

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY STANDARDS AND SPECIFICATIONS. ALL WORK AND MATERIALS SHALL COMPLY WITH O.S.H.A. STANDARDS.

APPROXIMATE CONSTRUCTION IMPLEMENTATION TABLE with columns for PHASE, AREA, and REMAINING.

TABLES showing PADDOCK POINT AREA TRACKING, PHASE TRACKING, and PHASE TRACKING (RESIDENTIAL PHASING).

RESIDENTIAL PHASING TABLE with columns for PHASE, ALLOCATION YEAR, and TOTAL.

TOTAL DEVELOPMENT TRACKING TABLE with columns for PHASE, AREA, and REMAINING.

PHASE 3B DEVELOPMENT AREA TRACKING TABLE with columns for PHASE, AREA, and REMAINING.

PHASE 3B DEVELOPMENT AREA TRACKING TABLE with columns for PHASE, AREA, and REMAINING.

PHASE 3B DEVELOPMENT AREA TRACKING TABLE with columns for PHASE, AREA, and REMAINING.

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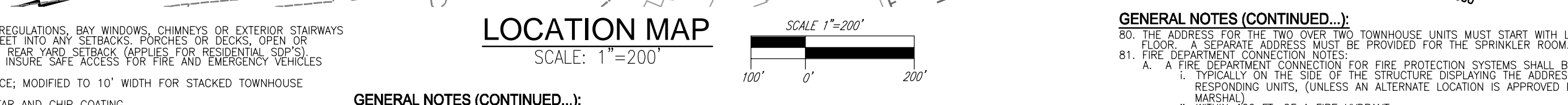
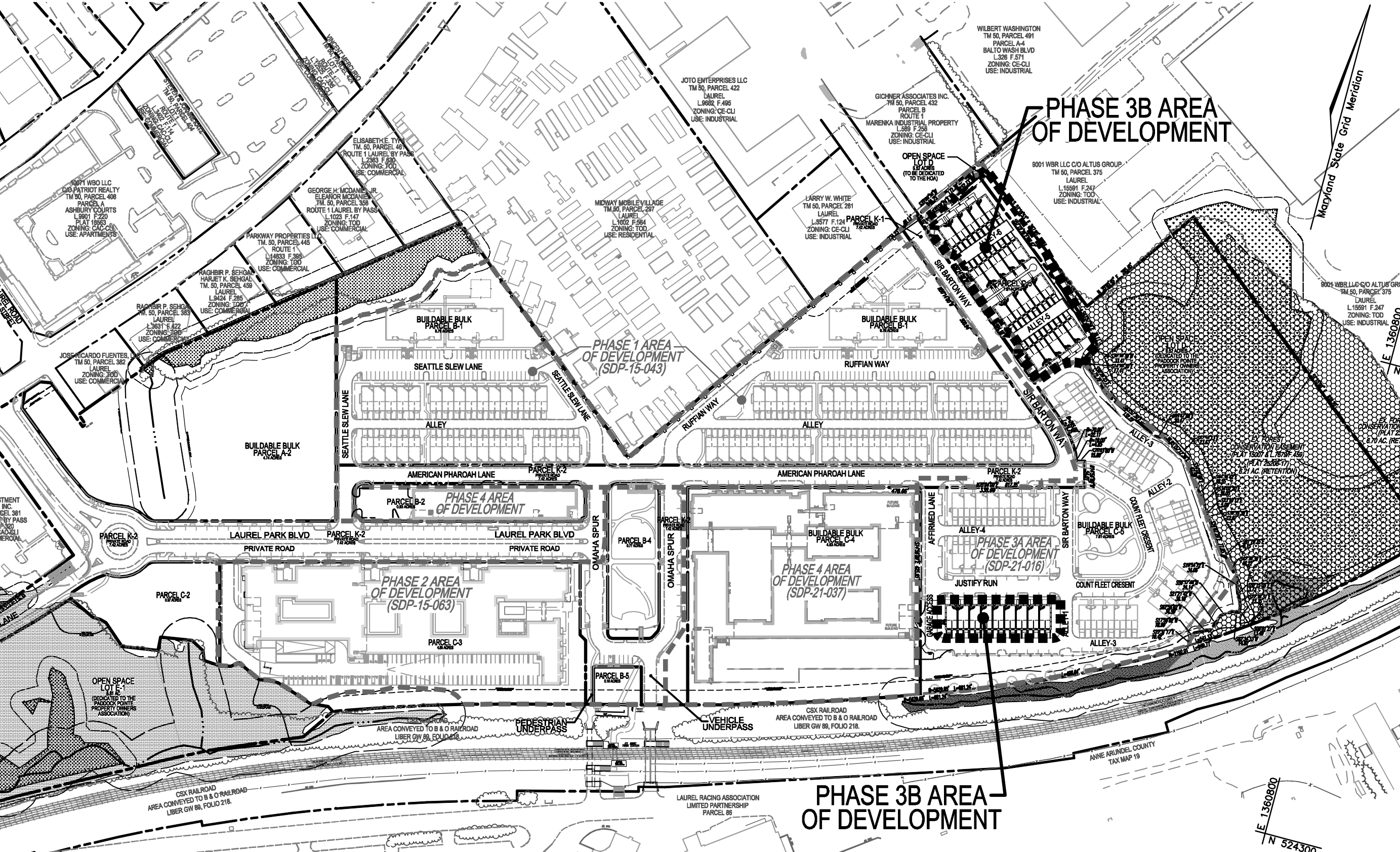
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PHASE 3B DEVELOPMENT AREA TRACKING TABLE with columns for PHASE, AREA, and REMAINING.

SITE DEVELOPMENT PLAN PADDOCK POINTE - PHASE 3B PARCEL 384; PARCEL C-5



GENERAL NOTES (CONTINUED.) 59. IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS...

GENERAL NOTES (CONTINUED.) 60. MAINTENANCE: SUFFICIENT TO INSURE ALL WEATHER USE. THE STUDY SHALL BE CONDUCTED IN ACCORDANCE WITH THE LATEST EDITION OF ALL APPLICABLE STANDARDS AND SPECIFICATIONS INCLUDING BUT NOT LIMITED TO HOWARD COUNTY DESIGN MANUAL, VOLUME II, S.H.A. SPECIFICATION...

GENERAL NOTES (CONTINUED.) 61. THE PADDOCK POINT AREA TRACKING TABLE IS SUBJECT TO THE LATEST EDITION OF ALL APPLICABLE STANDARDS AND SPECIFICATIONS INCLUDING BUT NOT LIMITED TO HOWARD COUNTY DESIGN MANUAL, VOLUME II, S.H.A. SPECIFICATION...

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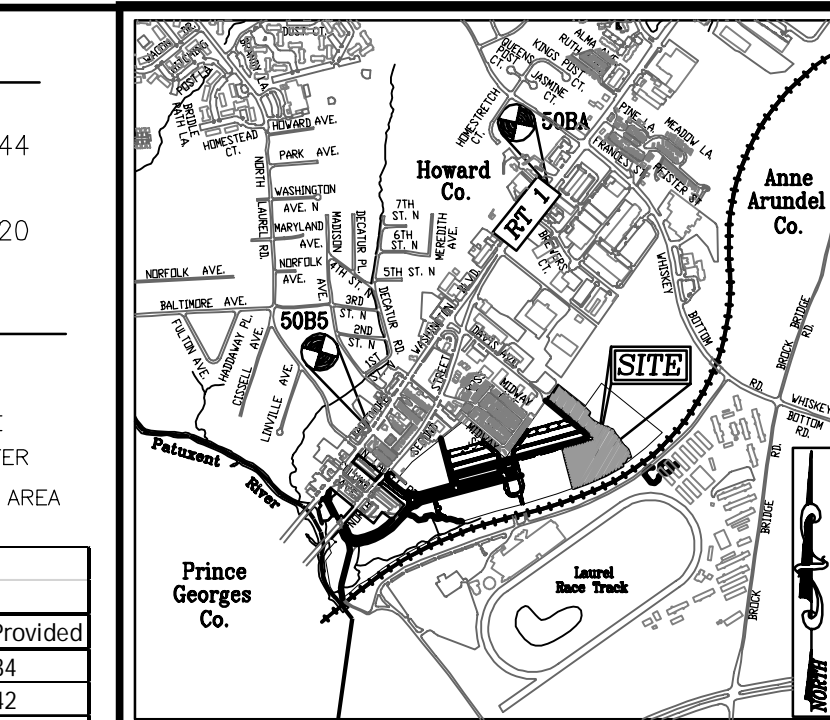
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BENCHMARKS table listing HOWARD COUNTY BENCHMARK - 508A and HOWARD COUNTY BENCHMARK - 5085 with coordinates and elevations.

LEGEND table defining symbols for PROPERTY LINE, RIGHT-OF-WAY LINE, ADJACENT PROPERTY LINE, EXISTING CURB AND GUTTER, and PHASE 3B DEVELOPMENT AREA.



MHU TRACKING CHART table showing 1000 Total Units x 15% = 150 MHU Units Req'd and breakdown by phase.

ADDRESS CHART table listing UNIT, ADDRESS, and UNIT numbers for SPRINKLER ROOM and other units.

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SEE SHEET 4 FOR BUILDING FOOTPRINTS, ELEVATIONS AND GARAGE PLANS

SHEET INDEX table listing SHEET NUMBER and SHEET DESCRIPTION.

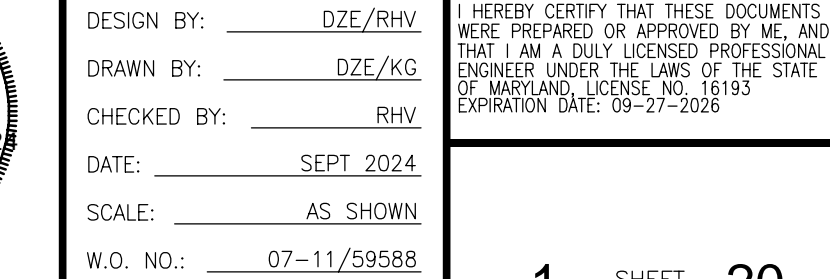
PARCEL C-5 OWNER table listing OWNER and OWNER/DEVELOPER information.

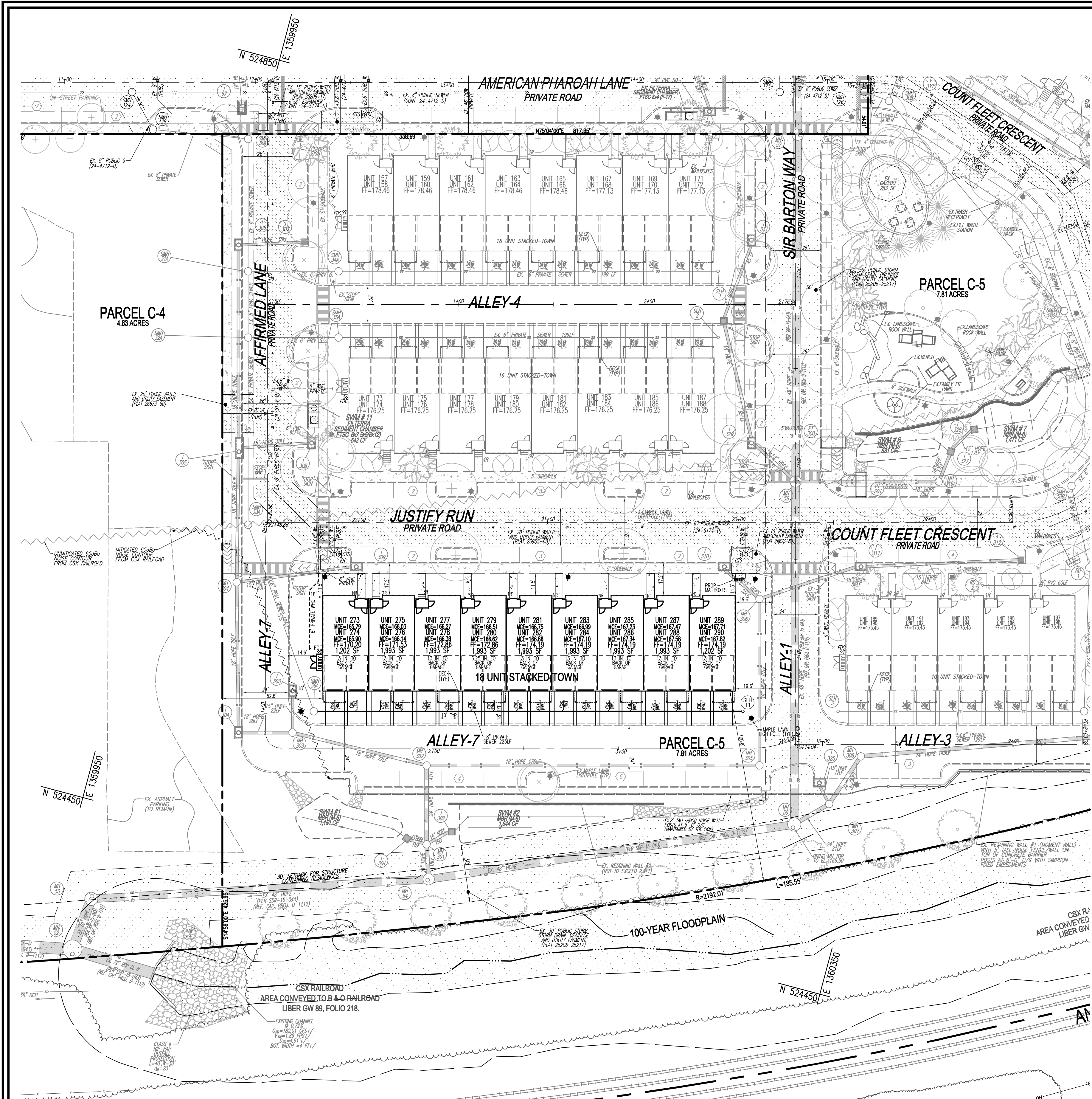
COVER SHEET table listing REQUIRED PER PARKING REDUCTION and REQUIRED PER CODE.

PARKING TABULATION table listing REQUIRED PER CODE and REQUIRED PER PARKING REDUCTION.

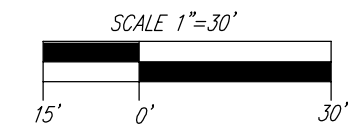
PERMIT INFORMATION CHART table listing SUBMISSION NAME, SECTION, AREA, TAX MAP, ELEC. DIST., and CENSUS TR.

PROFESSIONAL CERTIFICATE table listing DESIGN BY, DRAWN BY, CHECKED BY, DATE, and SCALE.





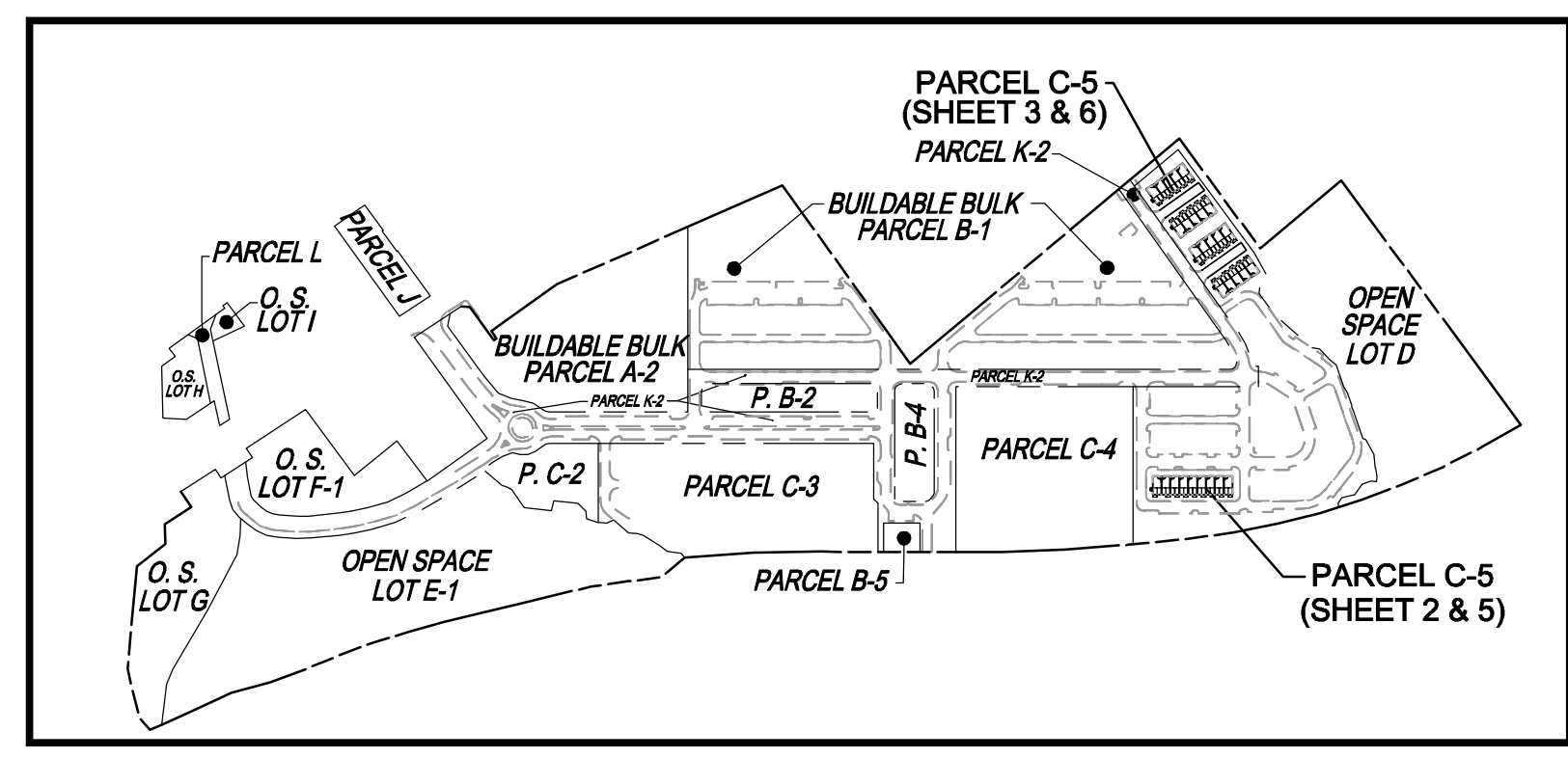
PLAN VIEW
SCALE: 1" = 30'



LEGEND:

	EXISTING CURB AND GUTTER
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING MAILBOX
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY LINE
	EXISTING CLEANOUT
	EXISTING FIRE HYDRANT
	EXISTING WATER LINE
	EXISTING SEWER LINE
	EXISTING TREE LINE
	EXISTING FENCE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	EXISTING STREAM
	EXISTING STREAM BUFFER
	EX. LIMIT OF WETLAND
	EX. WETLAND BUFFER
	PROPOSED STORM DRAIN
	PROPOSED STORM DRAIN INLET
	PROPOSED SIDEWALK
	PROPOSED STREET LIGHT
	EX. PUBLIC SEWER, WATER AND UTILITY EASEMENT PLAT 25206-25217
	PROPOSED STREET SIGN
	EX. TREES
	EX. PUBLIC WATER AND UTILITY EASEMENT PLAT 29555-68
	UNMITIGATED 65dB NOISE CONTOUR FROM CSX RAILROAD
	EX. 100 YEAR PUBLIC FLOODPLAIN, DRAINAGE AND UTILITY EASEMENT

Maryland State Grd Meridian



PARCEL C-5 OWNER	OWNER	OWNER/DEVELOPER
BEAZER HOMES, LLC 6085 MARSHALLE DRIVE, SUITE 350 ELKRIOR, MD 21079 443-539-9249	TRIPLE BELL FARMS, LLC 198 LAUREL RACE TRACK RD LAUREL, MD 20723 (301) 470-5494	20006 DELAWARE, INC. 198 LAUREL RACE TRACK RD LAUREL, MD 20725 (301) 470-5494

NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
LAYOUT SHEET
Paddock Pointe - Phase 3B
(FORMERLY KNOWN AS LAUREL PARK STATION)
58 STACKED TOWN UNITS
PARCEL C-5
ZONED: TOD
PARCEL 384
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

DESIGN BY: DZE/RHV
DRAWN BY: DZE/XG
CHECKED BY: RHV
DATE: SEPT 2024
SCALE: AS SHOWN
W.O. NO.: 07-11/59588

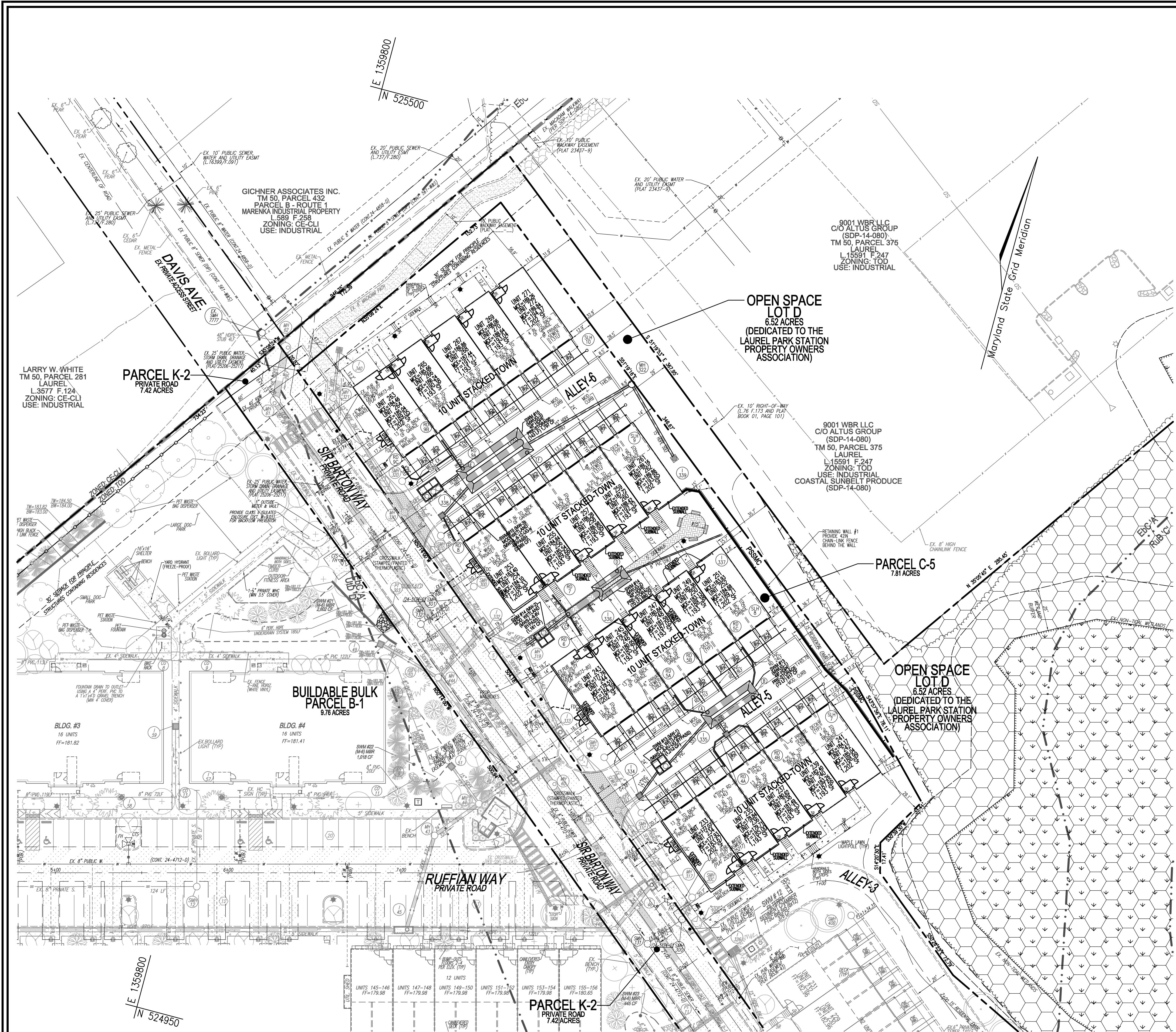
PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2026

Robert H. Vogel
REGISTERED PROFESSIONAL ENGINEER
PE No. 16193

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

	9/25/2024
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
	9/25/2024
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
DIRECTOR	DATE

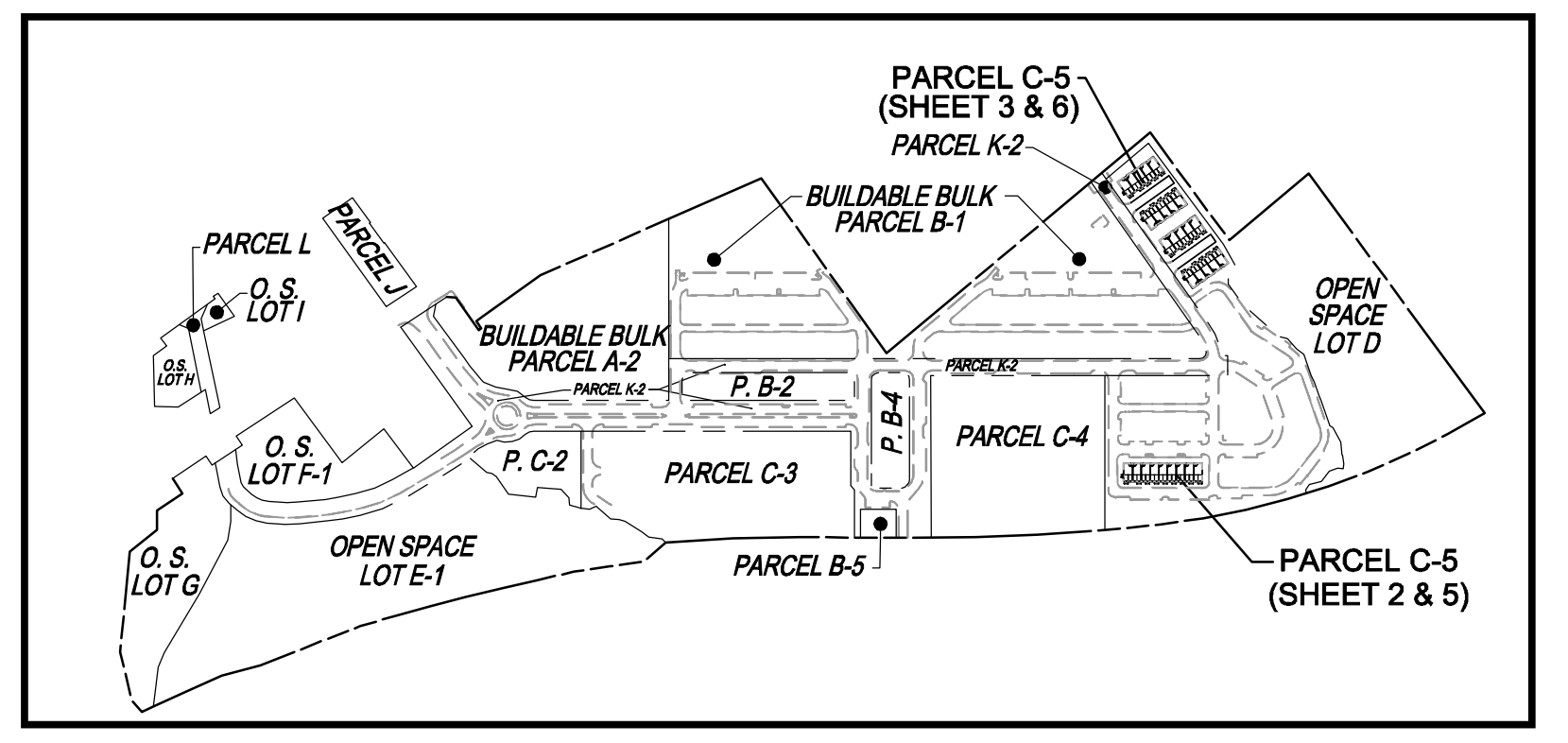
ALL STORM DRAINS AND STORMWATER MANAGEMENT FACILITIES INCLUDING MODULAR WETLAND TO BE PRIVATELY OWNED AND MAINTAINED.



ALL STORM DRAINS AND STORMWATER MANAGEMENT FACILITIES INCLUDING MODULAR WETLAND TO BE PRIVATELY OWNED AND MAINTAINED.

LEGEND:

	EXISTING CURB AND GUTTER
	EXISTING LIGHT POLE
	EXISTING MAILBOX
	EXISTING SIGN
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY LINE
	EXISTING CLEANOUT
	EXISTING FIRE HYDRANT
	EXISTING WATER LINE
	EXISTING SEWER LINE
	EXISTING TREE LINE
	EXISTING FENCE
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	RIGHT-OF-WAY LINE
	EXISTING STREAM
	EXISTING STREAM BUFFER
	EX. LIMIT OF WETLAND
	EX. WETLAND BUFFER
	PROPOSED STORM DRAIN
	PROPOSED STORM DRAIN INLET
	PROPOSED SIDEWALK
	PROPOSED CURB
	PROPOSED STREET LIGHT
	EX. PUBLIC SEWER, WATER AND UTILITY EASEMENT PLAT # 25206-25217
	PROPOSED STREET SIGN
	EX. TREES
	PUBLIC SEWER AND UTILITY EASEMENT PLAT # 25955-68
	EX. FOREST CONSERVATION EASEMENT/RETENTION PLAT # 25206-17



PARCEL C-5 OWNER	OWNER	OWNER/DEVELOPER
BEAZER HOMES, LLC 6085 MARSHALLE DRIVE, SUITE 350 ELKRIOR, MD 21079 443-539-9249	TRIPLE BELL FARMS, LLC 198 LAUREL RACE TRACK RD LAUREL, MD 20723 (301) 470-5494	20006 DELAWARE, INC. 198 LAUREL RACE TRACK RD LAUREL, MD 20723 (301) 470-5494

NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
LAYOUT SHEET
PADDOCK POINTE - PHASE 3B
 (FORMERLY KNOWN AS LAUREL PARK STATION)
 58 STACKED TOWN UNITS
 PARCEL C-5
 ZONED: TOD
 TAX MAP: 50 BLOCK: 10
 5TH ELECTION DISTRICT
 PARCEL 384
 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

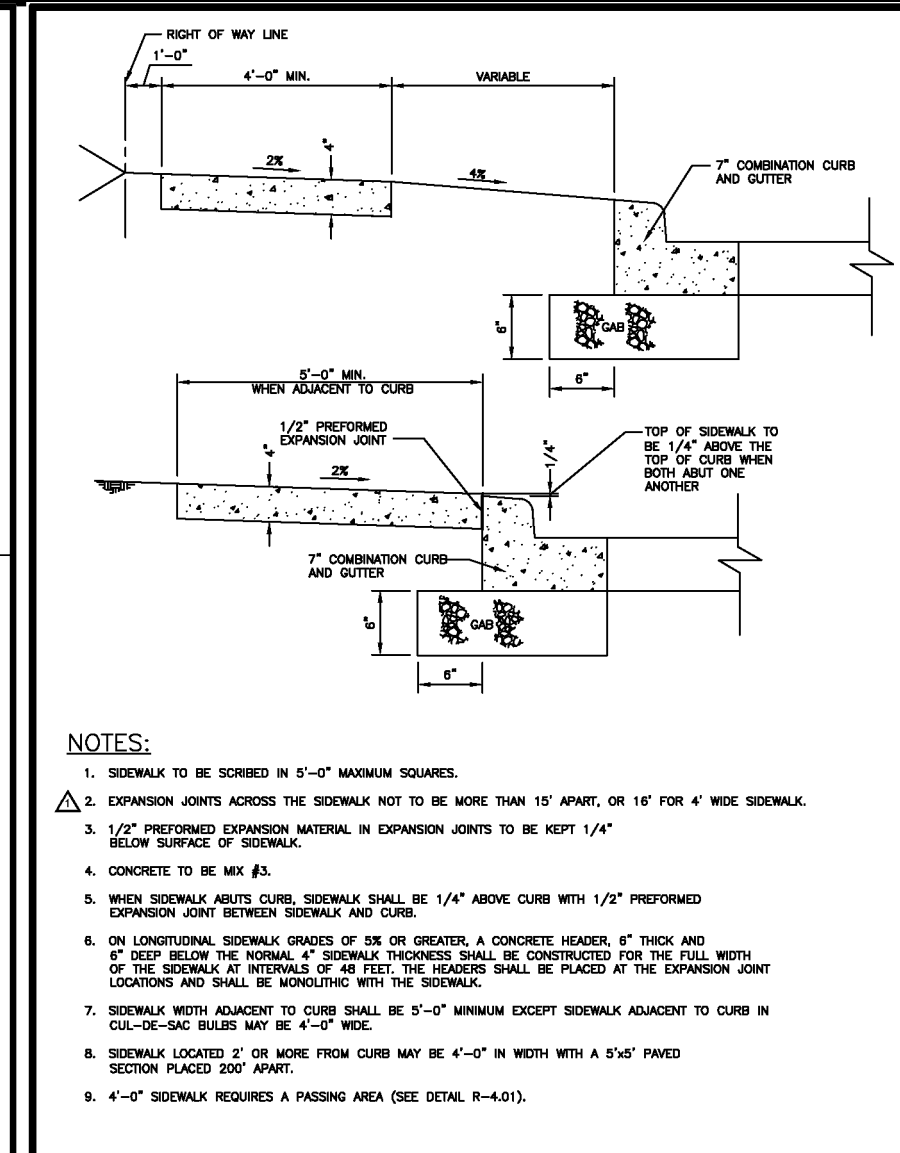
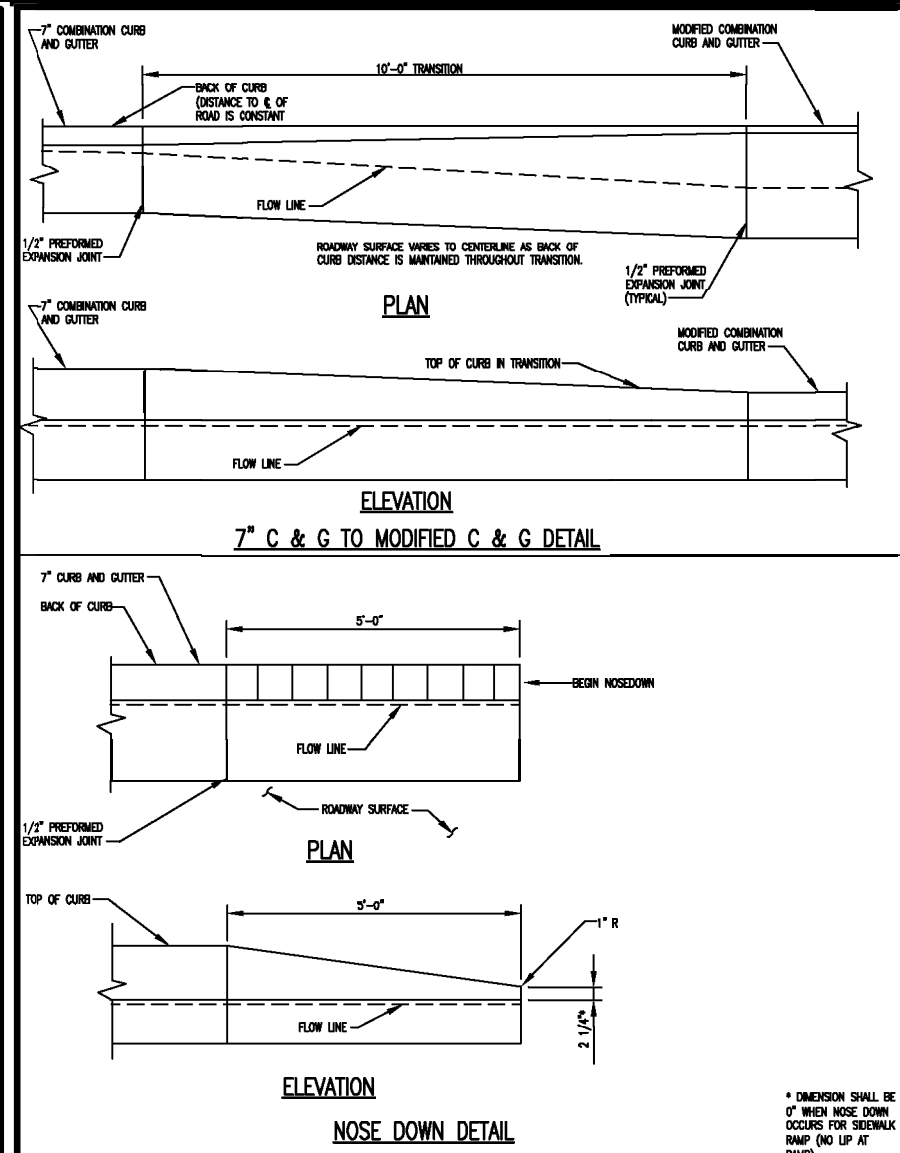
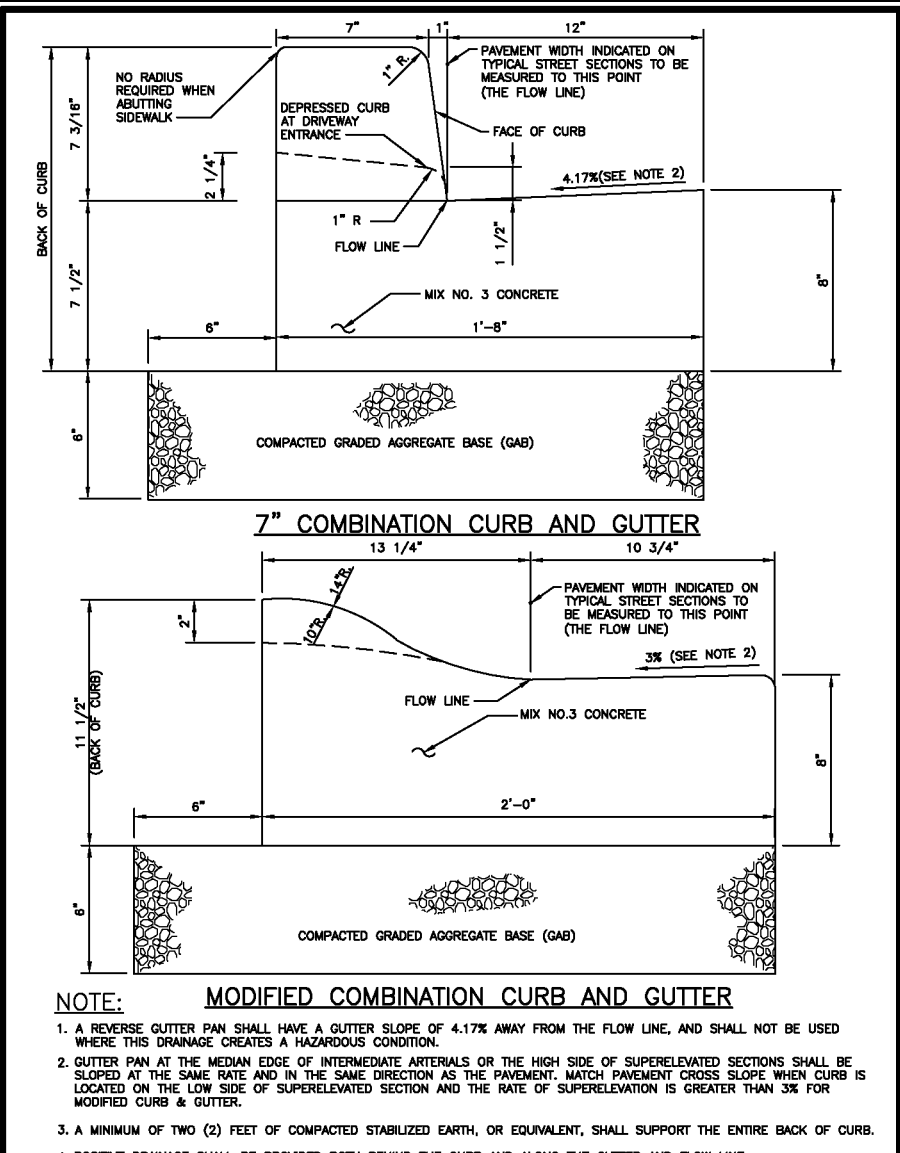
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 DRAWN BY: DZE/XG
 CHECKED BY: RHV
 DATE: SEPT 2024
 SCALE: AS SHOWN
 W.O. NO.: 07-11/59588

Robert H. Vogel
 ROBERT H. VOGEL, PE No.16193

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division: *Chad Edmondson* 9/25/2024
 Chief, Division of Land Development: *Lynnda Eisenberg* 9/25/2024
 Director: *Lynnda Eisenberg* 9/25/2024

PLAN VIEW
 SCALE: 1"=30'



Howard County, Maryland
Department of Public Works
Name: *Prerna E. Saha*
Title: Director of Engineering

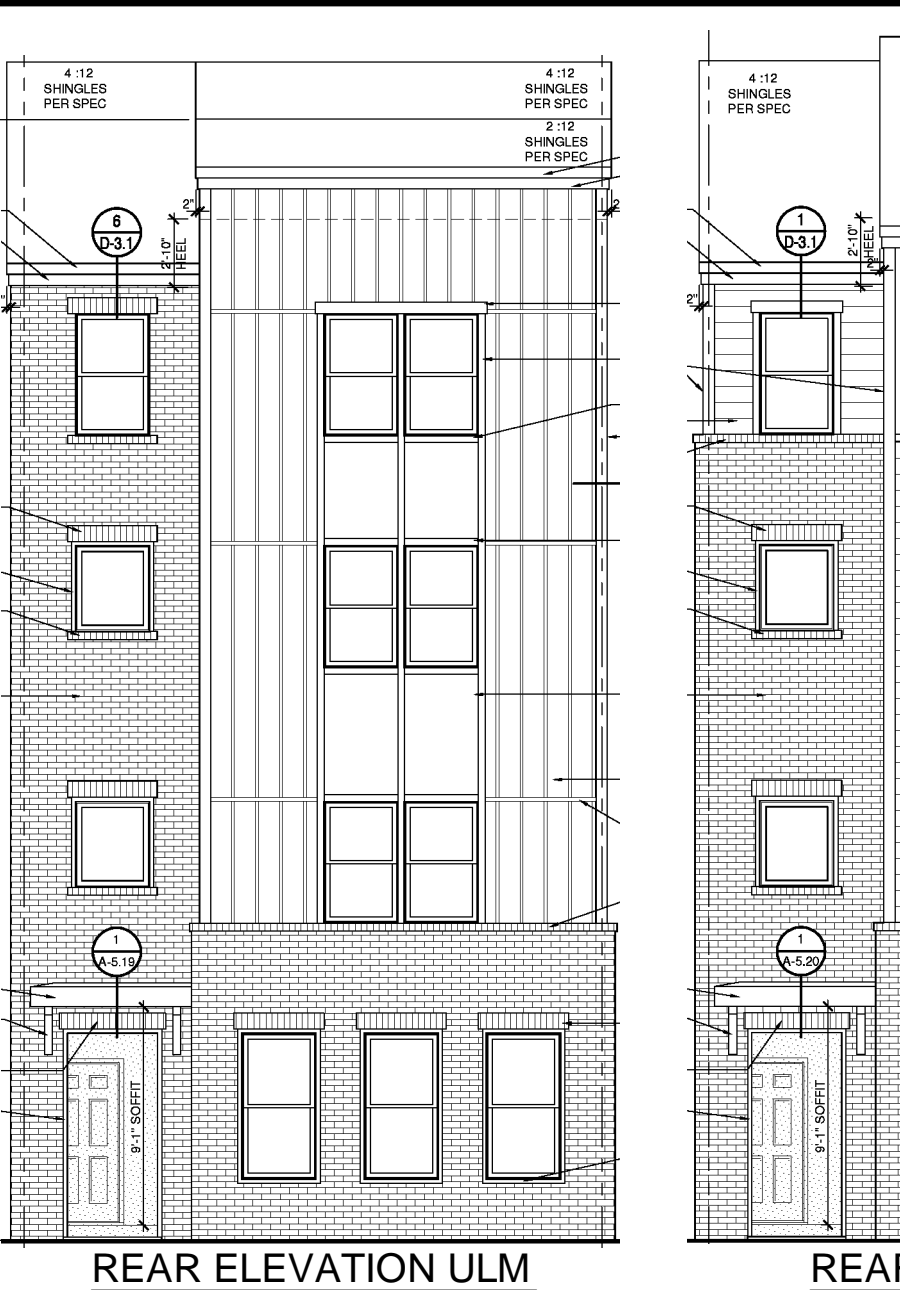
CURB AND GUTTER
7" Modified
R-3.01

Howard County, Maryland
Department of Public Works
Name: *Prerna E. Saha*
Title: Director of Engineering

CURB AND GUTTER
7" Transition to Modified & Nose Down
R-3.02

Howard County, Maryland
Department of Public Works
Name: *Prerna E. Saha*
Title: Director of Engineering

CONCRETE SIDEWALK
R-3.05



FRONT ELEVATION ULL

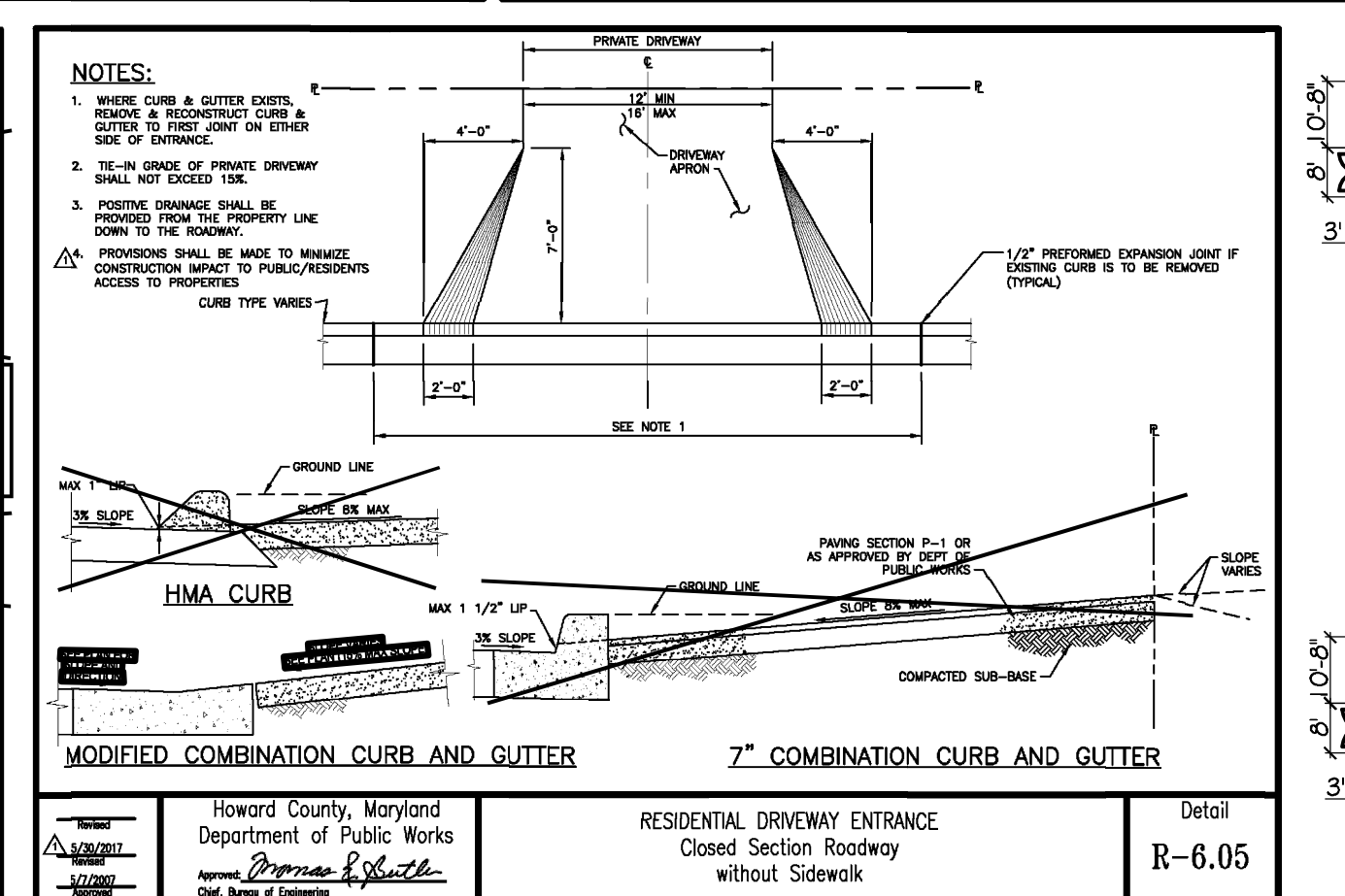
REAR ELEVATION ULM

REAR ELEVATION ULN

STANDARD VISIBILITY REAR ELEVATIONS ULL, ULM, ULN

HIGH VISIBILITY REAR ELEVATIONS ULL, ULM, ULN

SECTION NUMBER	ROAD AND STREET CLASSIFICATION	PAVING BASE	PAVING DECK	PAVING SUB-BASE	PAVING FINISH	PAVING TOTAL THICKNESS	PAVING FINISH ELEVATION	PAVING FINISH ELEVATION	PAVING FINISH ELEVATION	PAVING FINISH ELEVATION
P-1	RESIDENTIAL AND NON-RESIDENTIAL, DRIVEWAY, ALLEY, SIDEWALK, DRIVEWAY, ALLEY, SIDEWALK, DRIVEWAY, ALLEY, SIDEWALK	1.5" MIN. 1/2\"	1.5" MIN. 1/2\"	1.5" MIN. 1/2\"	1.5" MIN. 1/2\"	6.0" MIN. 1/2\"	1.5	1.5	1.5	1.5
P-2	RESIDENTIAL AND NON-RESIDENTIAL, DRIVEWAY, ALLEY, SIDEWALK, DRIVEWAY, ALLEY, SIDEWALK, DRIVEWAY, ALLEY, SIDEWALK	1.5" MIN. 1/2\"	1.5" MIN. 1/2\"	1.5" MIN. 1/2\"	1.5" MIN. 1/2\"	6.0" MIN. 1/2\"	1.5	1.5	1.5	1.5
P-3	RESIDENTIAL AND NON-RESIDENTIAL, DRIVEWAY, ALLEY, SIDEWALK, DRIVEWAY, ALLEY, SIDEWALK, DRIVEWAY, ALLEY, SIDEWALK	1.5" MIN. 1/2\"	1.5" MIN. 1/2\"	1.5" MIN. 1/2\"	1.5" MIN. 1/2\"	6.0" MIN. 1/2\"	1.5	1.5	1.5	1.5
P-4	RESIDENTIAL AND NON-RESIDENTIAL, DRIVEWAY, ALLEY, SIDEWALK, DRIVEWAY, ALLEY, SIDEWALK, DRIVEWAY, ALLEY, SIDEWALK	1.5" MIN. 1/2\"	1.5" MIN. 1/2\"	1.5" MIN. 1/2\"	1.5" MIN. 1/2\"	6.0" MIN. 1/2\"	1.5	1.5	1.5	1.5

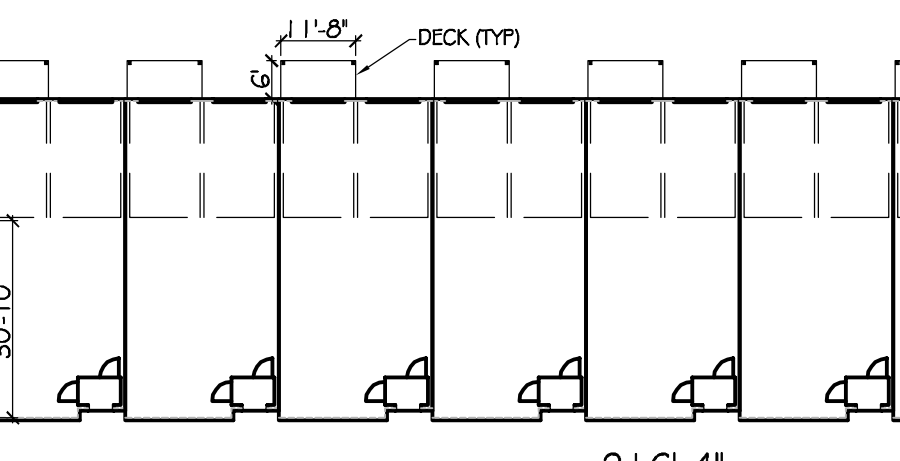
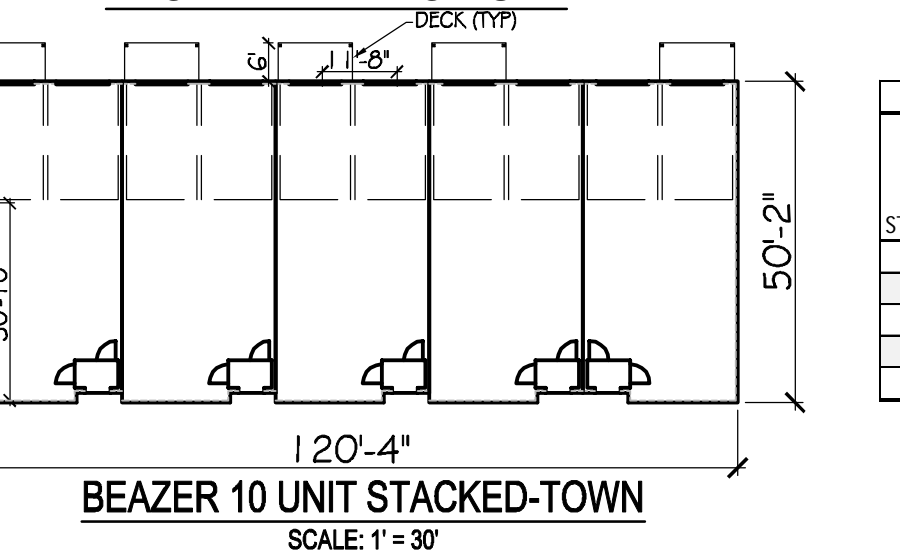


Howard County, Maryland
Department of Public Works
Name: *Prerna E. Saha*
Title: Director of Engineering

PAVING SECTIONS
P-1 to P-4
R-2.01

Howard County, Maryland
Department of Public Works
Name: *Prerna E. Saha*
Title: Director of Engineering

RESIDENTIAL DRIVEWAY ENTRANCE
Closed Section Roadway
Without Sidewalk
R-6.05



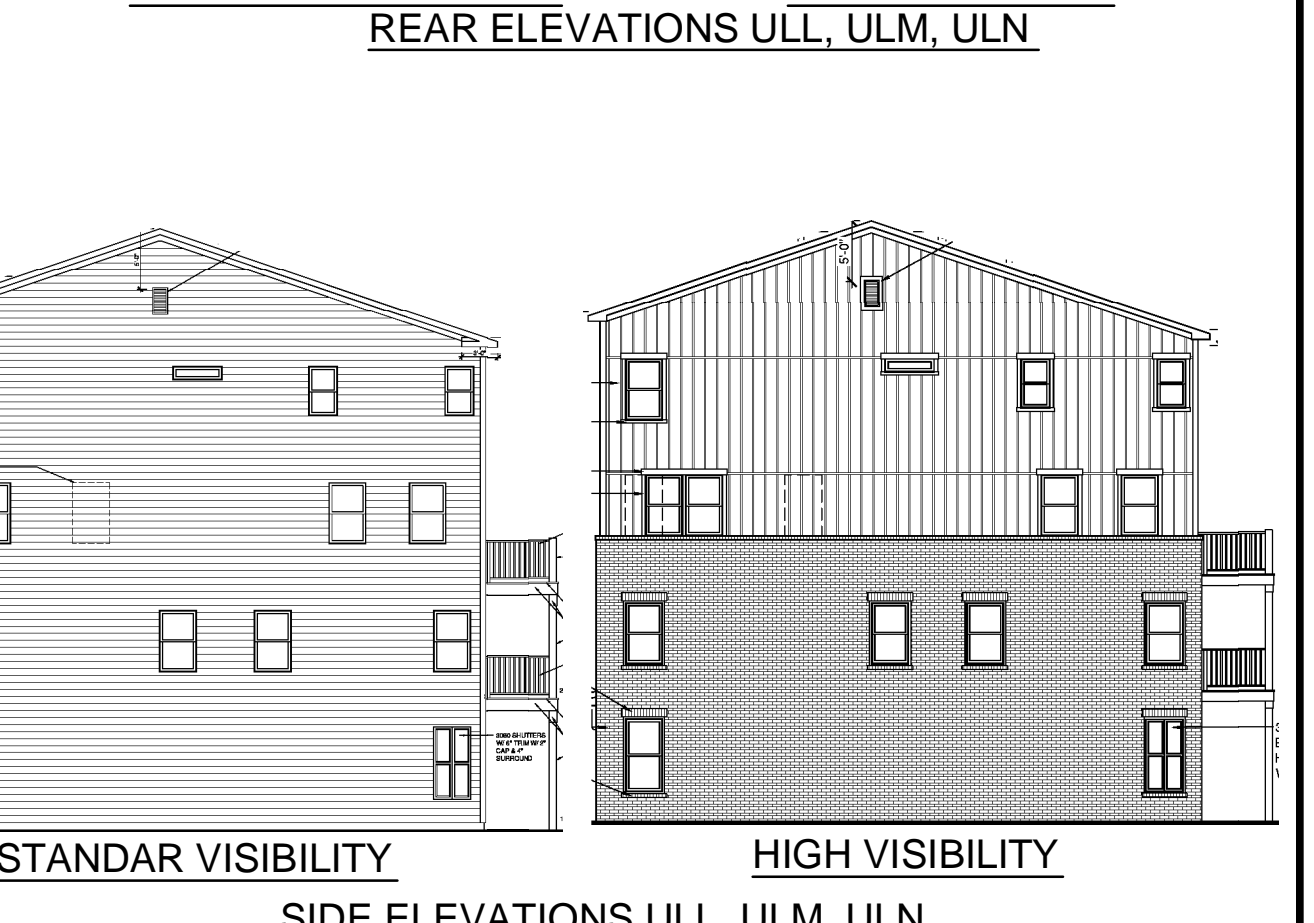
BEAZER 10 UNIT STACKED-TOWN SCALE: 1" = 30'

BEAZER 18 UNIT STACKED-TOWN SCALE: 1" = 30'

BEAZER STACKED TOWNHOUSE FOOTPRINTS

BEAZER STACKED TOWNHOUSE TYPICAL ELEVATIONS

ELEVATIONS MAY VARY HEIGHT WILL NOT EXCEED MAX AS SHOWN NOT TO SCALE



STANDAR VISIBILITY SIDE ELEVATIONS ULL, ULM, ULN

HIGH VISIBILITY SIDE ELEVATIONS ULL, ULM, ULN



STANDAR VISIBILITY SIDE ELEVATIONS WITH SPRINKLER ROOM

HIGH VISIBILITY SIDE ELEVATIONS WITH SPRINKLER ROOM

Key-Link Fencing & Railing
260 John Dr. • New Holland, PA 17357
Tel: 888.704.7130 • Fax: 717.355.7139
keylinkonline.com

Fence #412014

- 4 - Commercial
- 1 - Picket Top
- 2 - Flash Bottom
- 0 - No Bottom Mid Rail
- 1 - Thru Top Mid Rail
- 4 - Quad Picket Top

Stock Color Options: Gloss Black, Blue White, Olive Bronze

Special Order Color Options: Textured Black, Textured Bronze, Textured Silver, Textured White, Textured Grey, Textured Green, Textured Red, Textured Blue, Textured Yellow

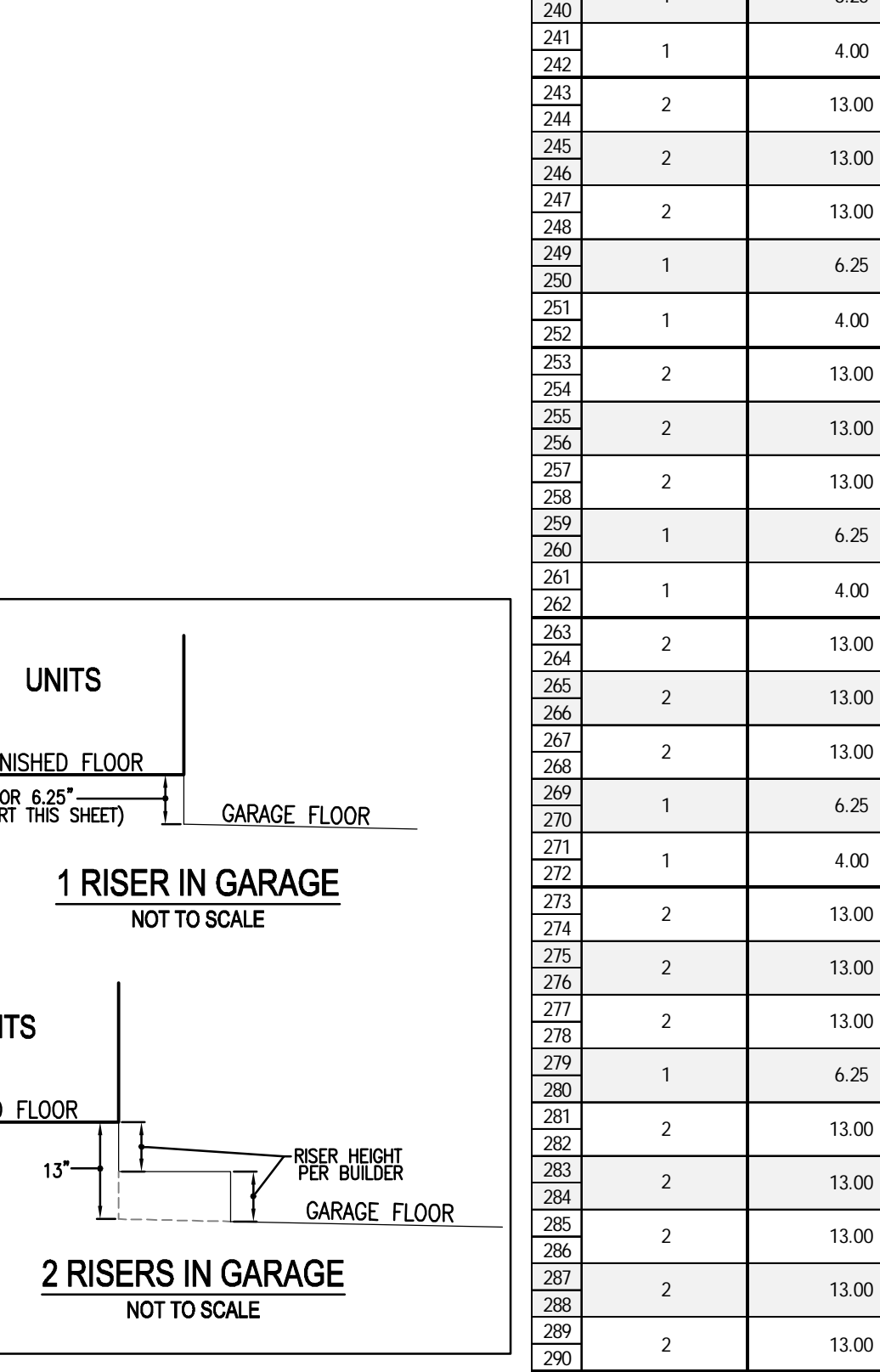
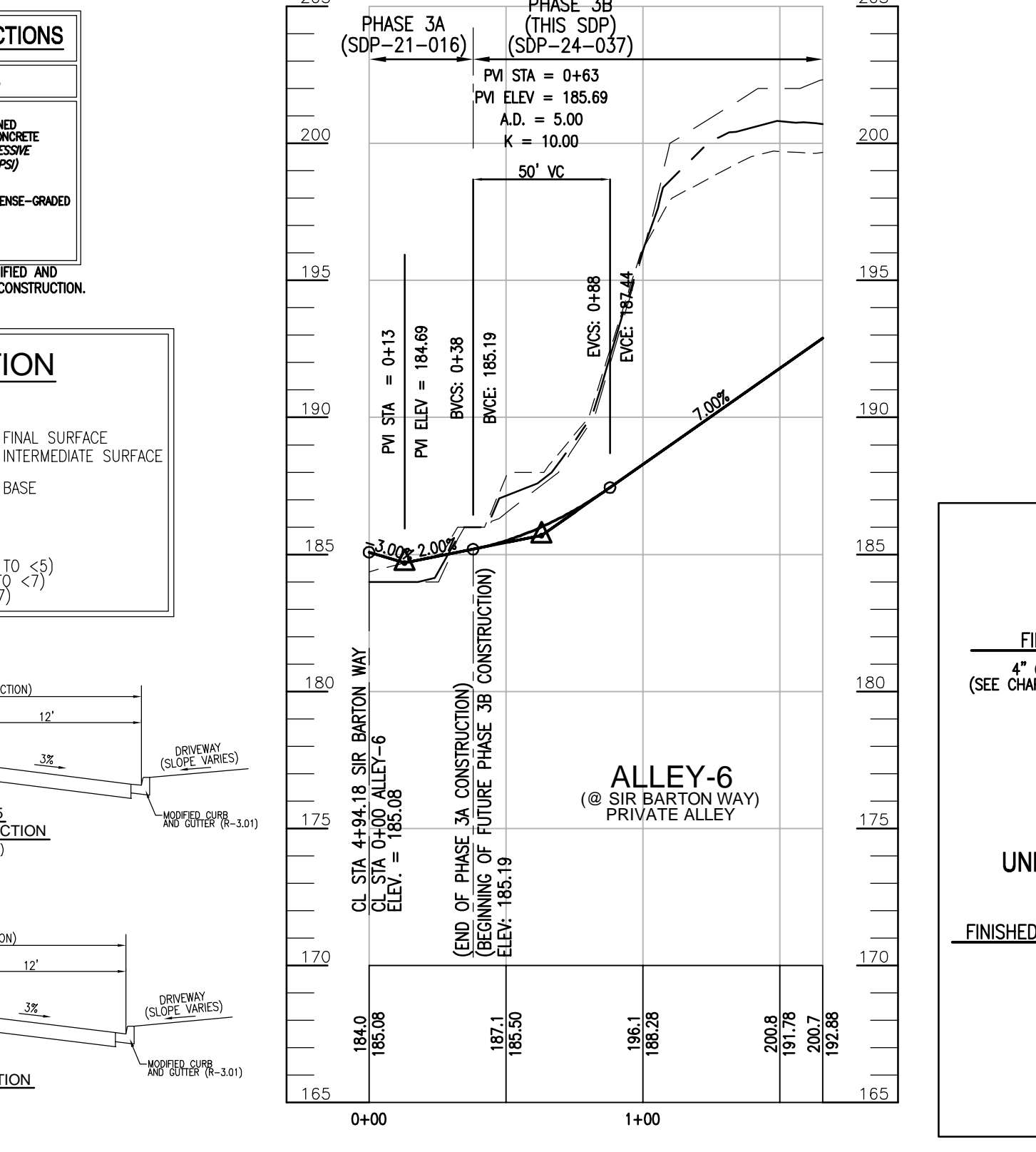
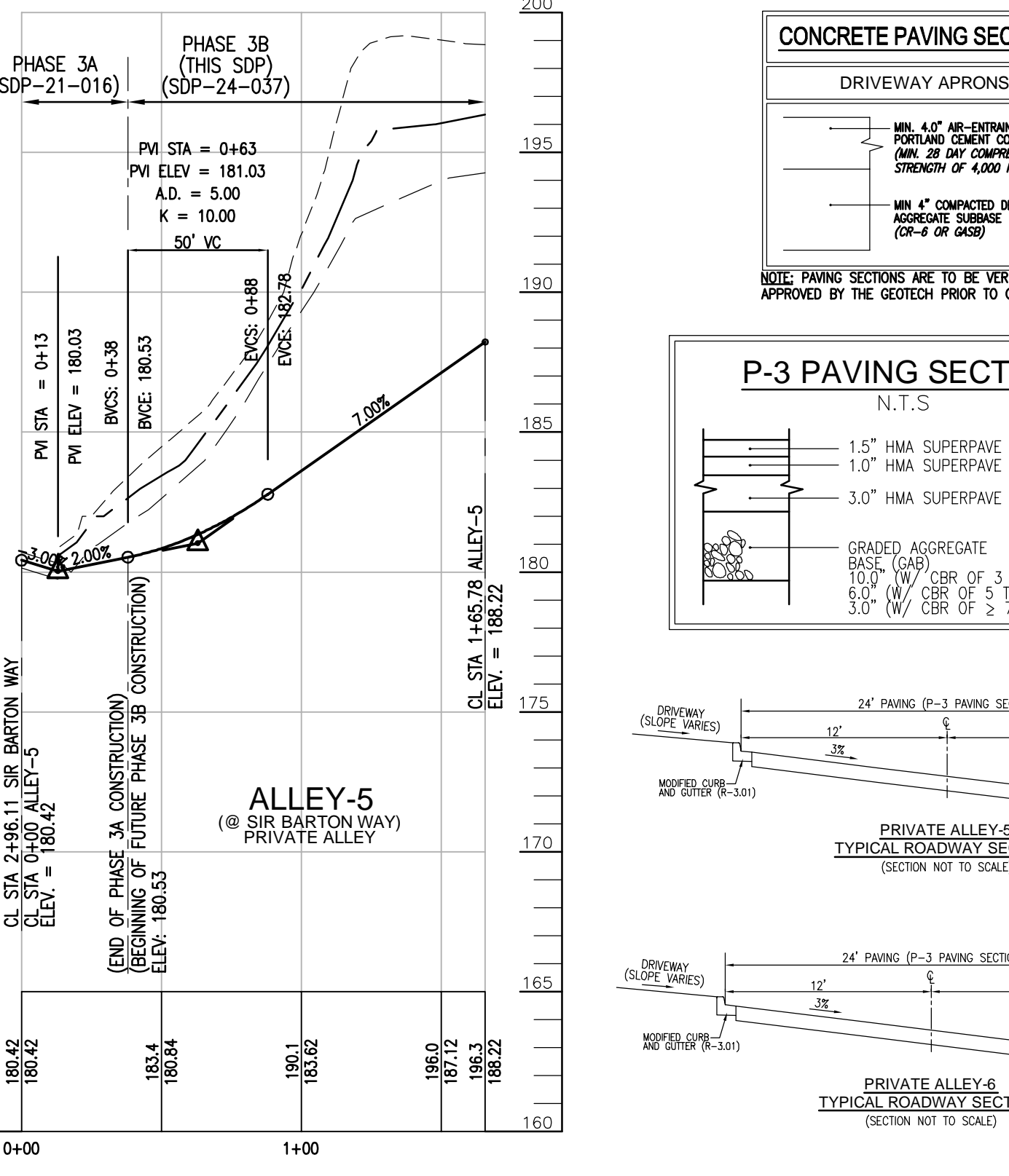
Post Cap Options: Flat Cap, Ball Cap

Modern & Contemporary Aluminum

ORNAMENTAL FENCE DETAIL
LOCATED BEHIND GRAVITY WALLS OVER 30 INCHES IN HEIGHT - OR SIMILAR -

Maple Lawn

MAPLE LAWN STYLE POST TOP ORNAMENTAL LED LIGHT - OB SILIMAB -



PARCEL C-5 OWNER: BEAZER HOMES, LLC
OWNER: TRIPLE BELL FARMS, LLC
OWNER/DEVELOPER: 2006 DELAWARE, INC.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chad Edmondson 9/25/2024
CHIEF, DEVELOPMENT ENGINEERING DIVISION

Linda Eisenberg 9/25/2024
CHIEF, DIVISION OF LAND DEVELOPMENT

DATE: 9/25/2024

VOGEL ENGINEERING
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

TIMMONS GROUP

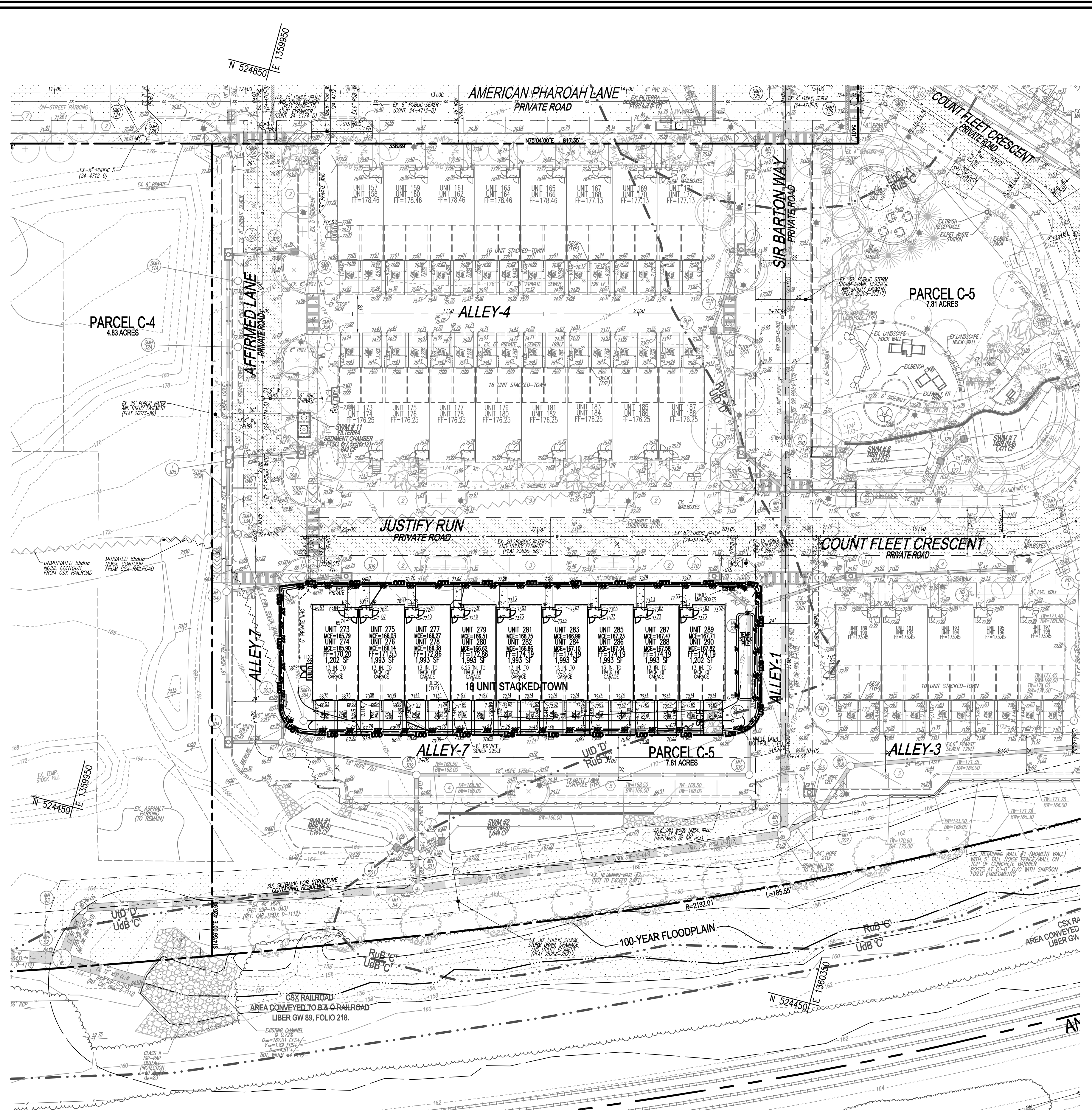
PADDOCK POINTE - PHASE 3B
(FORMERLY KNOWN AS LAUREL PARK STATION)
58 PARCEL UNITS
PARCEL C-5
ZONED: TOD

TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT

NO. REVISION DATE

DESIGN BY: DZE/RHV
DRAWN BY: DZE/XG
CHECKED BY: RHV
DATE: SEPT 2024
SCALE: AS SHOWN
W.O. NO.: 07-11/59988

4 OF 20



PLAN VIEW
SCALE: 1"=60'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
CHD Edmondson 9/25/2024

CHIEF, DIVISION OF LAND DEVELOPMENT
Linda Eisenberg 9/25/2024

DIRECTOR
Linda Eisenberg 9/25/2024

OWNER/DEVELOPER CERTIFICATION:
I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

Brian A. Knauff 9/12/2024
OWNER/DEVELOPER SIGNATURE
Brian A. Knauff
PRINTED NAME & TITLE

DESIGN CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DocuSigned by:
Robert H. Vogel 9/11/2024
DESIGNER'S SIGNATURE
ROBERT H. VOGEL
PRINTED NAME
MD REGISTRATION NO. 16193
R.L.S., OR R.L.A. (Circle one)

THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DocuSigned by:
Alexander Brathies 24/2024
HOWARD S.C.D.
DATE

ALL STORM DRAINS AND STORMWATER MANAGEMENT FACILITIES INCLUDING MODULAR WETLAND TO PRIVATELY OWNED AND MAINTAINED.

LEGEND:

---	EXISTING CONTOUR
---	PROPOSED CONTOUR
+	EXISTING SPOT ELEVATION
+	PROPOSED SPOT ELEVATION
---	EXISTING CURB AND GUTTER
○	EXISTING UTILITY POLE
○	EXISTING LIGHT POLE
○	EXISTING MAILBOX
○	EXISTING SIGN
○	EXISTING SANITARY MANHOLE
---	EXISTING SANITARY LINE
---	EXISTING CLEANOUT
---	EXISTING FIRE HYDRANT
---	EXISTING WATER LINE
---	PROPOSED STORM DRAIN

SEDIMENT CONTROL NOTES:

- SEDIMENT CONTROLS INTERRUPTED BY INSTALLATION OF UTILITY LINES ARE TO BE REPAIRED IMMEDIATELY.
- MANHOLE COVERS NOT TO BE LOCATED IN CURB OR GUTTER PAVEMENT.
- LOCATE STOCKPILES AS SHOWN HEREON OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED. SEE STABILIZATION SPICES.
- SUPER SILT FENCE SHALL BE CURLED UPHILL AT 35 FT. INTERVALS WHEREVER IT RUNS DOWNHILL.
- DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED.
- EITHER TEMPORARY OR PERMANENT SEEDING AND STABILIZATION IS TO BE PERFORMED AT THE DISCRETION OF THE SEDIMENT CONTROL INSPECTOR OR AT THE INTERVALS PROVIDED IN THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, WHICHEVER IS MORE STRINGENT.
- EARTH BERMS ARE TO BE CONVERTED TO MACADAM BERMS AS NEEDED OR DIRECTED BY THE SD INSPECTOR.

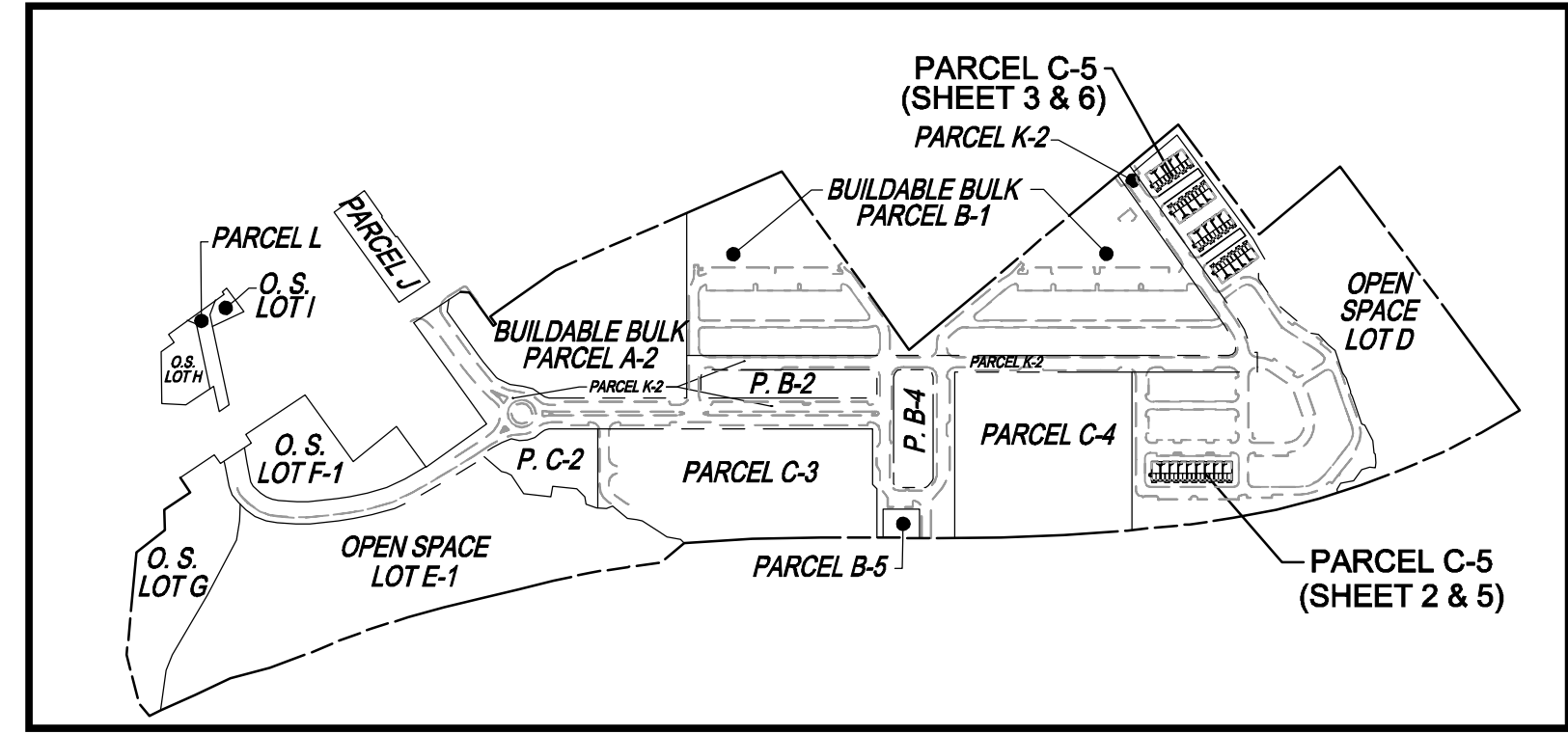
EXISTING UTILITIES NOTE:
EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED FROM EXISTING SITE DEVELOPMENT PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER EXTENSION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION ONLY.

CONTRACTOR SHALL TEST PIT TO VERIFY EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES, TO MAINTAIN UNINTERRUPTED SERVICE AND TO PROVIDE REQUIRED CLEARANCES FOR ALL PROPOSED UTILITIES. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.

SOILS LEGEND
HOWARD COUNTY SOILS MAP #28

SYMBOL	NAME / DESCRIPTION	GROUP	K-FACTOR	ERODIBLE	HYDRIC
---	EB Evesboro loamy sand, 2 to 10 percent slopes	A	0.49	YES	NO
---	Fb Fallston sandy loam, 0 to 2 percent slopes	D	0.24	NO	YES
---	Rb Russell and Beltsville soils, 2 to 5 percent slopes	C	0.43	YES	NO
---	Uhb Urbontown's loamy, 0 to 5 percent slopes	C	0.24	NO	NO
---	Uhd Urban land-woodruths complex, 0 to 15 percent slopes	D	0.28	NO	NO

SOILS NOTE:
HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.



KEYMAP
NOT TO SCALE

PARCEL C-5 OWNER: BEAZER HOMES, LLC
OWNER: TRIPLE BELL FARMS, LLC
OWNER/DEVELOPER: 20006 DELAWARE, INC.

NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
GRADING AND SOIL EROSION AND SEDIMENT CONTROL PLAN; SOILS PLAN
PADDOCK POINTE - PHASE 3B
(FORMERLY KNOWN AS LAUREL PARK STATION)
58 STACKED TOWN UNITS
PARCEL C-5
ZONED: TOD
TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT
PARCEL 384
HOWARD COUNTY, MARYLAND

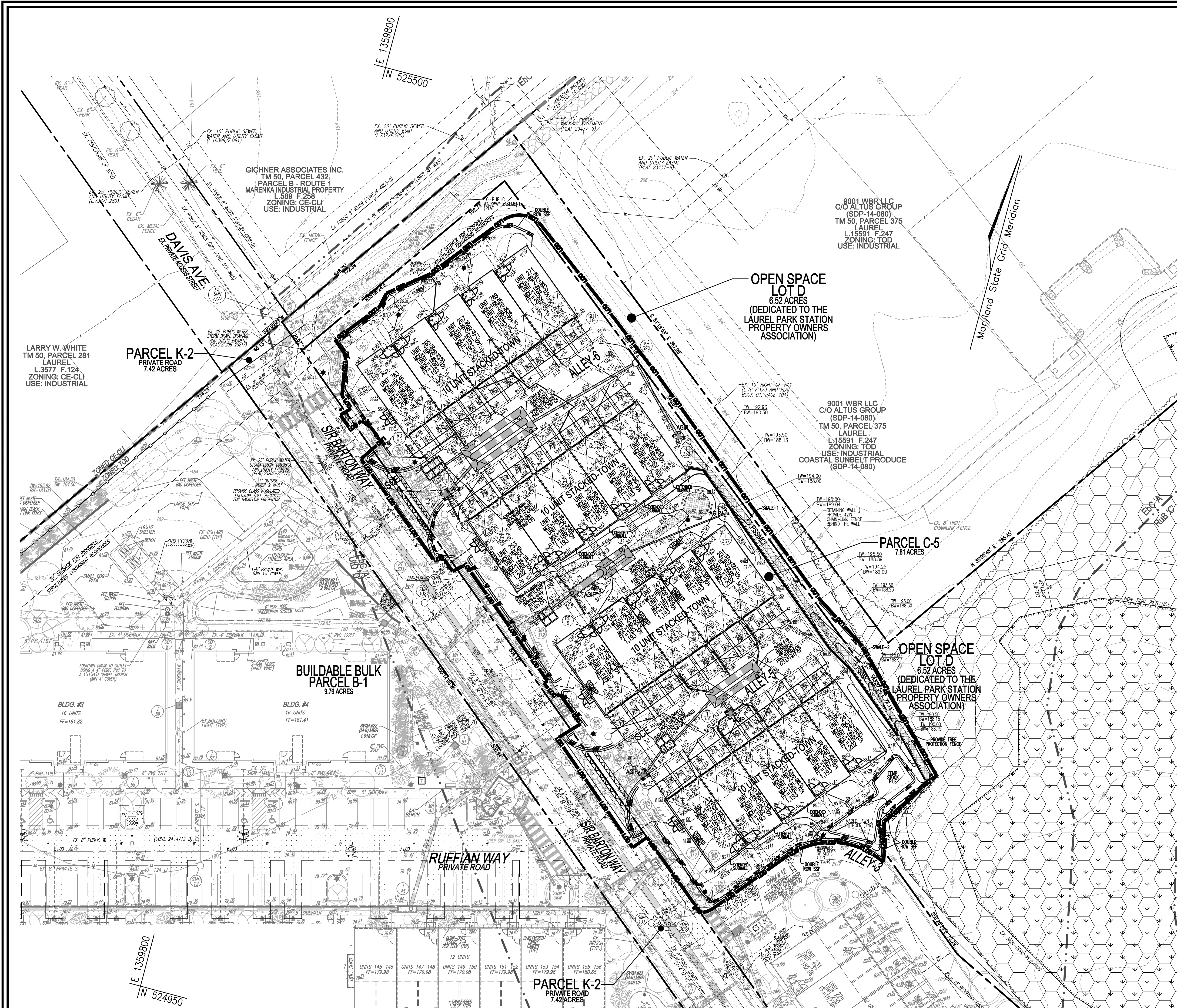
VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

DESIGN BY: DZE/RHV
DRAWN BY: DZE/XG
CHECKED BY: RHV
DATE: SEPT 2024
SCALE: AS SHOWN
W.O. NO.: 07-11/59588

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2026

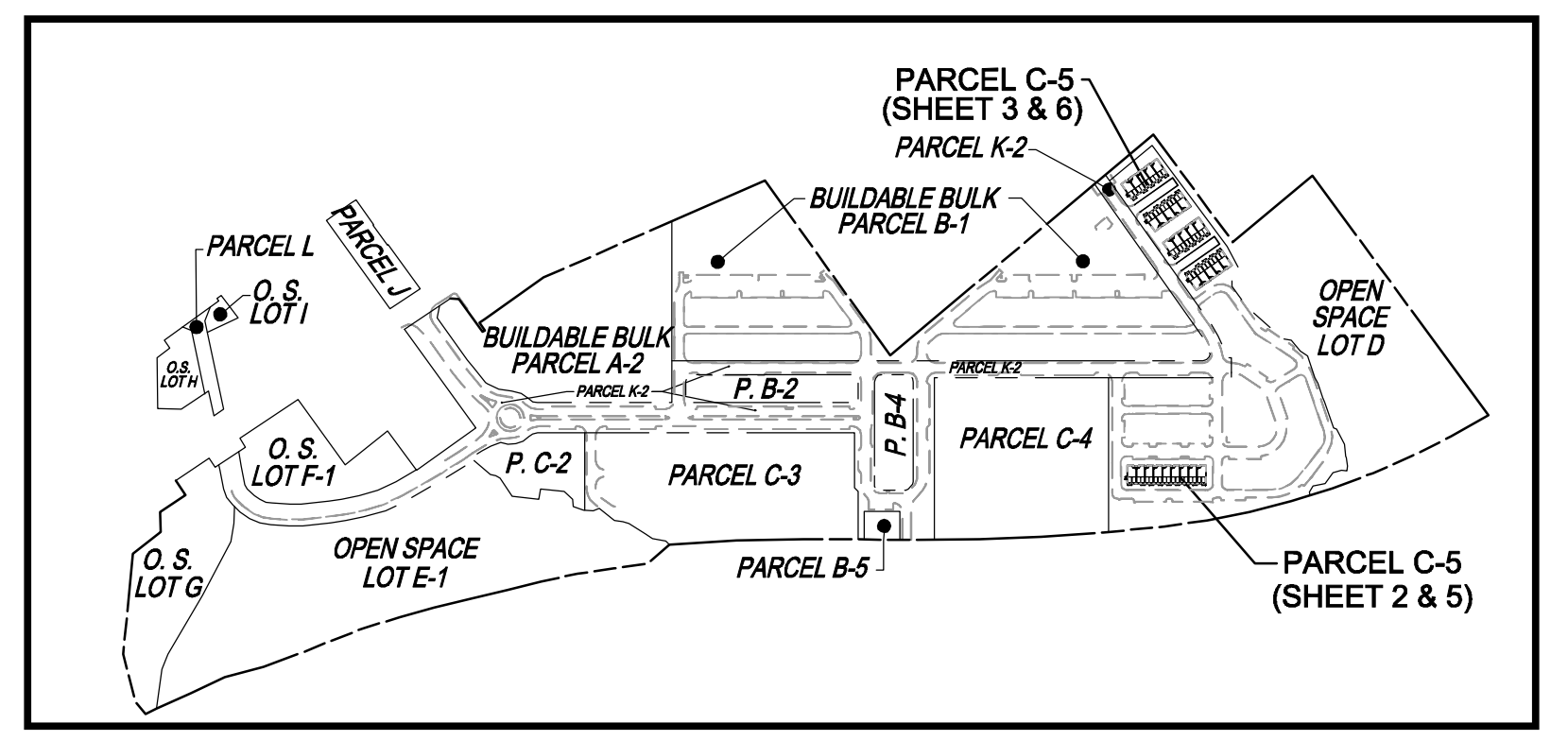
Robert H. Vogel
REGISTERED PROFESSIONAL ENGINEER
PE No. 16193

5 OF 20



ALL STORM DRAINS AND STORMWATER MANAGEMENT FACILITIES INCLUDING MODULAR WETLAND TO BE PRIVATELY OWNED AND MAINTAINED.

LEGEND: Table listing symbols for existing and proposed contours, elevations, utility lines, storm drains, and other site features.



PLAN VIEW SCALE: 1"=30'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. Chief, Development Engineering Division: Chad Edmondson, 9/25/2024.

OWNER/DEVELOPER CERTIFICATION: I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN...

DESIGN CERTIFICATION: I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS...

THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT. Signed by Robert H. Vogel, 9/24/2024.

SOILS LEGEND: HOWARD COUNTY SOILS MAP #28. Table with columns for SYMBOL, NAME / DESCRIPTION, GROUP, K-FACTOR, ERODIBLE, HYDROIC.

EXISTING UTILITIES NOTE: EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED FROM EXISTING SITE DEVELOPMENT PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER EXTENSION PLANS...

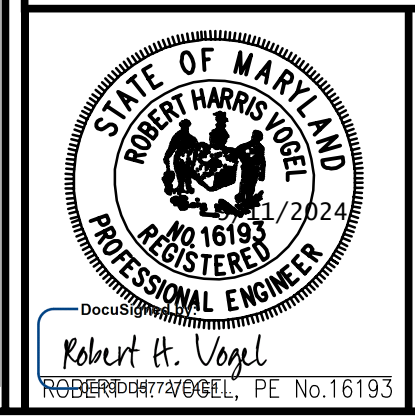
CONTRACTOR SHALL TEST PIT TO VERIFY EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES...

PARCEL C-5 OWNER, OWNER, OWNER/DEVELOPER. Lists names and addresses for Beazer Homes, LLC, Triple Bell Farms, LLC, and 2000 Delaware, Inc.

Table with columns: NO., REVISION, DATE. Revision 1: 9/25/2024.

SITE DEVELOPMENT PLAN GRADING AND SOIL EROSION AND SEDIMENT CONTROL PLAN; SOILS PLAN PADDOCK POINTE - PHASE 3B (FORMERLY KNOWN AS LAUREL PARK STATION) 58 STACKED TOWN UNITS ZONED: TOD

VOGEL ENGINEERING + TIMMONS GROUP 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043



DESIGN BY: DZE/RHV, DRAWN BY: DZE/XG, CHECKED BY: RHV, DATE: SEPT 2024, SCALE: AS SHOWN, W.O. NO.: 07-11/59588, PROFESSIONAL CERTIFICATE: 6 OF 20

B-4-2 STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING AND SOIL AMENDMENTS

DEFINITION: THE PREPARATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER. PURPOSE: TO PREPARE DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION. CONDITIONS WHERE PRACTICE APPLIES: TO ALL AREAS OF THE PROJECT WHERE PRACTICE APPLIES.

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

DEFINITION: THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER. PURPOSE: TO PREPARE DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION. CONDITIONS WHERE PRACTICE APPLIES: TO ALL AREAS OF THE PROJECT WHERE PRACTICE APPLIES.

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

DEFINITION: TO PREPARE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS. PURPOSE: TO PREPARE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS. CONDITIONS WHERE PRACTICE APPLIES: TO ALL AREAS OF THE PROJECT WHERE PRACTICE APPLIES.

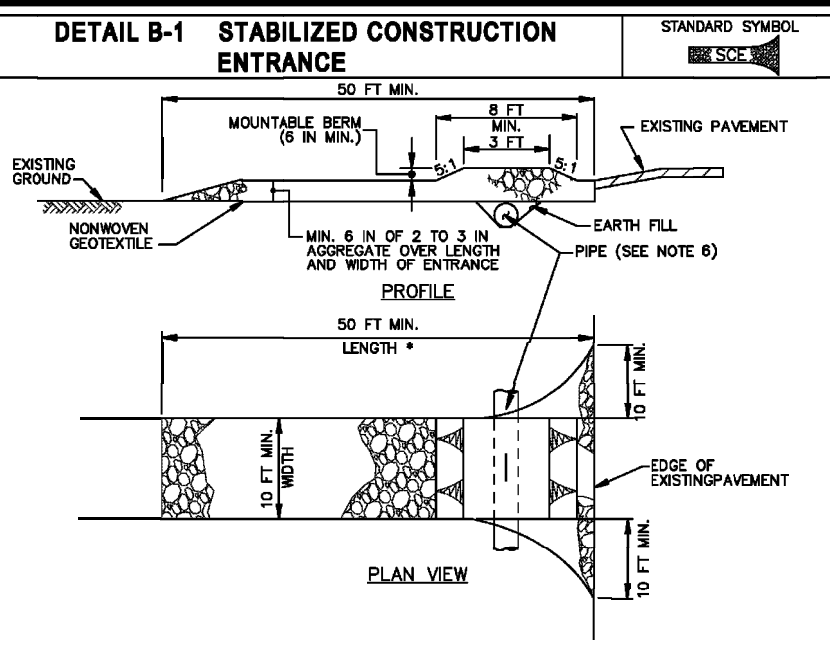
TEMPORARY SEEDING SUMMARY table with columns: HARNESS ZONE, SEED MIXTURE, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FELLER RATE, and LIME RATE.

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

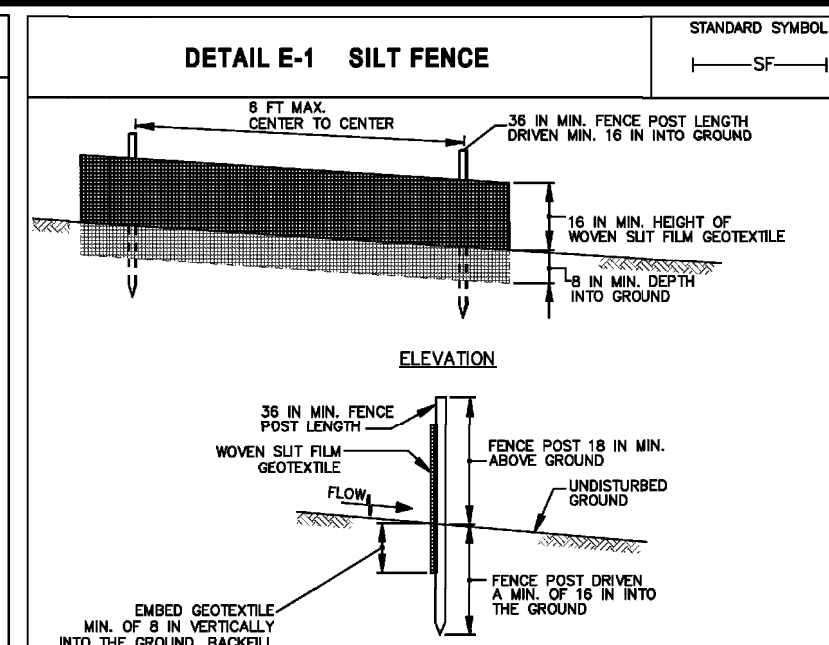
DEFINITION: TO PERMANENTLY STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION. PURPOSE: TO PERMANENTLY STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION. CONDITIONS WHERE PRACTICE APPLIES: TO ALL AREAS OF THE PROJECT WHERE PRACTICE APPLIES.

SEQUENCE OF CONSTRUCTION

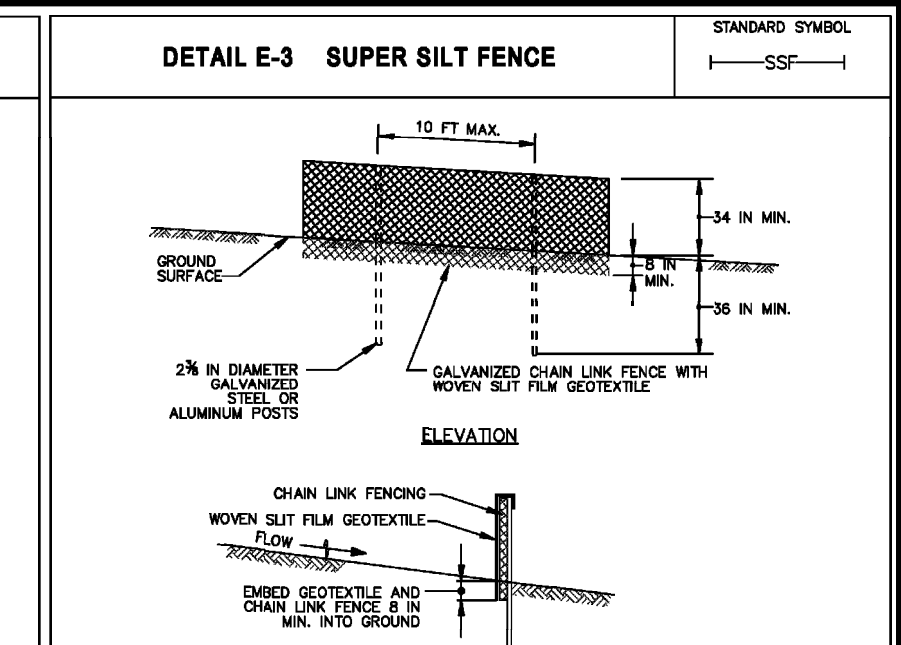
- 1. OBTAIN GRADING PERMIT (1 DAY)
2. DEVELOPER/CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR...
3. NOTIFY HOWARD COUNTY BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION...
4. STAKEOUT LIMITS OF DISTURBANCE (2 DAYS)
5. INSTALL STABILIZED CONSTRUCTION ENTRANCES WITH MOUNTABLE BERMS...
6. CLEAR AND GRUB FOR THE INSTALLATION OF ALL PERIMETER CONTROLS...
7. INSTALL PERIMETER CONTROLS INCLUDING SUPER SILT FENCE AND TREE PROTECTION FENCING...
8. WITH APPROVAL OF SEDIMENT CONTROL INSPECTOR, CLEAR AND GRUB REMAINDER OF SITE TO LOD (1 WEEK)
9. WITH PERMISSION FROM SEDIMENT CONTROL INSPECTOR, BEGIN SITE GRADING...
10. BEGIN INSTALLATION OF SEWER, SANI, MODULAR WETLANDS FACILITIES INCLUDING UNDERGROUNDING PRE-EXISTING STORM DRAIN WITH INLET PROTECTION, AND WATER AS SHOWN...
11. WITH INSPECTOR'S APPROVAL, AND ONCE PROJECT IS BROUGHT TO SUBGRADE AND UTILITIES HAVE PROCEEDED SUFFICIENTLY, AND WITH THE STACKED/TOWNHOUSE BUILDING PADS...
12. WITH PERMISSION FROM SEDIMENT CONTROL INSPECTOR, BEGIN INSTALLATION OF BASE PAVING FOR ALL AREAS AND CONCRETE CURB AND GUTTER...
13. COMPLETE STACKED/TOWNHOUSE BUILDING CONSTRUCTION (6 MONTHS)
14. AFTER PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, INSTALL PAVING SURFACE COURSE...
15. WITH INSPECTOR'S APPROVAL, TIME GRADE AND STABILIZE ALL AREAS OF PARCEL INCLUDING ANY EXPOSED EARTH AREAS OUTSIDE THE LOD...
16. AFTER PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR REMOVE ANY REMAINING CONTROLS AND STABILIZE ALL REMAINING DISTURBED AREAS WITH PERMANENT SEEDING MIXTURE AND STRAW MULCH...
17. REMOVE ALL TRASH JUNK AND DEBRIS FROM THE LIMIT OF DISTURBANCE (3 WEEKS)
18. DURING GRASS AND AFTER EACH RAINFALL, CONTRACTOR WILL INSPECT AND PROVIDE NECESSARY MAINTENANCE TO THE SEDIMENT CONTROL MEASURES ON THIS PLAN...
19. ANY CHANGES OR REVISIONS TO THE SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE PLAN APPROVING AUTHORITY PRIOR TO PROCEEDING WITH CONSTRUCTION.



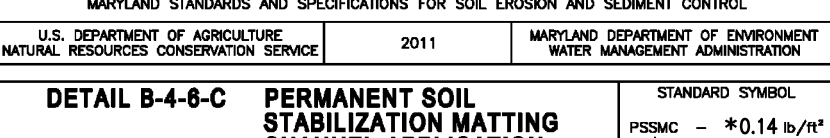
CONSTRUCTION SPECIFICATIONS: 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN... 2. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT... 3. PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE... 4. PLACE CURBED AGGREGATE... 5. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT... 6. REMOVE ALL TRASH JUNK AND DEBRIS FROM THE LIMIT OF DISTURBANCE... 7. DURING GRASS AND AFTER EACH RAINFALL, CONTRACTOR WILL INSPECT AND PROVIDE NECESSARY MAINTENANCE...



CONSTRUCTION SPECIFICATIONS: 1. PLACE SILT FENCE WITH FLOWING TO OR DIVERTED TOWARD THE SIDE UNDER THE ENTRANCE... 2. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT... 3. PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE... 4. PLACE CURBED AGGREGATE... 5. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT... 6. REMOVE ALL TRASH JUNK AND DEBRIS FROM THE LIMIT OF DISTURBANCE... 7. DURING GRASS AND AFTER EACH RAINFALL, CONTRACTOR WILL INSPECT AND PROVIDE NECESSARY MAINTENANCE...



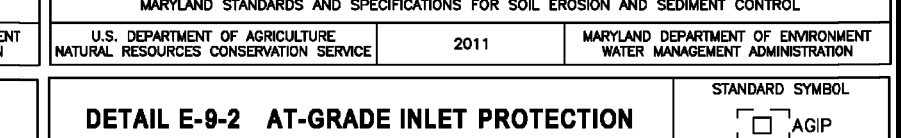
CONSTRUCTION SPECIFICATIONS: 1. INSTALL AN 8 INCH GALVANIZED STEEL POSTS OF 0.800 NCH WALL THICKNESS AND 50 FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART... 2. FASTEN 8 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE... 3. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT... 4. REMOVE ALL TRASH JUNK AND DEBRIS FROM THE LIMIT OF DISTURBANCE... 5. DURING GRASS AND AFTER EACH RAINFALL, CONTRACTOR WILL INSPECT AND PROVIDE NECESSARY MAINTENANCE...



CONSTRUCTION SPECIFICATIONS: 1. USE WOOD POSTS 1 1/2 X 1 1/2 X 16 INCH (MINIMUM) SQUARE CUT OF SOUND QUALITY HARDWOOD... 2. USE NONWOVEN GEOTEXTILE... 3. PLACE MATTING MAT IN A STAGGERED PATTERN ON 4 FOOT (MINIMUM) CENTERS THROUGHOUT AND 2 FOOT (MINIMUM) CENTERS ALONG SIDES, JOINTS, AND ROLL ENDS... 4. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT... 5. REMOVE ALL TRASH JUNK AND DEBRIS FROM THE LIMIT OF DISTURBANCE... 6. DURING GRASS AND AFTER EACH RAINFALL, CONTRACTOR WILL INSPECT AND PROVIDE NECESSARY MAINTENANCE...



CONSTRUCTION SPECIFICATIONS: 1. USE WOOD POSTS 1 1/2 X 1 1/2 X 16 INCH (MINIMUM) SQUARE CUT OF SOUND QUALITY HARDWOOD... 2. USE NONWOVEN GEOTEXTILE... 3. PLACE MATTING MAT IN A STAGGERED PATTERN ON 4 FOOT (MINIMUM) CENTERS THROUGHOUT AND 2 FOOT (MINIMUM) CENTERS ALONG SIDES, JOINTS, AND ROLL ENDS... 4. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT... 5. REMOVE ALL TRASH JUNK AND DEBRIS FROM THE LIMIT OF DISTURBANCE... 6. DURING GRASS AND AFTER EACH RAINFALL, CONTRACTOR WILL INSPECT AND PROVIDE NECESSARY MAINTENANCE...



CONSTRUCTION SPECIFICATIONS: 1. USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS... 2. PLACE GRATE AND IRON WITH NONWOVEN GEOTEXTILE COMPLETELY COVERED... 3. PLACE CLEAN 3/4 TO 1 1/2 INCH STONE OR EQUIVALENT EQUIVALENT 6 INCHES THICK... 4. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT... 5. REMOVE ALL TRASH JUNK AND DEBRIS FROM THE LIMIT OF DISTURBANCE... 6. DURING GRASS AND AFTER EACH RAINFALL, CONTRACTOR WILL INSPECT AND PROVIDE NECESSARY MAINTENANCE...

HOWARD SOIL CONSERVATION DISTRICT (HSCD) STANDARD SEDIMENT CONTROL NOTES

- 1. A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS...
2. CONSTRUCTION INSPECTION DIVISION (CID) 410-311-1800 AFTER THE EROSION CONTROL DISTRICT HAS BEEN ESTABLISHED...
3. PRIOR TO THE START OF EARTH DISTURBANCE...
4. PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR GRADING...
5. PRIOR TO THE REMOVAL, MODIFICATION OF SEDIMENT CONTROL PRACTICES...
6. PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR GRADING...
7. PRIOR TO THE REMOVAL, MODIFICATION OF SEDIMENT CONTROL PRACTICES...
8. PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR GRADING...
9. PRIOR TO THE REMOVAL, MODIFICATION OF SEDIMENT CONTROL PRACTICES...
10. MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE CID PRIOR TO PROCEEDING WITH CONSTRUCTION...
11. MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE CID PRIOR TO PROCEEDING WITH CONSTRUCTION...
12. MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE CID PRIOR TO PROCEEDING WITH CONSTRUCTION...
13. MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE CID PRIOR TO PROCEEDING WITH CONSTRUCTION...
14. MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE CID PRIOR TO PROCEEDING WITH CONSTRUCTION...
15. MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE CID PRIOR TO PROCEEDING WITH CONSTRUCTION...

B-4-8 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA

DEFINITION: TO PREPARE A DESIGNATED LOCATION FOR THE TEMPORARY STORAGE OF SOIL THAT CONTROLS THE POTENTIAL FOR EROSION, SEDIMENTATION AND CHANGES TO DRAINAGE PATTERNS. PURPOSE: TO PREPARE A DESIGNATED LOCATION FOR THE TEMPORARY STORAGE OF SOIL THAT CONTROLS THE POTENTIAL FOR EROSION, SEDIMENTATION AND CHANGES TO DRAINAGE PATTERNS.

PERMANENT SEEDING SUMMARY table with columns: HARNESS ZONE, SEED MIXTURE, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FELLER RATE, and LIME RATE.

STANDARDS AND SPECIFICATIONS FOR DUST CONTROL

DEFINITION: TO PREVENT THE SUSPENSION OF DUST PARTICLES FROM CONSTRUCTION ACTIVITIES. PURPOSE: TO PREVENT THE SUSPENSION OF DUST PARTICLES FROM CONSTRUCTION ACTIVITIES. CONDITIONS WHERE PRACTICE APPLIES: TO ALL AREAS OF THE PROJECT WHERE PRACTICE APPLIES.

SEDIMENT CONTROL NOTES

- 1. SEDIMENT CONTROLS INTERRUPTED BY INSTALLATION OF UTILITY LINES ARE TO BE REPAIRED IMMEDIATELY.
2. MANHOLE COVERS NOT TO BE LOCATED IN CURB OR GUTTER PAN.
3. LOCATE STOCKPILE AS SHOWN HEREON OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR...
4. SUPER SILT FENCE SHALL BE CURBED UNTIL AT LEAST 35 FT. MATERIALS WHEREVER IT RUNS DOWNHILL.
5. DOUBLE ROW SUPER SILT FENCE SHALL BE INSTALLED.
6. EITHER TEMPORARY OR PERMANENT SEEDING AND STABILIZATION IS TO BE PERFORMED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR...
7. EARTH BERMS ARE TO BE CONSTRUCTED TO MAINTAIN MAINTAIN BERMS AS NEEDED OR DIRECTED BY THE CID INSPECTOR.

TIER I WATERSHED ANTI-DEGRADATION NOTES

- 1. ACCELERATED STABILIZATION MAY BE REQUIRED BY THE APPROVAL AUTHORITY.
2. RUNOFF MUST PASS THROUGH TWO SEDIMENT CONTROL DEVICES IN SERIES...
3. ALL SILT FENCE AND SUPER SILT FENCE TO BE DOUBLE ROW.
4. ALL SILT FENCE AND SUPER SILT FENCE TO BE DOUBLE ROW.
5. ALL SILT FENCE AND SUPER SILT FENCE TO BE DOUBLE ROW.

Table B.1: Temporary Seeding for Site Stabilization

Table with columns: Plant Species, Seeding Rate, Seeding Depth, Recommended Seeding Dates by Plant Hardiness Zone, FERTILIZER RATE, and LIME RATE.

PARCEL C-5 OWNER

BEAZER HOMES, LLC 6085 MARSHALL DRIVE, SUITE 300 LAUREL, MARYLAND 20723-4433-9249
TRIPLE BELL FARMS, LLC 198 LAUREL RACE TRACK RD LAUREL, MD 20723 (301) 470-5494
20006 DELAWARE, INC. 198 LAUREL RACE TRACK RD LAUREL, MD 20723 (301) 470-5494

SITE DEVELOPMENT PLAN

SEDIMENT AND EROSION CONTROL NOTES & DETAILS
PADDOCK POINT - PHASE 3B (FORMERLY KNOWN AS LAUREL PARK STATION) 58 SUPER SILT FENCE PARCEL C-5 ZONED: TOD
TAX MAP: 50 BLOCK: 10 5TH ELECTION DISTRICT
PARCEL 384 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com
DESIGN BY: DZE/RHV
DRAWN BY: DZE/XG
CHECKED BY: RHV
DATE: SEPT 2024
SCALE: AS SHOWN
W.O. NO.: 07-11/59588
7 SHEET OF 20

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Chief, Division of Land Development
Date: 9/25/2024

OWNER/DEVELOPER CERTIFICATION: I HEREBY CERTIFY THAT MY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN...
Brian H. Knauff
Date: 9/12/2024

DESIGN CERTIFICATION: I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS...
Robert H. Vogel
Date: 9/11/2024

THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
Alexander Bratovich/24/2024
Date: 9/11/2024

PROFESSIONAL CERTIFICATE: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND...
Robert H. Vogel, PE No. 16193

**SD Drainage Area Chart
(Current PH-3B SDP-24-037)**

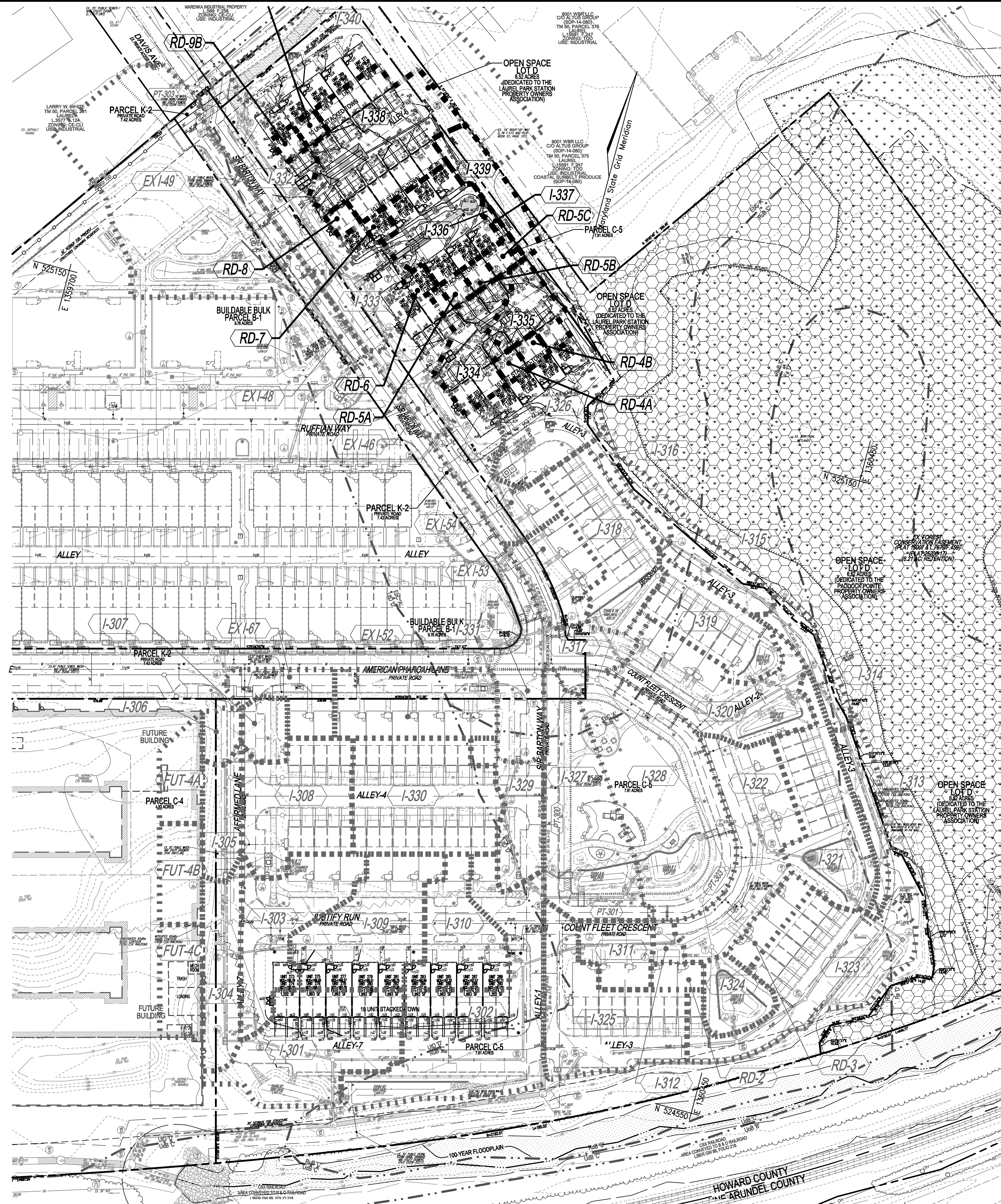
DRAINAGE AREA NO	DRAINAGE AREA (AC)	C FACTOR	IMP %
I-334	0.12	0.80	91%
I-335	0.08	0.73	83%
I-336	0.16	0.59	64%
I-337	0.01	0.12	0%
I-338	0.29	0.72	81%
I-339	0.09	0.12	0%
RD-4A	0.01	0.86	100%
RD-4B	0.01	0.86	100%
RD-5A	0.01	0.86	100%
RD-5B	0.01	0.86	100%
RD-5C	0.01	0.86	100%
RD-6	0.01	0.86	100%
RD-7	0.01	0.86	100%
RD-8	0.01	0.86	100%
RD-9B	0.01	0.86	100%
RD-9C	0.01	0.86	100%

* INCLUDES ADJACENT INDUSTRIAL AREA

**SD Drainage Area Chart
(Ex. PH-3A SDP-21-016)**

DRAINAGE AREA NO	DRAINAGE AREA (AC)	C FACTOR	IMP %
Ex. I-301	0.29	0.74	81%
Ex. I-302	0.44	0.62	62%
Ex. I-303	0.22	0.69	72%
Ex. I-304	0.14	0.64	65%
Ex. I-305	0.09	0.55	50%
Ex. I-306	0.04	0.53	47%
Ex. I-307	0.05	0.62	60%
Ex. I-308	0.25	0.75	82%
Ex. I-309	0.27	0.75	82%
Ex. I-310	0.17	0.74	80%
Ex. I-311	0.09	0.74	82%
Ex. I-312	0.02	0.65	68%
Ex. I-313	0.08	0.55	50%
Ex. I-314	0.07	0.48	41%
Ex. I-315	0.12	0.41	36%
Ex. I-316	0.04	0.57	61%
Ex. I-317	0.11	0.66	73%
Ex. I-318	0.21	0.63	69%
Ex. I-319	0.16	0.69	74%
Ex. I-320	0.25	0.63	65%
Ex. I-321	0.24	0.59	60%
Ex. I-322	0.26	0.62	64%
Ex. I-323	0.33	0.64	67%
Ex. I-324	0.08	0.19	0%
Ex. I-325	0.28	0.74	81%
Ex. I-326	0.21	0.53	55%
Ex. I-327	0.32	0.55	54%
Ex. I-328	0.45	0.48	43%
Ex. I-329	0.12	0.64	66%
Ex. I-330	0.31	0.82	94%
Ex. I-331	0.08	0.63	67%
Ex. I-332	0.22	0.61	66%
Ex. I-333	0.13	0.63	68%
Ex. I-340*	0.00	0.67	0%
Ex. RD-2	0.03	0.86	100%
Ex. RD-3	0.05	0.86	100%
EX I-46	0.13	0.67	75%
EX I-48	0.05	0.81	93%
EX I-49*	0.63	0.47	44%
EX I-52	0.22	0.73	81%
EX I-53	0.12	0.62	68%
EX I-54	0.15	0.63	68%
Ex. I-67	0.10	0.75	82%
FUT-4A	0.08	0.86	100%
FUT-4B	0.08	0.86	100%
FUT-4C	0.09	0.86	100%
Ex. PT-300	0.10	0.73	79%
Ex. PT-301	0.06	0.74	80%
Ex. PT-302	0.19	0.72	77%
Ex. PT-303*	0.13	0.76	55%

* INCLUDES ADJACENT INDUSTRIAL AREA



ALL STORM DRAINS AND STORMWATER MANAGEMENT FACILITIES INCLUDING MODULAR WETLAND TO PRIVATELY OWNED AND MAINTAINED.

LEGEND:

	EXISTING CURB AND GUTTER
	EXISTING CONTOUR
	PROPOSED 1' CONTOUR
	PROPOSED 2' CONTOUR
	SOILS
	EXISTING TREELINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	EX. LIMIT OF WETLAND
	EX. WETLAND BUFFER
	PROPOSED STORM DRAIN INLET
	PROPOSED STORM DRAIN
	PROPOSED SIDEWALK
	PROPOSED CURB
	EX. FOREST CONSERVATION EASEMENT RETENTION
	FLAT 15007
	PHASE 3A (SDP-21-016) DRAINAGE AREA LABEL
	PHASE 3A (SDP-21-016) DRAINAGE AREA DIVIDE
	CURRENT PHASE 3B (SDP-24-037) DRAINAGE AREA LABEL
	CURRENT PHASE 3B (SDP-24-037) DRAINAGE AREA DIVIDE

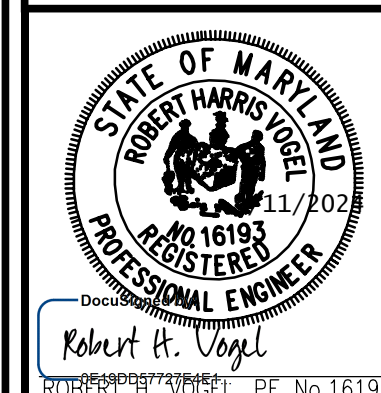
PARCEL C-5 OWNER BEAZER HOMES, LLC 6085 MARSHALLE DRIVE, SUITE 350 ELKRIOR, MD 21075 443-539-9249	OWNER TRIPLE BELL FARMS, LLC 198 LAUREL RACE TRACK RD LAUREL, MD 20725 (301) 470-5494	OWNER/DEVELOPER 20006 DELAWARE, INC. 198 LAUREL RACE TRACK RD LAUREL, MD 20725 (301) 470-5494
--	--	--

NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
STORM DRAIN DRAINAGE AREA MAP
PADDOCK POINTE - PHASE 3B
 (FORMERLY KNOWN AS LAUREL PARK STATION)
 58 STACKED TOWN UNITS
 PARCEL C-5
 ZONED: TOD
 TAX MAP: 50 BLOCK: 10
 6TH ELECTION DISTRICT
 PARCEL 384
 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com



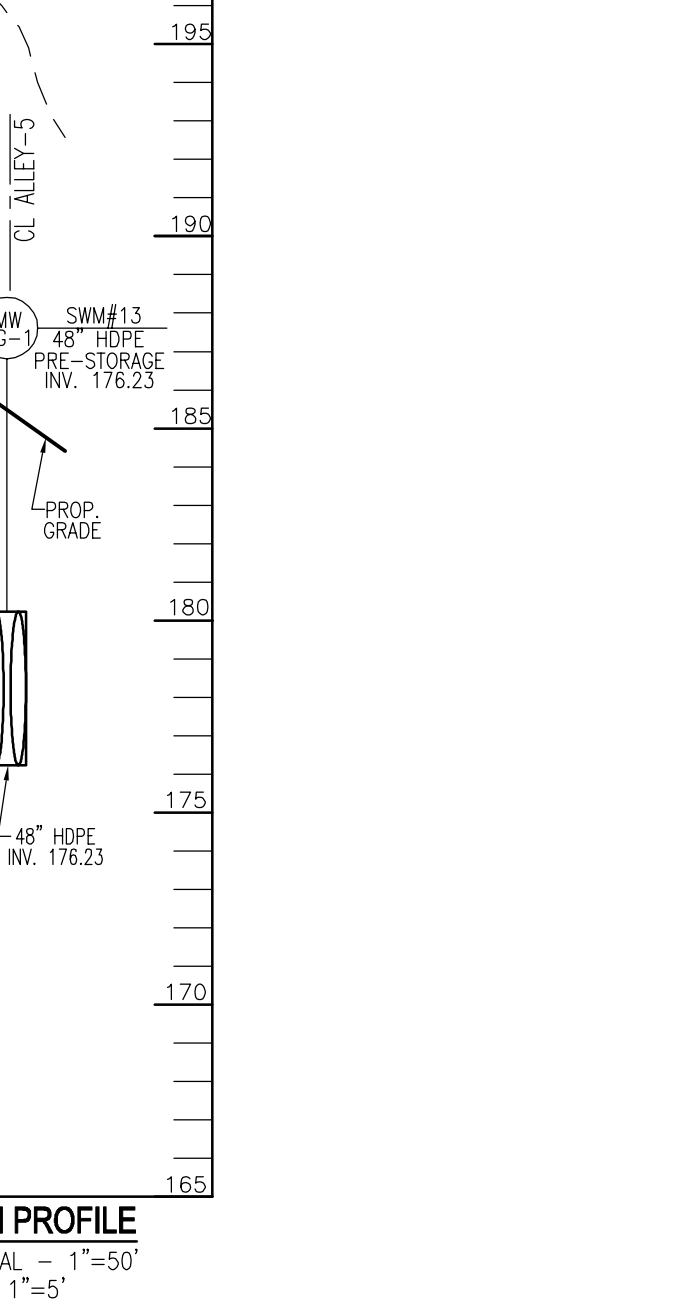
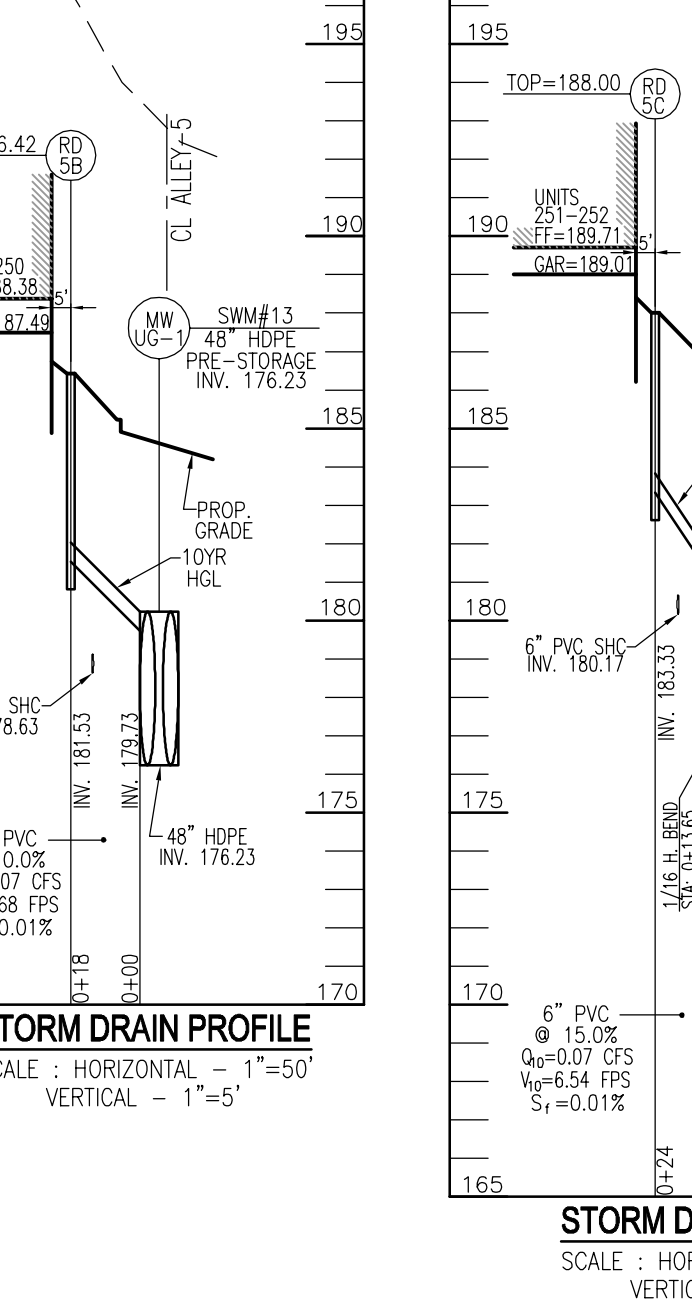
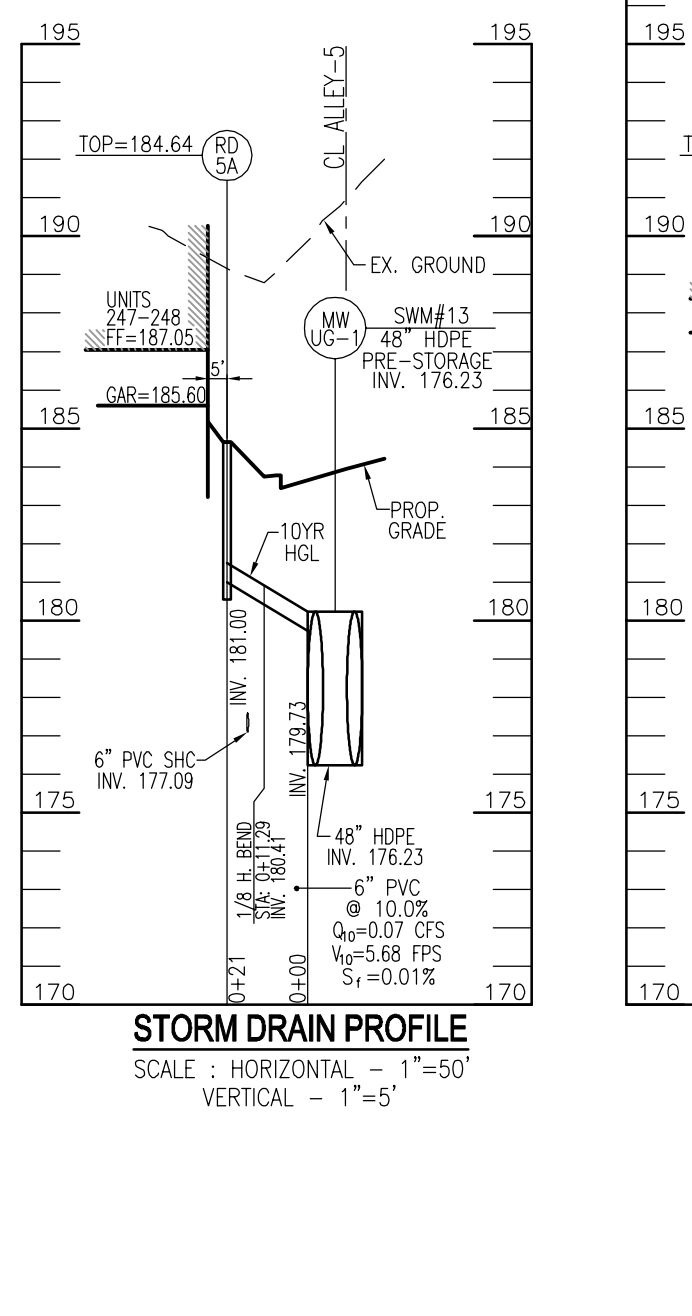
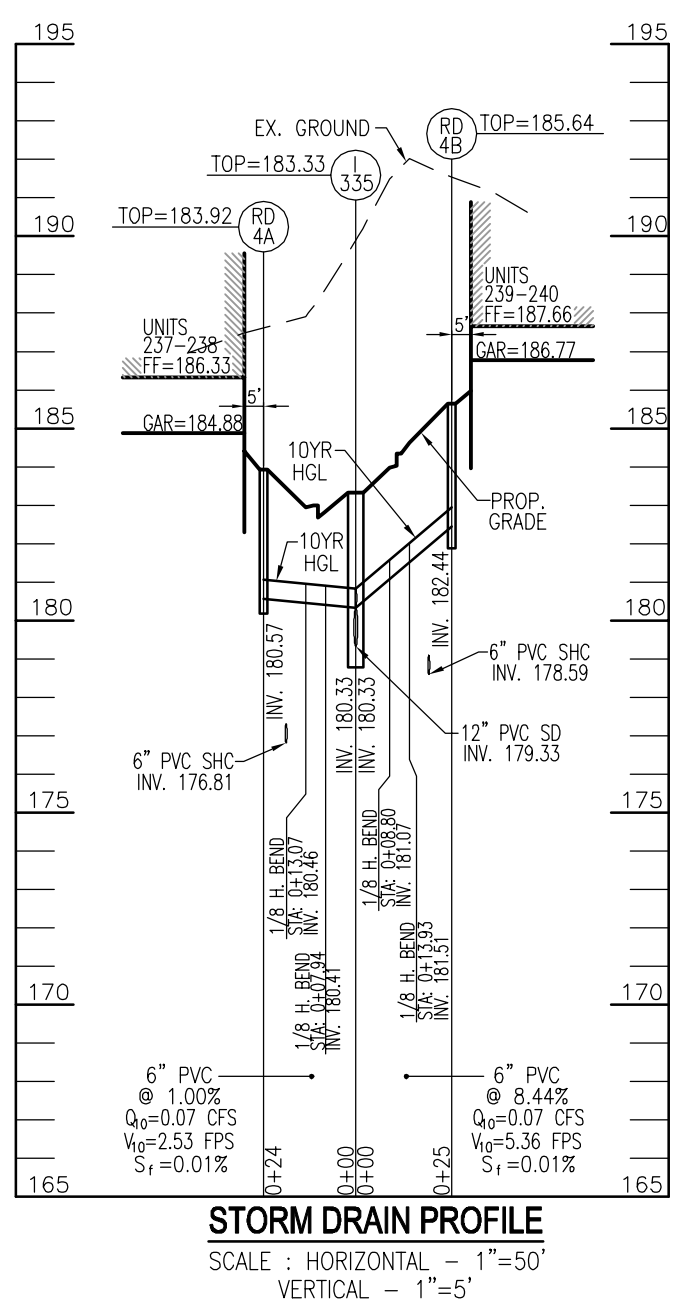
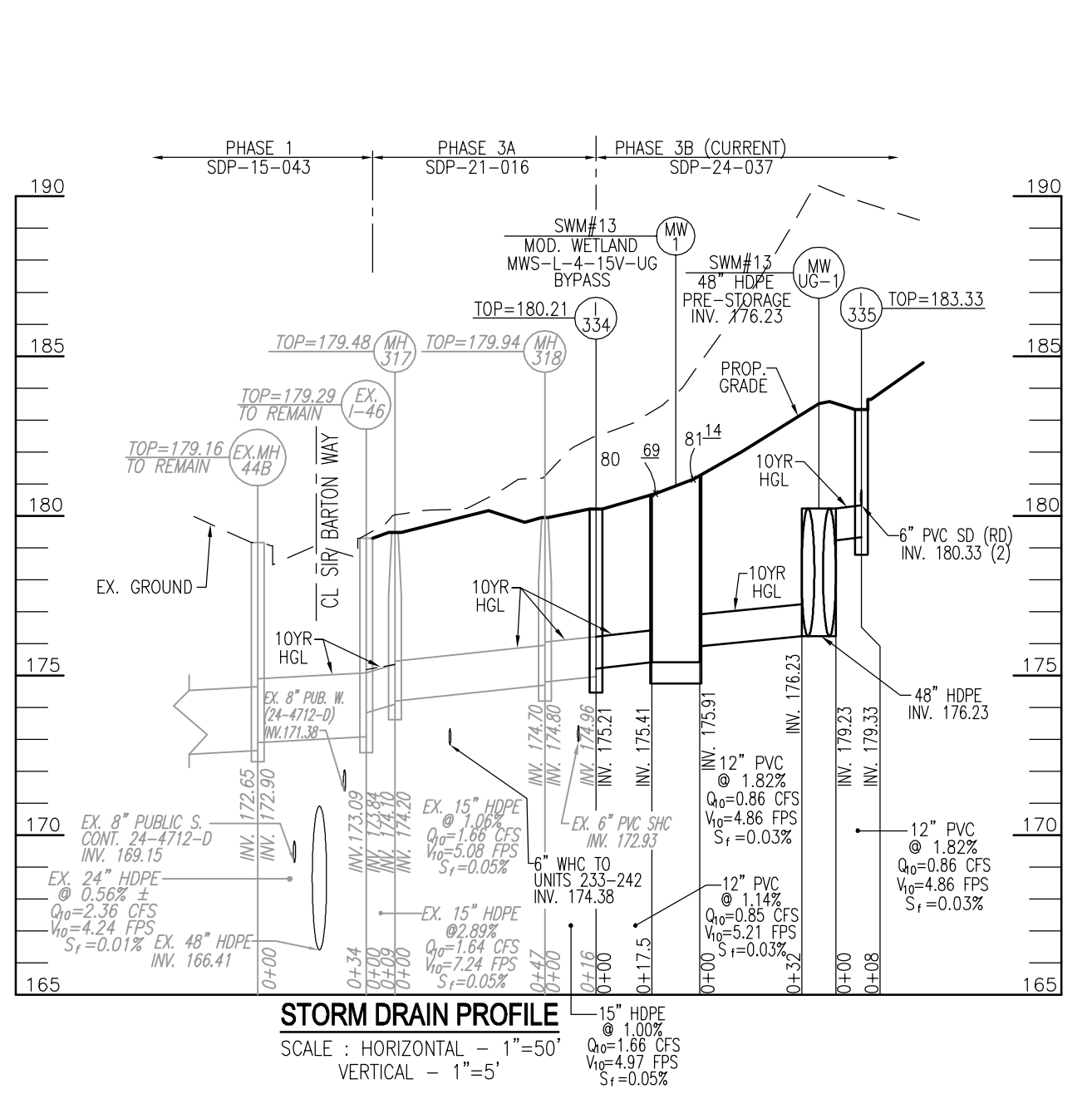
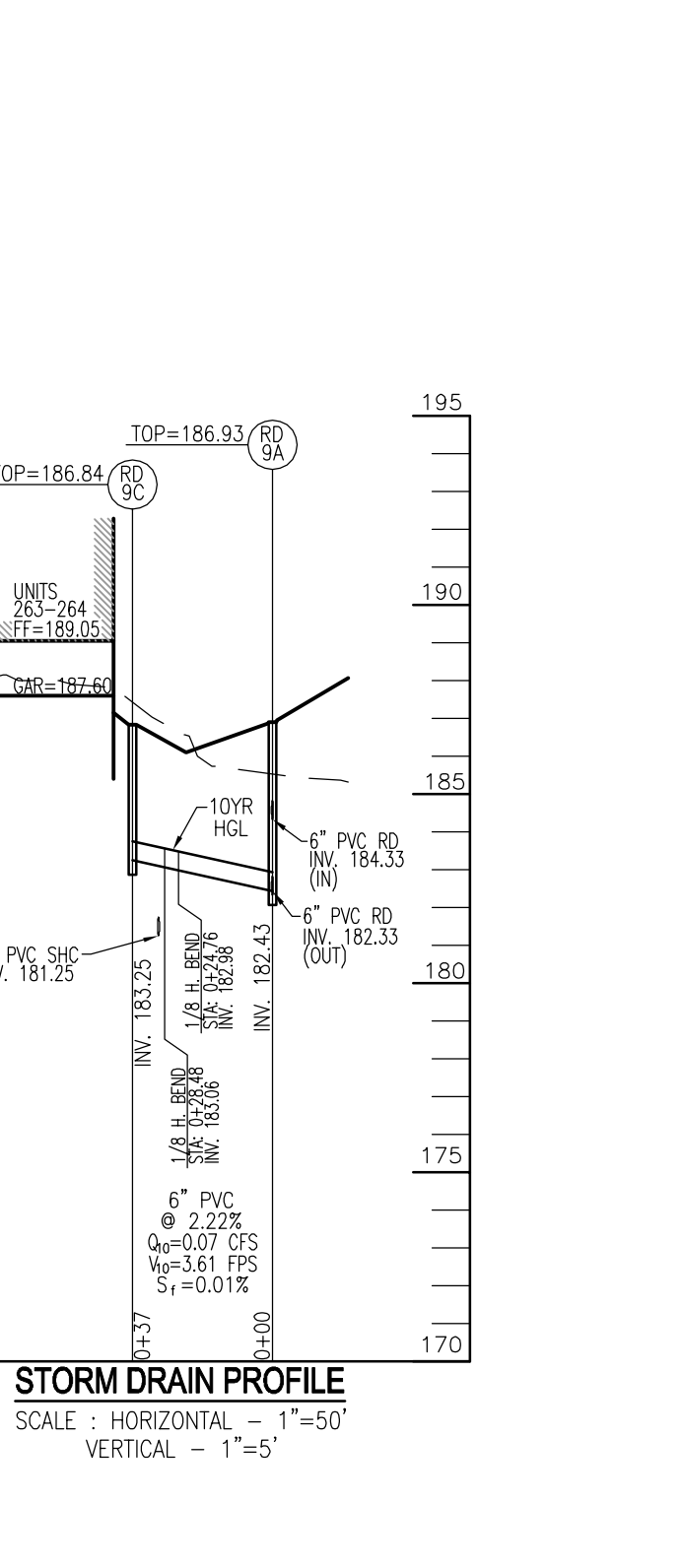
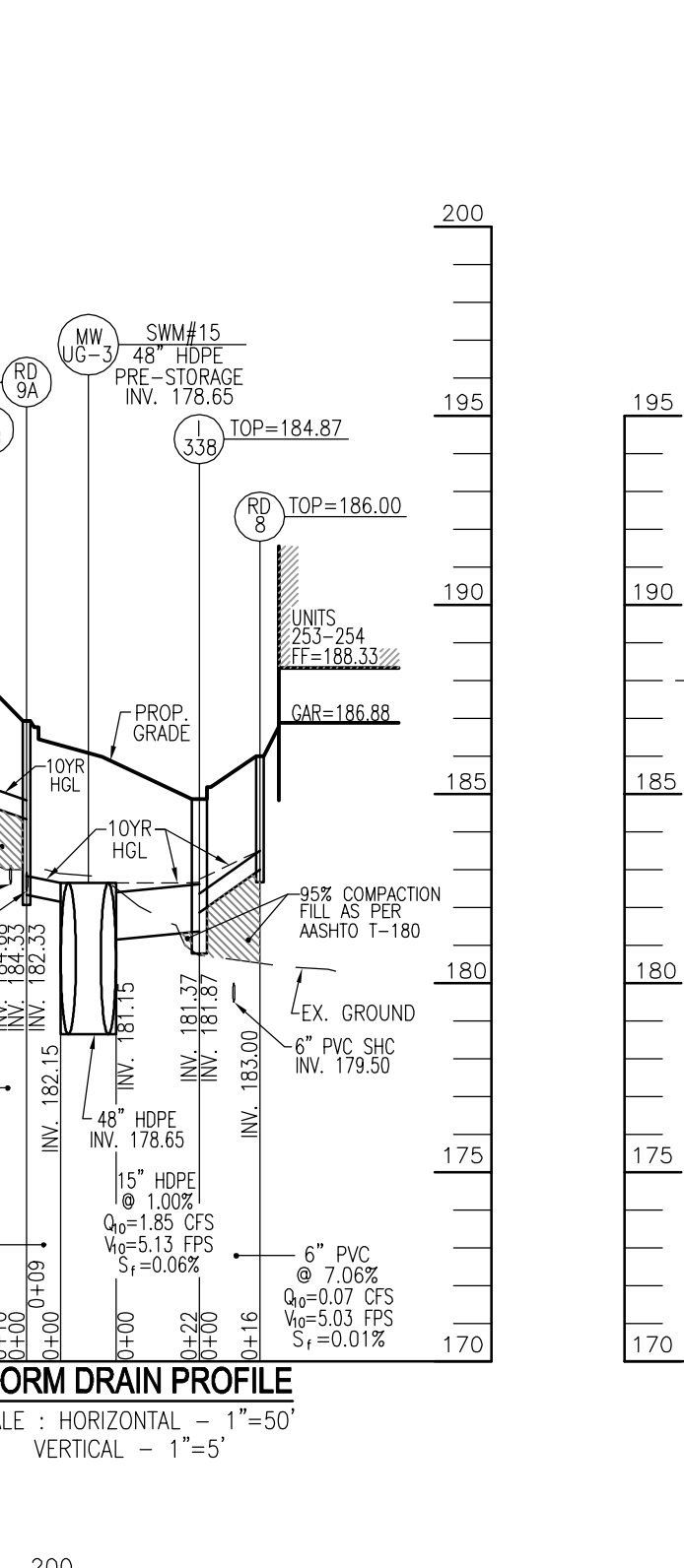
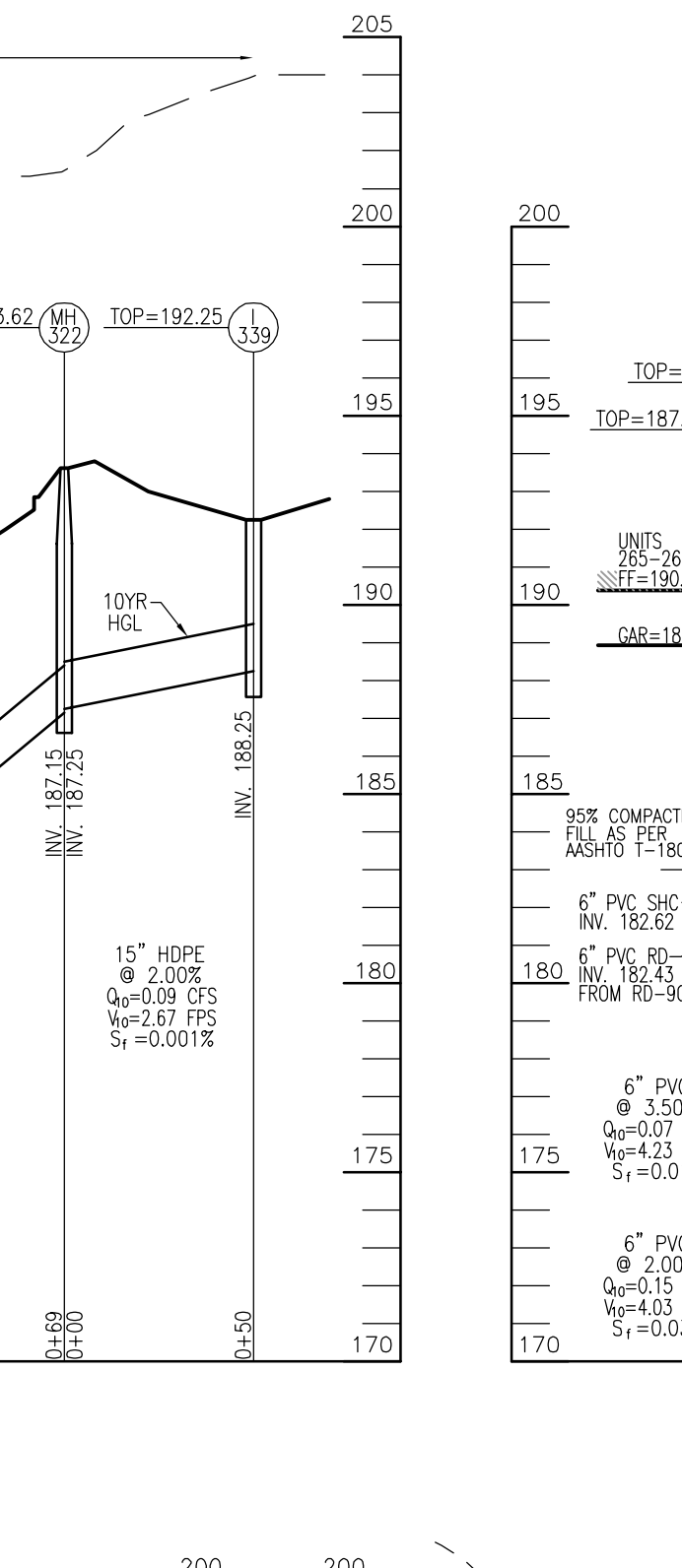
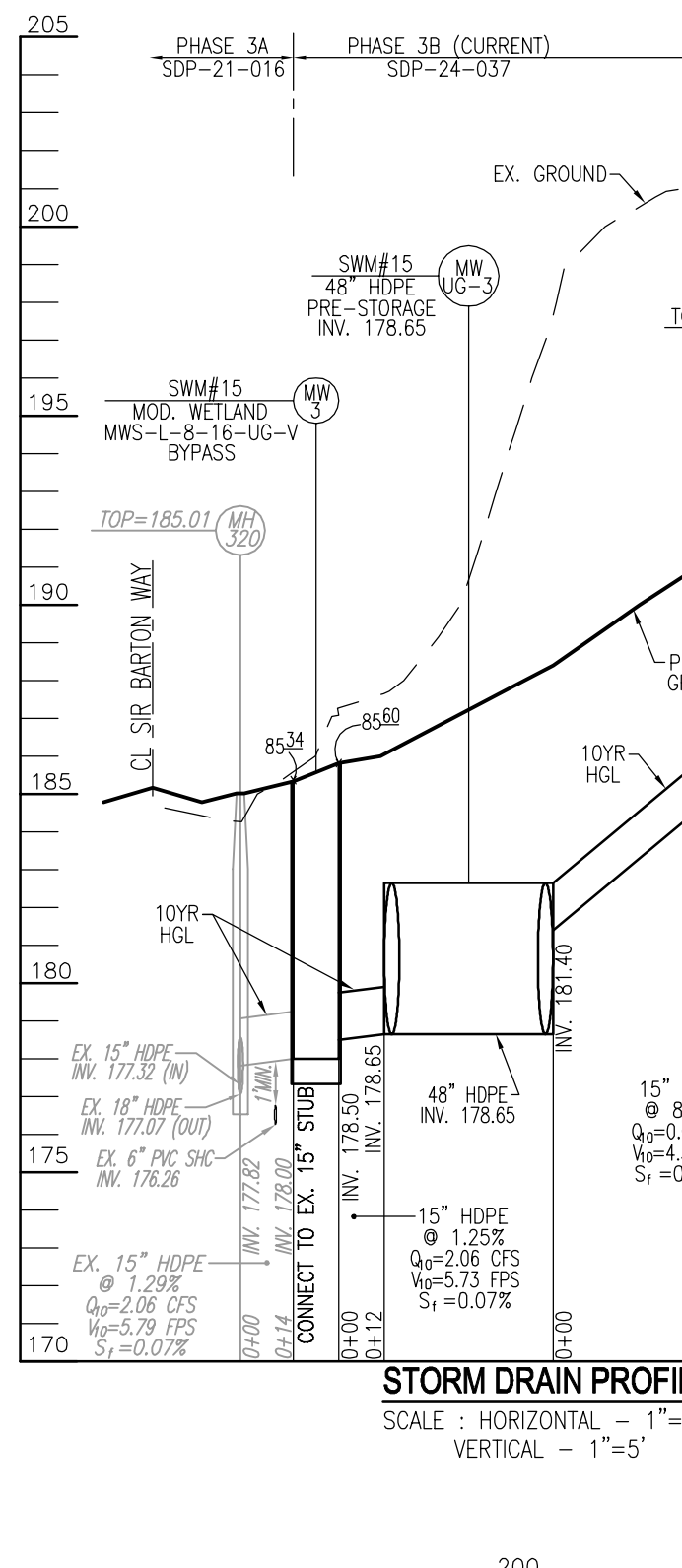
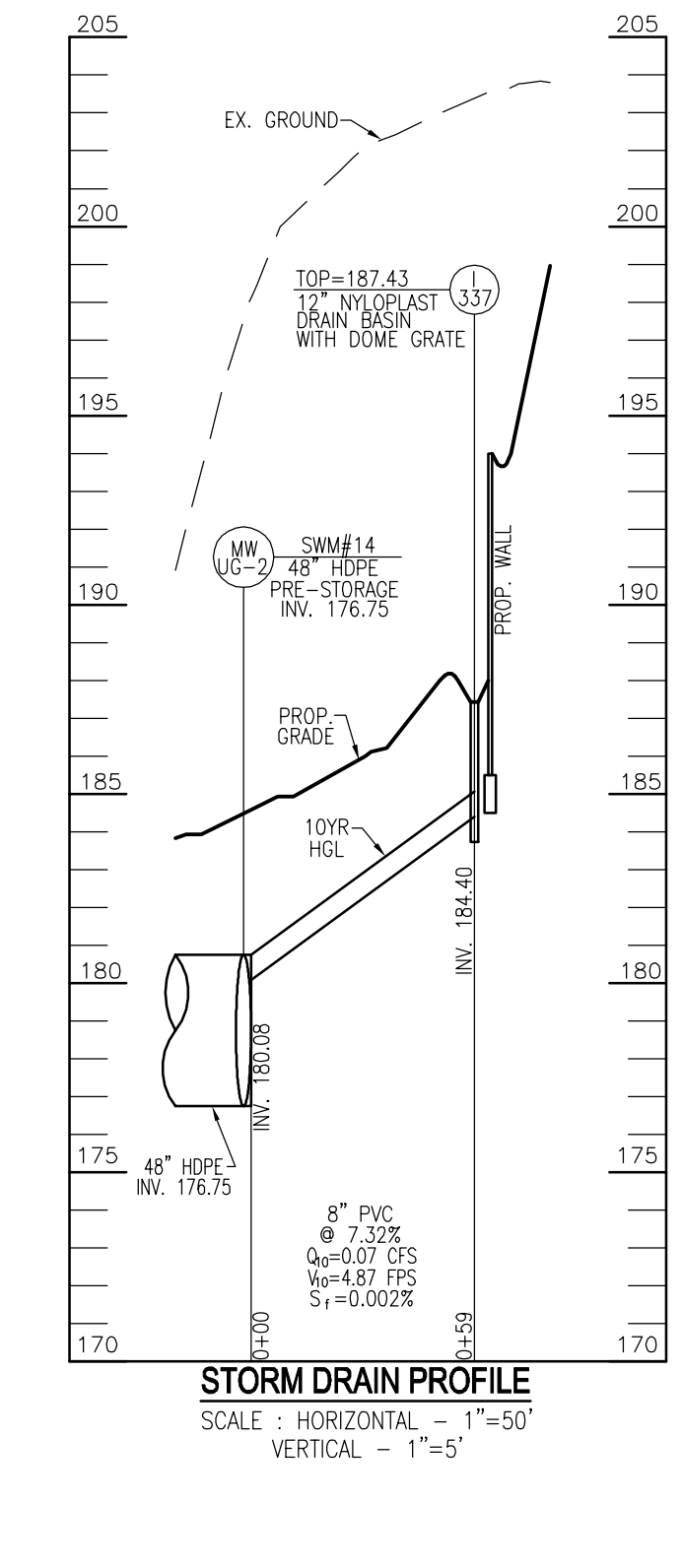
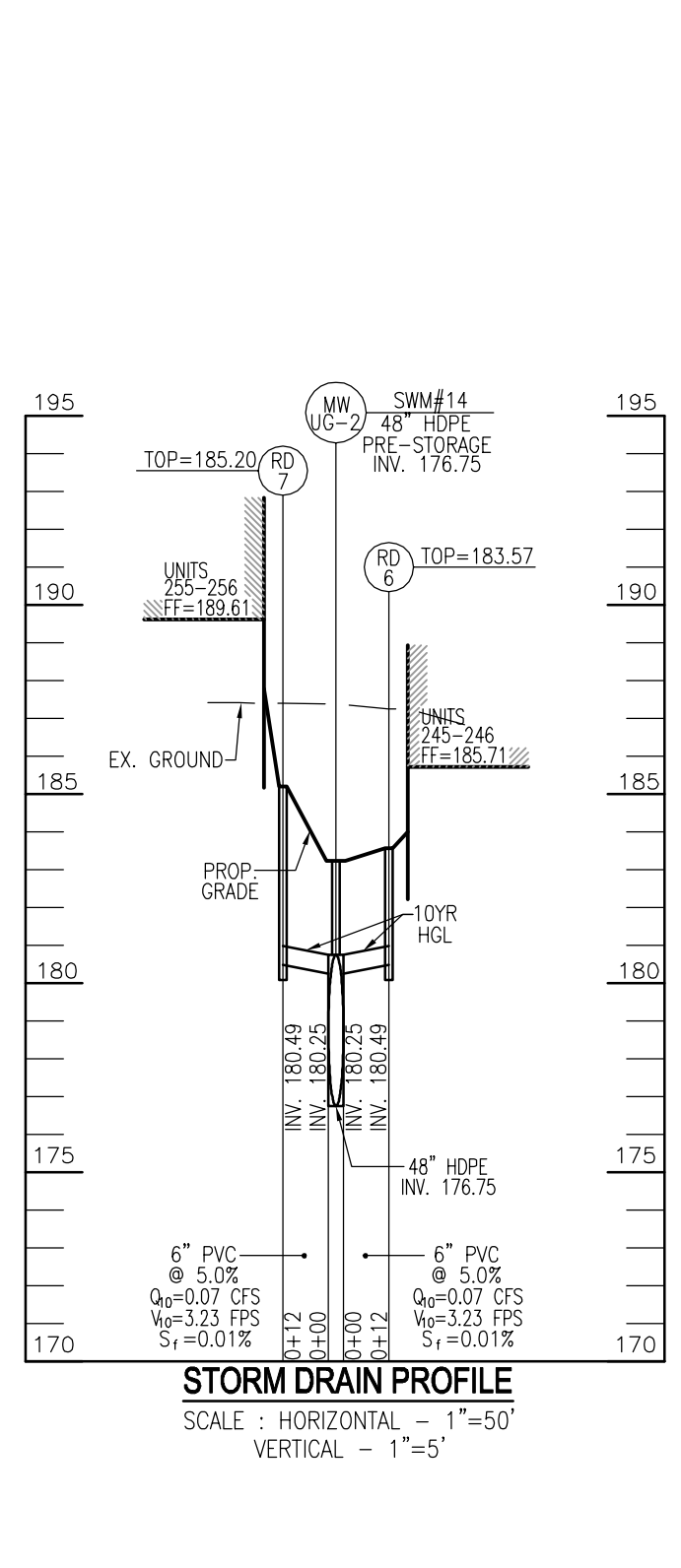
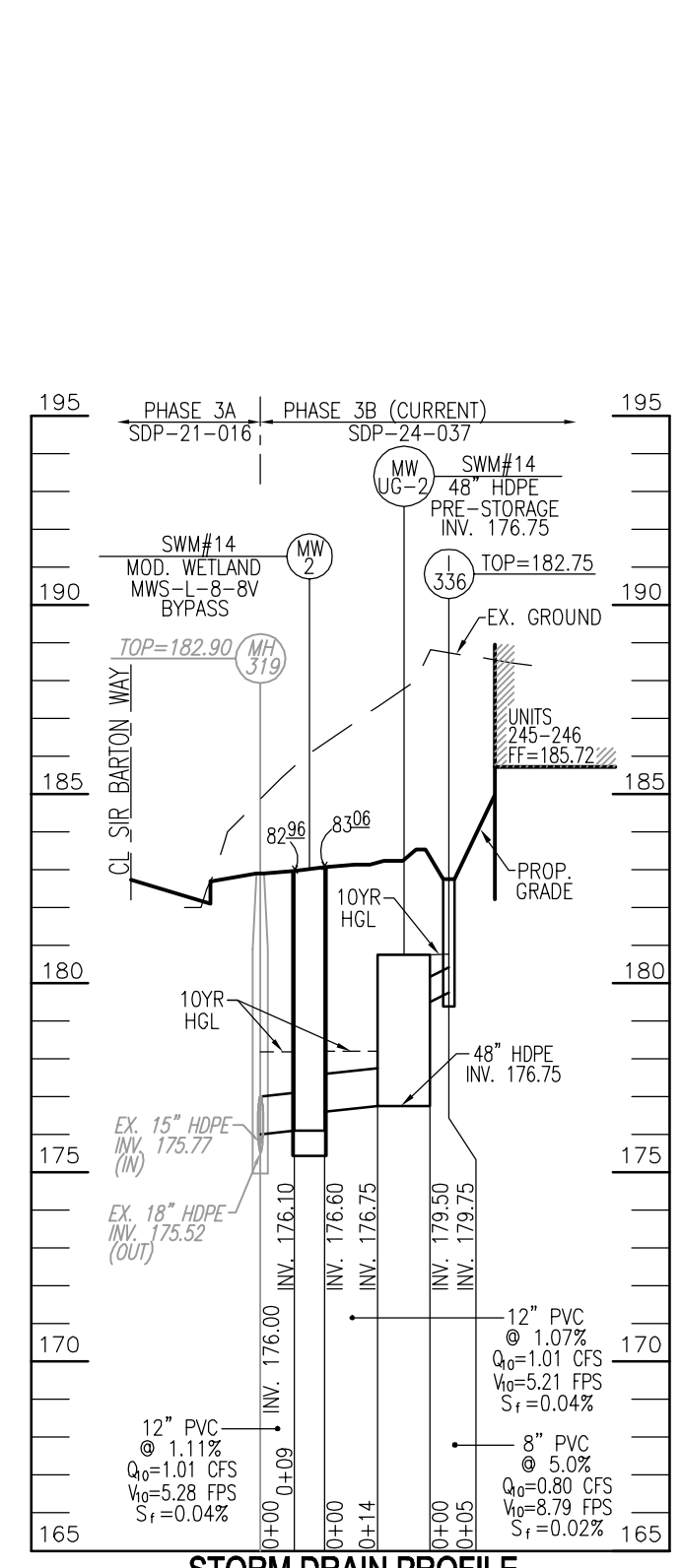
PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2026

DESIGN BY: DZE/RHV
 DRAWN BY: DZE/XG
 CHECKED BY: RHV
 DATE: SEPT 2024
 SCALE: AS SHOWN
 W.O. NO.: 07-11/59588

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *CHD Edmondson*, 9/25/2024
 Chief, Division of Land Development: *Lynda Eisenberg*, 9/25/2024
 Director: *Lynda Eisenberg*, 9/25/2024

PLAN VIEW
 SCALE: 1"=50'



STORM DRAIN PIPE SCHEDULE

Size	Type/Class	Total Length
6"	SOLID PVC	208
8"	SOLID PVC	64
12"	PVC	80.5
15"	HDPE	153
48"	HDPE (SWM)	143

* The total length of pipe is linear feet only.
HDPE is to be smooth interior. Contractor shall install pipe in accordance with manufacturer's specifications.

STORM DRAIN STRUCTURE SCHEDULE

STR #	TYPE	DETAIL	LOCATION	TOP ELEV	INV. IN	INV. OUT	REMARKS
I-334	TYPE S INLET	D-4.23	N= 525143.20 E= 1360049.63	180.21	175.21	174.96	BUILD OVER AND CONNECT TO 15" HDPE
I-335	TYPE S INLET	D-4.23	N= 525190.50 E= 1360049.63	183.33	180.33 (2)	179.33	
I-336	ADS/NYLOPLAST 15" CATCH BASIN	D-4.23	N= 525239.63 E= 135995.96	182.75	-	179.75	DOMESTIC GRADE TOP
I-337	ADS/NYLOPLAST 12" CATCH BASIN	D-4.23	N= 525301.33 E= 1360056.36	187.43	-	184.40	DOMESTIC GRADE TOP
I-338	TYPE S INLET	D-4.23	N= 525270.42 E= 1359897.34	184.87	181.87	181.37	
I-339	TYPE 'D' INLET WITH BEEHIVE GRATE	D-4.11	N= 525337.04 E= 1360018.72	192.25	-	188.25	
EX. MH-319	4" MANHOLE	G5.12	N= 525209.00 E= 1359962.56	188.28	176.00 / 175.77	175.52	PER SDP-21-016
EX. MH-320	4" MANHOLE	G5.12	N= 525206.73 E= 1359875.96	185.07	177.82 / 177.32	177.07	PER SDP-21-016
MH-322	4" MANHOLE	G5.12	N= 525372.19 E= 1359983.77	183.62	-	187.15	
RD-4A	CLEANOUT	-	N= 525172.43 E= 1360092.63	183.92	-	180.57	
RD-4B	CLEANOUT	-	N= 525190.87 E= 1360107.98	185.64	-	182.44	
RD-5A	CLEANOUT	-	N= 525204.41 E= 1360054.19	184.64	-	181.00	
RD-5B	CLEANOUT	-	N= 525222.86 E= 1360069.55	186.42	-	181.53	
RD-5C	CLEANOUT	-	N= 525241.31 E= 1360084.90	188.00	-	188.33	
RD-6	CLEANOUT	-	N= 525224.45 E= 1359992.59	183.57	-	180.49	
RD-7	CLEANOUT	-	N= 525242.19 E= 1359971.28	185.20	-	180.49	
RD-8	CLEANOUT	-	N= 525258.49 E= 1359908.09	186.00	-	183.00	
RD-9A	CLEANOUT	-	N= 525305.94 E= 1359893.90	186.93	184.33 / 182.43	182.33	
RD-9B	CLEANOUT	-	N= 525312.28 E= 1359886.28	187.74	-	184.68	
RD-9C	CLEANOUT	-	N= 525291.97 E= 1359867.86	186.84	-	183.25	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION: *CHD Edmondson* 9/25/2024

CHIEF, DIVISION OF LAND DEVELOPMENT: *Linda Eisenberg* 9/25/2024

DIRECTOR: _____ DATE: _____

PARCEL C-5 OWNER: BEAZER HOMES, LLC
OWNER: TRIPLE BELL FARMS, LLC
OWNER/DEVELOPER: 20006 DELAWARE, INC.

NO.	REVISION	DATE

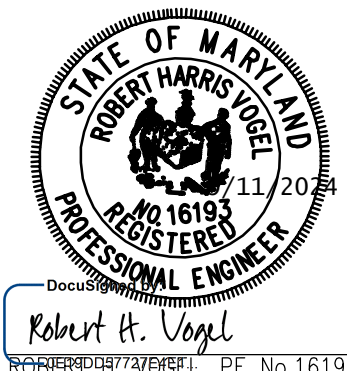
SITE DEVELOPMENT PLAN
STORM DRAIN PROFILES
PADDOCK POINTE - PHASE 3B
(FORMERLY KNOWN AS LAUREL PARK STATION)
58 STACKED TOWN UNITS
PARCEL C-5
ZONED: TOD

TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT

LAUREL, MD 20725
LAUREL, MD 20725
LAUREL, MD 20725

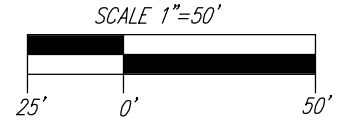
PARCEL 38A
HOWARD COUNTY, MARYLAND

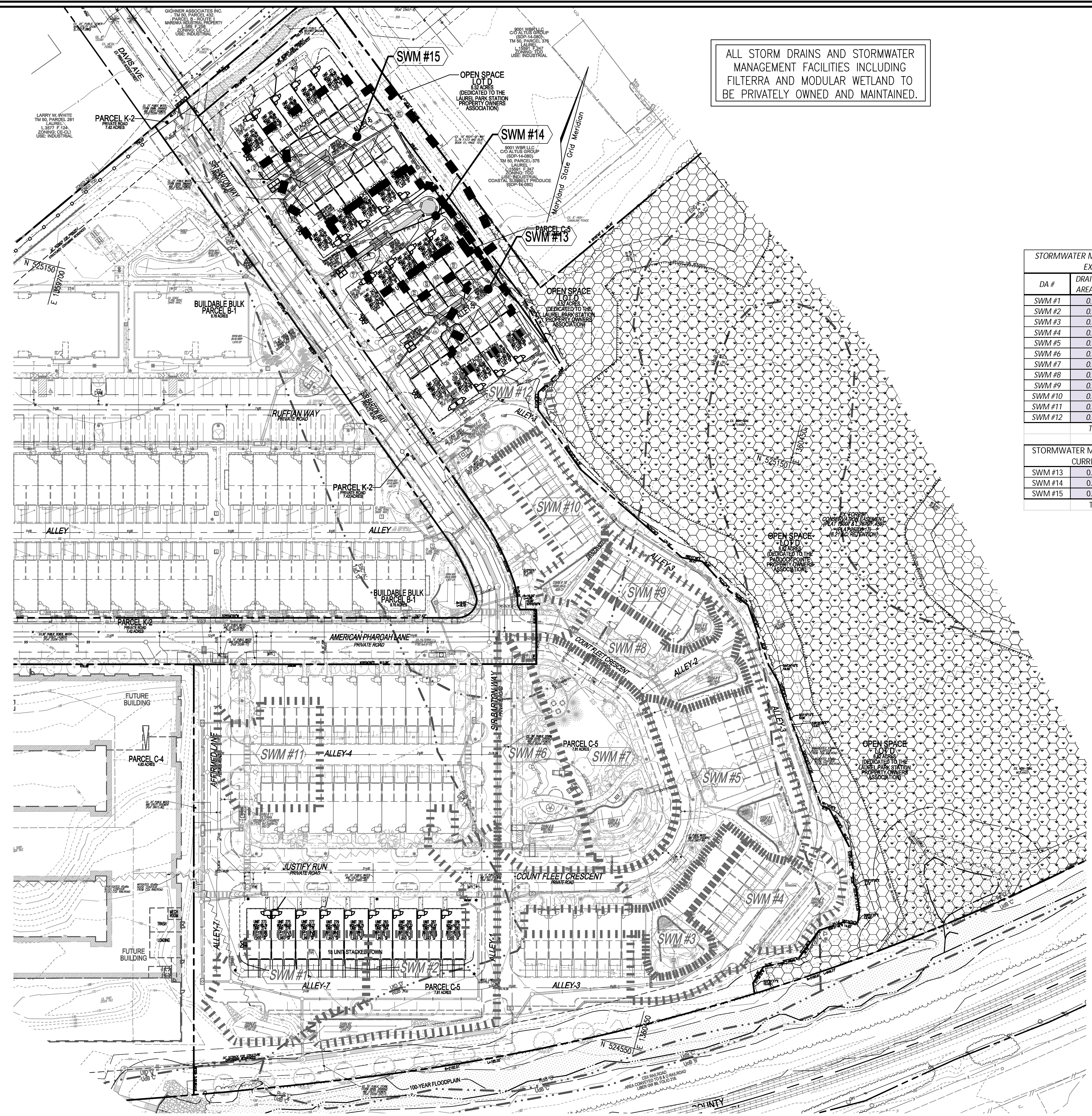
VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com



DESIGN BY: DZE/RHV
DRAWN BY: DZE/XG
CHECKED BY: RHV
DATE: SEPT 2024
SCALE: AS SHOWN
W.O. NO.: 07-11/59588

PROFESSIONAL CERTIFICATE
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ALL STORM DRAINS AND STORMWATER MANAGEMENT FACILITIES INCLUDING FILTERRA AND MODULAR WETLAND TO BE PRIVATELY OWNED AND MAINTAINED.

LEGEND:

- EXISTING CURB AND GUTTER
- EXISTING CONTOUR
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- SOILS
- EXISTING TREELINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EX. LIMIT OF WETLAND
- EX. WETLAND BUFFER
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN RILET
- PROPOSED SIDEWALK
- PROPOSED CURB
- EX. FOREST CONSERVATION EASEMENT RETENTION PLAT 15007
- PHASE 3A (SDP-21-016) DRAINAGE AREA LABEL
- PHASE 3A (SDP-21-016) DRAINAGE AREA DIVIDE
- CURRENT PHASE 3B (SDP-24-037) DRAINAGE AREA LABEL
- CURRENT PHASE 3B (SDP-24-037) DRAINAGE AREA DIVIDE

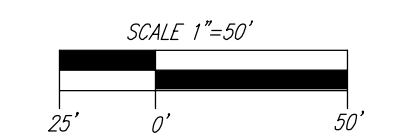
**STORMWATER MANAGEMENT DRAINAGE AREA CHART
EX. PHASE 3A (SDP-21-013)**

DA #	DRAINAGE AREA (AC)	PERCENT IMPERVIOUS	ESDv PROVIDED (cf)
SWM #1	0.31	70%	1,151
SWM #2	0.44	63%	1,644
SWM #3	0.20	60%	859
SWM #4	0.33	67%	1,551
SWM #5	0.50	62%	1,160
SWM #6	0.32	54%	839
SWM #7	0.44	42%	1,471
SWM #8	0.25	65%	681
SWM #9	0.16	74%	501
SWM #10	0.21	66%	828
SWM #11	0.22	83%	642
SWM #12	0.19	55%	376
TOTAL ESDv PROVIDED:			11,702

**STORMWATER MANAGEMENT DRAINAGE AREA CHART
CURRENT PHASE 3B (SDP-24-037)**

SWM #13	0.15	91%	1,212
SWM #14	0.21	65%	1,161
SWM #15	0.42	66%	2,385
TOTAL ESDv PROVIDED:			4,757

PLAN VIEW
SCALE: 1"=50'



PARCEL C-5 OWNER
BEAZER HOMES, LLC
6085 MARSHALLE DRIVE, SUITE 350
ELKRIORRE, MD 21075
443-539-9249

OWNER
TRIPLE BELL FARMS, LLC
198 LAUREL RACE TRACK RD
LAUREL, MD 20725
(301) 470-5494

OWNER/DEVELOPER
20006 DELAWARE, INC.
198 LAUREL RACE TRACK RD
LAUREL, MD 20725
(301) 470-5494

NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
STORM WATER MANAGEMENT DRAINAGE AREA MAP
Paddock Pointe - PHASE 3B
(FORMERLY KNOWN AS LAUREL PARK STATION)
58 STACKED TOWN UNITS
PARCEL C-5
ZONED: TOD
PARCEL 384
HOWARD COUNTY, MARYLAND

TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

DESIGN BY: DZE/RHV
DRAWN BY: DZE/XG
CHECKED BY: RHV
DATE: SEPT 2024
SCALE: AS SHOWN
W.O. NO.: 07-11/59588

11 SHEET OF 20

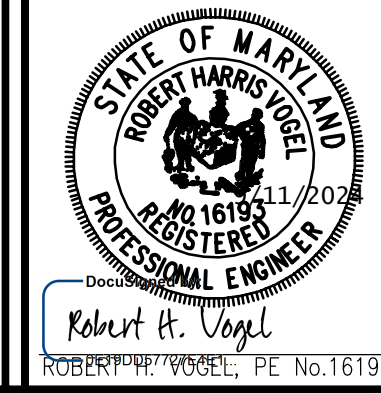
SDP-24-037

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION: *CHAD Edmondson* 9/25/2024

CHIEF, DIVISION OF LAND DEVELOPMENT: *Linda Eisenberg* 9/25/2024

DIRECTOR: *Linda Eisenberg* 9/25/2024



OPERATION, INSPECTION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED MODULAR WETLANDS

OVERVIEW
THE MODULAR WETLANDS' LINEAR BIOFILTER IS DESIGNED TO REMOVE HIGH LEVELS OF TRASH, DEBRIS, SEDIMENTS, NUTRIENTS, METALS, AND HYDROCARBONS. ITS SIMPLE DESIGN ALLOWS FOR QUICK AND EASY INSTALLATION...

- INSPECTION AND MAINTENANCE NOTES
1. FOLLOWING MAINTENANCE AND/OR INSPECTION, IT IS RECOMMENDED THAT THE MAINTENANCE OPERATOR PREPARE A MAINTENANCE/INSPECTION RECORD...

- INSTALLATION NOTES
1. CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND ACCESSORIES REQUIRED TO INSTALL AND OPERATE THE SYSTEM...

NOTE: DURING THE FIRST FIVE STORMS, THE WATER LEVEL IN THE OUTFLOW CHAMBER SHOULD BE OBSERVED AND A 6" EACH HORIZONTAL WATERMARK LINE DRAWN (USING A LARGE PERMANENT MARKER) AT THE WATER LEVEL...

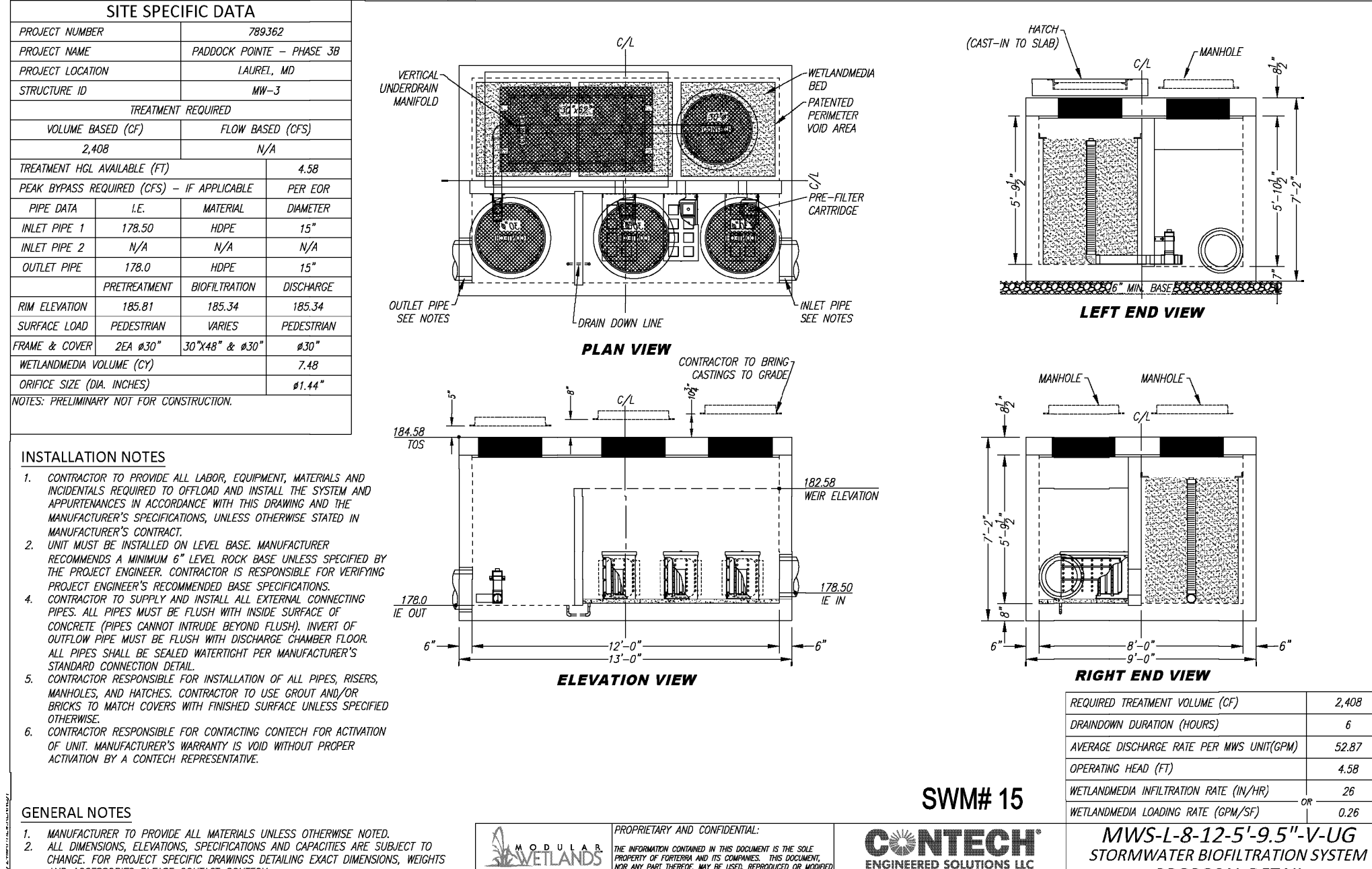
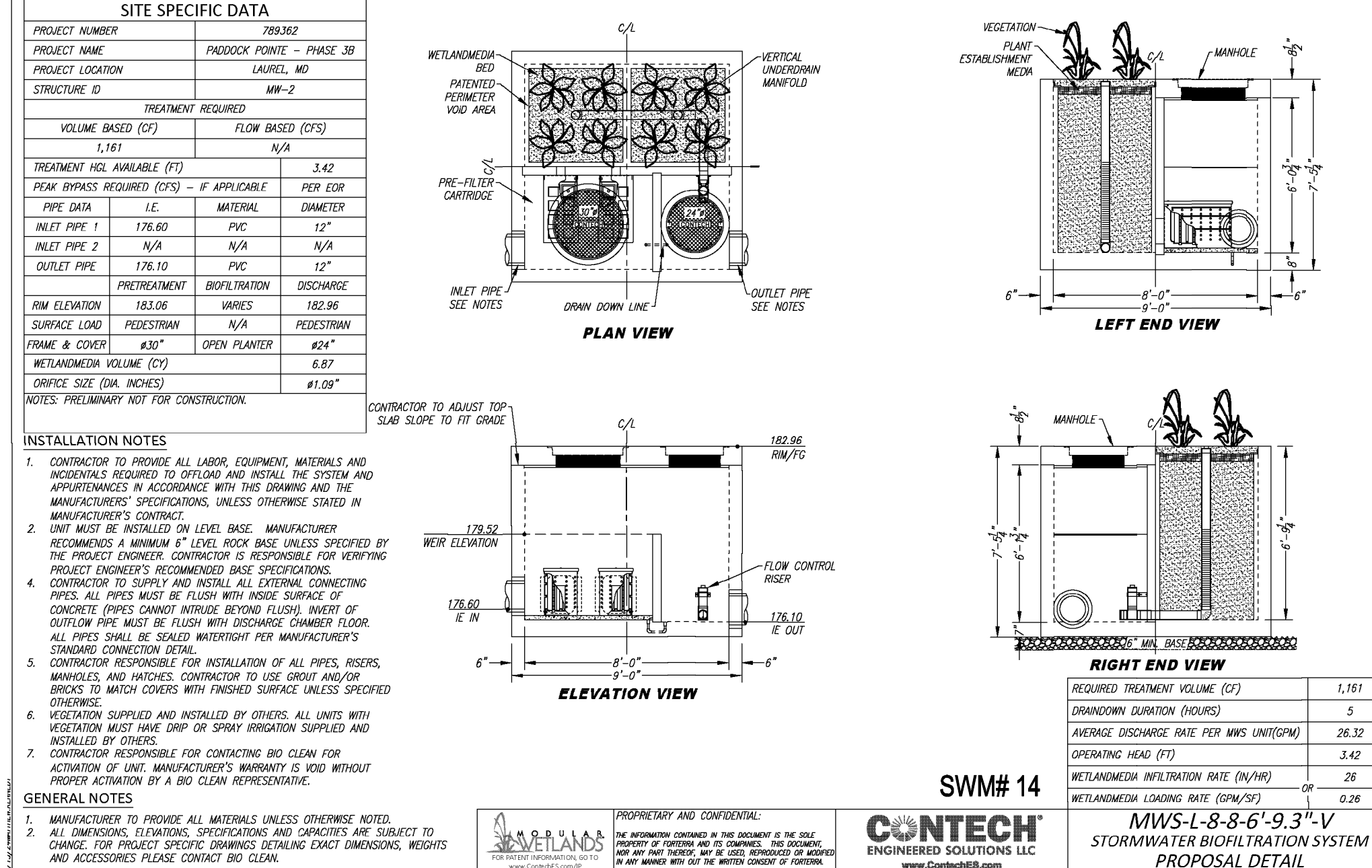
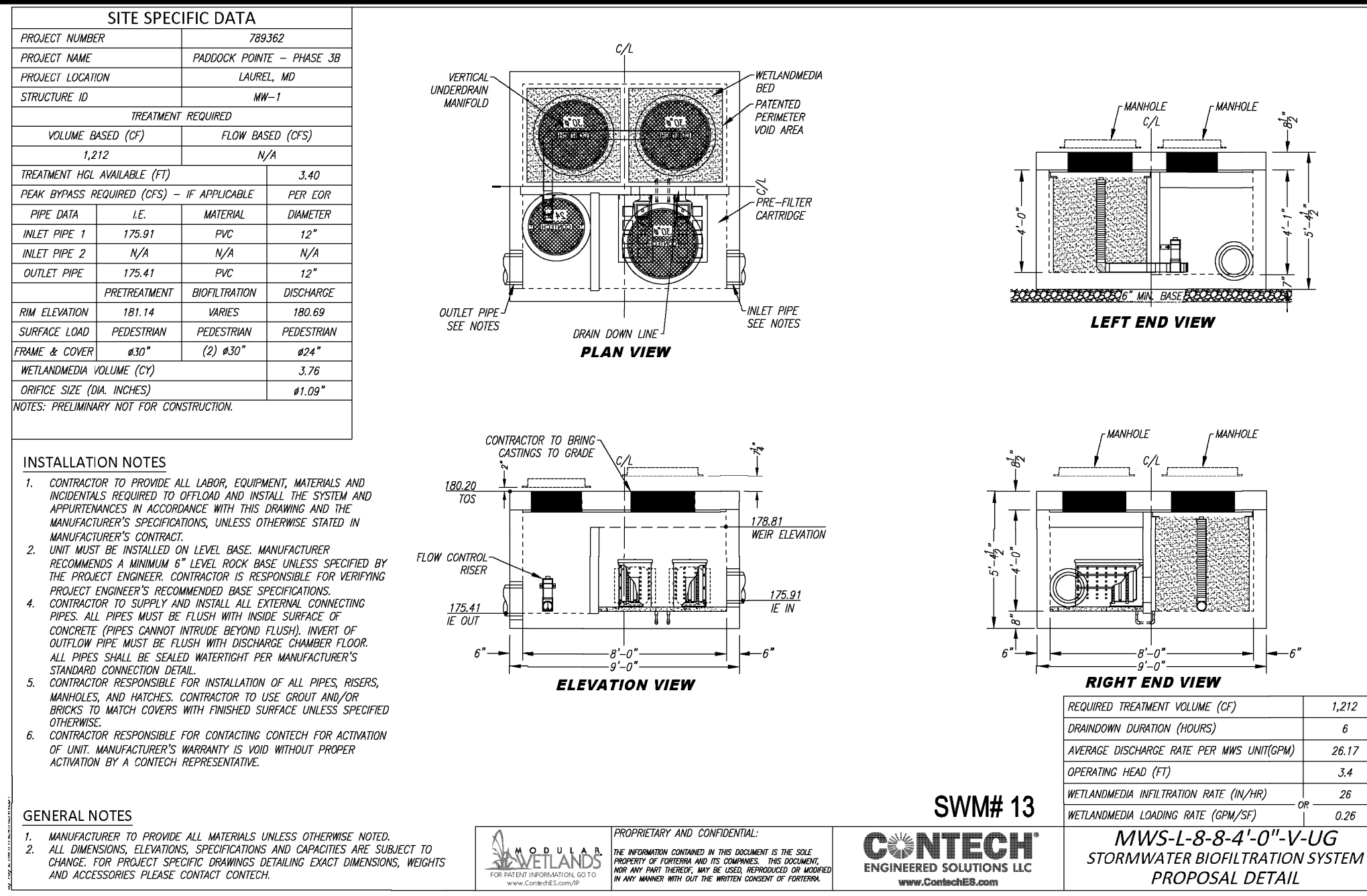
- MAINTENANCE SUMMARY
THE TIME THIS OWNER TO MAINTAIN YOUR MODULAR WETLANDS' LINEAR, ALL NECESSARY PRE-MAINTENANCE STEPS MUST BE CARRIED OUT BEFORE MAINTENANCE OCCURS...

- MAINTENANCE [PRE-FILTER] CARTRIDGES
1. REMOVE ACCESS COVER OVER PRE-TREATMENT CHAMBER AND POSITION VACUUM TRUCK ACCORDINGLY...

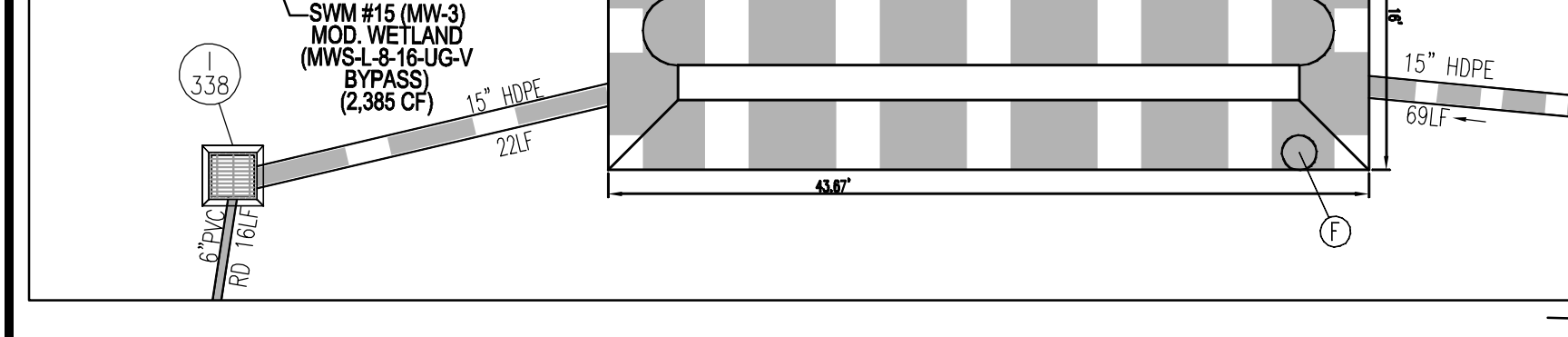
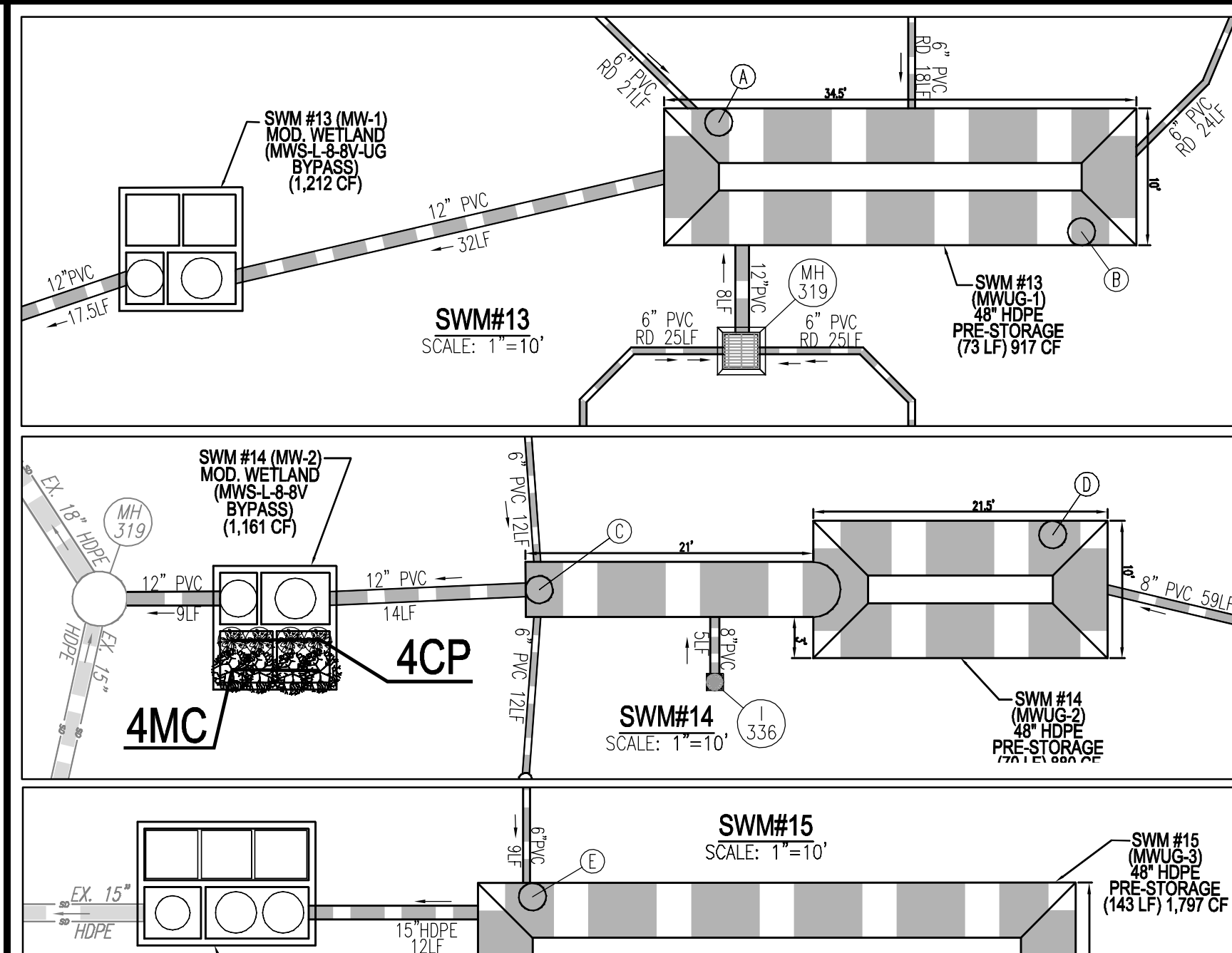
- MAINTENANCE [BIOFILTRATION] CHAMBER
1. IN GENERAL, THE BIOFILTRATION CHAMBER IS MAINTENANCE-FREE WITH THE EXCEPTION OF MAINTAINING THE VEGETATION OF THE MODULAR WETLANDS...

- MAINTENANCE [DISCHARGE] CHAMBER
1. REMOVE ACCESS HATCH OR MANHOLE COVER OVER DISCHARGE CHAMBER...

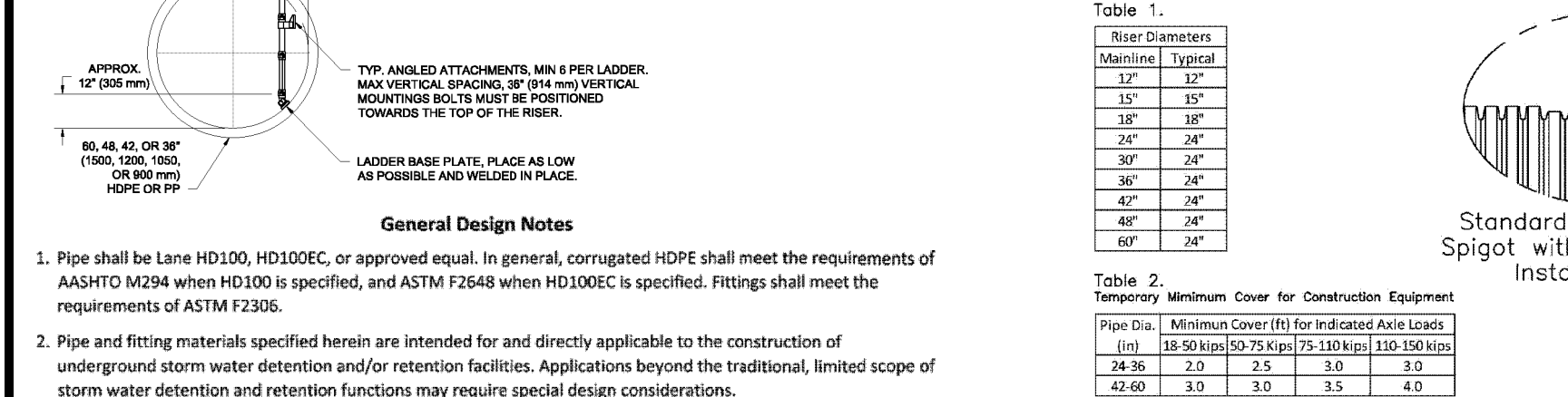
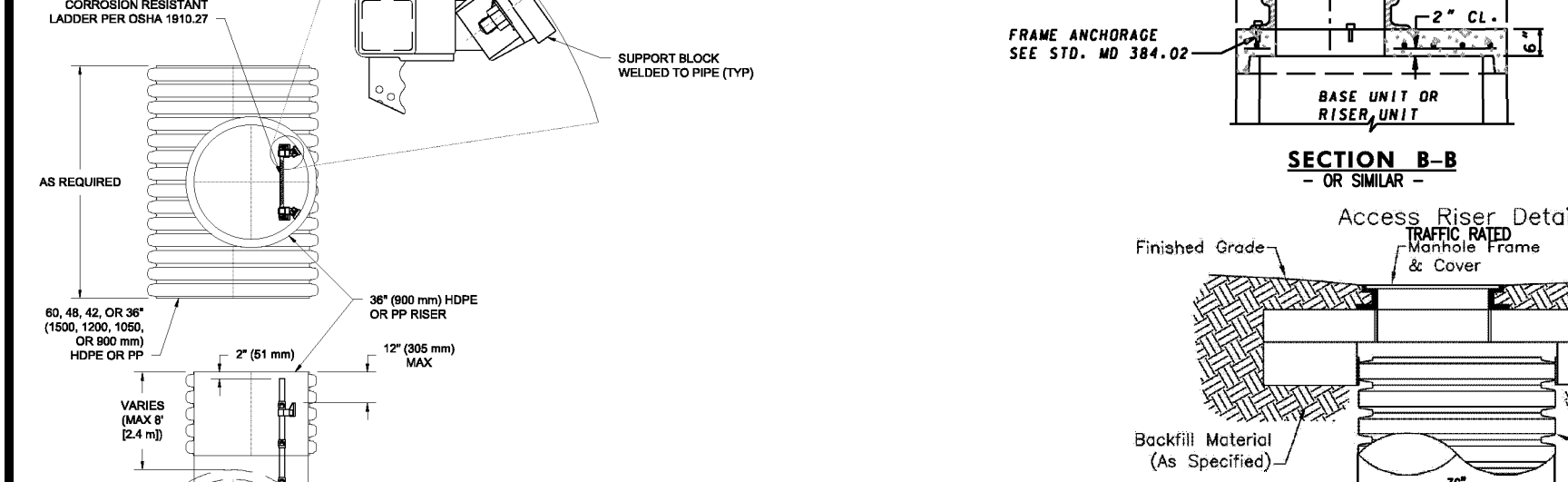
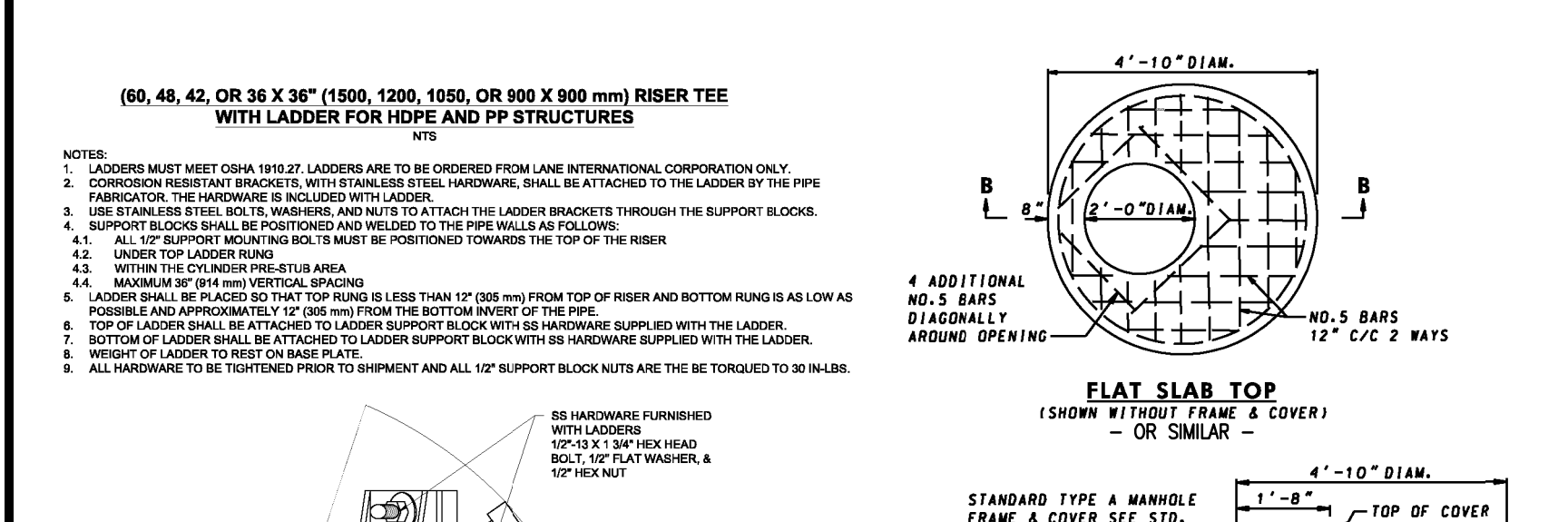
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 9/25/2024



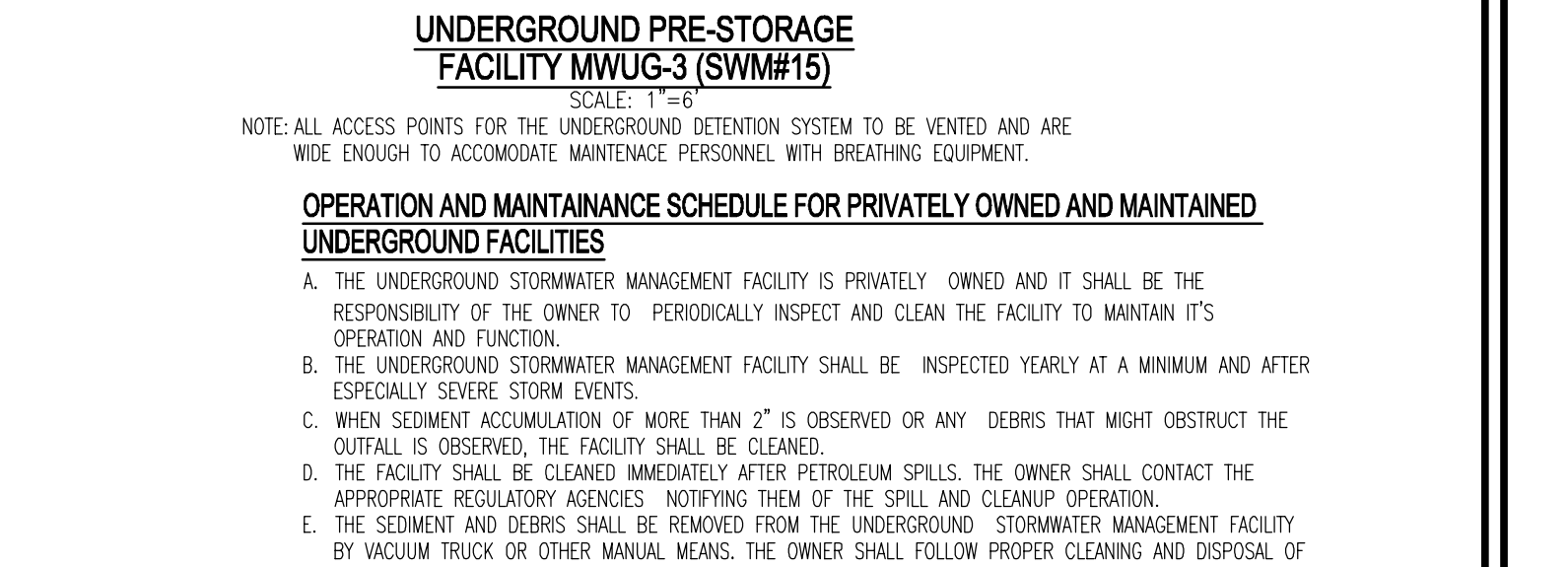
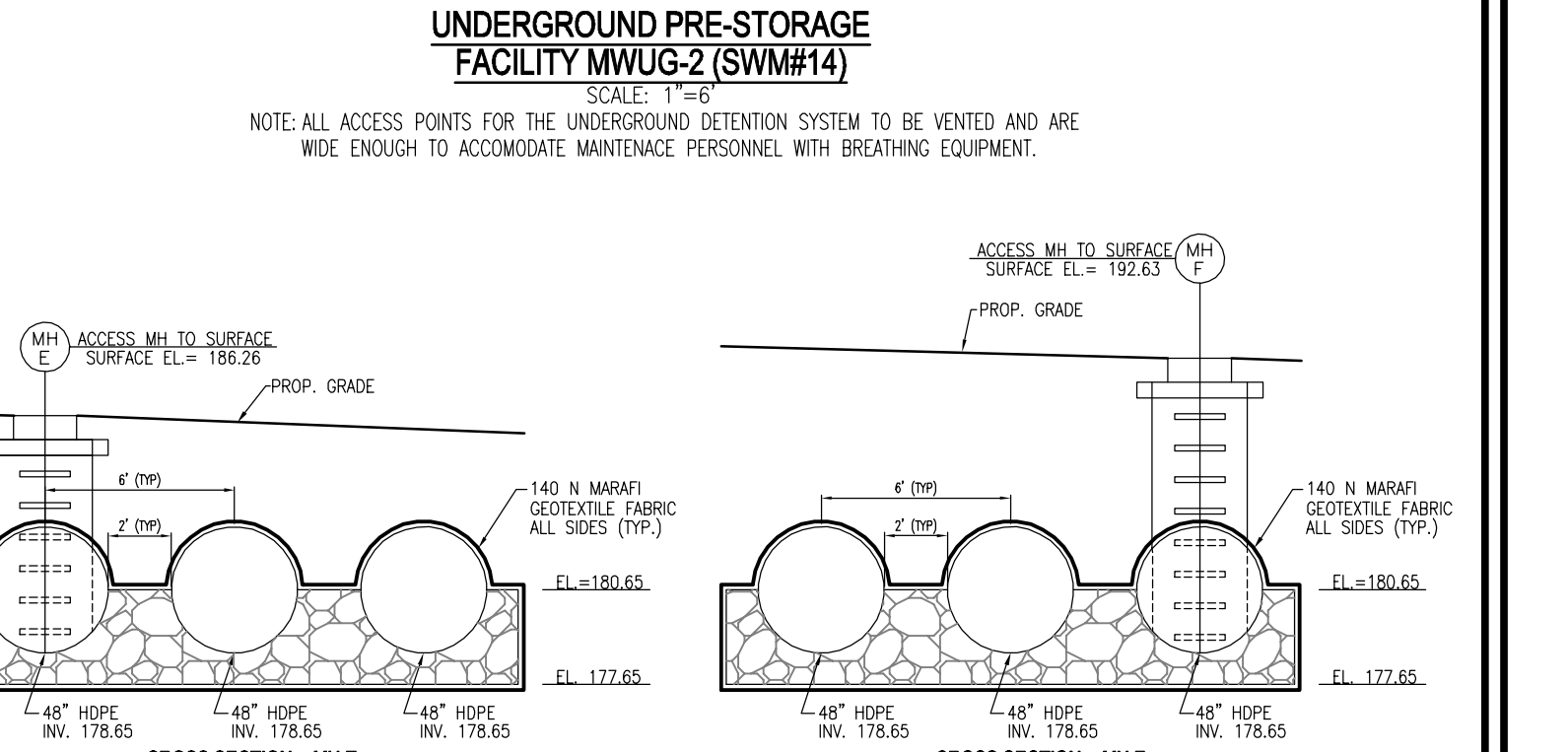
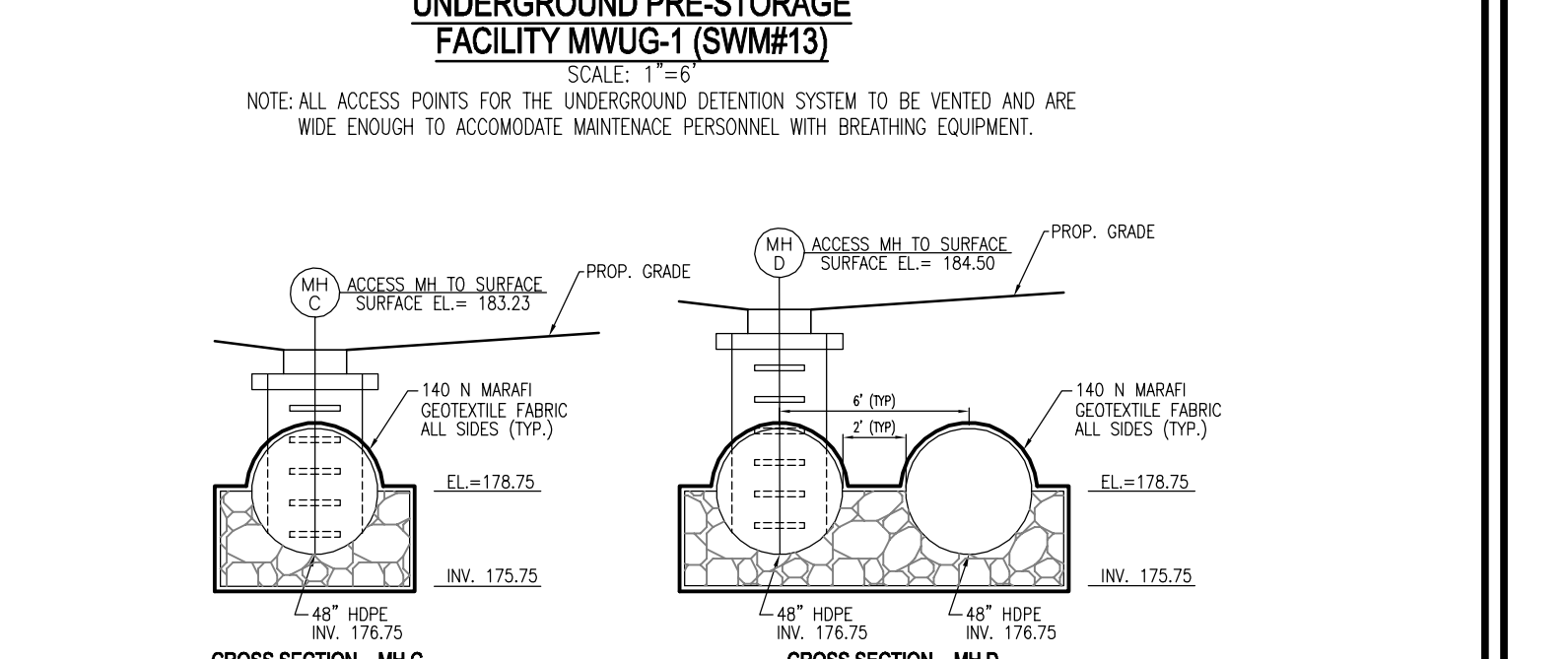
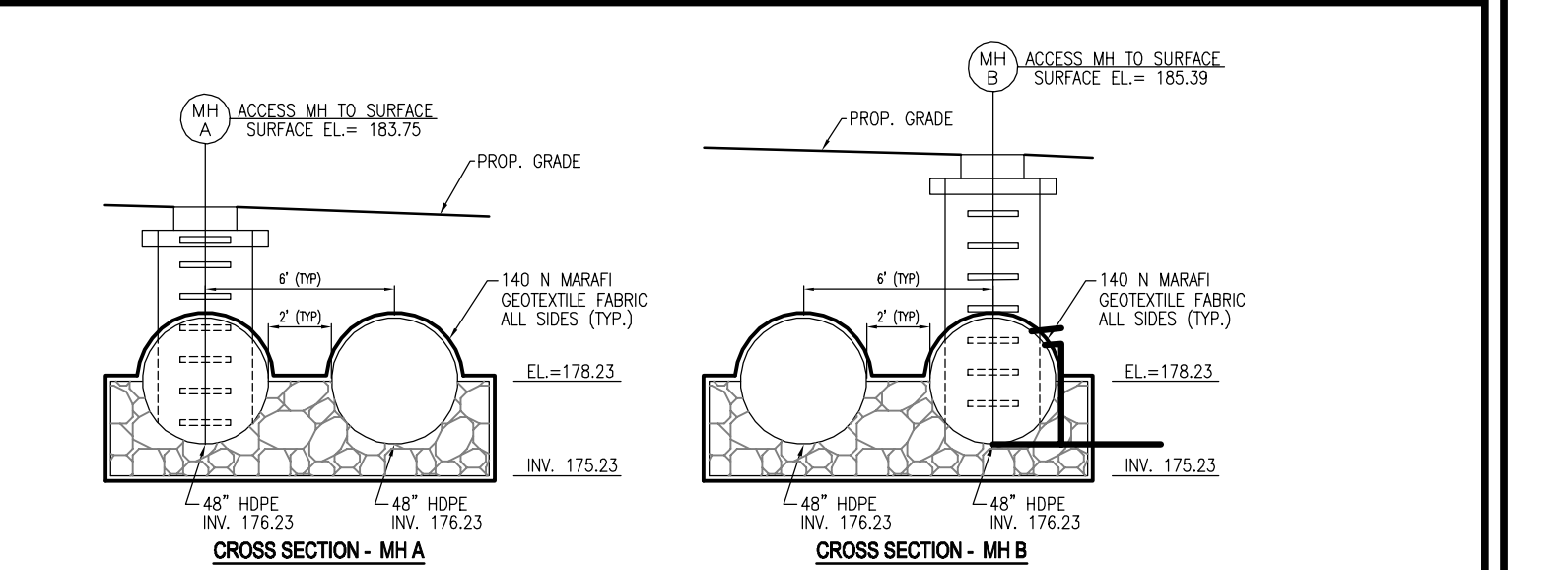
MODULAR WETLAND PLANTING SCHEDULE
Table with columns: NO., MODEL, QTY, REMARKS, LEGEND KEY, BOTANICAL NAME/COMMON NAME, SIZE, SPACING.



UNDERGROUND PRE-STORAGE PIPE NOTES:
CONTRACTOR SHALL ENSURE THAT THE SWM FACILITY IS WATER TIGHT.
1. TRENCH BEING TO BE IN ACCORDANCE WITH RECOMMENDATIONS FROM THE GEOTECHNICAL ENGINEER IN THE FIELD...



General Design Notes
1. Pipe shall be Lane HD100, HD100E, or approved equal. In general, corrugated HDPE shall meet the requirements of AASHTO M294 when HD100 is specified...



OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED UNDERGROUND FACILITIES
A. THE UNDERGROUND STORMWATER MANAGEMENT FACILITY IS PRIMARILY OWNED AND IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO PERIODICALLY INSPECT AND CLEAN THE FACILITY TO MAINTAIN ITS OPERATION AND FUNCTION...

Table with columns: NO., REVISION, DATE.

SITE DEVELOPMENT PLAN
STORM WATER MANAGEMENT NOTES AND DETAILS
PADDOCK POINT - PHASE 3B (FORMERLY KNOWN AS LAUREL PARK STATION)
58 SOUTH LAUREL PARK DRIVE, LAUREL, MD 21075

VOGEL ENGINEERING
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410 461 7666 F: 410 461 8961 www.timmons.com

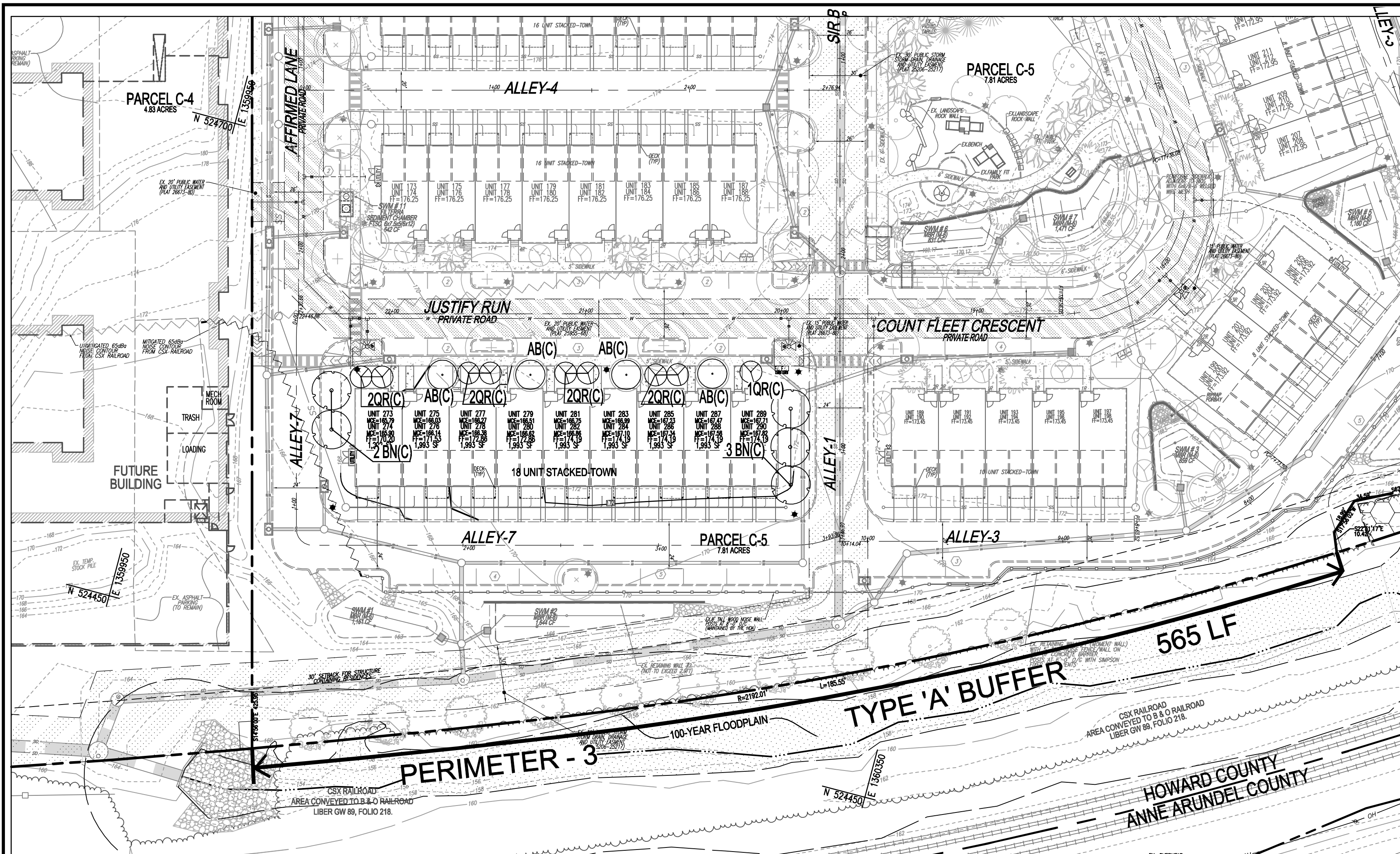
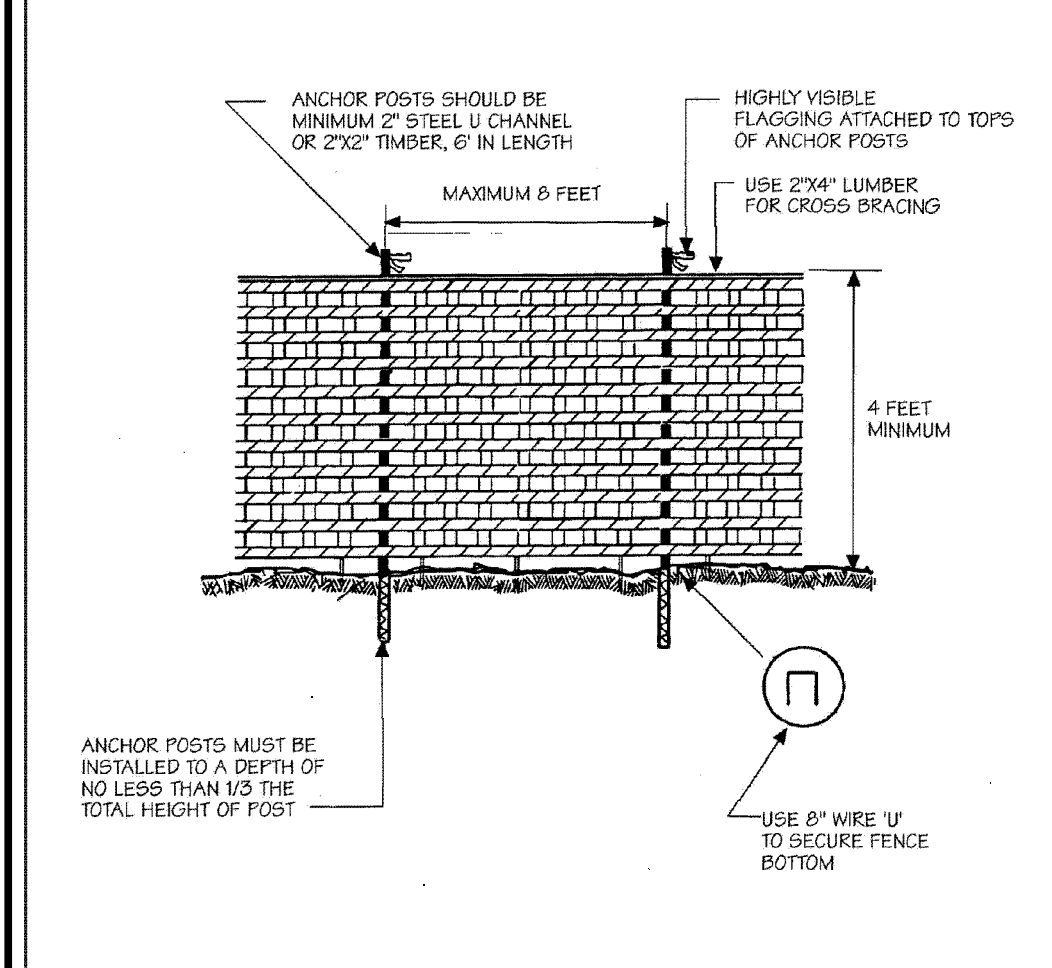


Figure E-3: Plastic Mesh Tree Protection Fence



- Notes:
- Blaze orange or blue plastic mesh fence for forest protection device, only.
 - Boundaries of Retention Area will be established as part of the Forest Conservation Plan review process.
 - Stake and flag boundaries of Retention Area prior to installing device.
 - Avoid damage to critical root zone. Do not damage or sever large roots when installing posts.
 - Protection signs are required, see Figures E-1 and E-2.
 - Maintain device throughout construction.

LANDSCAPE PLAN

SCALE: 1"=40'

STREET NAME	LINEAR FEET	NO. REQUIRED	NO. PROVIDED
EX. SR. BAYTON WAY (68 ONE SIDE)	363.40	10	10
TOTALS		10	10

KEY	QUAN.	BOTANICAL NAME	SIZE	REM.
⊕+QC	5	QUERCUS COCCINEA SCARLET OAK	2 1/2"-3" CAL.	B & B
⊕+QR	5	QUERCUS ROBUR 'FASTIGIATA' COLUMNAR ENGLISH OAK	2.5"-3" CAL.	B & B
TOTAL	10			

CATEGORY	ADJACENT TO PERIMETER			TOTALS
	1	2	3	
PERIMETER/FRONTAGE, DESIGNATION ROADWAY	A	A	A	
PERIMETER/FRONTAGE, DESIGNATION FRONTAGE/PERIMETER	174	368	565	
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET DESCRIBE BELOW IF NEEDED)	No	No	No	
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET DESCRIBE BELOW IF NEEDED)	No	No	No	
NUMBER OF PLANTS REQUIRED	1:60	3:40	7	10
NUMBER OF PLANTS PROVIDED				10

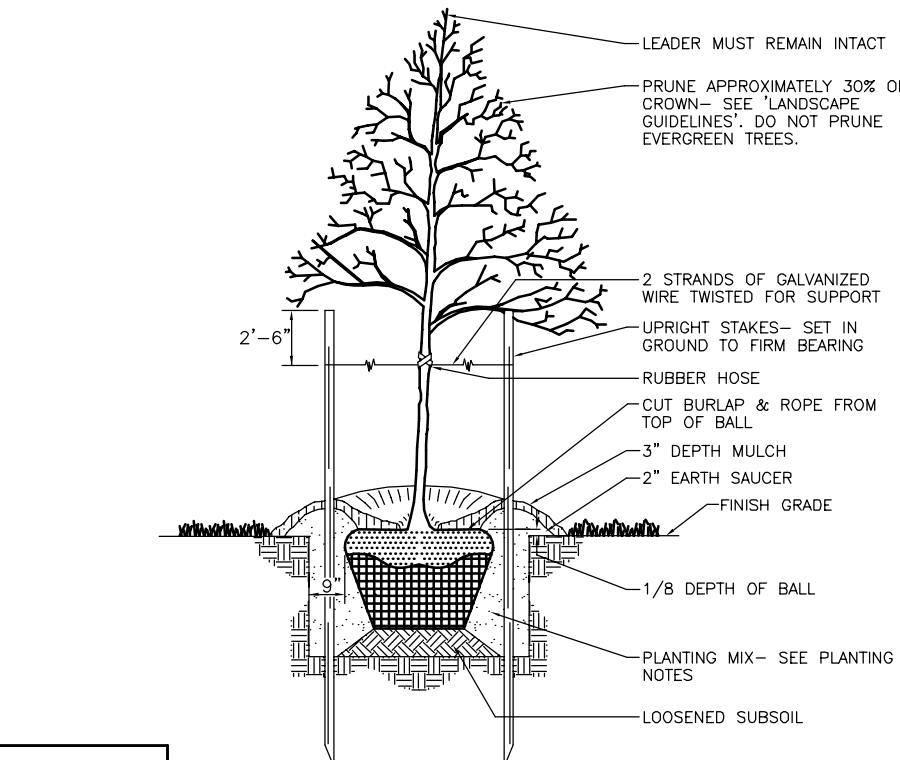
SYMBL.	KEY	QUANTITY	BOTANICAL NAME	SIZE	CAT.
⊕	ZS	4	ZELKOVA SERRATA VILLAGE GREEN VILLAGE GREEN JAPANESE ZELKOVA	2.5"-3" CAL.	B & B
⊕	QC	6	QUERCUS COCCINEA SCARLET OAK	2.5"-3" CAL.	B & B
TOTAL		10			

LANDSCAPE SCHEDULE 'C' (RESIDENTIAL)

NUMBER OF DWELLING UNITS	58 SEA
NUMBER OF TREES REQUIRED (1:1 DU SFA)	58 TOTAL
NUMBER OF TREES PROVIDED	42
SHADE TREES (2:1 SUBSTITUTION)	32
OTHER TREES (10:1 SUBSTITUTION)	0

KEY	QUAN.	BOTANICAL NAME	SIZE	CAT.
⊕BN	8	BETULA NIGRA 'BNMT' DURA-HEAT RIVER BIRCH	10"-12" HT.	B & B
⊕AB	13	ACER BUERGERIANUM TRIDENT MAPLE	2.5"-3" CAL.	B & B
⊕QR	21	QUERCUS ROBUR 'FASTIGIATA' COLUMNAR ENGLISH OAK	2.5"-3" CAL.	B & B
⊕PS	26	PINUS STROBUS EASTERN WHITE PINE	6'-8" HT.	B & B
⊕CC	3	CERVIS CANDANENSIS EASTERN REDBUD	1.5"-2" CAL.	B & B
⊕MS	3	MAGNOLIA Y SOULANIANA SAUCER MAGNOLIA	6'-8" HT.	B & B
TOTAL	42			

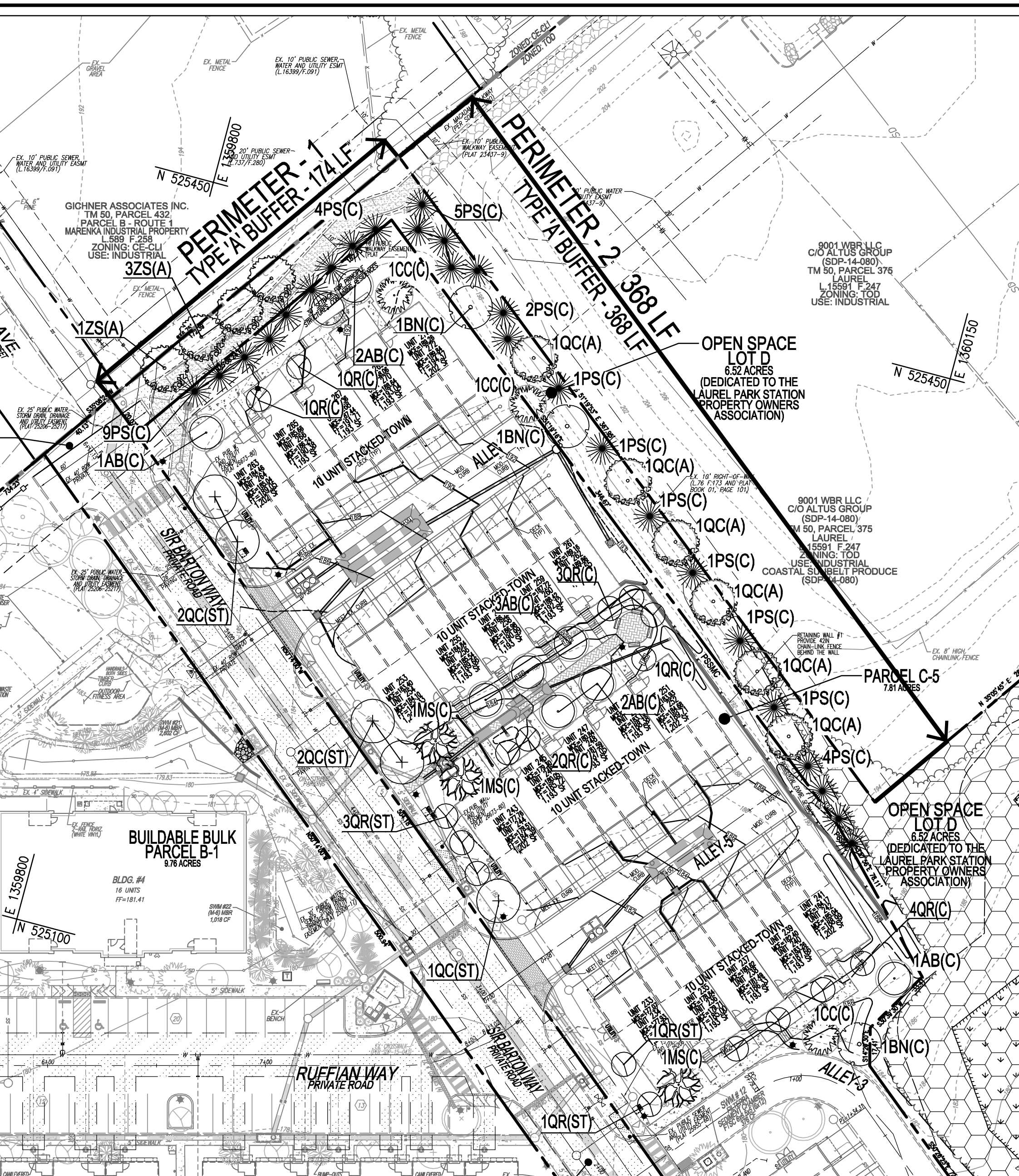
PLAN	REQUIRED	PROVIDED	REMAINING
LAUREL PARK SDP-15-043 PHASE 1 (220 UNITS) TOTAL	2.24 AC.	2.23 AC.	0.01 AC.
LAUREL PARK SDP-15-063 PHASE 2 (278 UNITS) TOTAL	1.37 AC.	0.84 AC.	0.53 AC.
LAUREL PARK SDP-21-016 PHASE 3B (76 UNITS) TOTAL	0.57 AC.	0.27 AC.	0.30 AC.
LAUREL PARK SDP-21-037 PHASE 4 (368 UNITS) TOTAL	0.27 AC.	-	0.27 AC.
TOTAL	4.45 AC.	3.34 AC.	1.11 AC.



- NOTES:
- SEE "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE - WASHINGTON METROPOLITAN AREA" FOR ALL MATERIAL, PRODUCT, AND PROCEDURE SPECIFICATIONS.
 - SEE "LANDSCAPE GUIDELINES" FOR SUPPORTING TREES LARGER THAN 2-1/2" CALIPER.
 - PLACE UPRIGHT STAKES PARALLEL TO WALKS & BUILDINGS.
 - KEEP MULCH 1" FROM TRUNK.
 - SEE ARCHITECTURAL PLANS FOR ADDITIONAL PLANTINGS WHICH EXCEED HOWARD COUNTY MINIMUM REQUIREMENTS.
 - TREES ARE NOT TO BE PLANTED OVER PRIVATE SEWAGE EASEMENT.
- TREE PLANTING AND STAKING**
DECIDUOUS TREES UP TO 2-1/2" CALIPER NOT TO SCALE

TYPICAL EVERGREEN TREE PLANTING DETAIL

NOT TO SCALE



LANDSCAPE PLAN SCALE: 1"=40'

GENERAL NOTES:

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. THE REQUIRED PARKING AND PERIMETER TREE PLANTING AND PERIMETER LANDSCAPING WILL BE BONDED PER THIS SUBMISSION.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT FOR THIS SITE DEVELOPMENT PLAN IN THE AMOUNT OF \$23,400.00 FOR THE REQUIRED 78 SHADE TREES.

LANDSCAPE SCHEDULE NOTES:

- AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENTS, BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
- THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- SHOULD ANY TREE DESIGNATED FOR PRESERVATION FOR WHICH LANDSCAPING CREDIT IS GIVEN, DIE PRIOR TO RELOCATION OF BERMS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD, AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE HOWARD COUNTY LANDSCAPE MANUAL.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
- CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.

- ### LEGEND:
- EXISTING CURB AND GUTTER
 - EXISTING LIGHT POLE
 - EXISTING SIGN
 - EXISTING MAILBOX
 - EXISTING SANITARY MANHOLE
 - EXISTING SANITARY LINE
 - EXISTING WATER LINE
 - EXISTING FIRE HYDRANT
 - EXISTING TREELINE
 - EXISTING SEWER LINE
 - EXISTING TRENCH
 - EXISTING FENCE
 - PROPERTY LINE
 - RIGHT-OF-WAY LINE
 - EXISTING STREAM
 - EXISTING STREAM BUFFER
 - EX. LIMIT OF WETLAND
 - EX. WETLAND BUFFER
 - PROPOSED STORM DRAIN
 - PROPOSED STORM DRAIN INLET
 - PROPOSED SIDEWALK
 - PROPOSED CURB
 - PROPOSED STREET LIGHT
 - EX. PUBLIC SEWER, WATER AND UTILITY EASEMENT PLAT 25206-25217
 - PROPOSED STREET SIGN
 - EX. TREES
 - EX. PUBLIC WATER AND UTILITY EASEMENT PLAT 25955-88
 - EX. STREET TREES
 - EX. 100 YEAR PUBLIC FLOODPLAIN, DRAINAGE AND UTILITY EASEMENT
 - PROPOSED SHADE TREES
 - PROPOSED STREET TREES
 - PROPOSED EVERGREEN TREES
 - PERIMETER 3-TYPE 'A' BUFFER
 - PERIMETER DESIGNATION / TYPE

PARCEL C-5 OWNER
BEAZER HOMES, LLC
6085 MARSHALLE DRIVE, SUITE 350
LAUREL, MD 20725
443-539-9249

OWNER
TRIPLE BELL FARMS, LLC
LAUREL, MD 20725
(301) 470-5494

OWNER/DEVELOPER
2006 DELAWARE, INC.
198 LAUREL RACE TRACK RD
LAUREL, MD 20725
(301) 470-5494

SITE DEVELOPMENT PLAN

LANDSCAPE AND AMENITY PLAN; NOTES AND DETAILS

PADDOCK POINTE - PHASE 3B (FORMERLY KNOWN AS LAUREL PARK STATION)

58 STRAK AND LOTS UNITS
ZONED: TOD

TAX MAP: 50 BLOCK: 10
5TH ELECTION DISTRICT

PARCEL 384
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

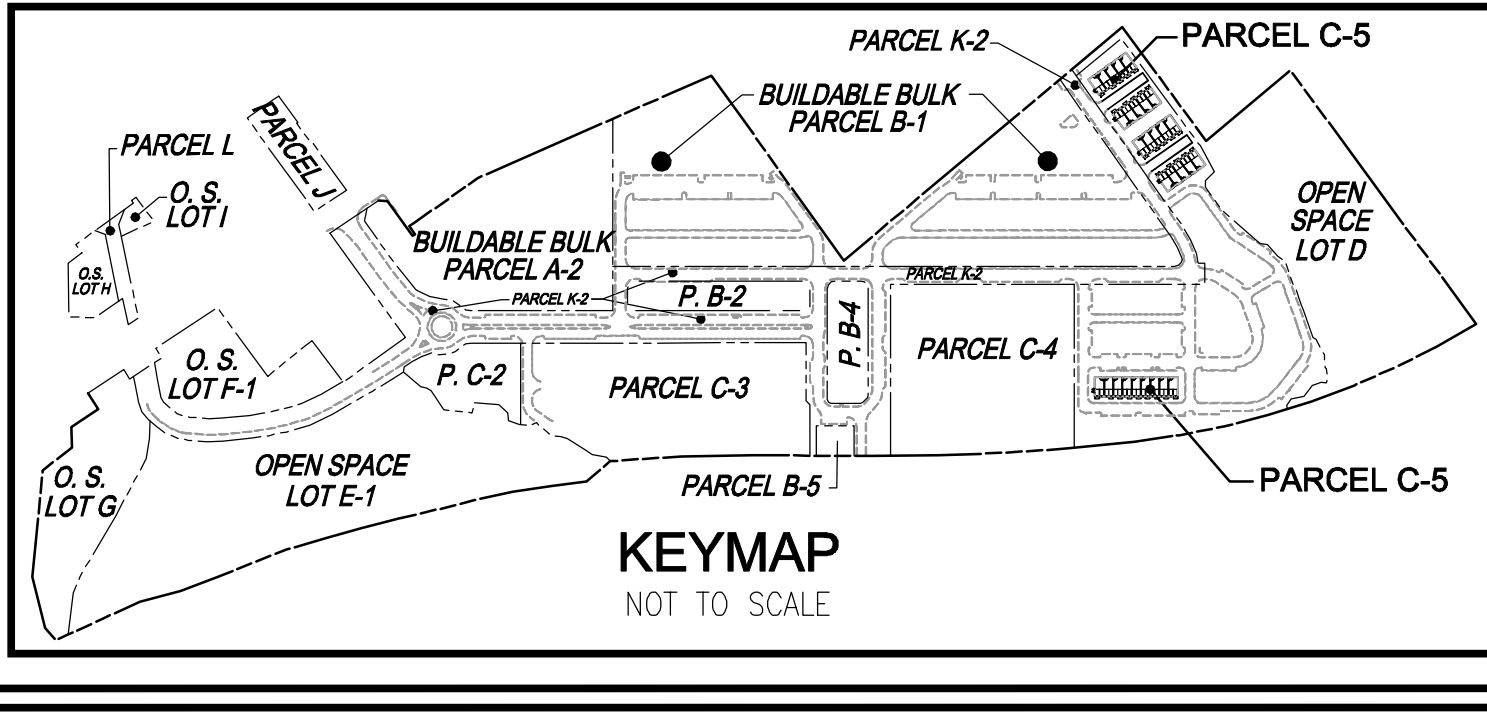
DESIGN BY: DZE/RHV
DRAWN BY: DZE/XG
CHECKED BY: RHV
DATE: SEPT 2024
SCALE: AS SHOWN
W.O. NO.: 07-11/59988

PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

EXPIRATION DATE: 09-27-2026

13 OF 20 SHEETS



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHD Edmondson 9/25/2024
CHIEF, DEVELOPMENT ENGINEERING DIVISION

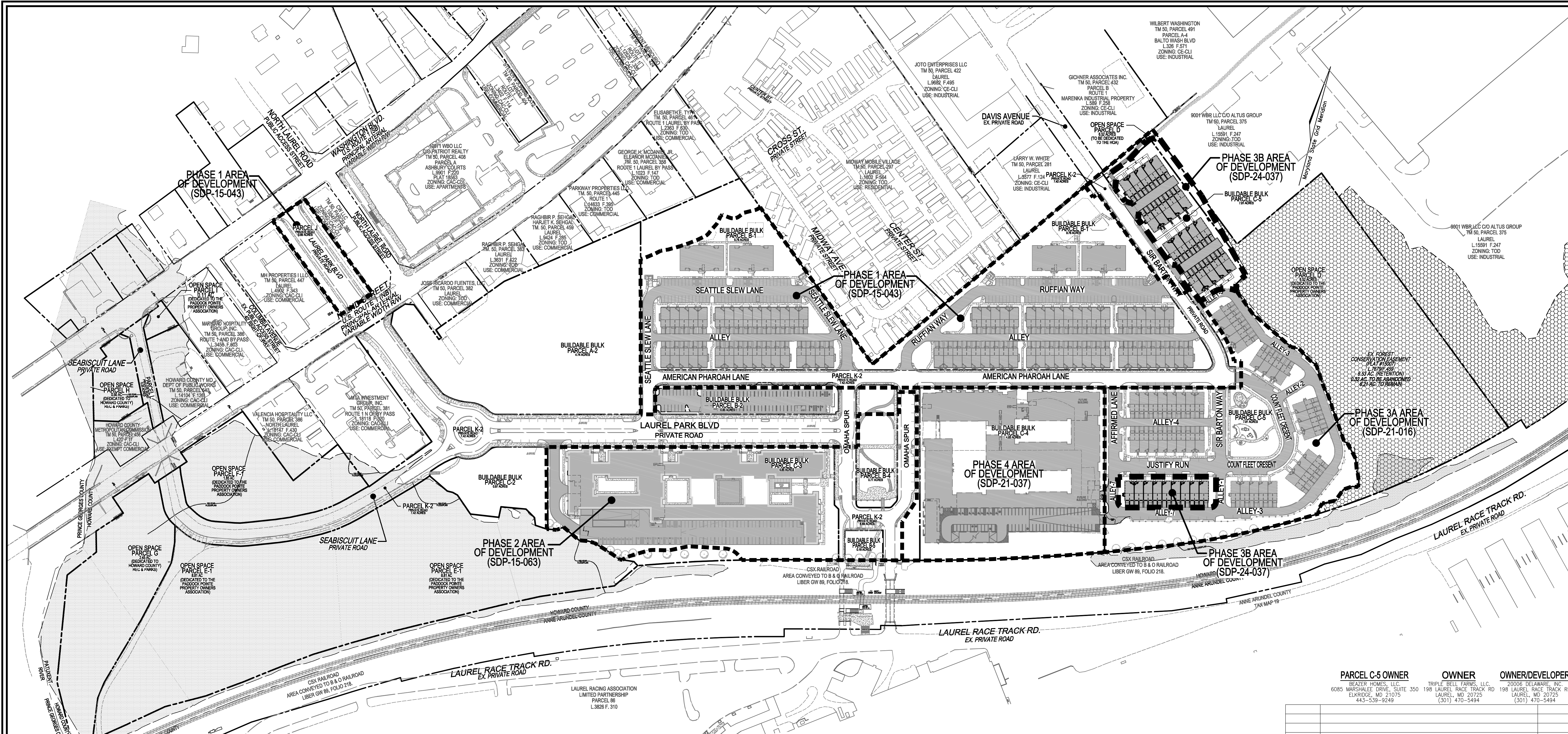
Linda Eisenberg 9/25/2024
CHIEF, DIVISION OF LAND DEVELOPMENT

Linda Eisenberg 9/25/2024
DIRECTOR

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Signed by: *Brian J. Eisenberg* 9/12/2024
SIGNATURE OF DEVELOPER DATE



PLAN VIEW
SCALE: 1"=120'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DIRECTOR

9/25/2024
 9/25/2024
 9/25/2024

TOD RESIDENTIAL DEVELOPMENT TRACKING		
GROSS AREA (PADDOCK POINTE PROJECT)	63.34 AC	
MINUS FLOODPLAIN & STEEP SLOPES	14.84 AC	
DEVELOPABLE ACREAGE (NET)	48.50 AC	
50% OF DEVELOPABLE AREA (NOT TO EXCEED)	24.25 AC	
PHASE/PROJECT	AREA	% OF NET
PHASE 1 RESIDENTIAL AREA (SDP-15-043)	5.59 AC	11.52%
PHASE 2 RESIDENTIAL AREA (SDP-15-063)	3.23 AC	6.67%
PHASE 3A RESIDENTIAL AREA (SDP-21-016)	3.32 AC	6.84%
PHASE 3B RESIDENTIAL AREA (FUTURE SDP)	3.05 AC	12.58%
PHASE 4 RESIDENTIAL AREA (SDP-21-037)	3.69 AC	15.22%
TOTAL	18.88 AC	38.93%

*NO MORE THAN 50% OF THE DEVELOPABLE AREA ACREAGE, EXCLUDING ROAD RIGHT OF WAY AND OPEN SPACE SHALL BE DEVOTED TO RESIDENTIAL BUILDINGS AND PARKING.

LEGEND

TOD RESIDENTIAL AREA

100-YR FLOODPLAIN

PARCEL C-5 OWNER: BEAZER HOMES, LLC
 OWNER: TRIPLE BELL FARMS, LLC
 OWNER/DEVELOPER: 20006 DELAWARE, INC.

NO.	REVISION	DATE

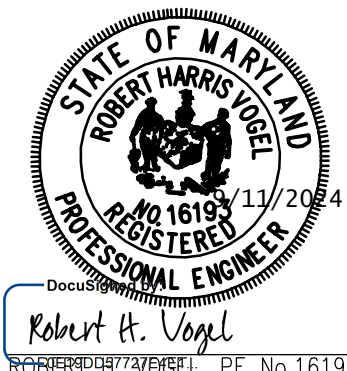
SITE DEVELOPMENT PLAN
 RESIDENTIAL DEVELOPMENT
 AREA EXHIBIT
 PADDOCK POINTE - PHASE 3B
 (FORMERLY KNOWN AS LAUREL PARK STATION)
 58 STACKED TOWN UNITS
 PARCEL C-5
 ZONED: TOD

TAX MAP: 50 BLOCK: 10
 6TH ELECTION DISTRICT

PARCEL 384
 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
 TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com



DESIGN BY: DZE/RHV
 DRAWN BY: DZE/XG
 CHECKED BY: RHV
 DATE: SEPT 2024
 SCALE: AS SHOWN
 W.O. NO.: 07-11/59588

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16193 EXPIRATION DATE: 09-27-2026

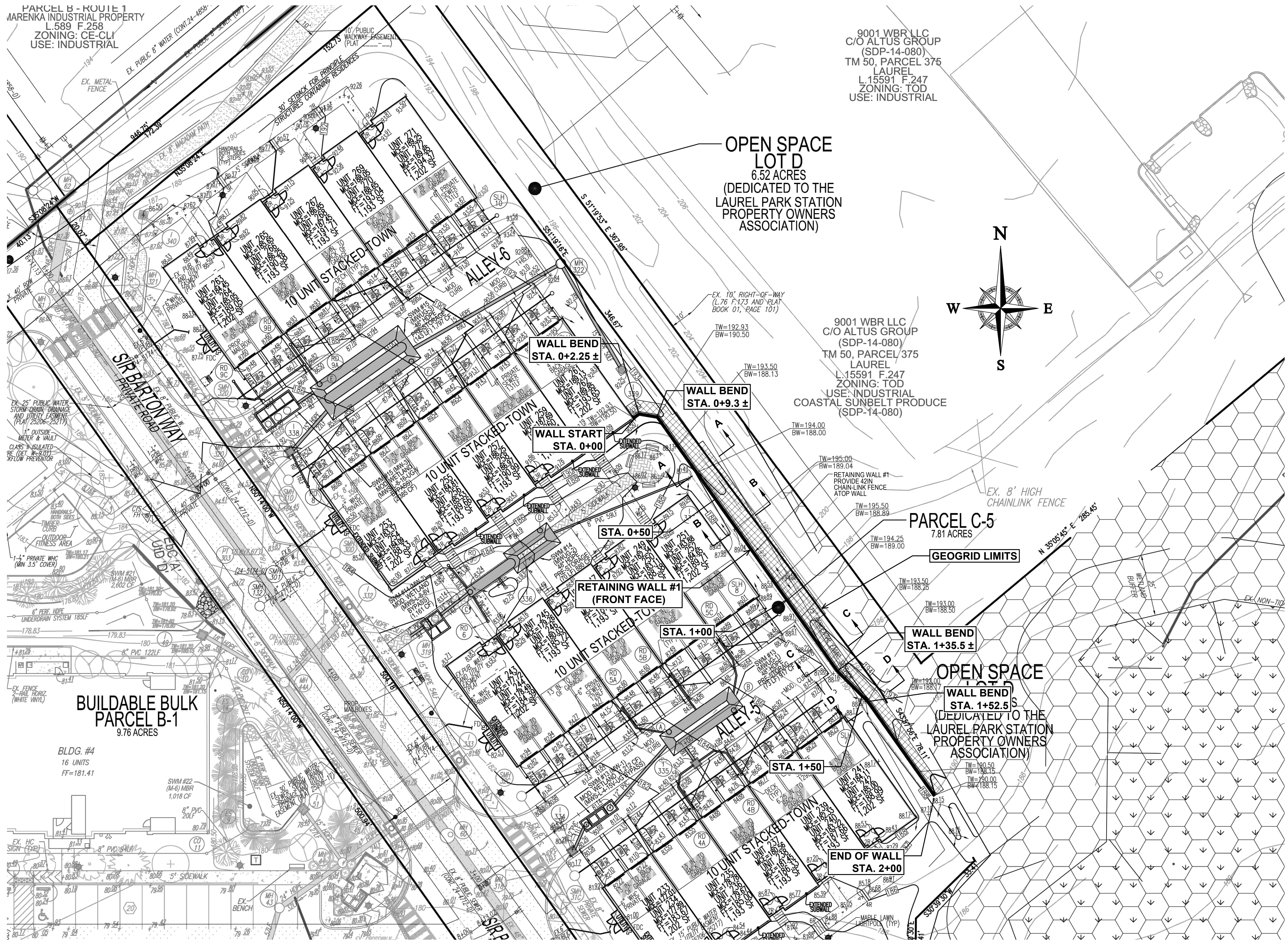
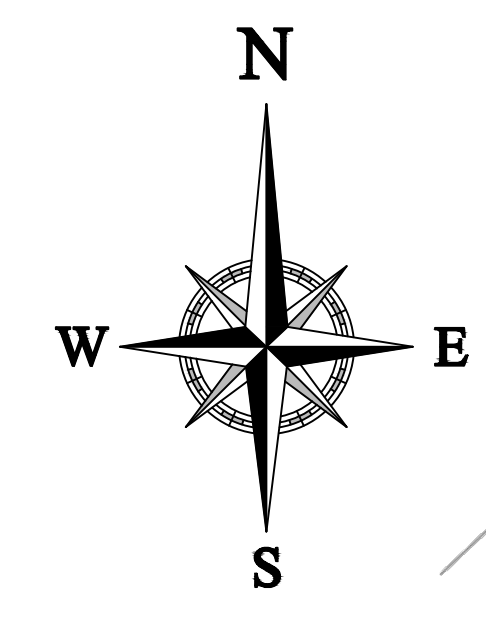
14 OF 20

PARCEL B - ROUTE 1
MARENKA INDUSTRIAL PROPERTY
L.589 F.258
ZONING: CE-CL1
USE: INDUSTRIAL

9001 WBR LLC
C/O ALTUS GROUP
(SDP-14-080)
TM 50, PARCEL 375
LAUREL
L.15591 F.247
ZONING: TOD
USE: INDUSTRIAL

OPEN SPACE
LOT D
6.52 ACRES
(DEDICATED TO THE
LAUREL PARK STATION
PROPERTY OWNERS
ASSOCIATION)

9001 WBR LLC
C/O ALTUS GROUP
(SDP-14-080)
TM 50, PARCEL 375
LAUREL
L.15591 F.247
ZONING: TOD
USE: INDUSTRIAL
COASTAL SUNBELT PRODUCE
(SDP-14-080)



BUILDABLE BULK
PARCEL B-1
9.76 ACRES

BLDG. #4
16 UNITS
FF=181.41

WALL LOCATION PLAN
1" = 20'



PARCEL C-5 OWNER
BEAZER HOMES, LLC
6085 MARSHALEE DRIVE, SUITE 350
ELK RIDGE, MD 21075
443-539-9249

OWNER
TRIPLE BELL FARMS, LLC
198 LAUREL RACE TRACK RD
LAUREL, MD 20725
(301) 470-5494

OWNER/DEVELOPER
2006 DELAWARE, INC.
198 LAUREL RACE TRACK RD
LAUREL, MD 20725
(301) 470-5494

NO.	REVISION	DATE

REVISED MSE WALL #1 LOCATION PLAN

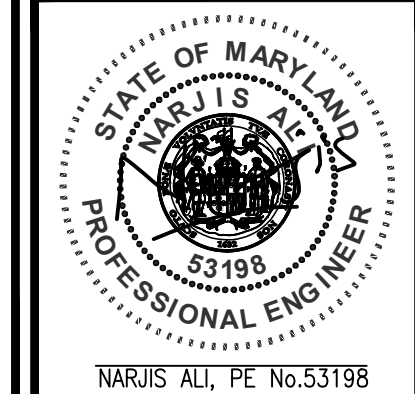
Paddock Pointe - Phase 3B
(FORMERLY KNOWN AS LAUREL PARK STATION)
58 STACKED TOWN UNITS
PARCEL C-5
ZONED: TOD

TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT

PARCEL 384
HOWARD COUNTY, MARYLAND

HILLIS-CARNES
ENGINEERING ASSOCIATES

10875 Guilford Road, Suite A Annapolis Junction, Maryland
Phone: (410) 880-4788 www.hcea.com Fax: (410) 880-4098



DESIGN BY: HM
DRAWN BY: HM
CHECKED BY: JRE
DATE: MAY 2024
SCALE: AS SHOWN
W.O. NO.: 07-11/59588

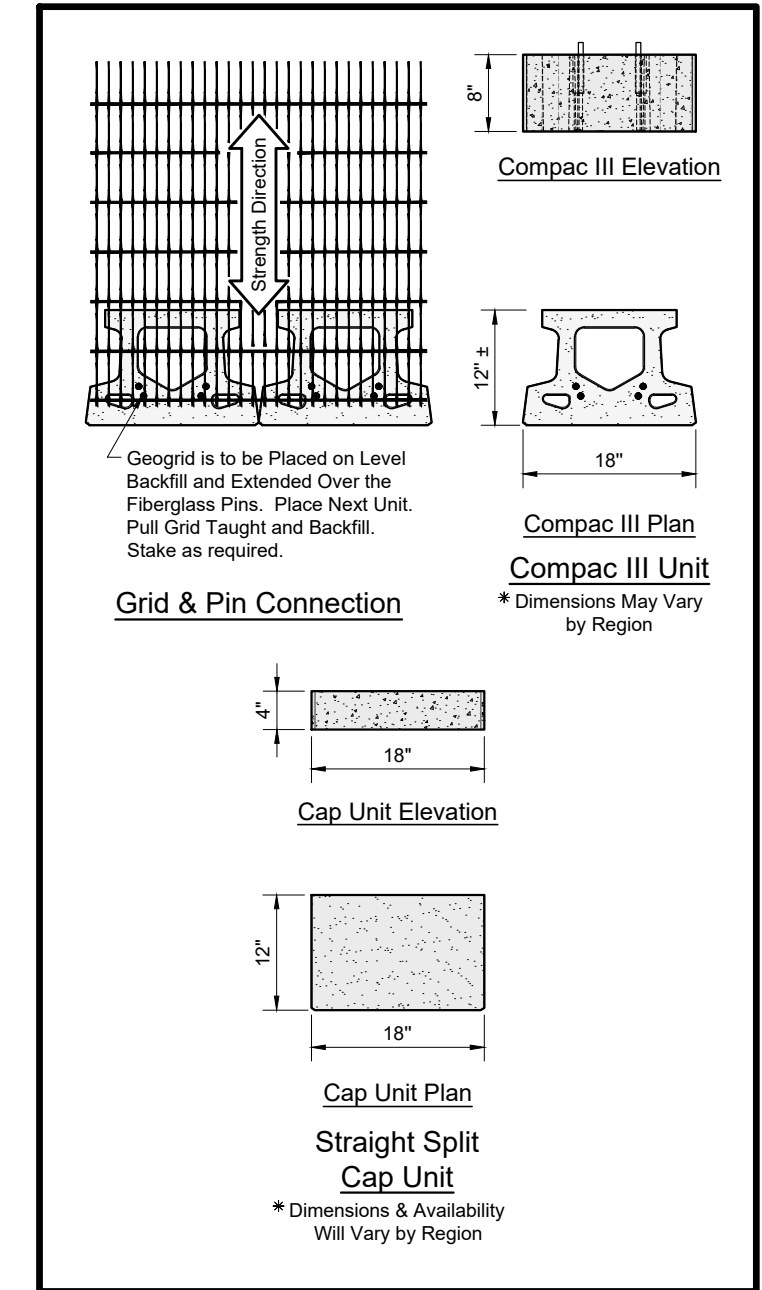
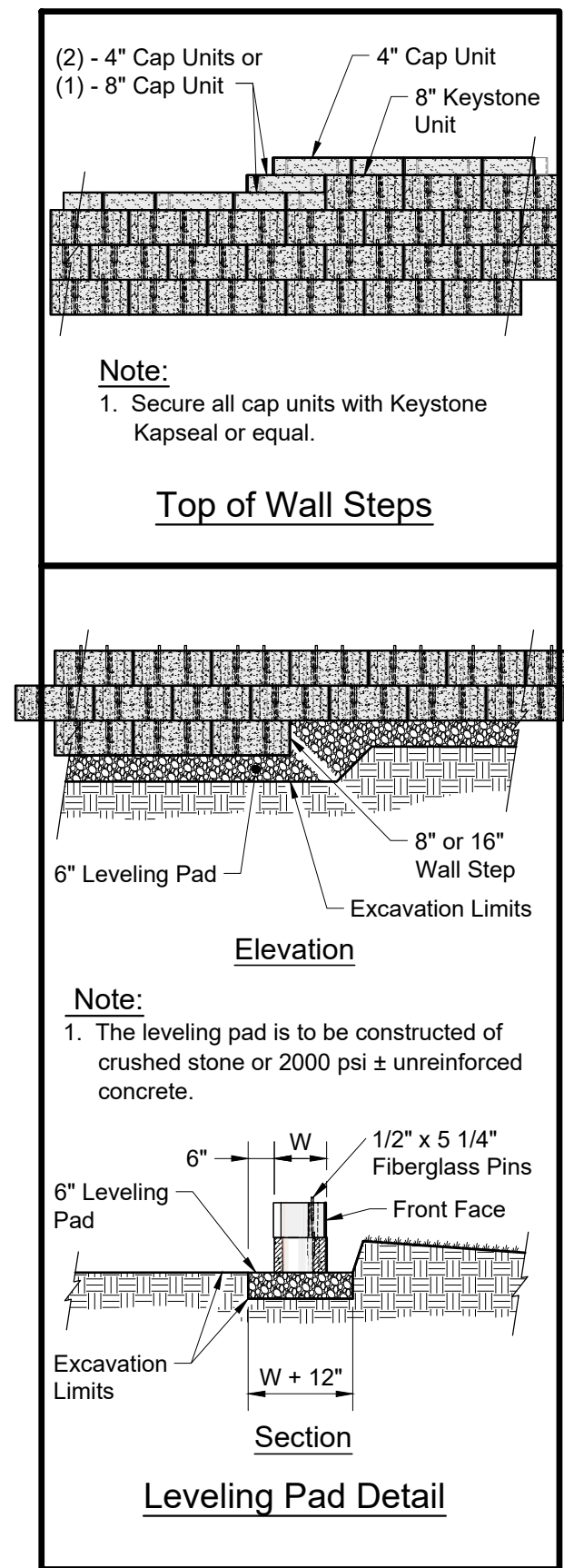
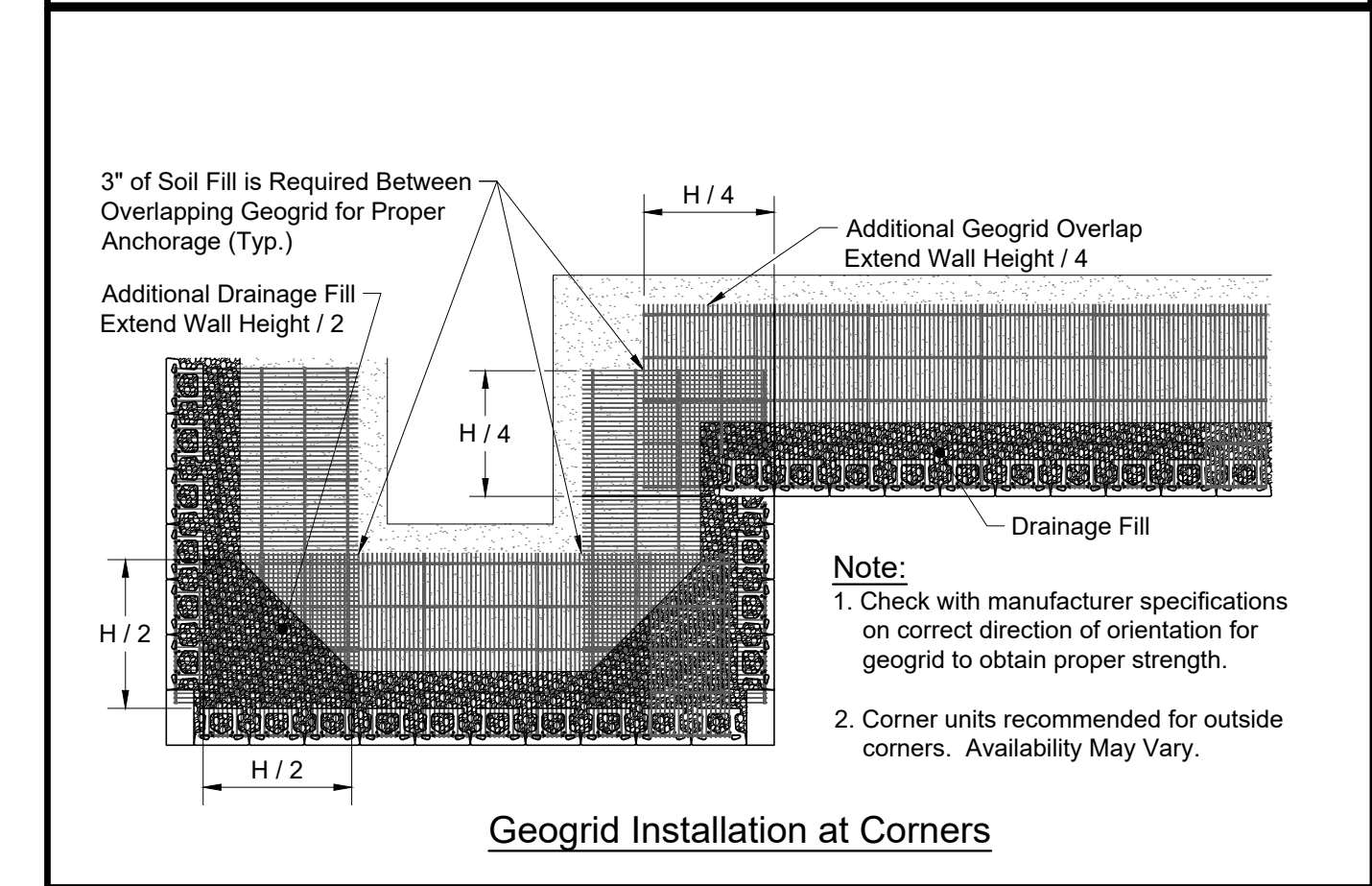
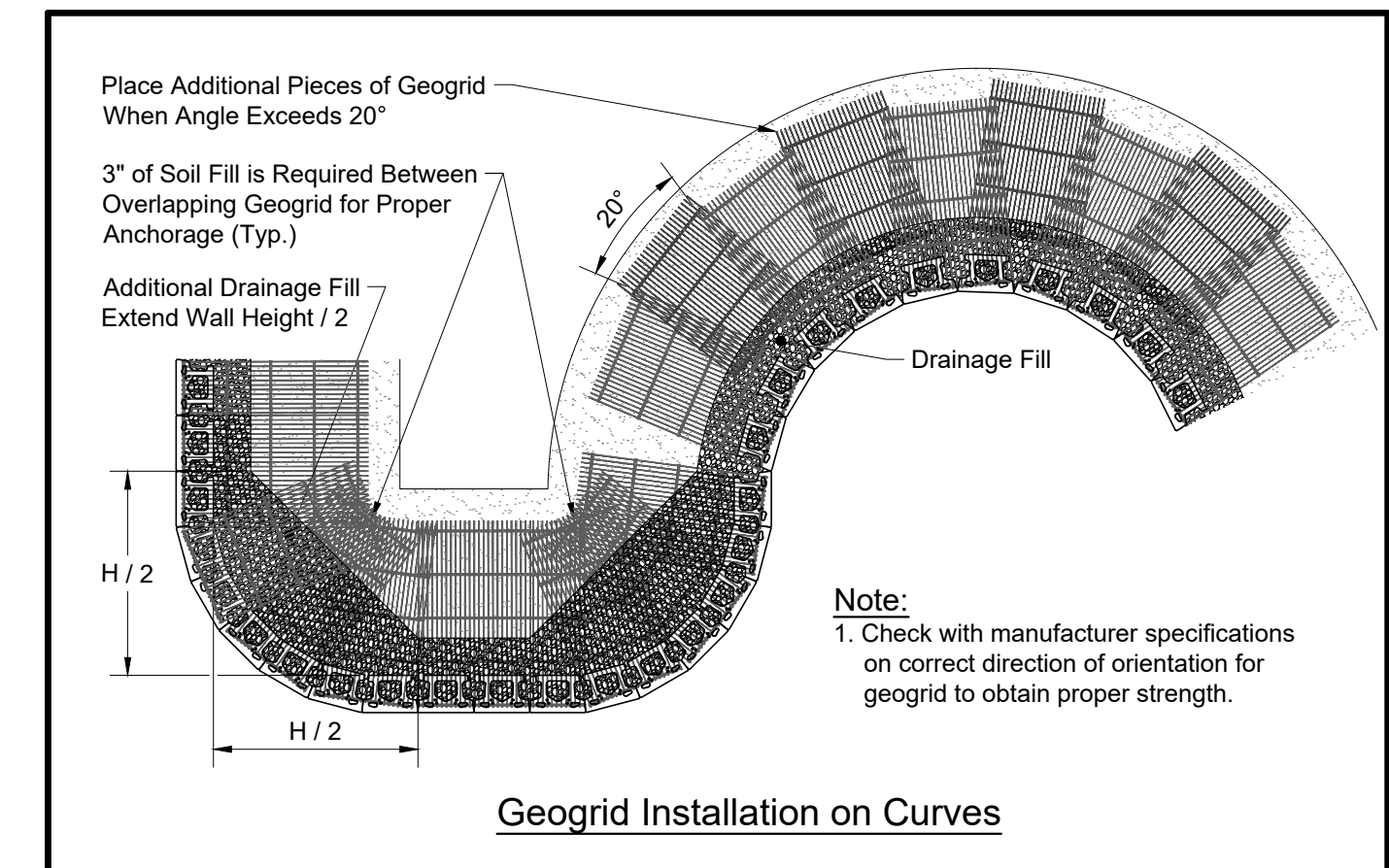
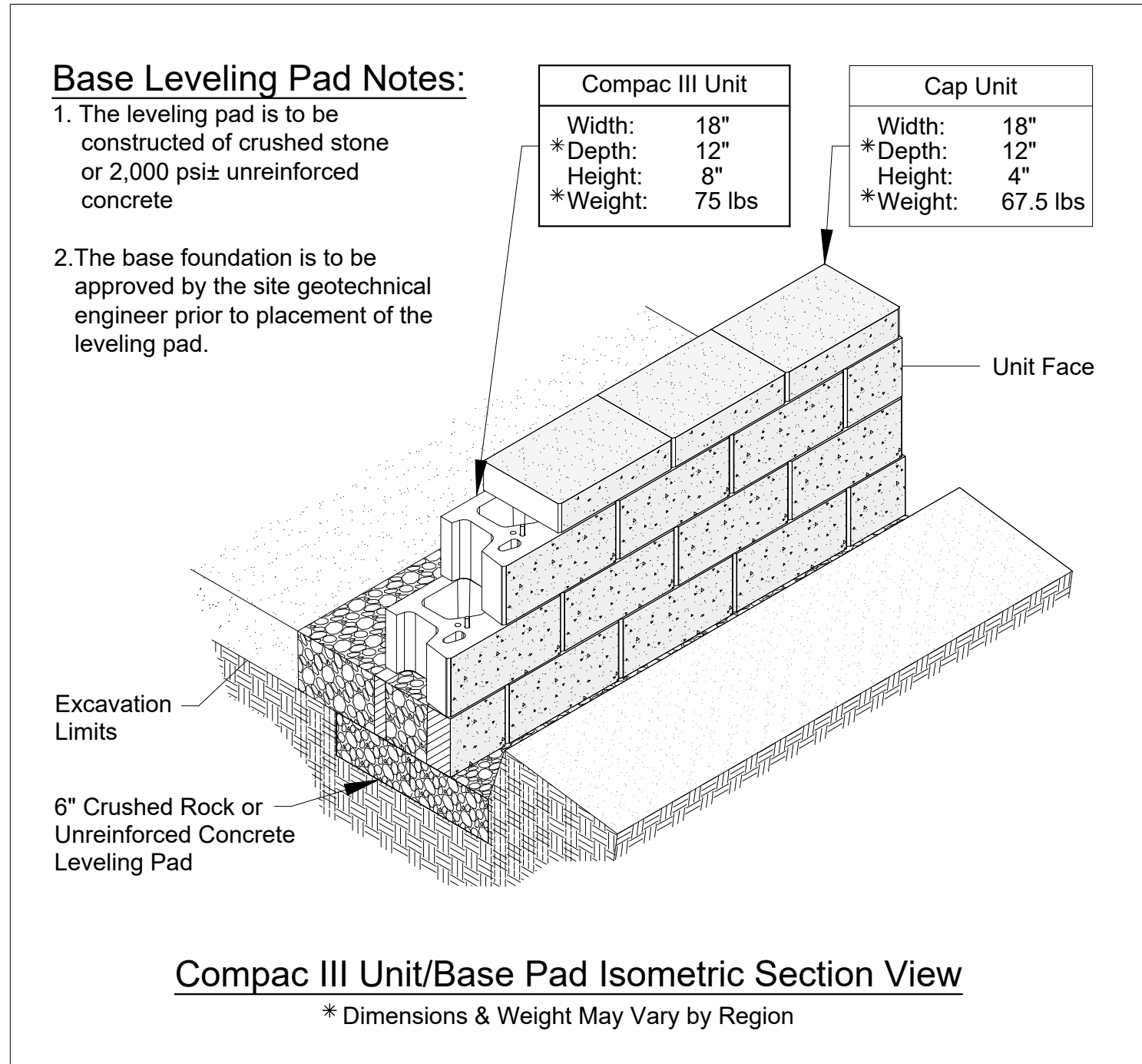
PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A FULLY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND. LICENSE NO. 53195
EXPIRATION DATE: 06-06-2025

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
CHD Edmondson 9/25/2024

CHIEF, DIVISION OF LAND DEVELOPMENT
Lynda Eisenberg 9/23/2024

DIRECTOR _____ DATE _____



COMPAC III UNIT - STRAIGHT FACE DETAILS

PARCEL C-5 OWNER BEAZER HOMES, LLC. 6085 MARSHALLE DRIVE, SUITE 350 ELK RIDGE, MD 21075 443-539-9249

OWNER TRIPLE BELL FARMS, LLC. 198 LAUREL RACE TRACK RD LAUREL, MD 20725 (301) 470-5494

OWNER/DEVELOPER 20006 DELAWARE, INC. 198 LAUREL RACE TRACK RD LAUREL, MD 20725 (301) 470-5494

NO.	REVISION	DATE

MSE WALL CONSTRUCTION DETAIL

PADDOCK POINTE - PHASE 3B
(FORMERLY KNOWN AS LAUREL PARK STATION)
58 STACKED TOWN UNITS
PARCEL C-5
ZONED: TOU

TAX MAP: 50 BLOCK: 10 6TH ELECTION DISTRICT

PARCEL 384 HOWARD COUNTY, MARYLAND

HILLIS-CARNES
ENGINEERING ASSOCIATES

10975 Guilford Road, Suite A Annapolis Junction, Maryland
Phone: (410) 880-4788 www.hcea.com Fax: (410) 880-4098



PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 53198. EXPIRATION DATE: 06-06-2025

DESIGN BY: _____ HM
DRAWN BY: _____ HM
CHECKED BY: _____ JRE
DATE: _____ MAY 2024
SCALE: _____ AS SHOWN
W.O. NO.: _____ 07-11/59588

16 SHEET OF 20

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Designed by: Chad Edmondson 9/25/2024

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 9/25/2024

CHIEF, DIVISION OF LAND DEVELOPMENT DATE 9/25/2024

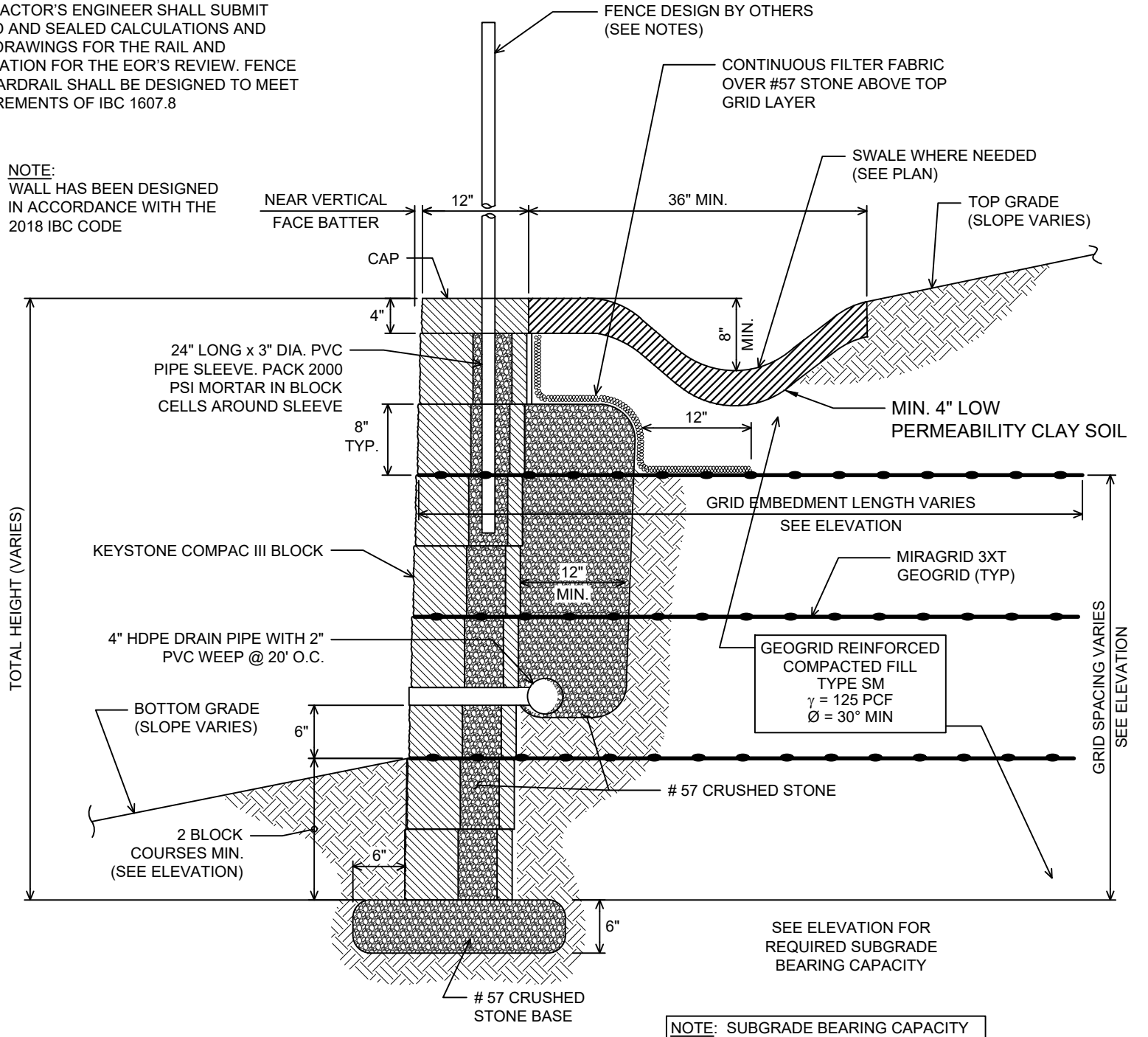
DIRECTOR Linda Eisenberg DATE

FENCE / GUARDRAIL NOTES:

- 1. FENCE / GUARDRAIL SHALL BE A MIN. 42" ABOVE TOP GRADE AND SHALL NOT ALLOW PASSAGE OF A 4" DIA. SPHERE... 2. THE FENCE SHALL NOT HAVE AN ORNAMENTAL PATTERN THAT WOULD PROVIDE A LADDER EFFECT... 3. FENCE / GUARDRAIL AND RAIL FOUNDATION SHALL BE A DELEGATED DESIGN...

WALL DESIGN INFORMATION: Friction Angle = 30 Degrees, Unit Weight = 120 pcf, At-rest Earth Pressure = 60 lbs/ft, Active Earth Pressure = 40 lbs/ft, Passive Earth Pressure = 120 lbs/ft, Lateral Earth Pressure Coefficient = 0.50, Coefficient of sliding = 0.30. * See geotechnical report by Hillis-Carnes

NOTE: INSTALL DRAIN BOARD BEHIND GEOGRIDS WITH DRAIN PIPE DAYLIGHTING THRU WALL BLOCK AS DETERMINED NECESSARY BY SITE GEOTECHNICAL ENGINEER TO INTERCEPT ANY SEEPING WATER (OR AREAS LIKELY TO SEEP) ALONG THE EXCAVATION FACE.



TYPICAL WALL SECTION NTS

NOTES:

- 1. NO TREES SHALL BE PLANTED WITHIN 10 FEET OF THE TOP OF THE RETAINING WALL. 2. RETAINING WALLS SHALL ONLY BE CONSTRUCTED UNDER THE OBSERVATION OF A REGISTERED PROFESSIONAL ENGINEER AND A (NICET, WACEL, OR EQUIV.) CERTIFIED SOILS TECHNICIAN. 3. ONE SOIL BORING SHALL BE REQUIRED EVERY ONE HUNDRED FEET ALONG THE ENTIRE LENGTH OF THE WALL. COPIES OF ALL BORING REPORTS SHALL BE PROVIDED TO THE HOWARD COUNTY INSPECTOR PRIOR TO THE START OF CONSTRUCTION. 4. THE REQUIRED BEARING PRESSURE BENEATH THE WALL SYSTEM SHALL BE VERIFIED IN THE FIELD BY AN EXPERIENCE SOILS TECHNICIAN UNDER THE DIRECTION OF A PROFESSIONAL GEOTECHNICAL ENGINEER. TESTING DOCUMENTATION MUST BE PROVIDED TO THE HOWARD COUNTY INSPECTOR PRIOR TO START OF CONSTRUCTION. THE REQUIRED BEARING TEST SHALL BE THE DYNAMIC CONE PENETROMETER TEST ASTM STP-399. 5. THE SUITABILITY OF FILL MATERIAL SHALL BE CONFIRMED BY THE ON-SITE SOILS TECHNICIAN. EACH 8" LIFT MUST BE COMPACTED TO A MINIMUM 95% STANDARD PROCTOR DENSITY AND THE TESTING REPORT SHALL BE MADE AVAILABLE TO THE HOWARD COUNTY INSPECTOR UPON COMPLETION OF CONSTRUCTION. 6. WALLS SHALL NOT BE CONSTRUCTED ON UNCERTIFIED FILL MATERIALS. 7. WALLS SHALL NOT BE CONSTRUCTED WITHIN A HOWARD CO. RIGHT-OF-WAY OR EASEMENT.

SPECIFICATIONS SEGMENTAL CONCRETE BLOCK RETAINING WALL

PART 1: GENERAL

- 1.01 DESCRIPTION: A. WORK SHALL CONSIST OF FURNISHING AND CONSTRUCTION OF A SEGMENTAL RETAINING WALL SYSTEM IN ACCORDANCE WITH THESE SPECIFICATIONS AND IN REASONABLY CLOSE CONFORMITY WITH THE LINES, GRADES, DESIGN, AND DIMENSIONS SHOWN ON THE PLANS. B. WORK INCLUDES PREPARING FOUNDATION SOIL, FURNISHING AND INSTALLING LEVELING PAD, UNIT FACING SYSTEM, UNIT DRAINAGE FILL AND REINFORCED BACKFILL TO THE LINES AND GRADES SHOWN ON THE CONSTRUCTION DRAWINGS. C. WORK INCLUDES FURNISHING AND INSTALLING GEOGRID SOIL REINFORCEMENT OF THE TYPE, SIZE, LOCATION, AND LENGTHS DESIGNATED ON THE CONSTRUCTION DRAWINGS.

1.02 DELIVERY, STORAGE AND HANDLING

- A. CONTRACTOR SHALL CHECK ALL MATERIALS UPON DELIVERY TO ASSURE THAT THE PROPER TYPE, GRADE, COLOR, AND CERTIFICATION HAS BEEN RECEIVED. B. CONTRACTOR SHALL PROTECT ALL MATERIALS FROM DAMAGE DUE TO JOB SITE CONDITIONS AND IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. DAMAGED MATERIALS SHALL NOT BE INCORPORATED INTO THE WORK.

PART 2: PRODUCTS

2.01 SEGMENTAL CONCRETE RETAINING WALL UNITS

- A. SEGMENTAL CONCRETE UNITS SHALL CONFORM TO THE FOLLOWING ARCHITECTURAL REQUIREMENTS: FACE COLOR - COLOR MAY BE SPECIFIED BY THE OWNER. FACE FINISH - HARD SPLIT IN ANGULAR TRI-PLANE OR STRAIGHT FACE CONFIGURATION. OTHER FACE FINISHES WILL NOT BE ALLOWED WITHOUT WRITTEN APPROVAL OF OWNER. BOND CONFIGURATION - RUNNING WITH BONDS NOMINALLY LOCATED AT MIDPOINT IN VERTICALLY ADJACENT UNITS, IN BOTH STRAIGHT AND CURVED ALIGNMENTS. EXPOSED SURFACES OF UNITS SHALL BE FREE OF CHIPS, CRACKS OR OTHER IMPERFECTIONS WHEN VIEWED FROM A DISTANCE OF 20 FEET UNDER DIFFUSED LIGHTING.

- B. SEGMENTAL CONCRETE UNITS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C1372 - STANDARD SPECIFICATIONS FOR SEGMENTAL RETAINING WALL UNITS. C. SEGMENTAL CONCRETE UNITS SHALL CONFORM TO THE FOLLOWING STRUCTURAL AND GEOMETRIC REQUIREMENTS MEASURED IN ACCORDANCE WITH ASTM C140 SAMPLING & TESTING CONCRETE MASONRY UNITS.

COMPRESSIVE STRENGTH = 3000 PSI MINIMUM; ABSORPTION = 8% MAXIMUM (6% MAXIMUM IN NORTHERN STATES) FOR STANDARD WEIGHT AGGREGATES; DIMENSIONAL TOLERANCES = +/-1/8" FROM NOMINAL UNIT DIMENSIONS NOT INCLUDING ROUGH SPLIT FACE +/- 1/4" FROM NOMINAL UNIT HEIGHT. UNIT SIZE - 8" (H) X 18" (W) X 12" (D) MINIMUM FOR COMPAC III UNITS; [UNIT SIZE - 8" (H) X 18" (W) X 16" (D) MINIMUM FOR STANDARD UNITS.]

INTER-UNIT SHEAR STRENGTH - 1000 PLF MINIMUM AT 2 PSI NORMAL PRESSURE; AT 2 PSI NORMAL FORCE. [GEOGRID/UNIT PEAK CONNECTION STRENGTH - 1000 PLF MINIMUM.]

- D. SEGMENTAL CONCRETE UNITS SHALL CONFORM TO THE FOLLOWING CONSTRUCTABILITY REQUIREMENTS:

VERTICAL SETBACK = 1/8"± PER COURSE (NEAR VERTICAL) OR [1"± PER COURSE] PER TYPICAL WALL SECTION; ALIGNMENT AND GRID ATTACHING MECHANISM - FIBERGLASS PINS, TWO PER UNIT MINIMUM, MAXIMUM HORIZONTAL GAP BETWEEN EXCITED UNITS SHALL BE 1/2 INCH.

2.02 SHEAR AND REINFORCEMENT PIN CONNECTORS

- A. SHEAR AND REINFORCEMENT PIN CONNECTORS SHALL BE 1/2 INCH DIAMETER THERMOSET ISOPHTHALIC POLYESTER RESIN PULTRUDED FIBERGLASS REINFORCEMENT RODS OR EQUIVALENT TO PROVIDE CONNECTION BETWEEN VERTICALLY AND HORIZONTALLY ADJACENT UNITS AND GEOSYNTHETIC REINFORCEMENT WITH THE FOLLOWING REQUIREMENTS: FLEXURAL STRENGTH IN ACCORDANCE WITH ASTM D4476: 128,000 PSI MINIMUM; SHORT BEAM SHEAR IN ACCORDANCE WITH ASTM D4475: 6,400 PSI MINIMUM. B. SHEAR CONNECTORS SHALL BE CAPABLE OF HOLDING THE GEOGRID IN THE PROPER DESIGN POSITION DURING GRID PRE-TENSIONING AND BACKFILLING.

2.03 BASE LEVELING PAD MATERIAL

- A. MATERIAL SHALL CONSIST OF A COMPACTED #57 CRUSHED STONE BASE OR CONCRETE AS SHOWN ON THE CONSTRUCTION DRAWINGS.

2.04 UNIT DRAINAGE FILL

- A. UNIT DRAINAGE FILL SHALL CONSIST OF #57 CRUSHED STONE.

2.05 REINFORCED BACKFILL

- A. REINFORCED BACKFILL SHALL BE TYPE SM, FREE OF DEBRIS AND MEET THE FOLLOWING GRADATION TESTED IN ACCORDANCE WITH ASTM D422 AND MEET OTHER PROPERTIES SHOWN ON THE PLAN:

Table with 2 columns: Sieve Size, Percent Passing. Rows include 1 1/2 INCH (100%), 3/4 INCH (100-75%), NO. 40 (0-60%), NO. 200 (0-35%).

PLASTICITY INDEX (PI) <15 AND LIQUID LIMIT <40, PER ASTM D4318.

- B. MATERIAL CAN BE SITE EXCAVATED SOILS WHERE THE ABOVE REQUIREMENTS CAN BE MET. UNSUITABLE SOILS FOR BACKFILL (HIGHLY PLASTIC CLAYS OR ORGANIC SOILS) SHALL NOT BE USED IN THE REINFORCED SOIL MASS.

- C. CONTRACTOR SHALL SUBMIT REINFORCED FILL SAMPLE AND LABORATORY TEST RESULTS FOR APPROVAL PRIOR TO THE USE OF ANY REINFORCED BACKFILL MATERIAL.

2.06 GEOGRID SOIL REINFORCEMENT

- A. GEOSYNTHETIC REINFORCEMENT SHALL CONSIST OF GEOGRIDS MANUFACTURED SPECIFICALLY FOR SOIL REINFORCEMENT APPLICATIONS AND SHALL BE MANUFACTURED FROM HIGH TENACITY POLYESTER (PET) YARN.

2.07 DRAINAGE PIPE

- A. THE DRAINAGE PIPE SHALL BE PERFORATED CORRUGATED HDPE PIPE MANUFACTURED IN ACCORDANCE WITH ASTM D1248.

2.08 GEOTEXTILE FILTER FABRIC

- A. WHEN REQUIRED, FILTER FABRIC SHALL BE A

NEEDLE-PUNCHED NONWOVEN FABRIC MEETING REQUIREMENTS OF AASHTO M288.

PART 3 EXECUTION

3.01 EXCAVATION

CONTRACTOR SHALL EXCAVATE TO THE LINES AND GRADES SHOWN ON THE CONSTRUCTION DRAWINGS. OWNER'S REPRESENTATIVE SHALL BE RESPONSIBLE FOR INSPECTING AND APPROVING THE SUBGRADE PRIOR TO PLACEMENT OF LEVELING MATERIAL OR FILL SOILS.

- B. RETAINING WALL EXCAVATIONS SHALL BE PERFORMED IN COMPLIANCE WITH MOSH AND OSHA REQUIREMENTS. CARE SHALL BE EXERCISED TO PROPERLY SHORE OR SLOPE BACK EXCAVATIONS TO MAINTAIN STABILITY. IF SLOPE FLATTENING IS NOT ACHIEVABLE, TEMPORARY SUPPORT OF EXCAVATION FOR THE RETAINING WALL CONSTRUCTION SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR AND PERFORMED IN ACCORDANCE WITH ANY JURISDICTIONAL SAFETY STANDARDS.

3.02 BASE LEVELING PAD

- A. LEVELING PAD MATERIAL SHALL BE PLACED TO THE LINES AND GRADES SHOWN ON THE CONSTRUCTION DRAWINGS, TO A MINIMUM THICKNESS OF 6 INCHES AND EXTEND LATERALLY A MINIMUM OF 6" IN FRONT AND BEHIND THE SEGMENTAL WALL UNIT.

- B. LEVELING PAD SHALL BE PREPARED TO INSURE FULL CONTACT TO THE BASE SURFACE OF THE CONCRETE UNITS.

- C. COMPACT TO MINIMUM 95% OF STANDARD PROCTOR MAXIMUM DRY DENSITY PER ASTM D698.

3.03 SEGMENTAL UNIT INSTALLATION

- A. FIRST COURSE OF UNITS SHALL BE PLACED ON THE LEVELING PAD AT THE APPROPRIATE LINE AND GRADE. ALIGNMENT AND LEVEL SHALL BE CHECKED IN ALL DIRECTIONS AND INSURE THAT ALL UNITS ARE IN FULL CONTACT WITH THE BASE AND PROPERLY SEATED.

- B. PLACE THE FRONT OF UNITS SIDE-BY-SIDE. DO NOT LEAVE GAPS BETWEEN ADJACENT UNITS. LAYOUT OF CORNERS AND CURVES SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

- C. INSTALL SHEAR/CONNECTING DEVICES PER MANUFACTURER'S RECOMMENDATIONS.

- D. PLACE AND COMPACT DRAINAGE FILL WITHIN AND BEHIND WALL UNITS. NOT LESS THAN 1.3 CU. FT. OF DRAINAGE FILL SHALL BE USED FOR EACH SQ. FT. OF WALL FACE, UNLESS NOTED OTHERWISE.

- E. PLACE AND COMPACT REINFORCED BACKFILL SOIL BEHIND DRAINAGE FILL FOLLOW WALL ERECTION AND DRAINAGE FILL CLOSELY WITH BACKFILL.

- F. MAXIMUM STACKED VERTICAL HEIGHT OF WALL UNITS PRIOR TO UNIT DRAINAGE FILL AND BACKFILL PLACEMENT AND COMPACTION, SHALL NOT EXCEED TWO COURSES.

3.04 STRUCTURAL GEOGRID INSTALLATION

- A. GEOGRID SHALL BE ORIENTED WITH THE HIGHEST STRENGTH AXIS PERPENDICULAR TO THE WALL ALIGNMENT.

- B. GEOGRID REINFORCEMENT SHALL BE PLACED AT THE STRENGTHS, LENGTHS, AND ELEVATIONS SHOWN ON THE CONSTRUCTION DRAWINGS OR AS DIRECTED BY THE ENGINEER.

- C. THE GEOGRID SHALL BE LAID HORIZONTALLY ON COMPACTED BACKFILL AND ATTACHED TO THE SEGMENTAL WALL UNIT PINS AND WITHIN 1 INCH OF THE FACE OF THE UNITS. PLACE THE NEXT COURSE OF SEGMENTAL CONCRETE UNITS OVER THE GEOGRID. THE GEOGRID

SHALL BE PULLED TAUT, AND ANCHORED PRIOR TO BACKFILL PLACEMENT ON THE GEOGRID.

- D. GEOGRID REINFORCEMENTS SHALL BE CONTINUOUS THROUGHOUT THEIR EMBEDMENT LENGTHS AND PLACED SIDE-BY-SIDE TO PROVIDE 100% COVERAGE AT EACH LEVEL. SPLICED CONNECTIONS BETWEEN SHORTER PIECES OF GEOGRID OR GAPS GREATER THAN 2 INCHES BETWEEN ADJACENT PIECES OF GEOGRID ARE NOT PERMITTED.

3.05 REINFORCED BACKFILL PLACEMENT

- A. REINFORCED BACKFILL SHALL BE PLACED, SPREAD AND COMPACTED IN SUCH A MANNER THAT MINIMIZES THE DEVELOPMENT OF SLACK IN THE GEOGRID AND INSTALLATION DAMAGE TO GEOGRID.

- B. REINFORCED BACKFILL SHALL BE PLACED AND COMPACTED IN LIFTS NOT TO EXCEED 6 INCHES WHERE HAND OPERATED COMPACTION EQUIPMENT IS USED, OR 8 - 10 INCHES WHERE HEAVY COMPACTION EQUIPMENT IS USED. LIFT THICKNESS SHALL BE DECREASED TO ACHIEVE THE REQUIRED DENSITY AS REQUIRED.

- C. REINFORCED BACKFILL SHALL BE COMPACTED TO MINIMUM 95% OF STANDARD PROCTOR MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698. THE MOISTURE CONTENT OF THE BACKFILL MATERIAL PRIOR TO AND DURING COMPACTION SHALL BE UNIFORMLY DISTRIBUTED THROUGHOUT EACH LAYER AND SHALL BE -1% TO +3% OF OPTIMUM.

- D. ONLY LIGHTWEIGHT HAND-OPERATED COMPACTION EQUIPMENT SHALL BE ALLOWED WITHIN 3 FEET FROM THE BACK OF THE SEGMENTAL CONCRETE UNIT.

- E. TRACKED CONSTRUCTION EQUIPMENT SHALL NOT BE OPERATED DIRECTLY UPON THE GEOGRID REINFORCEMENT. A MINIMUM FILL THICKNESS OF 6 INCHES IS REQUIRED PRIOR TO OPERATION OF TRACKED VEHICLES OVER THE GEOGRID. TRACKED VEHICLE TURNING SHOULD BE KEPT TO A MINIMUM TO PREVENT TRACKS FROM DISPLACING THE FILL AND DAMAGING OR DISPLACING THE SEGMENTAL CONCRETE UNITS OR GEOGRID.

- F. RUBBER Tired EQUIPMENT MAY PASS OVER GEOGRID REINFORCEMENT AT SLOW SPEEDS, LESS THAN 10 MPH. SUDDEN BRAKING AND TURNING SHALL BE AVOIDED.

- G. AT THE END OF EACH DAY'S OPERATION, THE CONTRACTOR SHALL SLOPE THE LAST LIFT OF REINFORCED BACKFILL AWAY FROM THE WALL UNITS TO DIRECT RUNOFF AWAY FROM WALL FACE. THE CONTRACTOR SHALL NOT ALLOW SURFACE RUNOFF FROM ADJACENT AREAS TO ENTER THE WALL CONSTRUCTION SITE.

3.06 CAP INSTALLATION

- A. PRIOR TO PLACEMENT OF CAP UNITS, THE UPPER SURFACE OF THE TOP COURSE WALL UNITS SHALL BE CLEANED OF SOIL AND ANY OTHER MATERIAL.

- B. CAP UNITS SHALL BE GLUED TO UNDERLYING UNITS WITH AN ALL-WEATHER EXTERIOR CONSTRUCTION ADHESIVE RECOMMENDED BY THE MANUFACTURER.

3.07 FIELD QUALITY CONTROL

- A. THE OWNER SHALL ENGAGE INSPECTION AND TESTING SERVICES, INCLUDING INDEPENDENT LABORATORIES, TO PROVIDE QUALITY ASSURANCE AND TESTING SERVICES DURING CONSTRUCTION.

- B. AS A MINIMUM, QUALITY ASSURANCE TESTING SHOULD INCLUDE FOUNDATION SOIL INSPECTION, RETAINED SOIL AND BACKFILL TESTING, VERIFICATION OF DESIGN PARAMETERS, AND OBSERVATION OF CONSTRUCTION FOR GENERAL COMPLIANCE WITH DESIGN DRAWINGS AND SPECIFICATIONS.

Table with 3 columns: PARCEL C-5 OWNER (REAZER HOMES, LLC), OWNER (TRIPLE BELL FARMS, LLC), OWNER/DEVELOPER (20006 DELAWARE, INC.).

Table with 3 columns: NO., REVISION, DATE.

MSE WALL CONSTRUCTION DETAIL

PADDOCK POINTE - PHASE 3B (FORMERLY KNOWN AS LAUREL PARK STATION) 58 STACKED TOWN UNITS

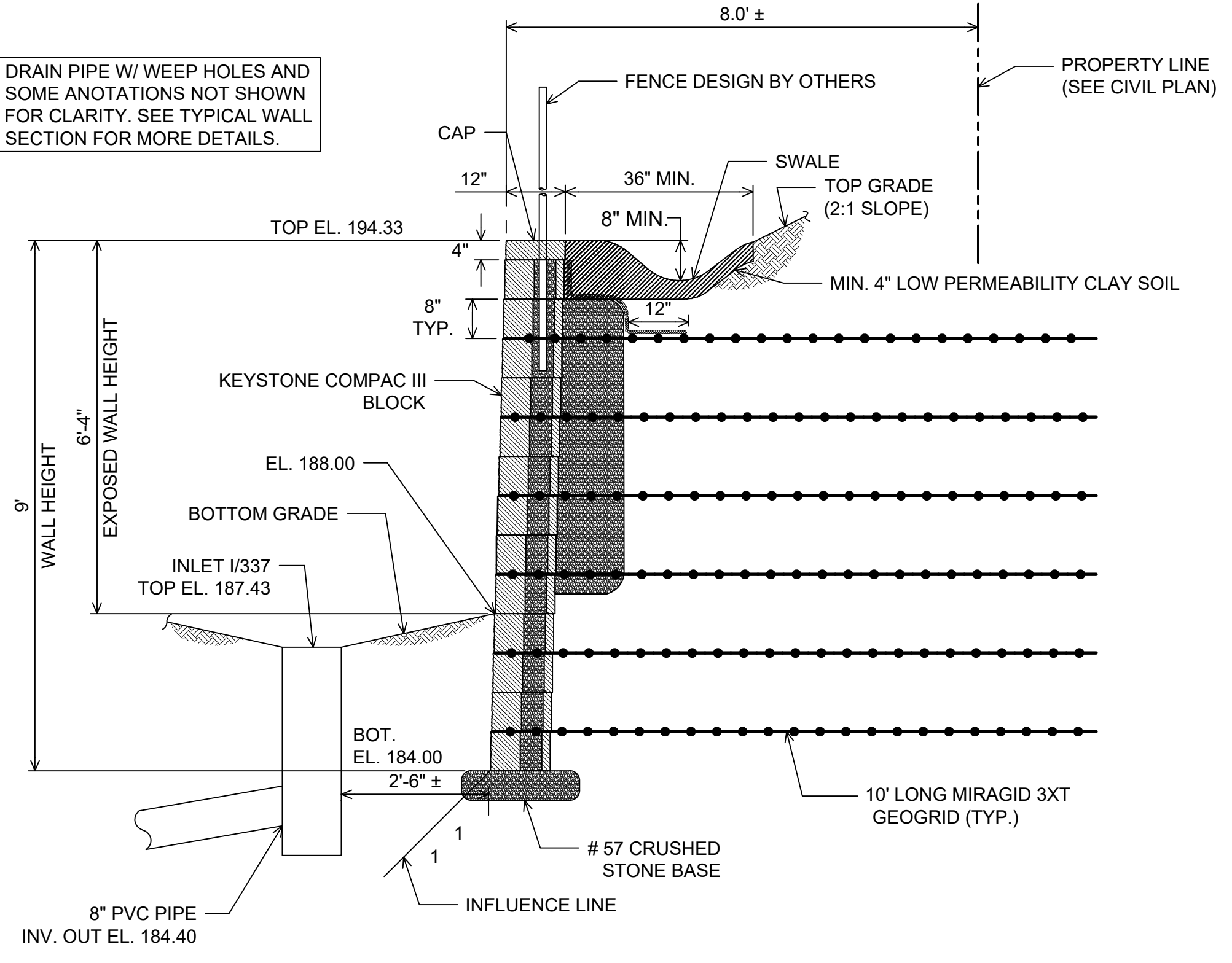
TAX MAP: 50 BLOCK: 10 6TH ELECTION DISTRICT PARCEL 384 HOWARD COUNTY, MARYLAND

HILLIS-CARNES ENGINEERING ASSOCIATES logo and contact information: 10975 Guilford Road, Suite A, Annapolis Junction, Maryland. Phone: (410) 880-4788. www.hcaea.com. Fax: (410) 880-4098.

PROFESSIONAL CERTIFICATE section with design and drawing details. DESIGN BY: HM, DRAWN BY: HM, CHECKED BY: JRE, DATE: MAY 2024, SCALE: AS SHOWN, W.O. NO.: 07-11/59588. Includes a circular seal for Hillis-Carnes Engineering Associates, Inc., Professional Engineer, No. 53195, State of Maryland.

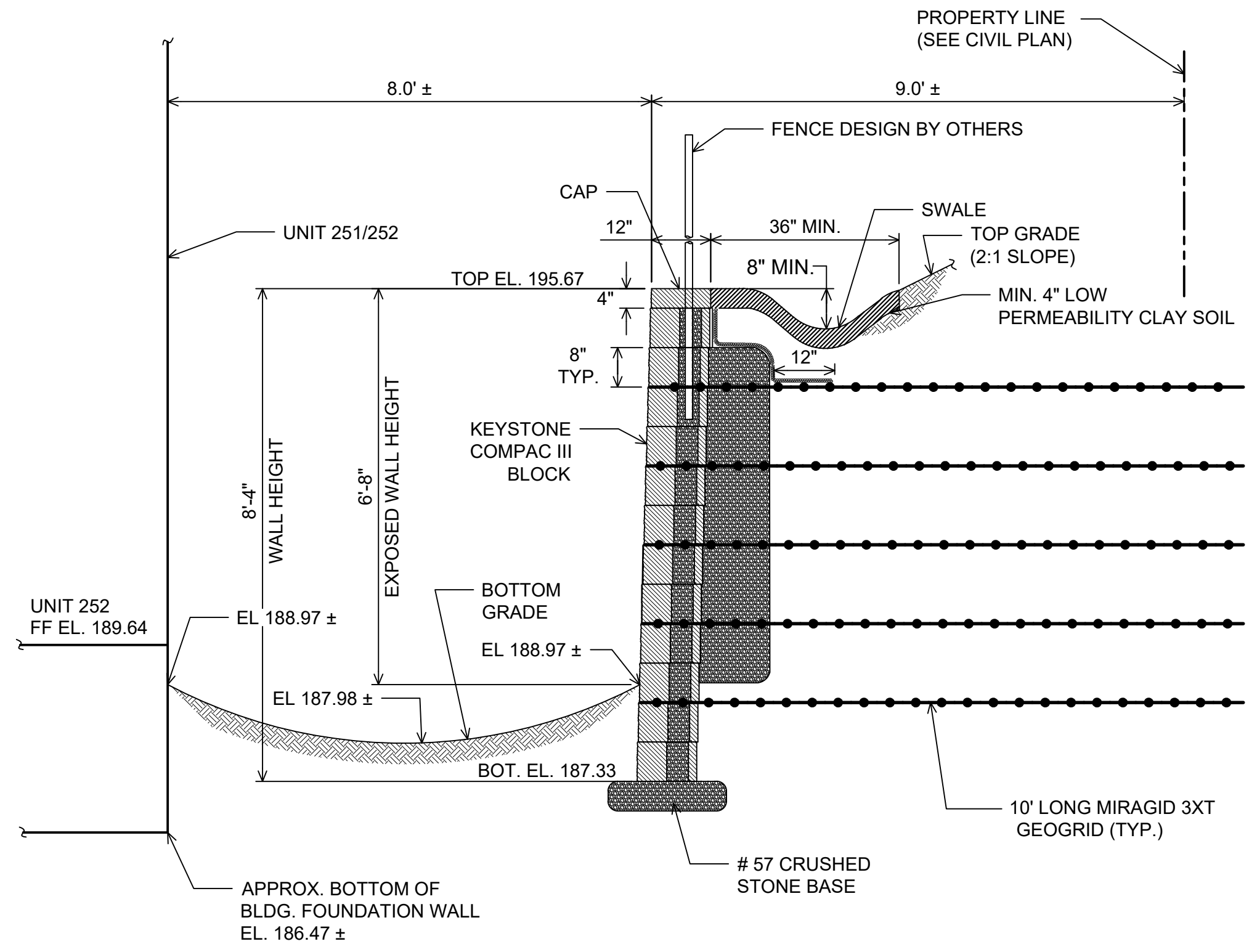
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. Chief, Development Engineering Division: Chad Edmondson, dated 9/25/2024. Chief, Division of Land Development: Lynda Eisenberg, dated 9/25/2024. Director: [Signature], dated [Blank].

NOTE: DRAIN PIPE W/ WEEP HOLES AND SOME ANOTATIONS NOT SHOWN FOR CLARITY. SEE TYPICAL WALL SECTION FOR MORE DETAILS.



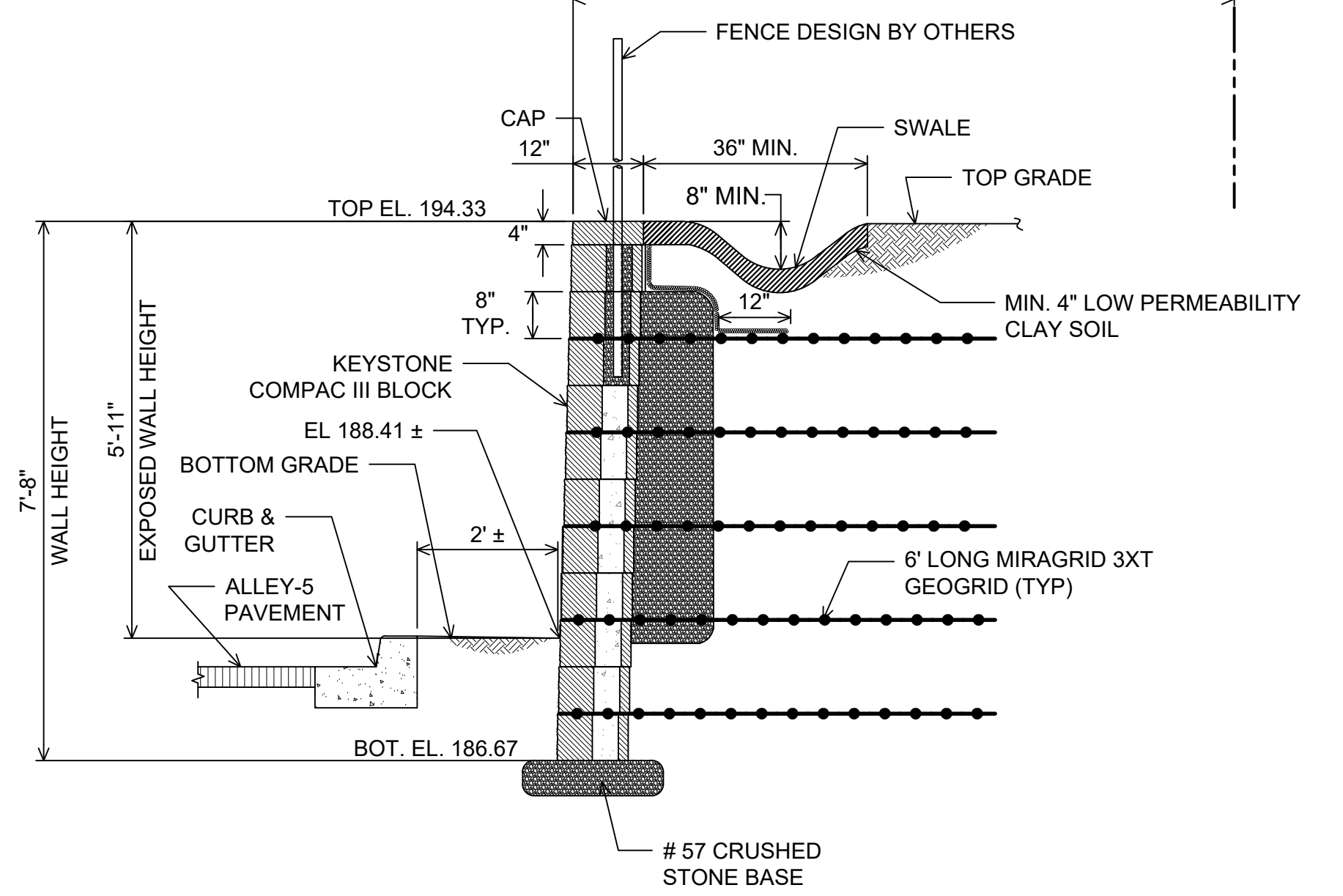
STA. 0+37±
WALL SECTION A-A
1/2" = 1'-0"

NOTE: DRAIN PIPE W/ WEEP HOLES AND SOME ANOTATIONS NOT SHOWN FOR CLARITY. SEE TYPICAL WALL SECTION FOR MORE DETAILS.



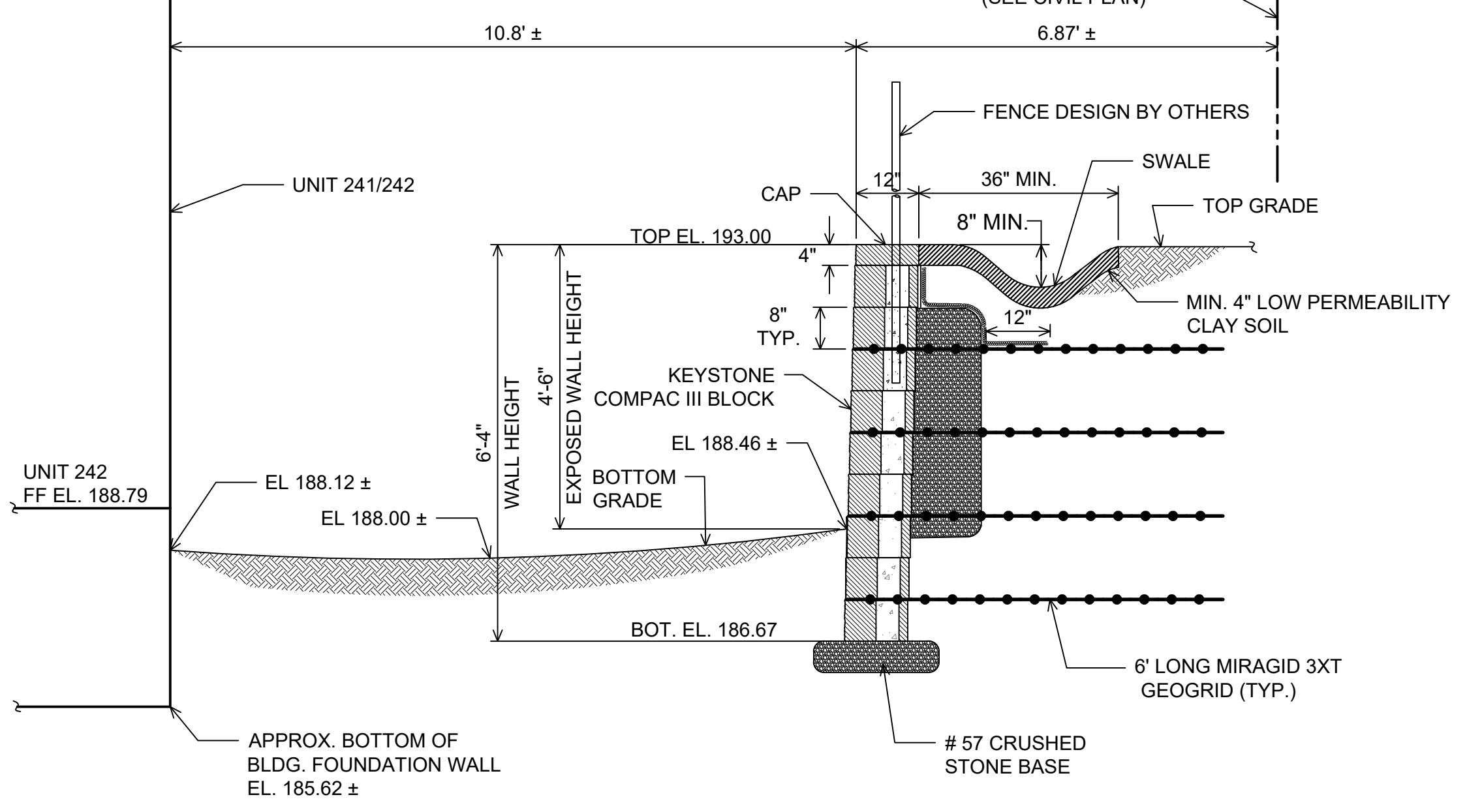
STA. 0+65±
WALL SECTION B-B
1/2" = 1'-0"

NOTE: DRAIN PIPE W/ WEEP HOLES AND SOME ANOTATIONS NOT SHOWN FOR CLARITY. SEE TYPICAL WALL SECTION FOR MORE DETAILS.



STA. 1+30±
WALL SECTION C-C
1/2" = 1'-0"

NOTE: DRAIN PIPE W/ WEEP HOLES AND SOME ANOTATIONS NOT SHOWN FOR CLARITY. SEE TYPICAL WALL SECTION FOR MORE DETAILS.



STA. 1+60±
WALL SECTION D-D
1/2" = 1'

PARCEL C-5 OWNER: BEAZER HOMES, LLC, 6085 MARSHALEE DRIVE, SUITE 350, ELKRDGE, MD 21075, 443-539-9249
OWNER: TRIPLE BELL FARMS, LLC, 198 LAUREL RACE TRACK RD, LAUREL, MD 20725, (301) 470-5494
OWNER/DEVELOPER: 20006 DELAWARE, INC., 198 LAUREL RACE TRACK RD, LAUREL, MD 20725, (301) 470-5494

NO.	REVISION	DATE

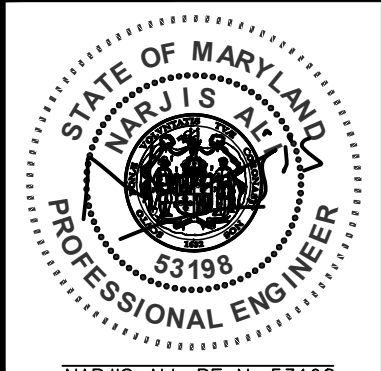
MSE WALL #1 CONSTRUCTION DETAIL

Paddock Pointe - Phase 3B
(FORMERLY KNOWN AS LAUREL PARK STATION)
58 STACKED TOWN UNITS
PARCEL C-5
ZONED: TOD

TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT
PARCEL 384
HOWARD COUNTY, MARYLAND

HILLIS-CARNES
ENGINEERING ASSOCIATES

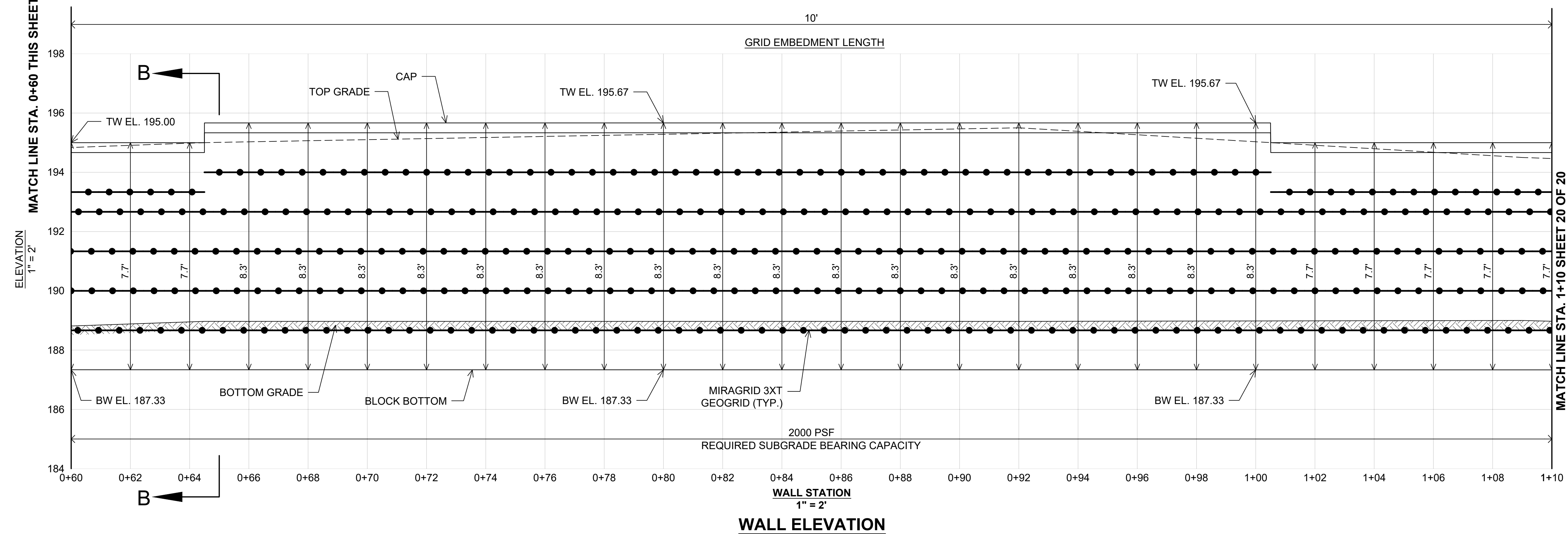
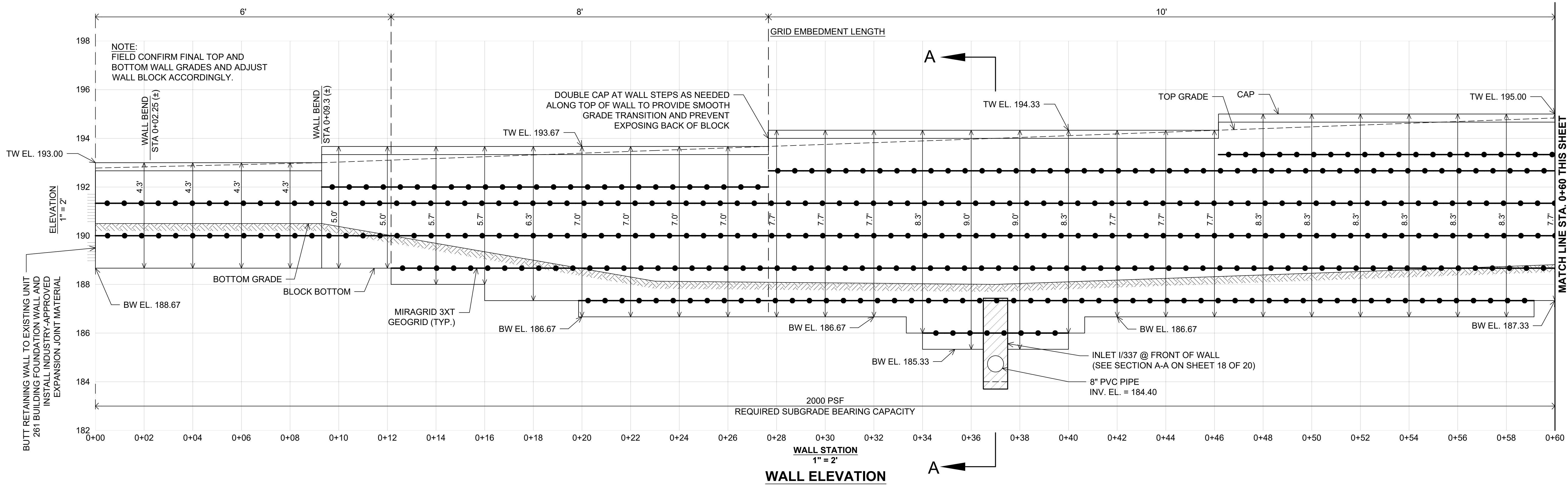
10975 Guilford Road, Suite A Annapolis Junction, Maryland
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DRAWN BY: HM
CHECKED BY: JRE
DATE: MAY 2024
SCALE: AS SHOWN
W.O. NO.: 07-11/59588

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 53198. EXPIRATION DATE: 06-06-2025

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
9/25/2024
CHIEF, DEVELOPMENT ENGINEERING DIVISION
9/25/2024
CHIEF, DIVISION OF LAND DEVELOPMENT
9/23/2024
DIRECTOR



PARCEL C-5 OWNER: BEAZER HOMES, LLC
OWNER: TRIPLE BELL FARMS, LLC
OWNER/DEVELOPER: 20006 DELAWARE, INC.

NO.	REVISION	DATE

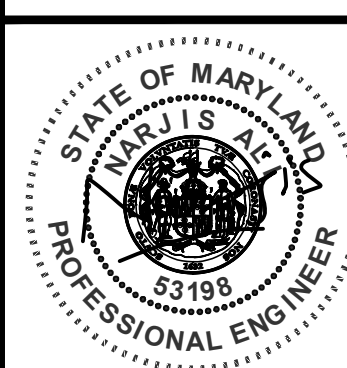
MSE WALL #1 ELEVATION
Paddock Pointe - Phase 3B
(FORMERLY KNOWN AS LAUREL PARK STATION)
58 STACKED TOWN UNITS
PARCEL C-5
ZONED: TOD

TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT

1+20 HOWARD COUNTY, MARYLAND

HILLIS-CARNES
ENGINEERING ASSOCIATES

10975 Guilford Road, Suite A Annapolis Junction, Maryland
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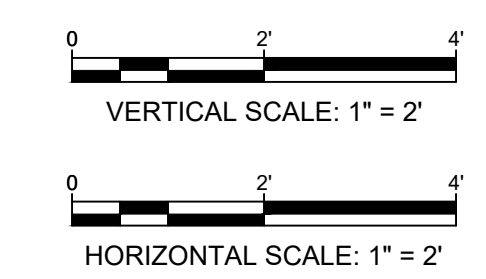
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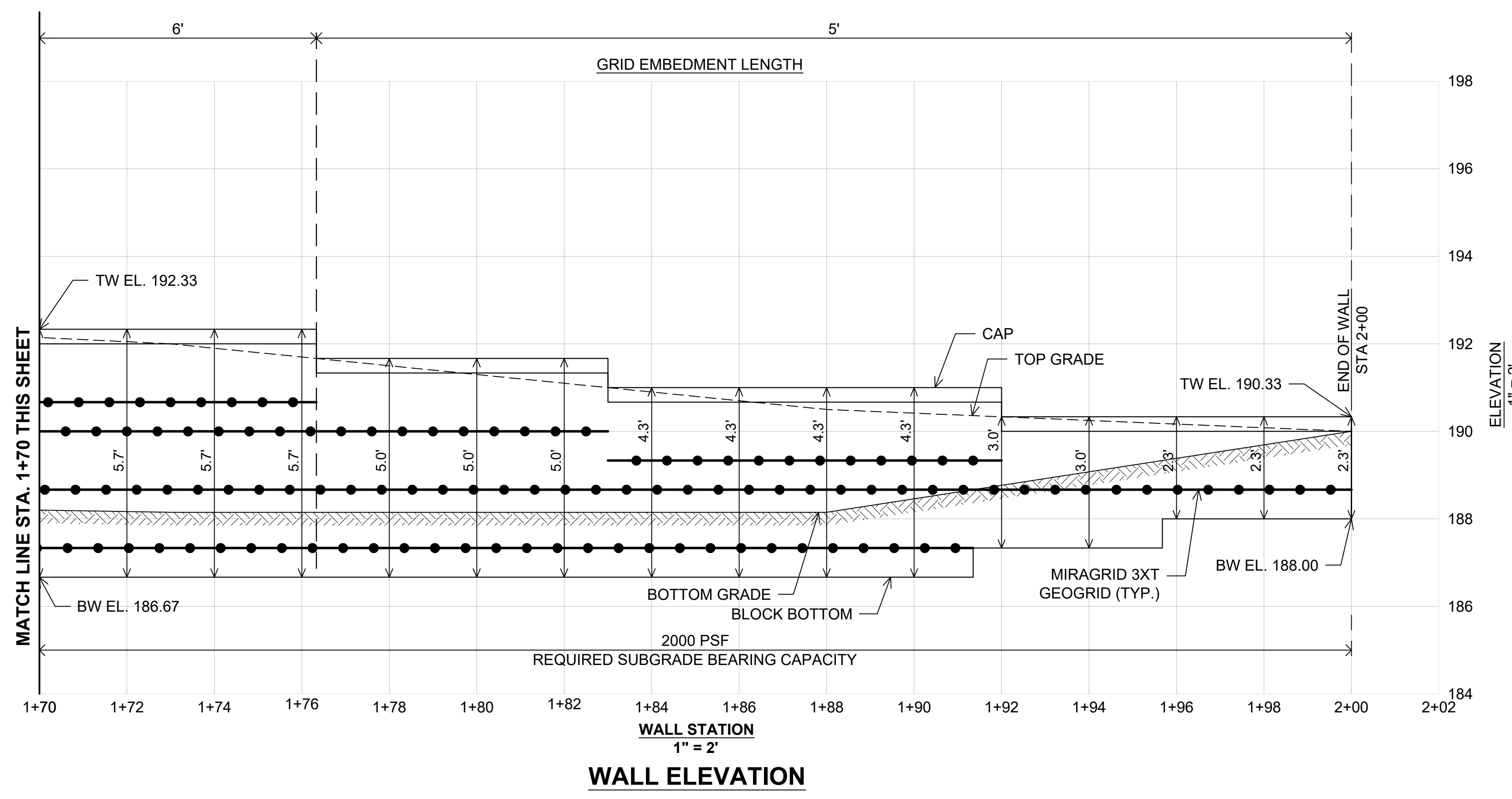
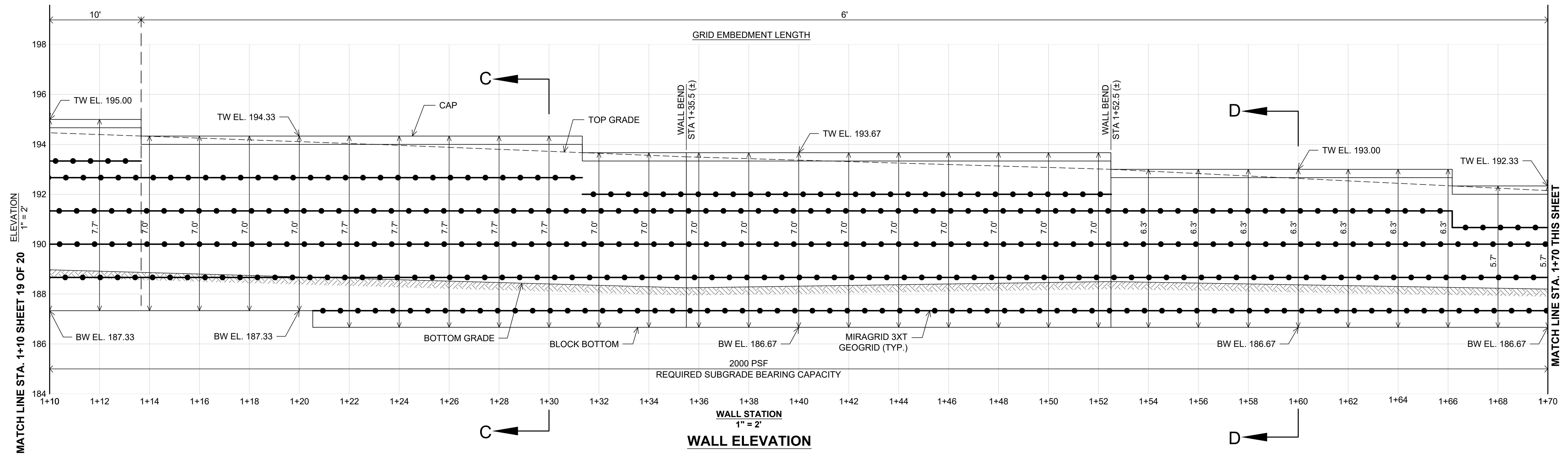
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION: CHAD EDMONDSON, 9/25/2024

CHIEF, DIVISION OF LAND DEVELOPMENT: LYDIA EISENBERG, 9/23/2024

DIRECTOR: _____, _____





PARCEL C-5 OWNER
BEAZER HOMES, LLC
6085 MARSHALEE DRIVE, SUITE 350
ELK RIDGE, MD 21075
443-539-9249

OWNER
TRIPLE BELL FARMS, LLC
198 LAUREL RACE TRACK RD
LAUREL, MD 20725
(301) 470-5494

OWNER/DEVELOPER
20006 DELAWARE, INC.
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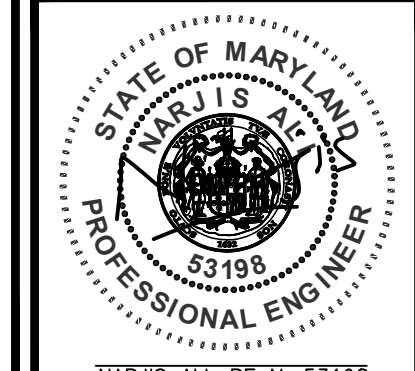
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MSE WALL #1 ELEVATION
PADDOCK POINTE - PHASE 3B
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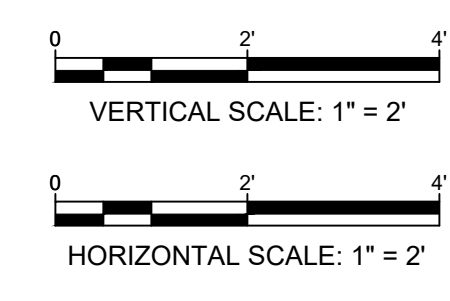
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APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION: CHD Edmondson 9/25/2024

CHIEF, DIVISION OF LAND DEVELOPMENT: Lynda Eisenberg 9/23/2024

DIRECTOR: _____ DATE _____