

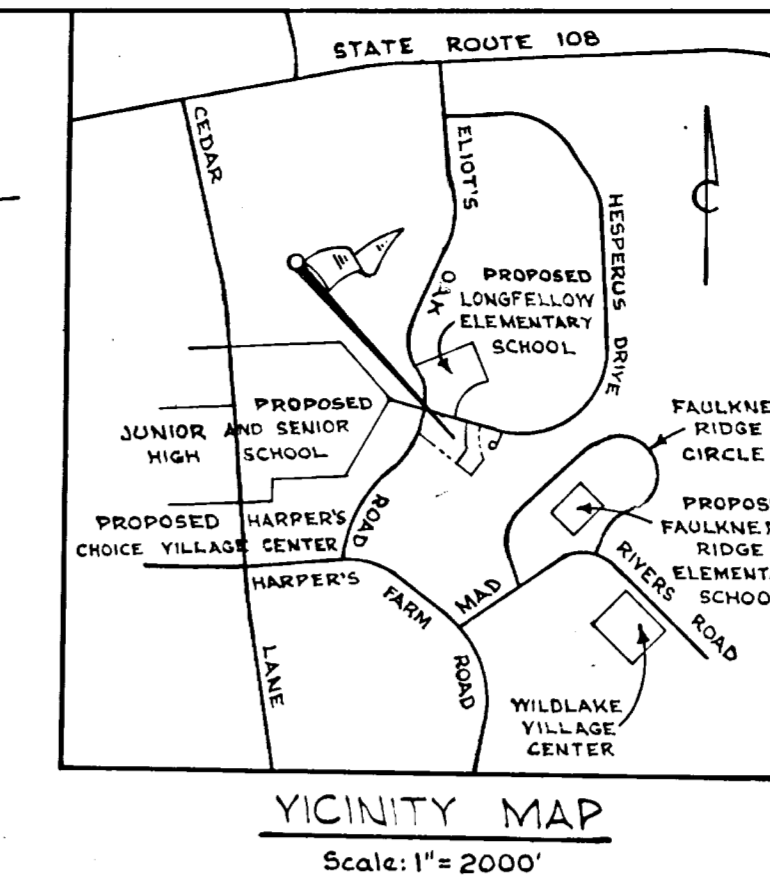
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPT. DATE 8/13/68  
 COUNTY HEALTH OFFICER  
 APPROVED: HOWARD COUNTY PLANNING COM. DATE 10-11-68  
 DIRECTOR  
 APPROVED: HOWARD COUNTY ROADS DEPT. DATE 10-11-68  
 ROADS SUPERINTENDENT  
 APPROVED: HOWARD COUNTY METROPOLITAN COMM. DATE 10-9-68  
 CHIEF ENGINEER

**NOTE:**

This development plan includes all applicable information outlined in Data Sheet 150, Neighborhood Standards, F.H.A. Land Planning Bulletin No. 3, V.A. Pamphlet 4A6, and conforms with lot improvements and detail lot grading of Chapter XII F.H.A. Minimum Property Requirements, dated May 1963, and to all applicable ordinances and regulations.

Drainage structures have been designed in accordance with sound Engineering practice using recognized Formulas and rainfall data currently prescribed by local authorities. These exhibits comply with the F.H.A. objectives. Minimum Property Standards, local acceptable standards and neighborhood requirements, conform to all applicable local government ordinances and regulations, and represent the best professional judgement of the designer.

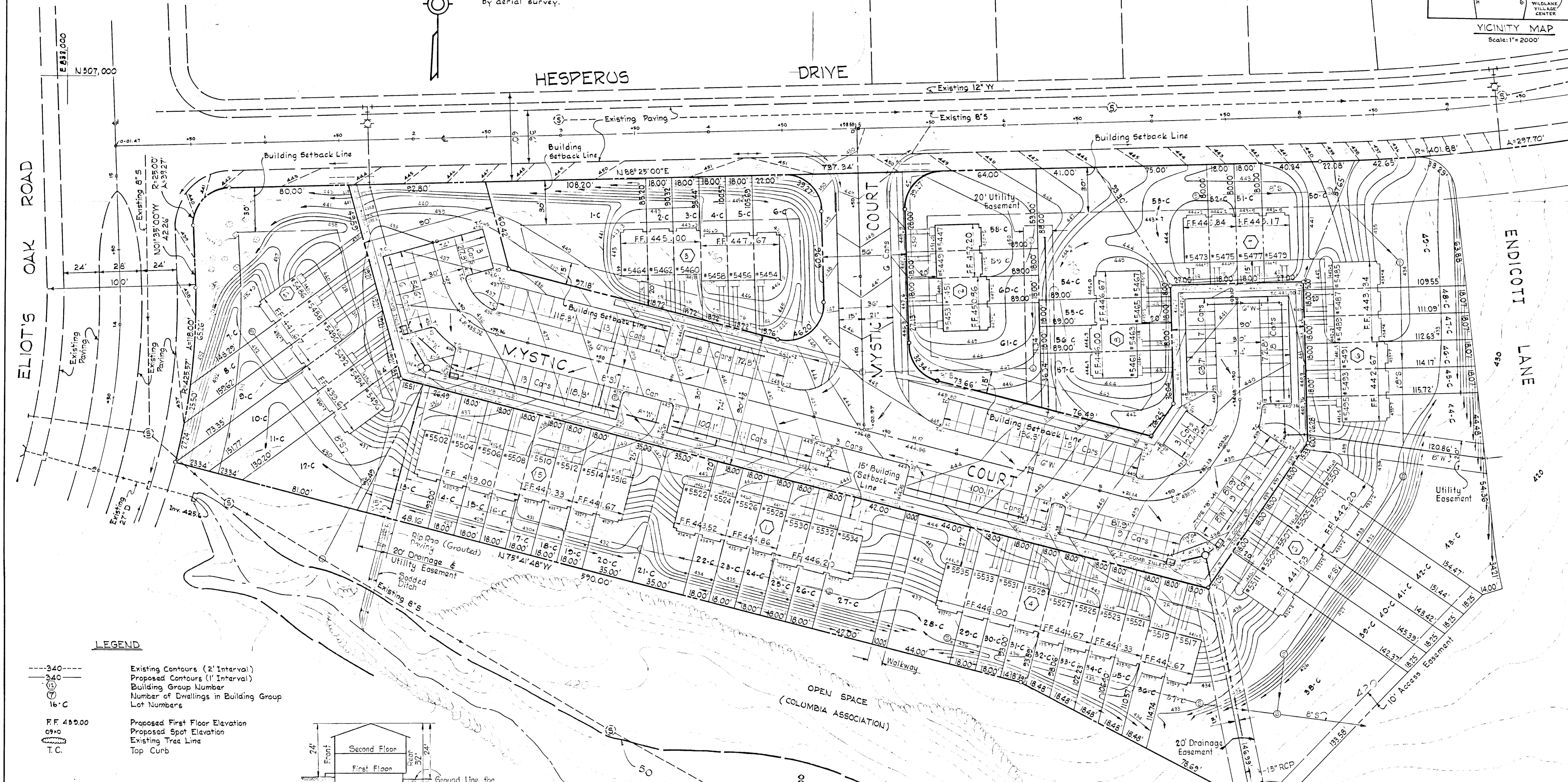
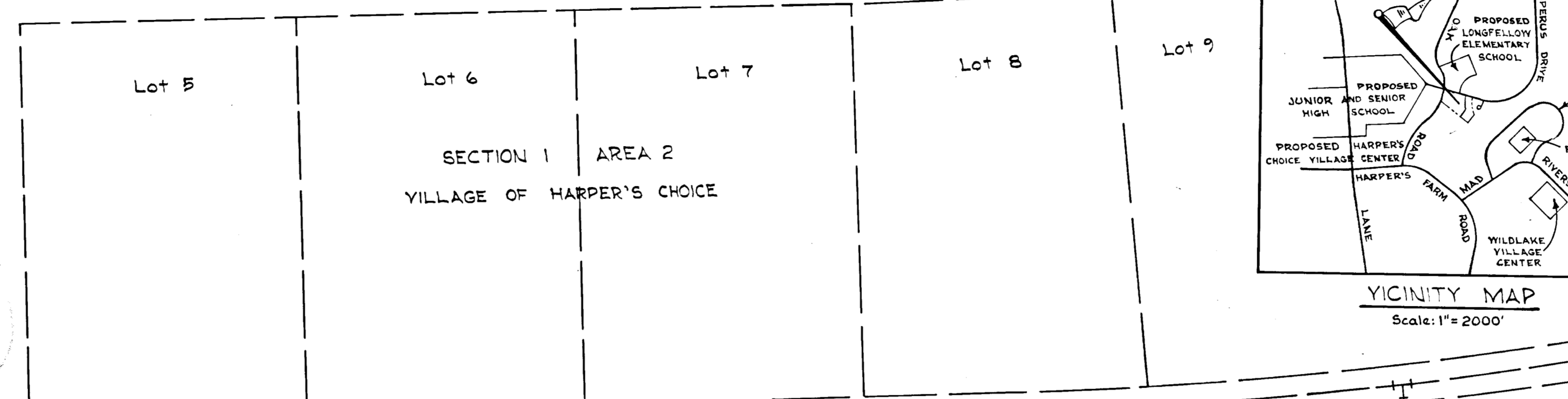
The Topography shown on this development plan has been obtained by aerial survey.



**PROPOSED LONGFELLOW ELEMENTARY SCHOOL**

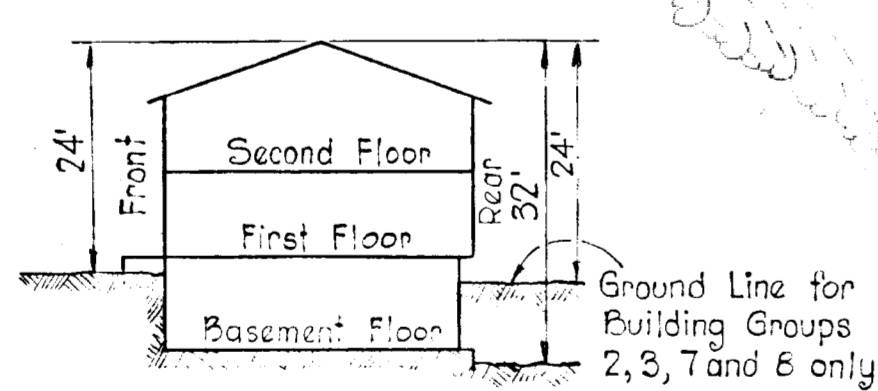


**HESPERUS DRIVE**



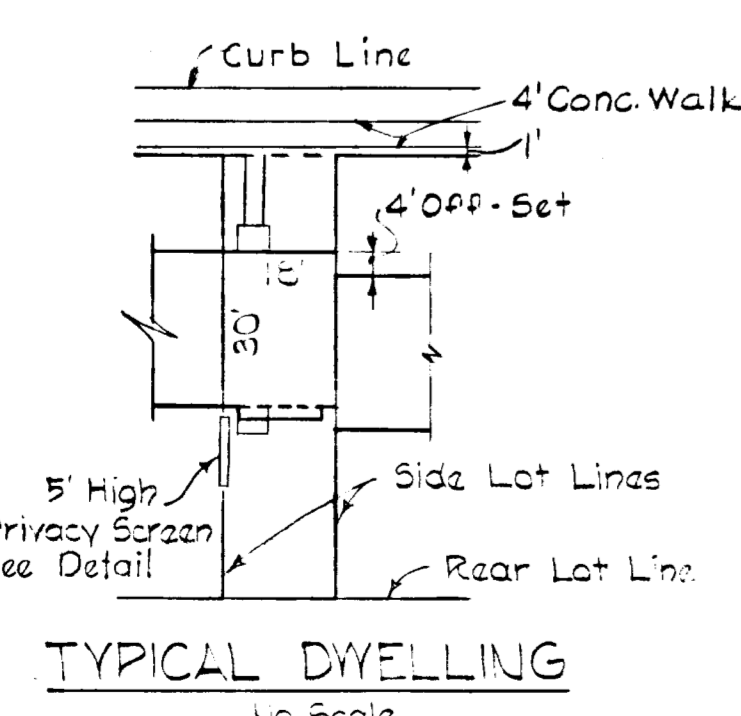
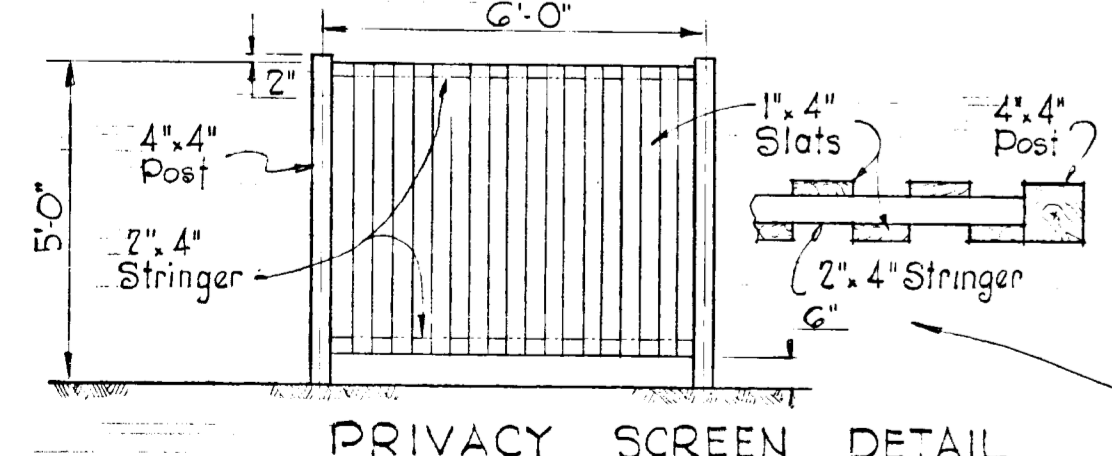
**LEGEND**

- 340--- Existing Contours (2' Interval)
- - -340- - - Proposed Contours (1' Interval)
- (1) Building Group Number
- (2) Number of Dwellings in Building Group
- (3) Lot Numbers
- FF 450.00 Proposed First Floor Elevation
- 09+0 Proposed Spot Elevation
- (T) Existing Tree Line
- (C) Top Curb



**GENERAL NOTES**

1. All slopes, swales and ditches shall be sodded.
2. All entrance walks to dwellings shall be concrete, 3' wide.
3. All other sidewalks shall be 4' wide concrete.
4. Curb returns for roadways shall have 25' radii.
5. Curb returns for parking areas shall have 2' radii.
6. Minimum setback on Mystic Lane & Standish Court shall be 15'.
7. All basements in proposed homes shall be a minimum of 2' above 50 year flood elevation.
8. See architectural plans for details of dwellings.

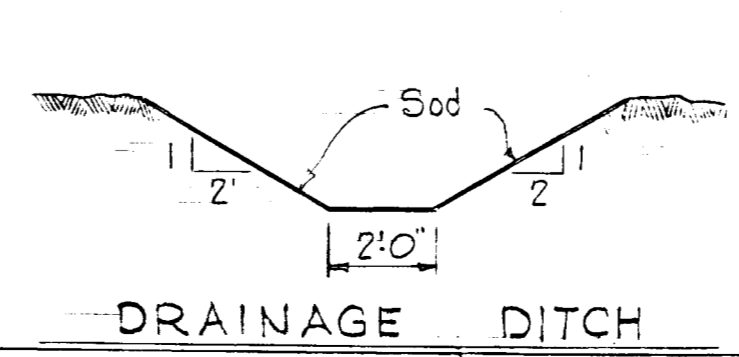
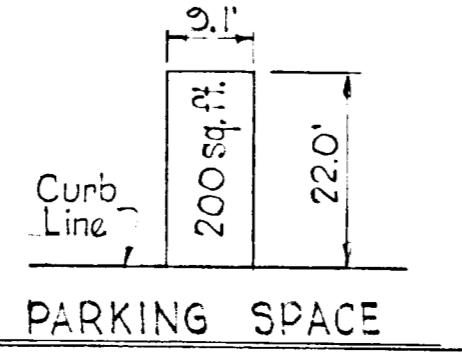


**SITE ANALYSIS**

Existing Zoning	New Town District (Single Family Attached)
Final Development Plan Phase 30A	Plot Book 14, Folios 97-108
Project Area (Lot No. 1)	10.11 Acres
Maximum Density	10 Dwellings per Acre
Dwelling Units Permissible	101
Dwelling Units Proposed	101
Number of 3 Bedroom Units	101
Minimum Floor Area (Excluding Basement)	1,080 Square Feet
Parking Spaces Required (2:1 Ratio)	202
Parking Spaces Proposed	208

**SPECIAL NOTES**

1. Recording reference for Lot No. 1 is Plot Book 13, Folio 65.
2. Water and sewer facilities shall be provided by the Howard County Metropolitan Commission. The layout of utilities shown hereon is schematic only and is not intended to denote final design.
3. 20' minimum utility easements shall be established in all locations where water and sewer lines are located within the lots.



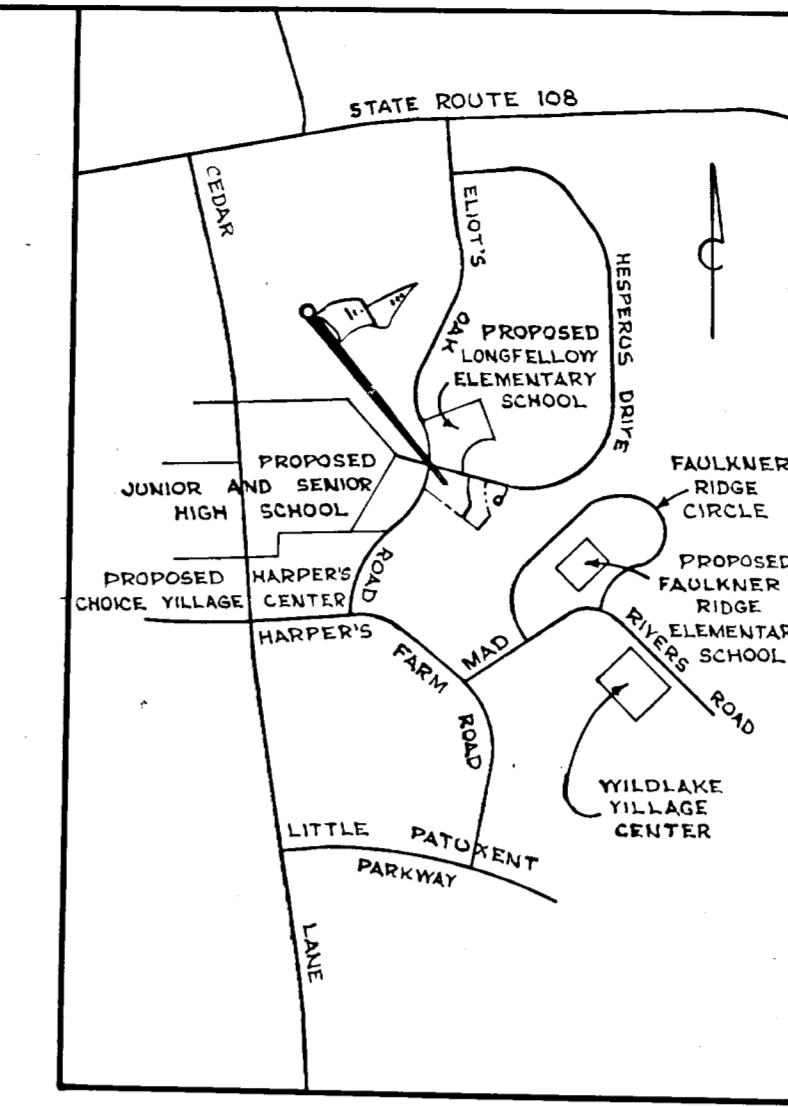
**COLUMBIA ELECTION DISTRICT No. 5 HOWARD COUNTY, MARYLAND SITE PLAN for VILLAGE OF HARPER'S CHOICE**

SECTION 3, AREA 2 RESUBDIVISION OF LOT 1 SHEET 1 OF 2

Date: August 22, 1968 Scale: 1"=90' SDP-68-7

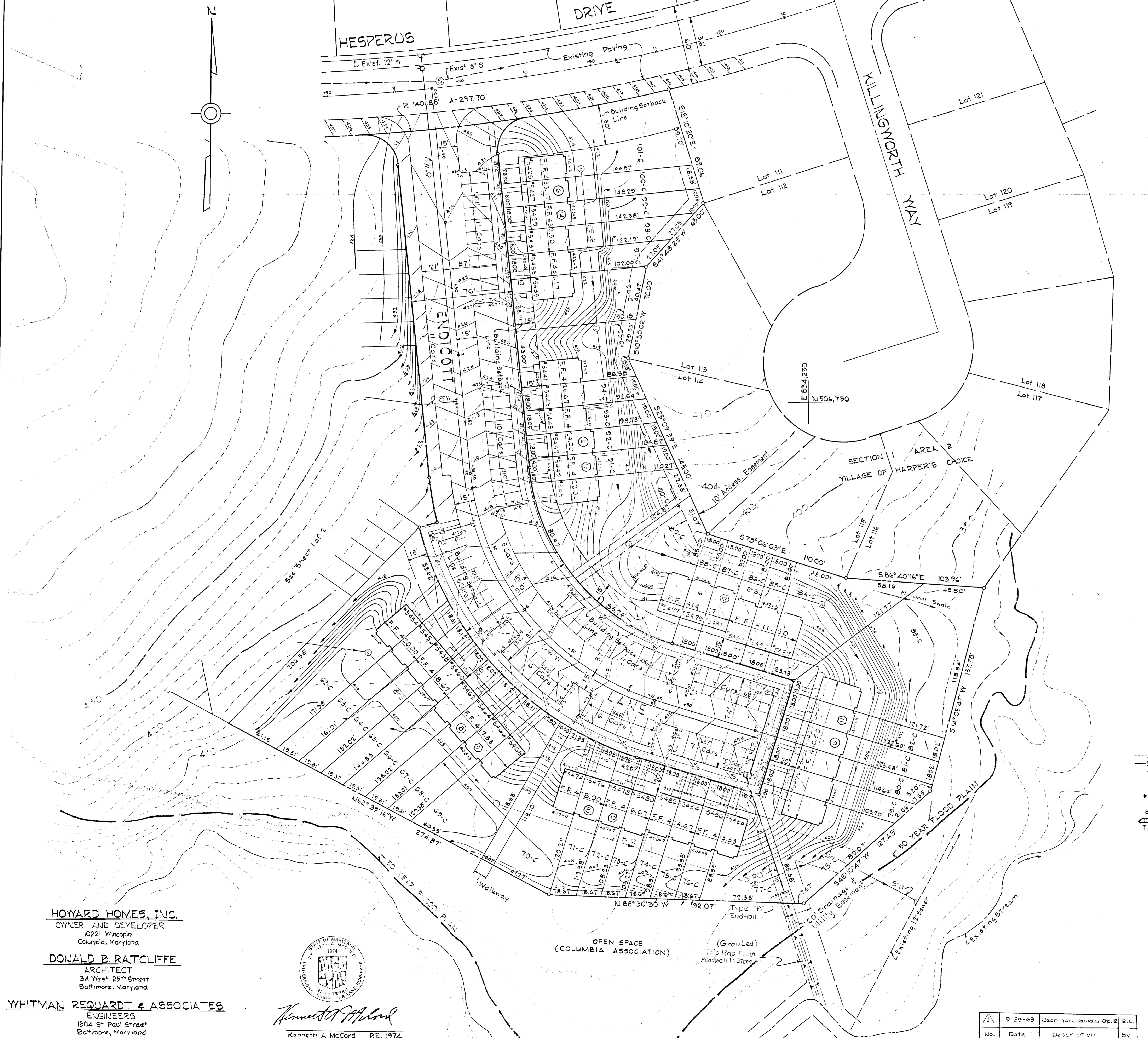
SDP-68-7

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VICINITY MAP  
 Scale: 1"=2000'

SEE SHEET 1 OF 2 FOR GENERAL NOTES, SPECIAL NOTES, SITE ANALYSIS TABULATION, F.H.A. CERTIFICATION AND TYPICAL DWELLING PLAN AND ELEVATION



LEGEND

- 340--- Existing Contours (2' Interval)
- 340--- Proposed Contours (1' Interval)
- ① Building Group Number
- ⑦ Number of Dwellings in Building Group
- ⑦ Lot # Block Numbers
- 82-C House Number
- 82-95 Proposed First Floor Elevation
- 09.0 Proposed Spot Elevation
- Existing Tree Line
- T.C. Top of Curb

HOWARD HOMES, INC.  
 OWNER AND DEVELOPER  
 10221 Wincopin  
 Columbia, Maryland

DONALD B. RATCLIFFE  
 ARCHITECT  
 34 West 25th Street  
 Baltimore, Maryland

WHITMAN REQUARDT & ASSOCIATES  
 ENGINEERS  
 1304 St. Paul Street  
 Baltimore, Maryland

*Kenneth A. McCord*  
 Kenneth A. McCord P.E. 1974

COLUMBIA  
 ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND  
 SITE PLAN  
 for  
**VILLAGE OF HARPER'S CHOICE**

SECTION 3, AREA 2  
 RESUBDIVISION OF LOT 1

SHEET 2 OF 2

Date: September 9, 1968 Scale: 1"=30'

No.	Date	Description	By
1	9-29-68	Revised drawings	Opd
2			R.L.

SDP-68-7  
 SDP-6t-7