE 4-7-69  
 CHIEF BUREAU OF HIGHWAYS DATE 4-7-69

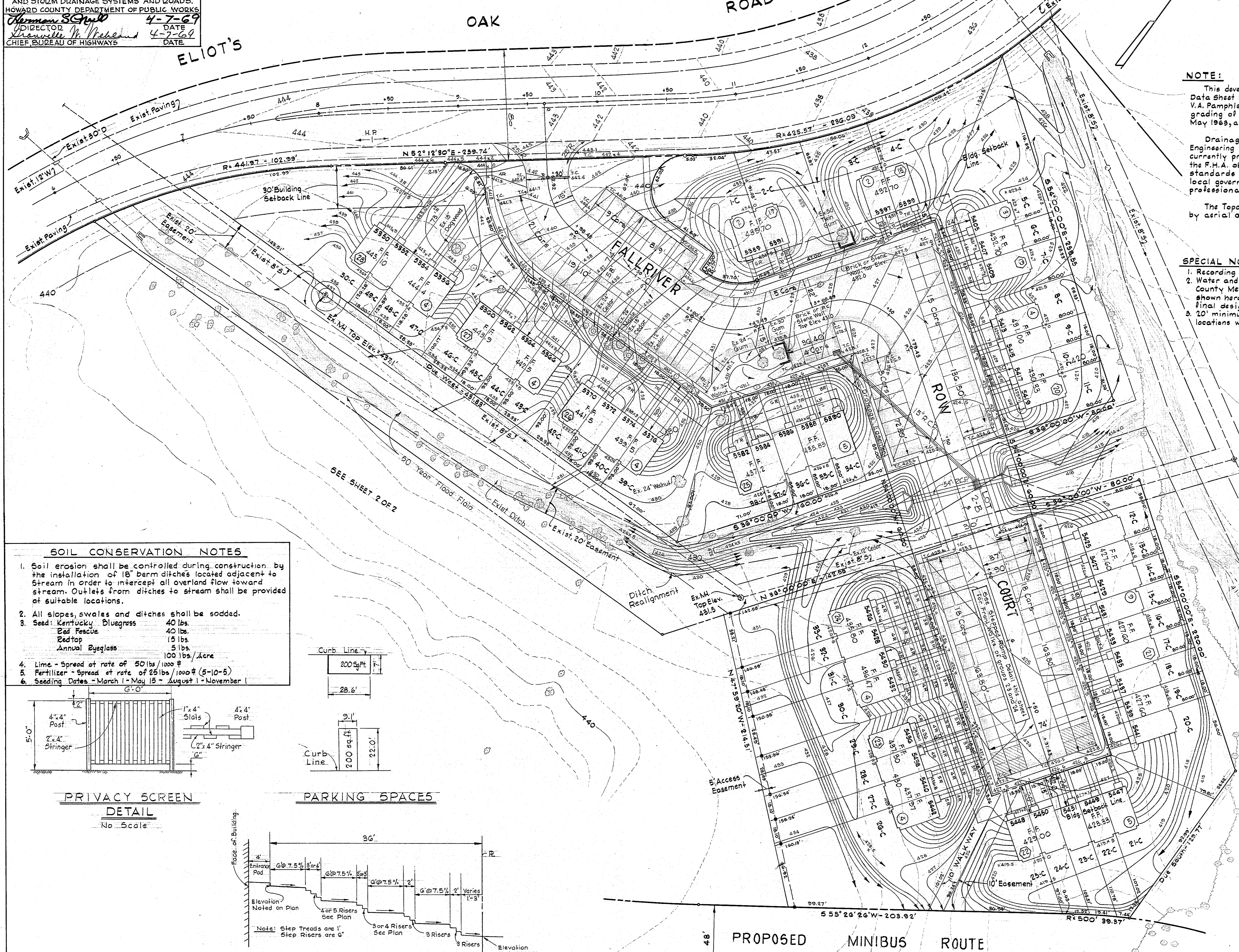
**GENERAL NOTES:**

1. All entrance walks to dwellings, shall be concrete, 5' wide.
2. All other sidewalks shall be 4' wide concrete.
3. Curb returns for roadways shall have 25' radii.
4. Curb returns for parking areas shall have 2' radii.
5. Minimum setback shall be 15'.
6. All basements in proposed homes shall be a minimum of 2' above 50 year flood elevation.
7. See architectural plans for details of dwellings.

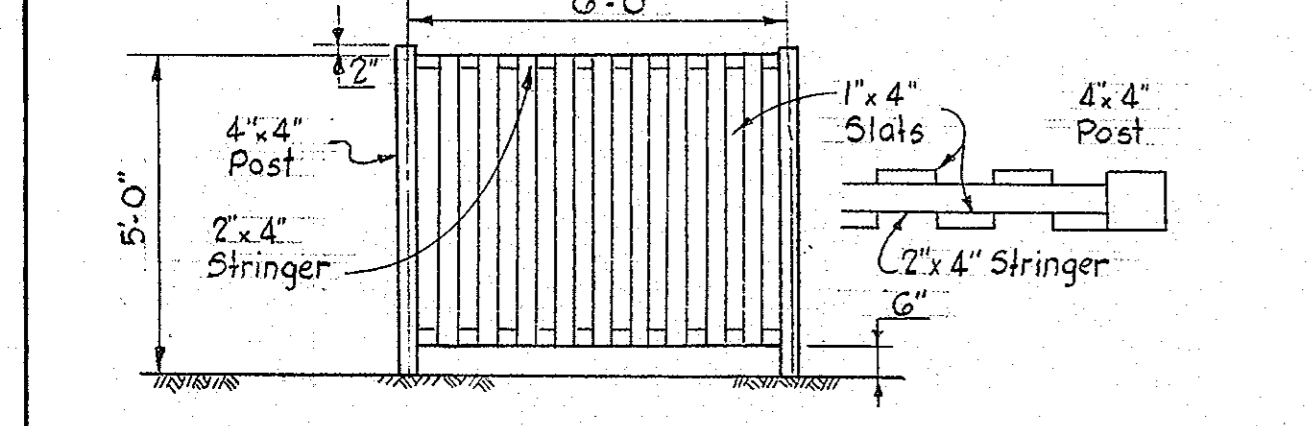


**NOTE:**  
 This development plan includes all applicable information outlined in Data Sheet 150, Neighborhood Standards, F.H.A. Land Planning Bulletin No. 3, V.A. Pamphlet 4 A 8, and conforms with lot improvements and detail lot grading of Chapter XII F.H.A. Minimum Property Requirements, dated May 1963, and to all applicable ordinances and regulations.  
 Drainage structures have been designed in accordance with sound Engineering practice using recognized Formulas and rainfall data currently prescribed by local authorities. These exhibits comply with the F.H.A. objectives, Minimum Property Standards, local acceptable standards and neighborhood requirements, conform to all applicable local government ordinances and regulations, and represent the best professional judgement of the designer.  
 The Topography shown on this development plan has been obtained by aerial and field-run surveys.

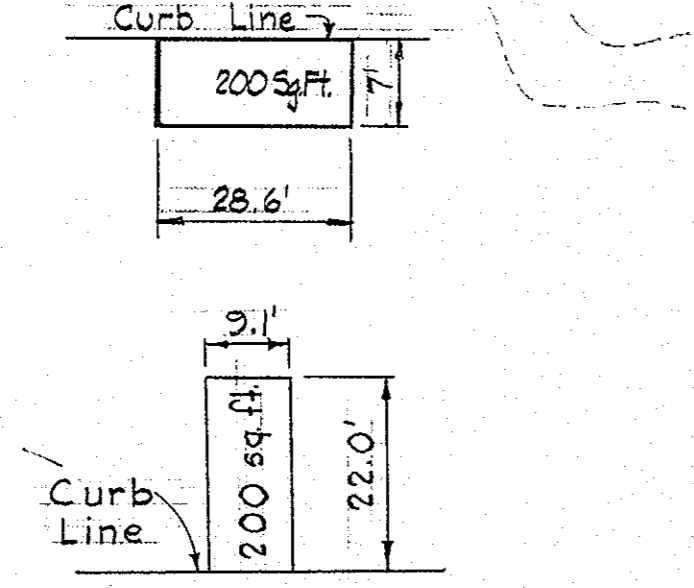
**SPECIAL NOTES:**  
 1. Recording reference for Lot Nos 3 & 4 is Plat Book 15, Folio 85  
 2. Water and sewer facilities shall be provided by the Howard County Metropolitan Commission. The layout of utilities shown herein is schematic only and is not intended to denote final design.  
 3. 20' minimum utility easements shall be established in all locations where water and sewer lines are located within the lots.



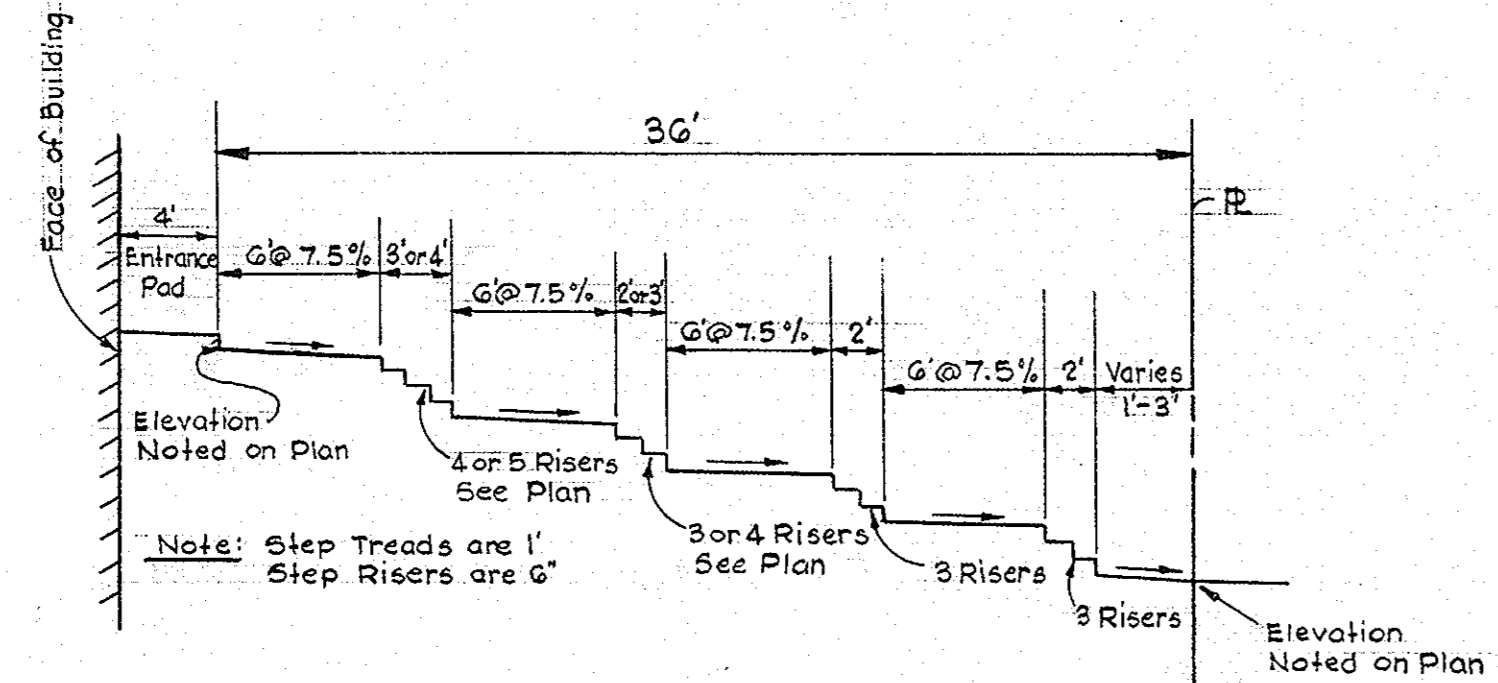
**SOIL CONSERVATION NOTES**  
 1. Soil erosion shall be controlled during construction by the installation of 18" berm ditches located adjacent to stream in order to intercept all overland flow toward stream. Outlets from ditches to stream shall be provided at suitable locations.  
 2. All slopes, swales and ditches shall be sodded.  
 3. Seed: Kentucky Bluegrass 40 lbs.  
     Red Fescue 40 lbs.  
     Redtop 15 lbs.  
     Annual Ryegrass 5 lbs.  
     Annual Ryegrass 100 lbs./acre  
 4. Lime - Spread at rate of 50 lbs./1000 sq ft  
 5. Fertilizer - Spread at rate of 25 lbs./1000 sq ft (5-10-5)  
 6. Seeding Dates - March 1 - May 15 - August 1 - November 1



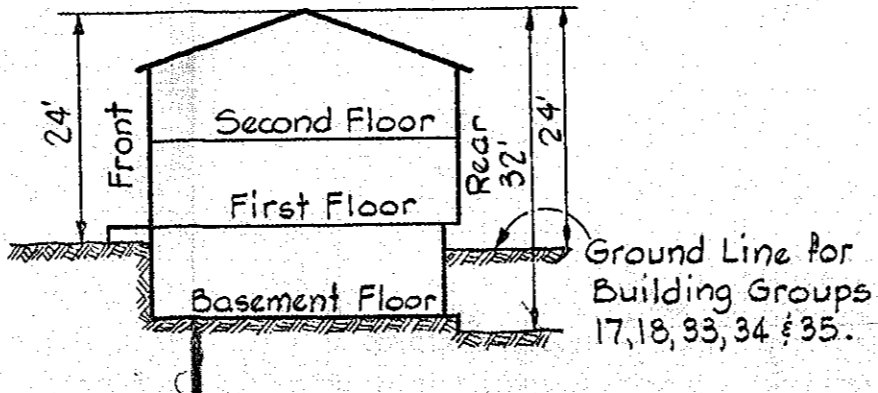
**PRIVACY SCREEN DETAIL**  
 No Scale



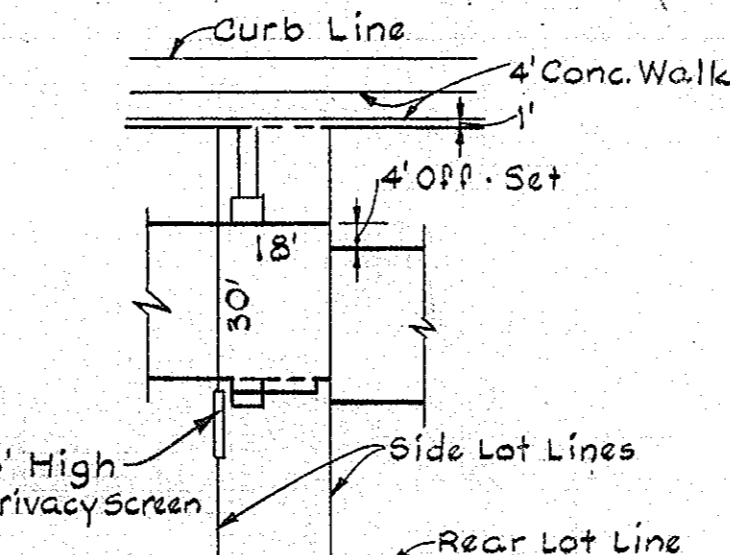
**PARKING SPACES**



**STEPPED RAMP DETAIL FOR GROUPS 23 & 24**  
 No Scale



**TYPICAL DWELLING ELEVATION**  
 No Scale



**TYPICAL DWELLING**  
 No Scale

**LEGEND**  
 --- 340 --- Existing Contours (2' Interval)  
 --- 340 --- Proposed Contours (1' Interval)  
 (1) Building Group Number  
 16-C Number of Dwellings in Building Group  
 Lot Numbers  
 F.F. 439.00 Proposed First Floor Elevation  
 11x0 Proposed Spot Elevation  
 T.C. Existing Tree Line  
 Top Curb  
 Tree To Be Saved / Tree Well  
 Tree To Be Removed  
 Proposed Concrete Monument

**SITE ANALYSIS**  
 Existing Zoning: New Town District (Single Family Attached)  
 Final Development Plan, Phase 30A (Revised): Plat Book 16, Folio 71-77  
 Project Area: 9.19 Acres \*  
 Maximum Density: 10 Dwellings Per Acre  
 Dwelling Units Permissible: 92  
 Dwelling Units Proposed: 92  
 Number of 3 Bedroom Units: 92  
 Minimum Floor Area (Excluding Basement): 1,080 Square Feet  
 \* Does not include 0.12 acres contained in Lot 2-B, which was created strictly for Fallner Row Court right of way.  
 Parking Spaces Required (at 2:1 Ratio): 184  
 Parking Spaces Proposed: 192

COLUMBIA ELECTION DISTRICT NO. 5  
 HOWARD COUNTY, MARYLAND  
**SITE PLAN**  
 For  
**VILLAGE OF HARPER'S CHOICE**  
 SECTION 3, AREA 2  
 RESUBDIVISION OF LOTS 2-B, 3 & 4

SHEET 1 OF 2  
 Date: Scale: 1"=80'

**HOWARD HOMES, INC.**  
 OWNER AND DEVELOPER  
 10221 Wincopin  
 Columbia, Maryland  
**DONALD B. RATCLIFFE**  
 ARCHITECT  
 34 West 25th Street  
 Baltimore, Maryland  
**WHITMAN REQUARDT & ASSOCIATES**  
 ENGINEERS  
 1304 St. Paul Street  
 Baltimore, Maryland

Kenneth A. McCard P.E. 1974