

GENERAL NOTES

- 1. SUBJECT PROPERTY ZONED R-12 PER 10/06/18 COMPREHENSIVE ZONING PLAN.
2. TOTAL AREA OF LOT = 0.3740 AC. ±
3. PROPERTY ADDRESS: 6321 GUILFORD ROAD, CLARKSVILLE MD 21029
4. PREVIOUS HOWARD COUNTY FILE NUMBERS: EOP-17-038, SP-18-002, F-21-021
5. THIS PROJECT IS LOCATED IN THE METROPOLITAN DISTRICT AND WILL BE SERVED BY PUBLIC WATER AND PUBLIC SEWER (CONTRACT NUMBER 34-5076-D)
6. THE BOUNDARY SHOWN HEREON IS BASED ON A FIELD RUN BOUNDARY PERFORMED BY SEG LAND SURVEYING, LLC DATED SEPTEMBER 2023. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL, WHICH IS BASED ON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NUMBERS 35GF AND 34FB WERE USED FOR THIS PROJECT.
7. THE EXISTING TOPOGRAPHY SHOWN HEREON IS TAKEN FROM A FIELD RUN SURVEY WITH TWO-FOOT CONTOUR INTERVALS PREPARED BY SEG LAND SURVEYING, LLC DATED SEPTEMBER 2023. OFFSITE TOPOGRAPHY IS BASED ON HOWARD COUNTY AERIAL GIS TOPOGRAPHY FLOWN IN 2018 AND IS SHOWN AT TWO-FOOT CONTOUR INTERVALS.
8. THE SOILS HAVE BEEN TAKEN FROM THE US DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE, WEB SOIL SURVEY WEBSITE. HOWARD COUNTY SOILS GRID 17, SUB-GRIDS 180 & 181.
9. THE CONTRACTORS SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES OR AGENCIES AT LEAST FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE PLANS.
STATE HIGHWAY ADMINISTRATION 410.531.5533
BGE (CONTRACTOR SERVICES) 410.850.4620
BGE (UNDERGROUND DAMAGE CONTROL) 410.787.9068
MISS UTILITY 800.257.7777
COLONIAL PIPELINE COMPANY 410.795.1390
HOWARD COUNTY, DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES 410.313.4900
HOWARD COUNTY HEALTH DEPARTMENT 410.313.2640
AT&T 800.252.1133
VERIZON 800.743.0033/410.224.9210
10. ANY DAMAGE TO THE COUNTY'S PUBLIC RIGHT-OF-WAYS, PAVING OR EXISTING UTILITIES WILL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
11. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1.800.257.7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
12. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING CONSTRUCTION INSPECTION DIVISION AT 410.313.1880 AT LEAST FIVE (5) DAYS PRIOR TO THE START OF WORK.
13. THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP, WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
14. FLAG AND PIPESTEM LOT, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND ROAD RIGHT-OF-WAY LINE AND NOT ONTO THE PIPESTEM LOT DRIVEWAY.
15. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY IN ADDITION TO MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE. THE PROJECT IS IN CONFORMANCE WITH THE CURRENT HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
16. ALL HOPE PIPE SPECIFICATIONS, AND INSTALLATIONS SHALL MEET AASHTO M-252 TYPE S, M-294 TYPE S AND ASTM D2321, RESPECTIVELY.
17. SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. DRIVEWAY PAVING TO BE HOWARD COUNTY STANDARD P-1 PAVING SECTION. GEOTECHNICAL ENGINEER TO CONFIRM ACCESSIBILITY OF PROPOSED PAVING SECTION, BASED ON SOIL TEST, PRIOR TO CONSTRUCTION.
18. ALL TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
19. IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NO MORE THAN 16 FEET IN WIDTH, MAY PROJECT MORE THAN 4 FEET INTO ANY SETBACK, PORCH OR DECK, OPEN OR ENCLOSED MAY PROJECT NO MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
20. DRIVEWAY(S) SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING REQUIREMENTS AT THE DEVELOPER'S EXPENSE:
1) WIDTH - 12 FEET (18 FEET SERVING MORE THAN ONE RESIDENCE)
2) SURFACE - SIX (6) INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2" MINIMUM);
3) GEOMETRY - MAXIMUM 15% GRADE, MINIMUM 10% GRADE CHANGE AND 45-FOOT TURNING RADIUS;
4) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25-LOADING);
5) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE;
6) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE.
21. EXISTING UTILITIES ARE LOCATED BY THE USE OF ANY OR ALL OF THE FOLLOWING: ROAD CONSTRUCTION PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER PLANS AND OTHER AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF THE EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY.
22. STORMWATER MANAGEMENT OBLIGATIONS FOR THIS SITE WILL BE MET BY ONE DRYWELL (M-5) AND ONE MICRO-BIORETENTION FACILITY (M-6). STORMWATER MANAGEMENT PRACTICES FOR THIS LOT SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE LOT 1 OWNER. THE STORMWATER MANAGEMENT PRACTICES SHOWN WERE DESIGNED AND APPROVED UNDER F-21-021.
23. THE FOREST CONSERVATION ACT REQUIREMENTS WERE MET UNDER THE APPROVED F-21-021.
24. THE LANDSCAPE REQUIREMENT FOR THIS PROJECT WAS APPROVED UNDER THE F-21-021 PLAN.
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THE PRIVATE UTILITY USE-IN-COMMON ACCESS EASEMENT AND MAINTENANCE AGREEMENT FOR THE USE OF LOT 1 AND NON-BUILDABLE BULK PARCEL 'A' (FUTURE LOTS 2 THRU 5) WAS RECORDED UNDER RECORD PLAT 26221 AND CAN BE FOUND IN THE MARYLAND LAND RECORDS UNDER LIBER 21821 FOLIO 402.
27. SEWER HOUSE CONNECTION ELEVATIONS SHOWN ARE LOCATED AT THE PROPERTY LINE.
28. A FEE-IN-LIEU PAYMENT IN THE AMOUNT OF \$4,115.00, FOR PUBLIC SIDEWALK ALONG GUILFORD ROAD, WAS PAID AS PART OF THE DEVELOPER'S AGREEMENT UNDER THE F-21-021 PLAN.
29. A TRAFFIC STUDY WAS PREPARED BY MARS GROUP DATED MAY 6, 2016 AND WAS APPROVED BY HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING DEVELOPMENT ENGINEERING DIVISION ON DECEMBER 26, 2018. SEE CHART ON THIS SHEET FOR MORE INFORMATION.

Table with 2 columns: Category and Date/Details. Includes Report Compiled On (MAY 6, 2016), Plan Number (SP-18-002), Key Intersection (MD 108 @ GUILFORD ROAD), Jurisdiction (MDOT-SHA), Key Intersection Volume Count (APRIL 27, 2016), Key Intersection Count (APRIL 28, 2016), Design Year Level-of-Service (AM PEAK HOUR 'A'), and Mitigation Requirement (MITIGATION MEASURES WERE NOT REQUIRED FOR THIS STUDY).

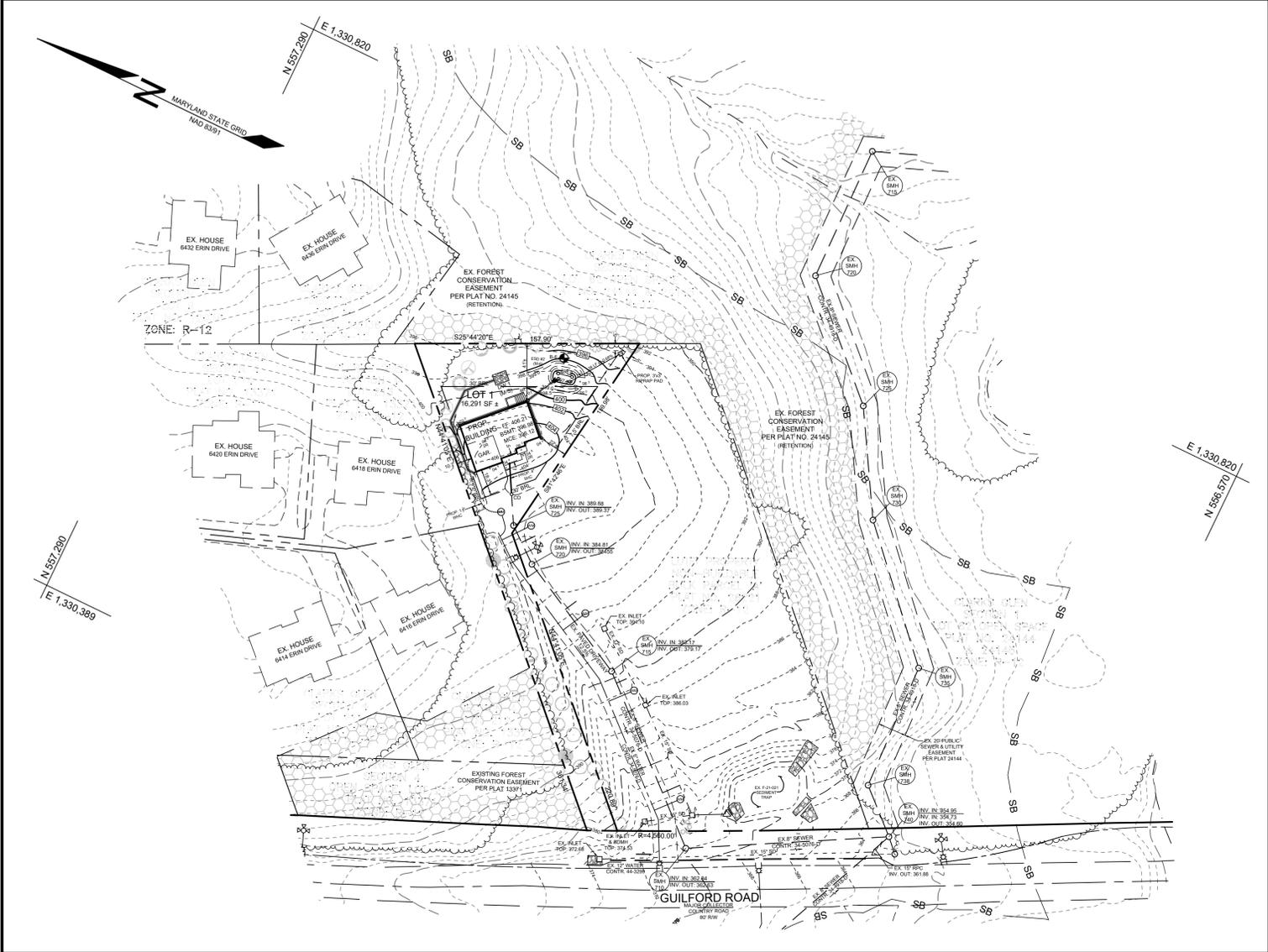
PERMIT INFORMATION CHART table with columns: SUBDIVISION NAME, SECTION/AREA, PARCEL #, PLAT #, GRID #, ZONING, TAX MAP #, ELECT. DIST., CENSUS TRACT. Row 1: 26221, 13, R-12, 35, 5TH, CENSUS TRACT.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
CHIEF, DIVISION OF LAND DEVELOPMENT
DIRECTOR

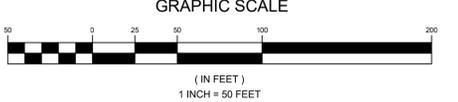
SOILS LEGEND table with columns: SYMBOL, NAME / DESCRIPTION, GROUP, 'K' FACTOR. Rows include Gladstone Loam, Glenville Silt Loam, and Manor Loam.

NOTES: 1) SOIL INFORMATION HAS BEEN TAKEN FROM THE UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, WEB SOIL SURVEY. 2) HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR 'K' GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.

STORMWATER MANAGEMENT PRACTICE CHART table with columns: LOT/PARCEL NUMBER, ADDRESS, DRYWELL, MICRO-BIORETENTION. Row 1: LOT 56.1, 6321 GUILFORD ROAD, (M-5), 1.



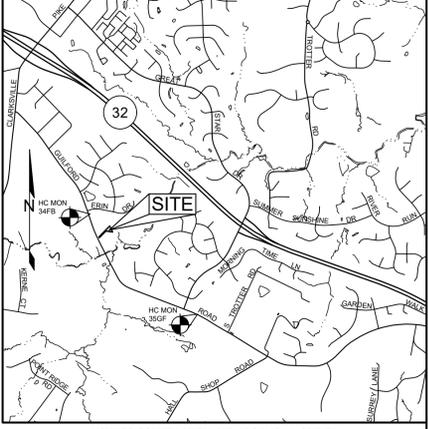
PLAN VIEW SCALE: 1"=50'



OWNER/DEVELOPER
LLU, LLC
12143 CLARKSVILLE PIKE
CLARKSVILLE, MARYLAND 21029
C/O RON BAJOUL
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LEGEND

- EXISTING CONTOUR GIS
EXISTING CONTOUR FIELD RUN
PROPOSED CONTOUR
EXISTING TREELINE
EXISTING CENTERLINE
EXISTING PRIVATE DRAINAGE AND UTILITY EASEMENT PER PLAT 26221
EXISTING PRIVATE VARIABLE WIDTH USE-IN-COMMON EASEMENT PER PLAT 26221
EXISTING VARIABLE WIDTH PUBLIC WATER, SEWER, AND UTILITY EASEMENT PER PLAT 26221
EXISTING FIRE HYDRANT
EXISTING WATER VALVE
EXISTING WATER METER
EXISTING SEWER CLEANOUT
EXISTING MANHOLE
PROPOSED DRYWELL AND ROOFLEADER

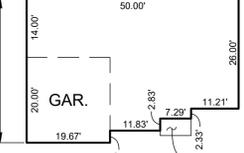
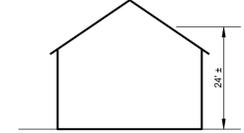


VICINITY MAP SCALE: 1"=2000'

BENCHMARKS table with columns: NUMBER, NORTHING, EASTING, ELEVATION, DESCRIPTION. Rows include benchmarks 35GF and 34FB.

SITE ANALYSIS DATA SHEET

Table with columns: ENVIRONMENTAL AREA, SIZE OR USE. Rows include Total Project Area (0.3740 AC), Row to be Dedicated (0.0000 AC), Green Open Area (0.1755 AC), etc.



HOUSE TEMPLATE SCALE: 1"=20'

* NOTES: 1) SOIL INFORMATION HAS BEEN TAKEN FROM THE UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, WEB SOIL SURVEY. 2) HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR 'K' GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.

LOT 1 IS SUBJECT TO THE MODERATE INCOME HOUSING UNIT FEE-IN-LIEU REQUIREMENT WHICH IS TO BE CALCULATED AND PAID TO THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS AT THE TIME OF BUILDING ISSUANCE BY THE PERMIT APPLICANT.

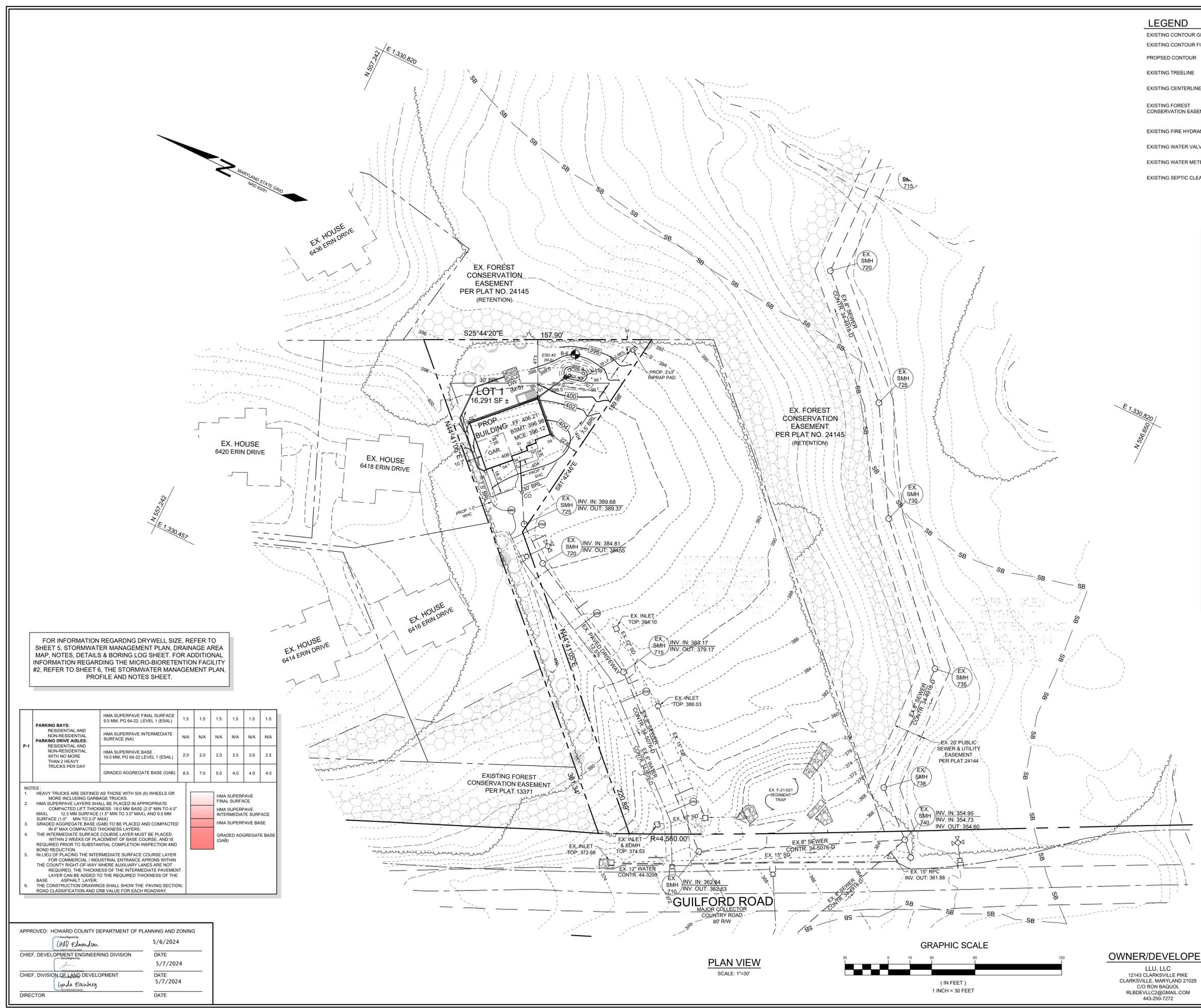
SHEET INDEX

SHEET INDEX table with columns: SHEET NO., DESCRIPTION. Rows 1-6: COVER SHEET, GRADING PLAN, SEDIMENT AND EROSION CONTROL PLAN, SEDIMENT AND EROSION CONTROL NOTES AND DETAILS, STORMWATER MANAGEMENT PLAN, DRAINAGE AREA MAP, NOTES, DETAIL AND BORING LOG, STORMWATER MANAGEMENT PLAN, NOTES & DETAILS.

Table with columns: No., Description, Date. Header: REVISIONS.

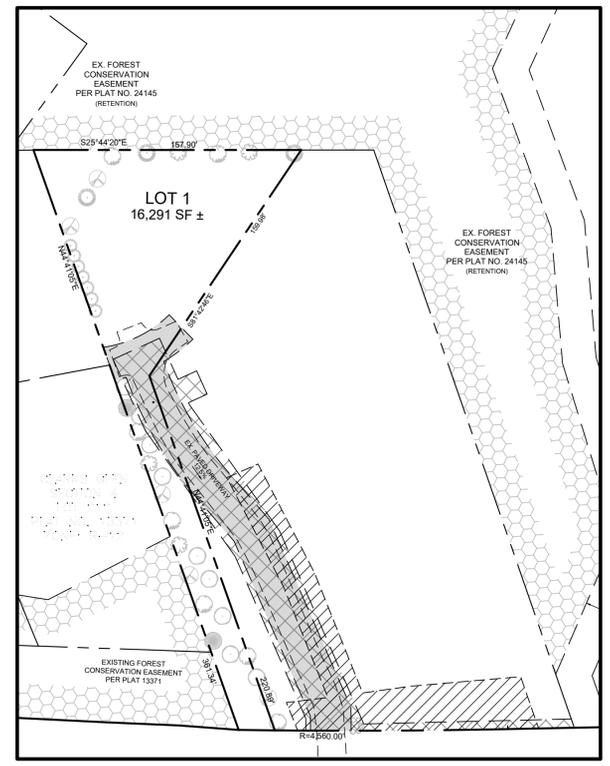
COVER SHEET
LUTFI PROPERTY - LOT 1
6321 GUILFORD ROAD
ZONE: R-12

TAX MAP 35 GRID 13, 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND. Includes SILL ENGINEERING GROUP, LLC logo and contact information, and a professional seal for a Licensed Professional Engineer.



LEGEND

EXISTING CONTOUR GIS	---	382	EXISTING SEWER MANHOLE	EX SMH 725
EXISTING CONTOUR FIELD RUN	---	402	EXISTING RIPRAP	[Symbol]
PROPOSED CONTOUR	---	402	EXISTING RIPRAP	[Symbol]
EXISTING TREELINE	~		EXISTING RIPRAP	[Symbol]
EXISTING CENTERLINE	— —		PERIMETER LANDSCAPING PER F-21-021	[Symbol]
EXISTING FOREST CONSERVATION EASEMENT	[Hatched]		PROPOSED DRYWELL (M-5) AND ROOFLEADER	DW 1
EXISTING FIRE HYDRANT	[Symbol]		SOIL BORING COMPLETED UNDER F-21-021	B-1
EXISTING WATER VALVE	[Symbol]		PROPOSED 1 1/2" WATER HOUSE CONNECTION	
EXISTING WATER METER	[Symbol]		PROPOSED RANGE OF ADDRESS SIGN	
EXISTING SEPTIC CLEANOUT	[Symbol]			



EASEMENT PLAN VIEW
SCALE: 1"=50'

NOTE: THE EASEMENTS SHOWN IN THE EASEMENT PLAN VIEW WERE RECORDED WITH PLAT 26221. FOR ADDITIONAL PLAT INFORMATION, PLEASE REFER TO PLAT 26221 AND F-21-021.

EXISTING VARIABLE WIDTH PUBLIC WATER, SEWER, AND UTILITY EASEMENT PER PLAT 26221	[Hatched]
EXISTING PRIVATE DRAINAGE AND UTILITY EASEMENT PER PLAT 26221	[Hatched]
EXISTING PRIVATE VARIABLE WIDTH USE-IN-COMMON EASEMENT PER PLAT 26221	[Hatched]

FOR INFORMATION REGARDING DRYWELL SIZE, REFER TO SHEET 5, STORMWATER MANAGEMENT PLAN, DRAINAGE AREA MAP, NOTES, DETAILS & BORING LOG SHEET. FOR ADDITIONAL INFORMATION REGARDING THE MICRO-BIORETENTION FACILITY #2, REFER TO SHEET 6, THE STORMWATER MANAGEMENT PLAN, PROFILE AND NOTES SHEET.

P-1	PARKING BAYS: RESIDENTIAL AND NON-RESIDENTIAL PARKING DRIVE AISLES: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 2 HEAVY TRUCKS PER DAY	HMA SUPERPAVE FINAL SURFACE 9.5 MM, PG 64-22, LEVEL 1 (ESAL)				
		1.5	1.5	1.5	1.5	1.5
		HMA SUPERPAVE INTERMEDIATE SURFACE (NA)				
		N/A	N/A	N/A	N/A	N/A
		HMA SUPERPAVE BASE 19.0 MM, PG 64-22 LEVEL 1 (ESAL)				
		2.0	2.0	2.0	3.5	3.0
		GRADED AGGREGATE BASE (GAB)				
		8.5	7.0	5.0	4.0	4.0

- NOTES:
- HEAVY TRUCKS ARE DEFINED AS THOSE WITH SIX (6) WHEELS OR MORE INCLUDING GARBAGE TRUCKS.
 - HMA SUPERPAVE LAYERS SHALL BE PLACED IN APPROPRIATE COMPACTED LIFT THICKNESS: 19.0 MM BASE (2.0" MIN TO 4.0" MAX), 12.5 MM SURFACE (1.5" MIN TO 3.0" MAX), AND 9.5 MM SURFACE (1.0" MIN TO 2.0" MAX).
 - GRADED AGGREGATE BASE (GAB) TO BE PLACED AND COMPACTED IN 6" MAX COMPACTED THICKNESS LAYERS.
 - THE INTERMEDIATE SURFACE COURSE LAYER MUST BE PLACED WITHIN 2 WEEKS OF PLACEMENT OF BASE COURSE, AND IS REQUIRED PRIOR TO SUBSTANTIAL COMPLETION INSPECTION AND BOND REDUCTION.
 - IN LIEU OF PLACING THE INTERMEDIATE SURFACE COURSE LAYER FOR COMMERCIAL / INDUSTRIAL ENTRANCE APRONS WITHIN THE COUNTY RIGHT-OF-WAY WHERE AUXILIARY LANES ARE NOT REQUIRED, THE THICKNESS OF THE INTERMEDIATE PAVEMENT LAYER CAN BE ADDED TO THE REQUIRED THICKNESS OF THE BASE ASPHALT LAYER.
 - THE CONSTRUCTION DRAWINGS SHALL SHOW THE PAVING SECTION, ROAD CLASSIFICATION AND CRB VALUE FOR EACH ROADWAY.

[Red]	HMA SUPERPAVE FINAL SURFACE
[Light Red]	HMA SUPERPAVE INTERMEDIATE SURFACE
[Lighter Red]	HMA SUPERPAVE BASE
[White]	GRADED AGGREGATE BASE (GAB)

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

5/6/2024

CHIEF, DEVELOPMENT ENGINEERING DIVISION

DATE: 5/7/2024

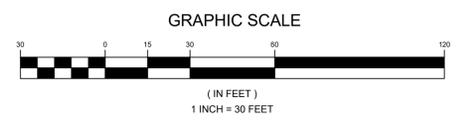
CHIEF, DIVISION OF LAND DEVELOPMENT

DATE: 5/7/2024

DIRECTOR

DATE:

PLAN VIEW
SCALE: 1"=30'



OWNER/DEVELOPER

LLU, LLC
12143 CLARKSVILLE PIKE
CLARKSVILLE, MARYLAND 21029
C/O RON BAJOUL
RLBDEVLLC2@GMAIL.COM
443-250-7272

No.	Description	Date

GRADING PLAN
LUTFI PROPERTY - LOT 1
6321 GUILFORD ROAD
ZONE: R-12

TAX MAP 35 GRID 13
5TH ELECTION DISTRICT

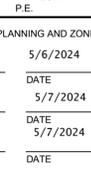
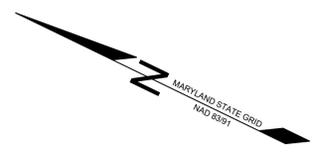
LOT 1
HOWARD COUNTY, MARYLAND

	SILL ENGINEERING GROUP, LLC 16005 Frederick Road, 2nd Floor Woodbine, Maryland 21797 Phone: 443.325.5076 Fax: 410.696.2022 Email: info@sillengineering.com Civil Engineering & Surveying for Land Development	DESIGN BY: PS DRAWN BY: TB CHECKED BY: PS SCALE: AS SHOWN DATE: APRIL 25, 2024 PROJECT #: 23-065 SHEET #: 2 of 6
	PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 32025, EXPIRATION DATE JUNE 20, 2025.	

SOILS LEGEND			
SYMBOL	NAME / DESCRIPTION	GROUP	'K' FACTOR
GbB	GLADSTONE LOAM, 3 TO 8 PERCENT SLOPES	A	0.28
GmB	GLENVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES	C/D	0.37
MaD	MANOR LOAM, 15 TO 25 PERCENT SLOPES	B	0.28

NOTES:
 1) SOIL INFORMATION HAS BEEN TAKEN FROM THE UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, WEB SOIL SURVEY.
 2) HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR 'K' GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.

LEGEND	
EXISTING CONTOUR GIS	
EXISTING CONTOUR FIELD RUN	
PROPOSED CONTOUR	
EXISTING TREELINE	
EXISTING CENTERLINE	
SOILS BOUNDARY	
EXISTING SUPER SILT FENCE	
EXISTING FOREST CONSERVATION EASEMENT	
EXISTING FIRE HYDRANT	
EXISTING WATER VALVE	
EXISTING WATER METER	
PROPOSED SEWER CLEANOUT	
EXISTING SEWER MANHOLE	
EXISTING PERIMETER TREES AND SHRUBS PER F-21-021	
EXISTING RIPRAP	
PROPOSED DRYWELL AND ROOFLEADER	
PROPOSED 1 1/2" WATER HOUSE CONNECTION	
SOIL BORING COMPLETED UNDER F-21-021	
PROPOSED RANGE OF ADDRESS SIGN	
LIMIT OF DISTURBANCE	
EXISTING SUPER SILT FENCE	
EXISTING SILT DIVERSION FENCE	
PROPOSED SUPER SILT FENCE	
PROPOSED DIVERSION FENCE	
STABILIZED CONSTRUCTION ENTRANCE	
PROPOSED STOCK PILE	



THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

Designed by: Alexander Bratkov DATE: 5/6/2024
 HOWARD SCD

OWNER/DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO THE BEGINNING OF THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."

DATE: 05/05/2024

DESIGN CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IS WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

DATE: 05/06/2024

DESIGNER'S SIGNATURE: Paul M. Sill DATE: 3/20/25
 PRINTED NAME: PAUL M. SILL MD REGISTRATION NO. 32025
 P.E.

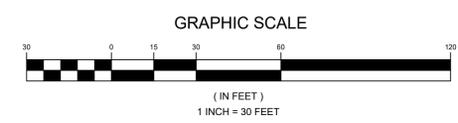
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Designed by: Paul M. Sill DATE: 5/6/2024
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

Designed by: Lynda Eganberg DATE: 5/7/2024
 CHIEF, DIVISION OF LAND DEVELOPMENT

DATE: 5/7/2024
 DIRECTOR

PLAN VIEW
 SCALE: 1"=30'



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 443-250-7272

No.	Description	Date

SEDIMENT AND EROSION CONTROL PLAN

LUTFI PROPERTY - LOT 1

6321 GUILFORD ROAD
 ZONE: R-12

TAX MAP 35 GRID 13
 5TH ELECTION DISTRICT

LOT 1
 HOWARD COUNTY, MARYLAND

	SILL ENGINEERING GROUP, LLC 16005 Frederick Road, 2nd Floor Woodbine, Maryland 21797 Phone: 443.325.5076 Fax: 410.696.2022 Email: info@sillengineering.com Civil Engineering & Surveying for Land Development	DESIGN BY: <u>PS</u>
		DRAWN BY: <u>TB</u>
		CHECKED BY: <u>PS</u>
		SCALE: <u>AS SHOWN</u>
		DATE: <u>APRIL 25, 2024</u>
		PROJECT #: <u>23-065</u>
		SHEET #: <u>3 of 6</u>

B-4-2 STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

DEFINITION THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION PURPOSE TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. CRITERIA A. SOIL PREPARATION 1. TEMPORARY STABILIZATION a. SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE CULTURAL EQUIPMENT...

B. TOPSOILING 1. TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NITROGEN LEVELS, LOW PH, MATERIALS SET FORTH IN THESE SPECIFICATIONS... C. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS) 1. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE...

PERMANENT SEEDING SUMMARY TABLE with columns: NO., SPECIES, APPLICATION RATE (LB/AC), SEEDING DATES, SEEDING DEPTHS, N, P, K, LIME RATE (100/1000F)

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

DEFINITION TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS. PURPOSE TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON A DISTURBED SOIL SURFACE. EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR LESS, FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED. CRITERIA 1. SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B-1 FOR THE APPROPRIATE PLANT HARDINESS ZONE...

SEQUENCE OF CONSTRUCTION

- 1. OBTAIN GRADING PERMIT. 2. NOTIFY HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS AT (410) 313-1800 AT LEAST 24 HOURS BEFORE STARTING ANY WORK. 3. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND PROPOSED SUPER SILT FENCE. REPAIR EXISTING SUPER SILT FENCE AND DIVERSION FENCE AS NEEDED. (1 WEEK)...

OWNER/DEVELOPER'S CERTIFICATE and DESIGNER'S CERTIFICATE sections with signature lines and dates.

REVISIONS table with columns: No., Description, Date

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

DEFINITION THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER. PURPOSE TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION. CRITERIA A. SEEDING 1. SPECIFICATIONS a. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO TESTING BY A RECOGNIZED SEED LABORATORY... b. INCULCANTS: THE INCULCANT FOR TREATING LEGUMES IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA... c. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE...

B. MULCHING 1. MULCH MATERIALS (IN ORDER OF PREFERENCE) a. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY AND REASONABLY BRIGHT IN COLOR. b. WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED IN AN AMBERGIBUS PHYSICAL STATE. c. WCFM MATERIALS MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT WILL BE PHYTO-TOXIC. 2. APPLICATION a. APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING. b. WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES...

STANDARD STABILIZATION NOTE table with columns: PLANT SPECIES, SEEDING RATE (LB/1000 FT), SEEDING DEPTH (INCHES), RECOMMENDED SEEDING DATES BY PLANT HARDINESS ZONE

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

DEFINITION TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION. PURPOSE TO USE LONG-LEAVING PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS. CRITERIA A. SEED MIXTURES 1. GENERAL USE a. SEED ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B-3 FOR THE APPROPRIATE PLANT HARDINESS ZONE... b. ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR AREAS WHERE SPECIAL PURPOSES SUCH AS QUALITY OR AESTHETIC TREATMENT MAY BE REQUIRED... c. TURF GRASSES MIXTURES: USE ONLY TURF GRASSES THAT ARE RECOMMENDED FOR PERMANENT STABILIZATION... d. AREAS WHERE TURF GRASSES MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES...

SEDIMENT CONTROL NOTES

- 1. A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID), 410-313-1800 AFTER THE FUTURE L.O.D. AND PROTECTED AREAS ARE MARKED CLEARLY IN THE FIELD. A MINIMUM OF 48 HOUR NOTICE TO CID MUST BE GIVEN AT THE FOLLOWING STAGES: a. PRIOR TO THE START OF EARTH DISTURBANCE. b. UPON COMPLETION OF THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS... c. PRIOR TO THE REMOVAL OR MODIFICATION OF SEDIMENT CONTROL PRACTICES... d. PRIOR TO THE START OF CONSTRUCTION OR OPENING OF ANOTHER GRADING UNIT...

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL table with columns: U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, 2011, MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

DEFINITION TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION. PURPOSE TO USE LONG-LEAVING PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS. CRITERIA A. SEED MIXTURES 1. GENERAL USE a. SEED ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B-3 FOR THE APPROPRIATE PLANT HARDINESS ZONE... b. ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR AREAS WHERE SPECIAL PURPOSES SUCH AS QUALITY OR AESTHETIC TREATMENT MAY BE REQUIRED... c. TURF GRASSES MIXTURES: USE ONLY TURF GRASSES THAT ARE RECOMMENDED FOR PERMANENT STABILIZATION... d. AREAS WHERE TURF GRASSES MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES...

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TABLE B-1: TEMPORARY SEEDING FOR SITE STABILIZATION table with columns: PLANT SPECIES, SEEDING RATE (LB/1000 FT), SEEDING DEPTH (INCHES), RECOMMENDED SEEDING DATES BY PLANT HARDINESS ZONE

TABLE B-2: RECOMMENDED PLANTING DATES FOR PERMANENT COVER IN MARYLAND

Table with columns: TYPE OF PLANT MATERIAL, PLANT HARDINESS ZONES (Sb & Ba, Sb, 7a & 7b), SEEDING DATES

CONSTRUCTION SPECIFICATIONS

- 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (30 FEET FOR SINGLE ENTRANCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS. 2. PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE ENTRANCE... 3. PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS. 4. PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE...

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL table with columns: U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, 2011, MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

DEFINITION TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION. PURPOSE TO USE LONG-LEAVING PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS. CRITERIA A. SEED MIXTURES 1. GENERAL USE a. SEED ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B-3 FOR THE APPROPRIATE PLANT HARDINESS ZONE... b. ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR AREAS WHERE SPECIAL PURPOSES SUCH AS QUALITY OR AESTHETIC TREATMENT MAY BE REQUIRED... c. TURF GRASSES MIXTURES: USE ONLY TURF GRASSES THAT ARE RECOMMENDED FOR PERMANENT STABILIZATION... d. AREAS WHERE TURF GRASSES MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES...

SEDIMENT CONTROL NOTES

- 1. A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID), 410-313-1800 AFTER THE FUTURE L.O.D. AND PROTECTED AREAS ARE MARKED CLEARLY IN THE FIELD. A MINIMUM OF 48 HOUR NOTICE TO CID MUST BE GIVEN AT THE FOLLOWING STAGES: a. PRIOR TO THE START OF EARTH DISTURBANCE. b. UPON COMPLETION OF THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS... c. PRIOR TO THE REMOVAL OR MODIFICATION OF SEDIMENT CONTROL PRACTICES... d. PRIOR TO THE START OF CONSTRUCTION OR OPENING OF ANOTHER GRADING UNIT...

TABLE B-1: TEMPORARY SEEDING FOR SITE STABILIZATION table with columns: PLANT SPECIES, SEEDING RATE (LB/1000 FT), SEEDING DEPTH (INCHES), RECOMMENDED SEEDING DATES BY PLANT HARDINESS ZONE

TABLE B-2: RECOMMENDED PLANTING DATES FOR PERMANENT COVER IN MARYLAND

Table with columns: TYPE OF PLANT MATERIAL, PLANT HARDINESS ZONES (Sb & Ba, Sb, 7a & 7b), SEEDING DATES

CONSTRUCTION SPECIFICATIONS

- 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (30 FEET FOR SINGLE ENTRANCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS. 2. PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE ENTRANCE... 3. PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS. 4. PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE...

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL table with columns: U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, 2011, MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

B-4-8 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA

DEFINITION A MOUND OR PILE OF SOIL PROTECTED BY APPROPRIATELY DESIGNED EROSION AND SEDIMENT CONTROL MEASURES. PURPOSE TO PROVIDE A DESIGNATED LOCATION FOR THE TEMPORARY STORAGE OF SOIL THAT CONTROLS THE POTENTIAL FOR EROSION, SEDIMENTATION, AND CHANGE TO DRAINAGE PATTERNS. CRITERIA 1. THE STOCKPILE LOCATION AND ALL RELATED SEDIMENT CONTROL PRACTICES MUST BE CLEARLY INDICATED ON THE EROSION AND SEDIMENT CONTROL PLAN. 2. THE FOOTPRINT OF THE STOCKPILE MUST BE SIZED TO ACCOMMODATE THE ANTICIPATED VOLUME OF MATERIAL AND TO PROVIDE A SUFFICIENT SLOPE RATIO NO STEEPER THAN 2:1. BENCHING MUST BE PROVIDED IN ACCORDANCE WITH SECTION B-3.4. LAND GRADING. 3. RUNOFF FROM THE STOCKPILE AREA MUST DRAIN TO A SUITABLE SEDIMENT CONTROL PRACTICE. 4. ACCESS TO THE STOCKPILE AREA FROM THE UPGRADE SIDE MUST BE PROVIDED BY A TEMPORARY ROADWAY. 5. CLEAR WATER RUNOFF INTO THE STOCKPILE AREA MUST BE MINIMIZED BY USE OF A DIVERSION DEVICE SUCH AS AN EARTH DRIE, TEMPORARY SWALE OR DIVERSION FENCE. PROVISIONS MUST BE MADE FOR DISCHARGING CONCENTRATED FLOW IN A NON-EROSIVE MANNER. 6. WHERE RUNOFF CONCENTRATES ALONG THE TOE OF THE STOCKPILE FILL, AN APPROPRIATE EROSION/SEDIMENT CONTROL PRACTICE MUST BE INSTALLED TO PREVENT CONCENTRATION OF FLOW. 7. STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITH THE 37 DAY STABILIZATION REQUIREMENTS AS WELL AS STANDARD B-4.1 INCREMENTAL, STABILIZATION AND STANDARD B-4.4 TEMPORARY STABILIZATION. 8. IF THE STOCKPILE IS LOCATED ON AN IMPERVIOUS SURFACE, A LINDER SHOULD BE PROVIDED BELOW THE STOCKPILE TO FACILITATE CLEANUP. STOCKPILES CONTAINING CONTAMINATED MATERIAL MUST BE COVERED WITH IMPERMEABLE SHEETING. MAINTENANCE 1. THE STOCKPILE AREA MUST CONTINUOUSLY MEET THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4. VEGETATIVE STABILIZATION. SIDE SLOPES MUST BE MAINTAINED AT NO STEEPER THAN A 2:1 RATIO. THE STOCKPILE AREA MUST BE KEPT FREE OF EROSION. IF THE VERTICAL CUTTING OF THE STOCKPILE IS REQUIRED TO MAINTAIN SLOPES, THE STOCKPILE SHOULD BE REBENCHED AT 41:1 SLOPES. BENCHING MUST BE PROVIDED IN ACCORDANCE WITH SECTION B-3.4 LAND GRADING.



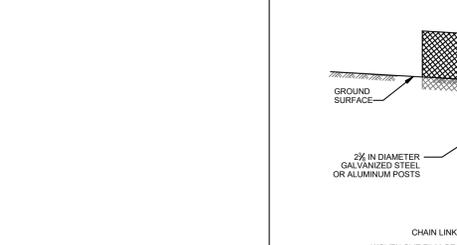
- 1. USE 42 INCH HIGH, 9 GAUGE OR THICKER CHAIN LINK FENCING (2 1/2 INCH MAXIMUM OPENING). 2. USE 2 1/2 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. THE POSTS DO NOT NEED TO BE SET IN CONCRETE. 3. FASTEN CHAIN LINK FENCE SECURELY TO THE FENCE POSTS WITH WIRE TIES. 4. SECURE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING TO CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT TOP, MID SECTION, AND BELOW GROUND SURFACE. 5. EXTEND SHEETING A MINIMUM OF 4 INCHES ABOVE FLOW SURFACE AND EMBED END A MINIMUM OF 6 INCHES INTO GROUND. SOIL STABILIZATION MATTINGS MAY BE USED IN LIEU OF IMPERMEABLE SHEETING ALONG FLOW SURFACE. 6. WHEN TWO SECTIONS OF SHEETING ADJOIN EACH OTHER, OVERLAP BY 6 INCHES AND FOLD WITH SEAM FACING DOWNGRADE. 7. KEEP FLOW SURFACE ALONG DIVERSION FENCE AND POINT OF DISCHARGE FREE OF EROSION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. MAINTAIN POSITIVE DRAINAGE. REPLACE IMPERMEABLE SHEETING IF TORN. IF UNDERMINING OCCURS, REINSTALL FENCE.

CONSTRUCTION SPECIFICATIONS

- 1. INSTALL 2 1/2 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND. 2. FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2 1/2 INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES. 3. FASTEN WOVEN SILT FENCE GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS. SECURELY TO THE UPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 8 INCHES INTO THE GROUND. 4. WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEPARATION BY PASS. 5. EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE. 6. PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS. 7. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULKY DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL table with columns: U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, 2011, MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL E-3 SUPER SILT FENCE

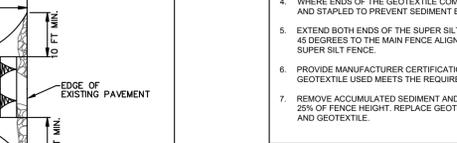


- 1. INSTALL 2 1/2 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND. 2. FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2 1/2 INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES. 3. FASTEN WOVEN SILT FENCE GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS. SECURELY TO THE UPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 8 INCHES INTO THE GROUND. 4. WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEPARATION BY PASS. 5. EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE. 6. PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS. 7. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULKY DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.

CONSTRUCTION SPECIFICATIONS

- 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (30 FEET FOR SINGLE ENTRANCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS. 2. PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE ENTRANCE... 3. PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS. 4. PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE...

DETAIL B-1 STABILIZED CONSTRUCTION ENTRANCE



- 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (30 FEET FOR SINGLE ENTRANCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS. 2. PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE ENTRANCE... 3. PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS. 4. PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE...

CONSTRUCTION SPECIFICATIONS

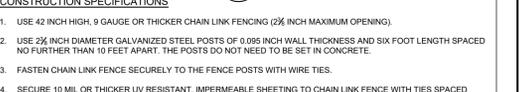
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MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL table with columns: U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, 2011, MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

B-4-8 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA

DEFINITION A MOUND OR PILE OF SOIL PROTECTED BY APPROPRIATELY DESIGNED EROSION AND SEDIMENT CONTROL MEASURES. PURPOSE TO PROVIDE A DESIGNATED LOCATION FOR THE TEMPORARY STORAGE OF SOIL THAT CONTROLS THE POTENTIAL FOR EROSION, SEDIMENTATION, AND CHANGE TO DRAINAGE PATTERNS. CRITERIA 1. THE STOCKPILE LOCATION AND ALL RELATED SEDIMENT CONTROL PRACTICES MUST BE CLEARLY INDICATED ON THE EROSION AND SEDIMENT CONTROL PLAN. 2. THE FOOTPRINT OF THE STOCKPILE MUST BE SIZED TO ACCOMMODATE THE ANTICIPATED VOLUME OF MATERIAL AND TO PROVIDE A SUFFICIENT SLOPE RATIO NO STEEPER THAN 2:1. BENCHING MUST BE PROVIDED IN ACCORDANCE WITH SECTION B-3.4. LAND GRADING. 3. RUNOFF FROM THE STOCKPILE AREA MUST DRAIN TO A SUITABLE SEDIMENT CONTROL PRACTICE. 4. ACCESS TO THE STOCKPILE AREA FROM THE UPGRADE SIDE MUST BE PROVIDED BY A TEMPORARY ROADWAY. 5. CLEAR WATER RUNOFF INTO THE STOCKPILE AREA MUST BE MINIMIZED BY USE OF A DIVERSION DEVICE SUCH AS AN EARTH DRIE, TEMPORARY SWALE OR DIVERSION FENCE. PROVISIONS MUST BE MADE FOR DISCHARGING CONCENTRATED FLOW IN A NON-EROSIVE MANNER. 6. WHERE RUNOFF CONCENTRATES ALONG THE TOE OF THE STOCKPILE FILL, AN APPROPRIATE EROSION/SEDIMENT CONTROL PRACTICE MUST BE INSTALLED TO PREVENT CONCENTRATION OF FLOW. 7. STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITH THE 37 DAY STABILIZATION REQUIREMENTS AS WELL AS STANDARD B-4.1 INCREMENTAL, STABILIZATION AND STANDARD B-4.4 TEMPORARY STABILIZATION. 8. IF THE STOCKPILE IS LOCATED ON AN IMPERVIOUS SURFACE, A LINDER SHOULD BE PROVIDED BELOW THE STOCKPILE TO FACILITATE CLEANUP. STOCKPILES CONTAINING CONTAMINATED MATERIAL MUST BE COVERED WITH IMPERMEABLE SHEETING. MAINTENANCE 1. THE STOCKPILE AREA MUST CONTINUOUSLY MEET THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4. VEGETATIVE STABILIZATION. SIDE SLOPES MUST BE MAINTAINED AT NO STEEPER THAN A 2:1 RATIO. THE STOCKPILE AREA MUST BE KEPT FREE OF EROSION. IF THE VERTICAL CUTTING OF THE STOCKPILE IS REQUIRED TO MAINTAIN SLOPES, THE STOCKPILE SHOULD BE REBENCHED AT 41:1 SLOPES. BENCHING MUST BE PROVIDED IN ACCORDANCE WITH SECTION B-3.4 LAND GRADING.



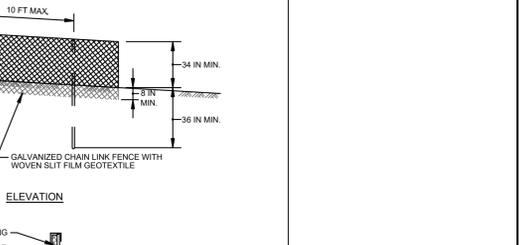
- 1. USE 42 INCH HIGH, 9 GAUGE OR THICKER CHAIN LINK FENCING (2 1/2 INCH MAXIMUM OPENING). 2. USE 2 1/2 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. THE POSTS DO NOT NEED TO BE SET IN CONCRETE. 3. FASTEN CHAIN LINK FENCE SECURELY TO THE FENCE POSTS WITH WIRE TIES. 4. SECURE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING TO CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT TOP, MID SECTION, AND BELOW GROUND SURFACE. 5. EXTEND SHEETING A MINIMUM OF 4 INCHES ABOVE FLOW SURFACE AND EMBED END A MINIMUM OF 6 INCHES INTO GROUND. SOIL STABILIZATION MATTINGS MAY BE USED IN LIEU OF IMPERMEABLE SHEETING ALONG FLOW SURFACE. 6. WHEN TWO SECTIONS OF SHEETING ADJOIN EACH OTHER, OVERLAP BY 6 INCHES AND FOLD WITH SEAM FACING DOWNGRADE. 7. KEEP FLOW SURFACE ALONG DIVERSION FENCE AND POINT OF DISCHARGE FREE OF EROSION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. MAINTAIN POSITIVE DRAINAGE. REPLACE IMPERMEABLE SHEETING IF TORN. IF UNDERMINING OCCURS, REINSTALL FENCE.

CONSTRUCTION SPECIFICATIONS

- 1. INSTALL 2 1/2 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND. 2. FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2 1/2 INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES. 3. FASTEN WOVEN SILT FENCE GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS. SECURELY TO THE UPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 8 INCHES INTO THE GROUND. 4. WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEPARATION BY PASS. 5. EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE. 6. PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS. 7. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULKY DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL table with columns: U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, 2011, MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL E-3 SUPER SILT FENCE

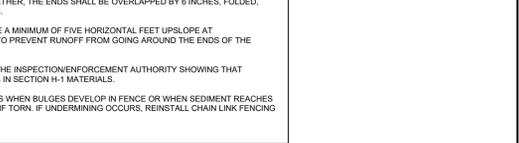


- 1. INSTALL 2 1/2 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND. 2. FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2 1/2 INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES. 3. FASTEN WOVEN SILT FENCE GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS. SECURELY TO THE UPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 8 INCHES INTO THE GROUND. 4. WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEPARATION BY PASS. 5. EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE. 6. PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS. 7. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULKY DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.

CONSTRUCTION SPECIFICATIONS

- 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (30 FEET FOR SINGLE ENTRANCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS. 2. PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE ENTRANCE... 3. PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS. 4. PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE...

DETAIL B-1 STABILIZED CONSTRUCTION ENTRANCE



- 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (30 FEET FOR SINGLE ENTRANCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS. 2. PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE ENTRANCE... 3. PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS. 4. PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE...

CONSTRUCTION SPECIFICATIONS

- 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (30 FEET FOR SINGLE ENTRANCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS. 2. PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE ENTRANCE... 3. PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS. 4. PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE...

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL table with columns: U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, 2011, MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

SEDIMENT AND EROSION NOTES AND DETAILS LUTFI PROPERTY - LOT 1 6321 GUILFORD ROAD ZONE: R-12 TAX MAP 35 GR13 13 5TH ELECTION DISTRICT LOT 1 HOWARD COUNTY, MARYLAND

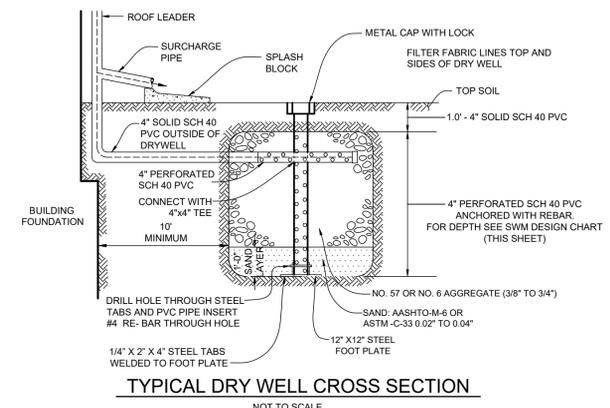
SOILS LEGEND			
SYMBOL	NAME / DESCRIPTION	GROUP	'K' FACTOR
GbB	GLADSTONE LOAM, 3 TO 8 PERCENT SLOPES	A	0.28
GmB	GLENVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES	CD	0.37
MaD	MANOR LOAM, 15 TO 25 PERCENT SLOPES	B	0.28

NOTES:
 1) SOIL INFORMATION HAS BEEN TAKEN FROM THE UNITED STATES DEPARTMENT OF AGRICULTURE: NATURAL RESOURCES CONSERVATION SERVICE; WEB SOIL SURVEY.
 2) HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR 'K' GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.

LEGEND

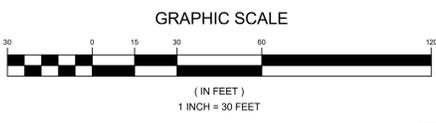
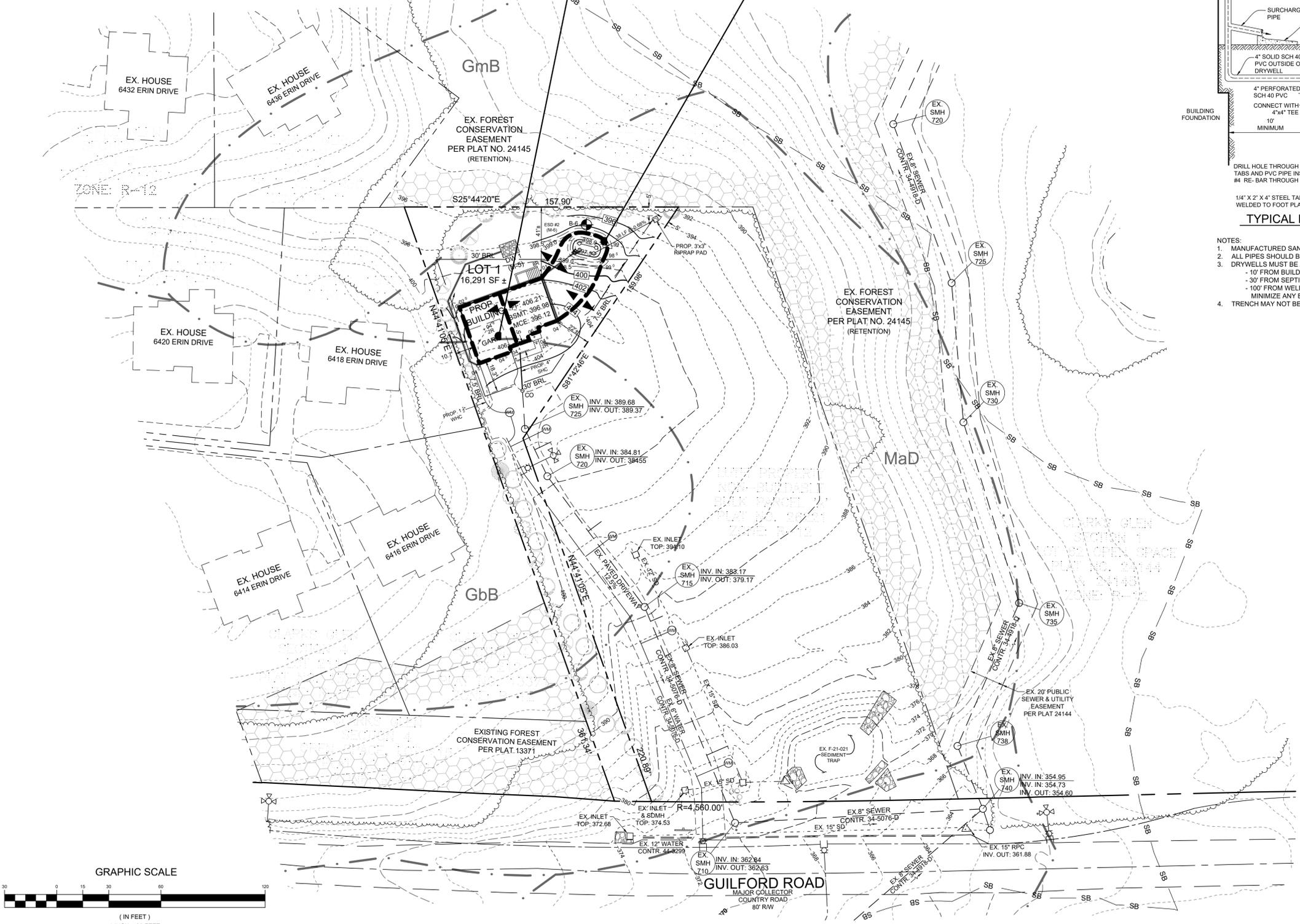
EXISTING CONTOUR GIS
 EXISTING CONTOUR FIELD RUN
 PROPOSED CONTOUR
 EXISTING TREELINE
 EXISTING CENTERLINE
 SOILS BOUNDARY

EXISTING FOREST CONSERVATION EASEMENT
 EXISTING FIRE HYDRANT
 EXISTING WATER VALVE
 EXISTING WATER METER
 PROPOSED SEWER CLEANOUT
 EXISTING SEWER MANHOLE
 PERIMETER LANDSCAPING PER F-21-021
 PROPOSED DRYWELL AND ROOFLEADER
 PROPOSED WATER HOUSE CONNECTION
 SOIL BORING COMPLETED UNDER F-21-021
 PROPOSED RANGE OF ADDRESS SIGN
 DRAINAGE DIVIDE



- NOTES:
 1. MANUFACTURED SAND IS NOT ACCEPTABLE IN DRYWELLS.
 2. ALL PIPES SHOULD BE SCH 40 PVC 4" MIN.
 3. DRYWELLS MUST BE A MINIMUM OF:
 - 10' FROM BUILDING FOUNDATION
 - 30' FROM SEPTIC FIELD
 - 100' FROM WELL LOCATION AND SHOULD BE LOCATED TO MINIMIZE ANY BASEMENT SEEPAGE.
 4. TRENCH MAY NOT BE INSTALLED IN FILL.

DRYWELL (M-5) SIZE CHART		
LOT/ADDRESS	DRYWELL #	WELL SIZE
LOT 1 6321 GUILFORD ROAD	DW 1	10.0' X 7.5' X 5.0' DEEP



STORMWATER MANAGEMENT SUMMARY						
FACILITY	ESDv REQUIRED	ESDv PROVIDED	REQUIRED Pe	TREATED Pe	REQUIRED Rev	PROVIDED Rev
ESD #2	100 CF	167 CF	1.60"	2.69"	N/A	65 CF
DRY WELL 1	105 CF	150 CF	1.60"	2.33"	N/A	0 CF
TOTAL	205 CF	317 CF	1.60"	2.51"	57 CF	65 CF

NOTE: PER THE ENVIRONMENTAL SITE DESIGN, SITE REQUIREMENTS, THE REQUIRED ESDv IS 314 CF. ADDITIONAL VOLUME HAS BEEN PROVIDED IN ESD #2 AND DRYWELL #1 TO MEET BOTH THE ESDv REQUIRED AND THE REQUIRED Pe.

PLAN VIEW
SCALE: 1"=30'

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED DRY WELLS (M-5)

- THE MONITORING WELLS AND STRUCTURES SHALL BE INSPECTED ON A QUARTERLY BASIS AND AFTER EVERY LARGE STORM EVENT.
- WATER LEVELS AND SEDIMENT BUILD UP IN THE MONITORING WELLS SHALL BE RECORDED OVER A PERIOD OF SEVERAL DAYS TO INSURE TRENCH DRAINAGE.
- A LOG BOOK SHALL BE MAINTAINED TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.
- WHEN THE FACILITY BECOMES CLOGGED SO THAT IT DOES NOT DRAIN DOWN WITHIN THE 72 HOURS TIME PERIOD, CORRECTIVE ACTION SHALL BE TAKEN.
- THE MAINTENANCE LOG BOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.
- ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION FACILITY HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.

OWNER/DEVELOPER

LLU, LLC
 12143 CLARKSVILLE PIKE
 CLARKSVILLE, MARYLAND 21709
 C/O RON BAQOUL
 RLBDVLLC2@GMAIL.COM
 443-250-7272

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION									
Project Name		Lutfi's Property Additional SWM			Boring No.		B-6		
Location		6321 Guilford Rd, Clarksville, MD			Job #		162468		
Date	5/30/2024	Hammer Wt.	140 lbs	Hole Diameter	6 in	Foreman	B. Van Doren		
Surf Elev.	397.0	Hammer Drop	30 in	Rock Core Diameter	N/A	Inspector			
Date Started	5/30/2024	Pipe Size (O.D.)	2.0 in	Boring Method	HSA	Date Completed	5/30/2024		
Elevation (Depth)	Description	Boring and Sampling Notes	Sample No.	Loc (N)	Loc (E)	SPT Blows	N	30	50
0	Light brown and orange-brown, moist, loose, silty SAND, trace gravel, mica and organics (SM FILL)	2.5' topsoil	1	10	3-4.4	8			
0.5	Light brown and orange-brown, moist, loose to medium dense, silty SAND, some mica to micaceous, trace gravel and organics (SM)		2	18	4-5.5	10			
1.0	No groundwater encountered while drilling		3	18	7-9.8	17			
1.5			4	18	5-6.7	13			
2.0	Gray with brown, buff, and orange-brown, moist, medium dense to dense, SAND, some mica, with gravel and residual structure (SM)		5	14	10.4	5:10-20	30		
2.5	Boring backfilled after 20 hrs.		6	16	20-20-14	34			
Boring terminated at 13 ft									

No.	Description	Date

STORMWATER MANAGEMENT PLAN, DRAINAGE AREA MAP, NOTES, DETAIL AND BORING LOG LUTFI PROPERTY - LOT 1

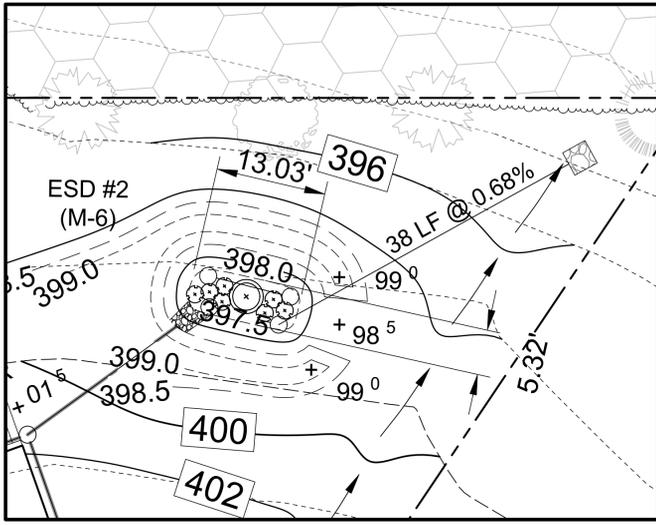
6321 GUILFORD ROAD
 ZONE: R-12

TAX MAP 35 GRID 13
 5TH ELECTION DISTRICT

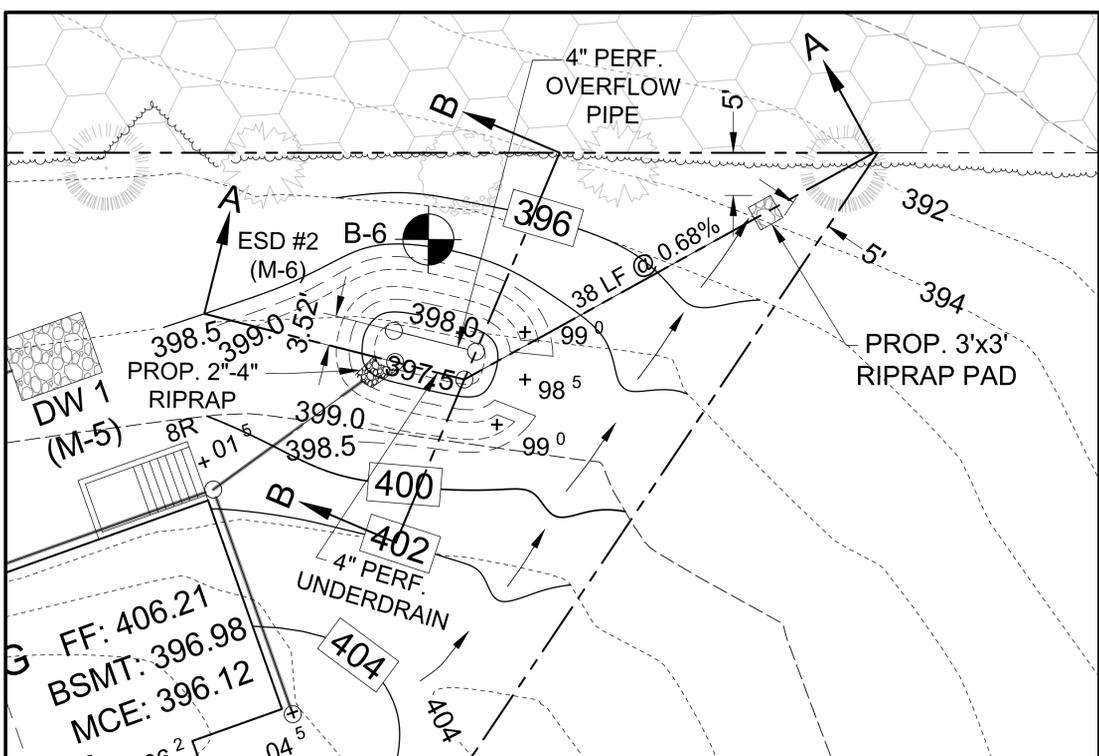
LOT 1
 HOWARD COUNTY, MARYLAND

SILL ENGINEERING GROUP, LLC
 16005 Frederick Road, 2nd Floor
 Woodbine, Maryland 21797
 Phone: 443.325.5076
 Fax: 410.696.2022
 Email: info@sillengineering.com
 Civil Engineering & Surveying for Land Development

DESIGN BY: PS
 DRAWN BY: TB
 CHECKED BY: PS
 SCALE: AS SHOWN
 DATE: APRIL 25, 2024
 PROJECT #: 23-065
 SHEET #: 5 of 6



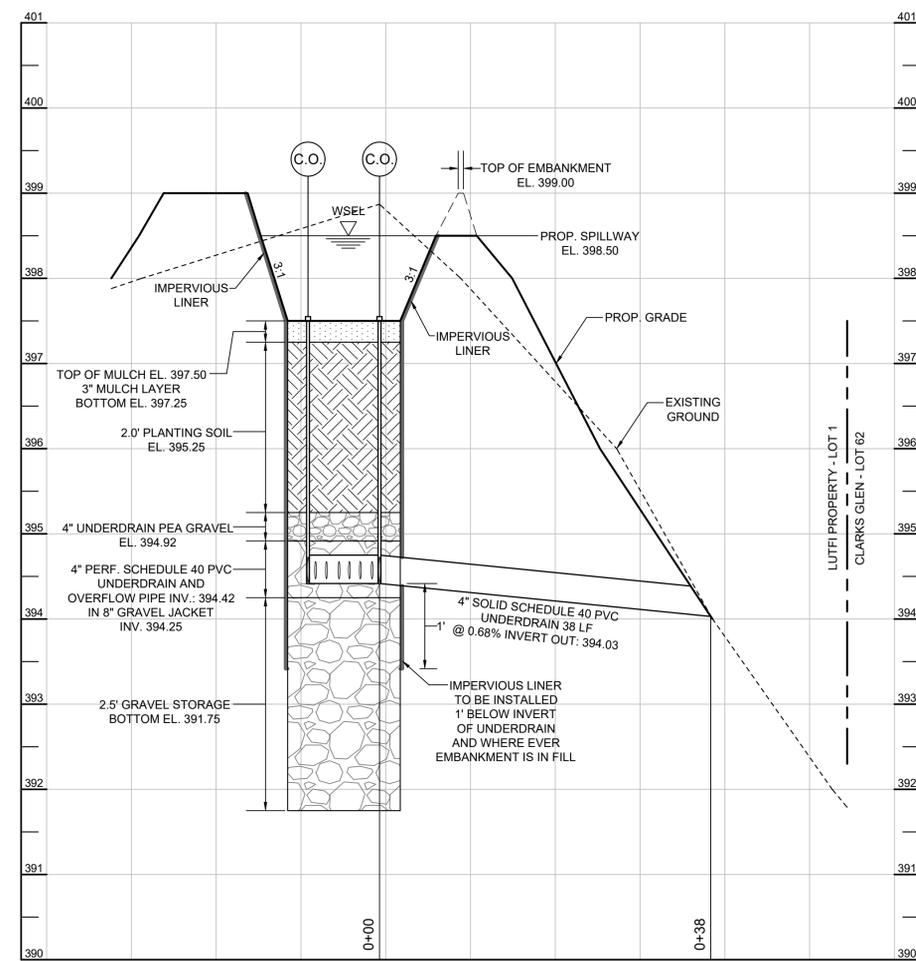
PLAN VIEW: MICRO-BIORETENTION FACILITY #1 (M-6) LANDSCAPE PLAN
SCALE: 1"=10'



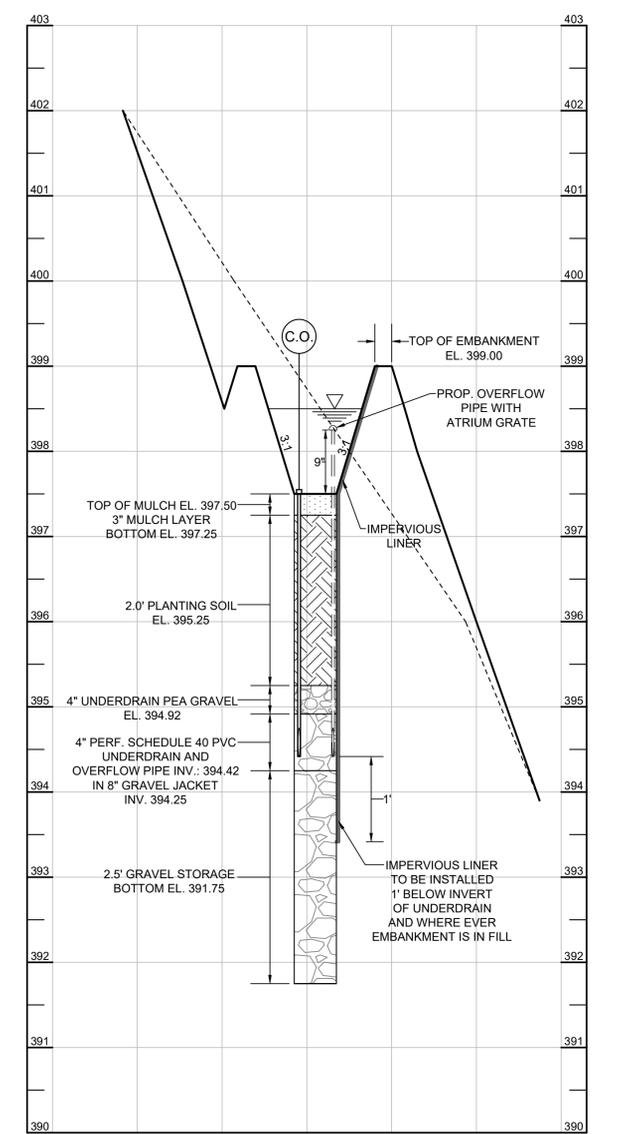
PLAN VIEW: MICRO-BIORETENTION FACILITY #1 (M-6)
SCALE: 1"=10'

BIORETENTION PLANT LIST						
SHRUBS						
LEGEND	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	REMARKS	QTY. BIO. 1
	ILEX GLABRA	INK BERRY	AS SHOWN* (MIN. 4' O.C.)	24" - 36" HT.	-	1
	RUDECKIA	BLACK-EYED SUSAN	AS SHOWN* (MIN. 2' O.C.)	1 GALLON	-	7

NOTE: PLANT MATERIAL MUST COVER 50% OF THE MULCH AREA AT MATURE GROWTH. INTERPERSE PLANTINGS THROUGHOUT BIORETENTION FILTER AREA.
BIO 1 - BIORETENTION AREA = 64.79 S.F. OR 0.0015 AC. PROVIDED: 1 SHRUBS AND 7 HERBACEOUS SPECIES



MICRO-BIORETENTION FACILITY #1 (M-6) PROFILE (A-A)
SCALE: 1"=10'

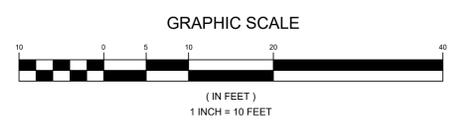


MICRO-BIORETENTION FACILITY #1 (M-6) PROFILE (B-B)
SCALE: 1"=10'

MATERIALS SPECIFICATIONS FOR MICRO-BIORETENTION, RAIN GARDEN & LANDSCAPE INFILTRATION			
PLANTINGS	SPECIFICATION	SIZE	NOTES
PLANTINGS	SEE PLANT LIST THIS SHEET	N/A	PLANTINGS ARE SITE-SPECIFIC. SEE PLANT LIST THIS SHEET
PLANTING SOIL (2'-4" DEEP)	LOAMY SAND (60% - 65%) & COMPOST (35%-40%) OR SANDY LOAM (30%), COARSE SAND (30%) & COMPOST (40%)	N/A	USDA SOIL TYPES LOAMY SAND OR SANDY LOAM; CLAY CONTENT < 5%
ORGANIC CONTENT	MIN. 10% BY DRY WEIGHT (ASTM-D-2974)		AGED 6 MONTHS. MINIMUM; NO PINE OR WOOD CHIPS
PEA GRAVEL DIAPHRAGM	SHREDDED HARDWOOD	NO. 8 OR NO. 9 (1/8" TO 3/8")	
CURTAIN DRAIN (IF REQUIRED)	ORNAMENTAL STONE: WASHED COBBLES	STONE: 2" TO 5"	
GEOTEXTILE		N/A	PE TYPE 1 NONWOVEN
UNDERDRAIN GRAVEL	AASHTO M-43	NO. 57 OR NO. 6 AGGREGATE (3/8" TO 3/4")	
UNDERDRAIN PIPING	F 758, TYPE PS 28 OR AASHTO M-278	4" TO 6" RIGID SCHEDULE 40 PVC OR SDR35	SLOTTED OR PERFORATED PIPE, 3/8" PERF. @ 6" ON CENTER, 4 HOLES PER ROW; MINIMUM OF 3" OF GRAVEL OVER PIPES; NOT NECESSARY UNDERNEATH PIPES. PERFORATED PIPE SHALL BE WRAPPED WITH 1/4" GALVANIZED HARDWARE CLOTH.
POURED IN PLACE CONCRETE (IF REQUIRED)	MSHA MX NO. 3, F'c = 3500 PSI @ 28 DAYS, NORMAL WEIGHT, AIR-ENTRAINED, REINFORCING TO MEET ASTM-615-60	N/A	ON-SITE TESTING OF POURED-IN-PLACE CONCRETE REQUIRED: 28 DAY STRENGTH AND SLUMP TEST. ALL CONCRETE DESIGN (CAST-IN-PLACE OR PRE-CAST) NOT USING PREVIOUSLY APPROVED STATE OR LOCAL STANDARDS REQUIRES DESIGN DRAWINGS SEALED AND APPROVED BY A PROFESSIONAL STRUCTURAL ENGINEER LICENSED IN THE STATE OF MARYLAND. DESIGN TO INCLUDE MEETING ACI CODE 350 R/89; VERTICAL LOADING (H-10 OR H-20); ALLOWABLE HORIZONTAL LOADING (BASED ON SOIL PRESSURES); AND ANALYSIS OF POTENTIAL CRACKING.
SAND	AASHTO-M-6 OR ASTM-C-33	0.02" TO 0.04"	SAND SUBSTITUTIONS SUCH AS DIABASE AND GRAYSTONE (AASHTO) #10 ARE NOT ACCEPTABLE. NO CALCIUM CARBONATED OR DOLOMITIC SAND. SUBSTITUTIONS ARE ACCEPTABLE. NO "ROCK DUST" CAN BE USED FOR SAND.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED MICRO-BIORETENTION FACILITIES (M-6)

- THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL, VOLUME II, TABLE A-1 AND 2.
- THE OWNER SHALL PERFORM A PLANT INSPECTION IN THE SPRING AND IN THE FALL OF EACH YEAR. DURING THE INSPECTION, THE OWNER SHALL REMOVE DEAD OR DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, REPLACE DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL, TREAT DISEASED TREES AND SHRUBS, AND REPLACE ALL DEFICIENT STAKES AND WIRES.
- THE OWNER SHALL INSPECT THE MULCH EACH SPRING. THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS. THE PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS APPLIED.
- THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER EACH HEAVY STORM.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division: 5/6/2024
 Chief, Division of Land Development: 5/7/2024
 Director: 5/7/2024

OWNER/DEVELOPER
 LLU, LLC
 12143 CLARKSVILLE PIKE
 CLARKSVILLE, MARYLAND 21029
 ©/O RON BAJOUL
 RLBEVLLC2@GMAIL.COM
 443-250-7272

No.	Description	Date

STORMWATER MANAGEMENT PLAN, PROFILE AND NOTES
LUTFI PROPERTY - LOT 1
 6321 GUILFORD ROAD
 ZONE: R-12
 TAX MAP 35 GRID 13
 5TH ELECTION DISTRICT

LOT 1
 HOWARD COUNTY, MARYLAND

SILL ENGINEERING GROUP, LLC
 16005 Frederick Road, 2nd Floor
 Woodbine, Maryland 21797
 Phone: 443.325.5076
 Fax: 410.696.2022
 Email: info@sillengineering.com
 Civil Engineering & Surveying for Land Development

DESIGN BY: PS
 DRAWN BY: TB
 CHECKED BY: PS
 SCALE: AS SHOWN
 DATE: APRIL 25, 2024
 PROJECT #: 23-065
 SHEET #: 6 of 6

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 32025, EXPIRATION DATE JUNE 20, 2025

Certificate Of Completion

Envelope Id: AD8CEFFB9ABD407E8B02081EF0D1BD61	Status: Completed
Subject: Complete with DocuSign: SDP-24-022	
Source Envelope:	
Document Pages: 6	Signatures: 20
Certificate Pages: 5	Initials: 0
AutoNav: Enabled	Envelope Originator:
Enveloped Stamping: Enabled	Ashley Barbagallo
Time Zone: (UTC-05:00) Eastern Time (US & Canada)	Ellicott City, MD 21043
	abarbagallo@howardcountymd.gov
	IP Address: 167.102.191.18

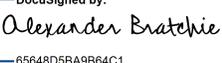
Record Tracking

Status: Original	Holder: Ashley Barbagallo	Location: DocuSign
5/6/2024 9:50:28 AM	abarbagallo@howardcountymd.gov	

Signer Events

Alexander Bratchie
 abratchie@howardcountymd.gov
 Security Level: Email, Account Authentication (None)

Signature

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Anthony Cataldo
 acataldo@howardcountymd.gov
 Division Chief
 Howard County Government
 Security Level: Email, Account Authentication (None)

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 Not Offered via DocuSign

CHAD Edmondson
 cedmondson@howardcountymd.gov
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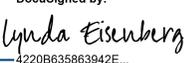
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Lynda Eisenberg
 leisenberg@howardcountymd.gov
 Security Level: Email, Account Authentication (None)

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 Signature Adoption: Pre-selected Style
 Using IP Address: 167.102.191.18

Sent: 5/7/2024 1:08:13 PM
 Viewed: 5/7/2024 1:09:21 PM
 Signed: 5/7/2024 1:09:31 PM

Electronic Record and Signature Disclosure:
 Accepted: 6/26/2023 1:54:38 PM
 ID: 65b25253-387f-4fdd-b8c8-566030656392

In Person Signer Events

Signature

Timestamp

Editor Delivery Events	Status	Timestamp
<p>Agent Delivery Events</p> <p>Status</p> <p>Timestamp</p>		
<p>Intermediary Delivery Events</p> <p>Status</p> <p>Timestamp</p>		
<p>Certified Delivery Events</p> <p>Status</p> <p>Timestamp</p>		
<p>Carbon Copy Events</p> <p>Status</p> <p>Timestamp</p>		
<p>Carrie Vogel Cvogel@howardcountymd.gov Security Level: Email, Account Authentication (None) Electronic Record and Signature Disclosure: Accepted: 7/24/2023 7:09:39 AM ID: 074f16ab-63a1-450f-9935-df05f4cf1d82</p>	<div style="border: 2px solid blue; padding: 5px; display: inline-block; color: blue; font-weight: bold; font-size: 1.2em;">COPIED</div>	<p>Sent: 5/7/2024 1:09:34 PM</p>
<p>Dave Dell ddell@howardcountymd.gov Security Level: Email, Account Authentication (None) Electronic Record and Signature Disclosure: Not Offered via DocuSign</p>	<div style="border: 2px solid blue; padding: 5px; display: inline-block; color: blue; font-weight: bold; font-size: 1.2em;">COPIED</div>	<p>Sent: 5/7/2024 1:09:34 PM Viewed: 5/7/2024 3:42:37 PM</p>
<p>Donna Despres ddespres@howardcountymd.gov Security Level: Email, Account Authentication (None) Electronic Record and Signature Disclosure: Accepted: 7/18/2023 4:47:57 PM ID: 4b3a3610-481b-43ea-809e-e9bb869f81f8</p>	<div style="border: 2px solid blue; padding: 5px; display: inline-block; color: blue; font-weight: bold; font-size: 1.2em;">COPIED</div>	<p>Sent: 5/7/2024 1:09:34 PM</p>
<p>Lisa Kenney lkenney@howardcountymd.gov Planning Support Tech II Howard County government Security Level: Email, Account Authentication (None) Electronic Record and Signature Disclosure: Not Offered via DocuSign</p>	<div style="border: 2px solid blue; padding: 5px; display: inline-block; color: blue; font-weight: bold; font-size: 1.2em;">COPIED</div>	<p>Sent: 5/7/2024 1:09:34 PM Viewed: 5/7/2024 4:02:57 PM</p>
<p>Terry Bromery tbromery@howardcountymd.gov Security Level: Email, Account Authentication (None) Electronic Record and Signature Disclosure: Not Offered via DocuSign</p>	<div style="border: 2px solid blue; padding: 5px; display: inline-block; color: blue; font-weight: bold; font-size: 1.2em;">COPIED</div>	<p>Sent: 5/7/2024 1:09:34 PM</p>
<p>Witness Events</p> <p>Signature</p> <p>Timestamp</p>		
<p>Notary Events</p> <p>Signature</p> <p>Timestamp</p>		
<p>Envelope Summary Events</p> <p>Status</p> <p>Timestamps</p>		
<p>Envelope Sent</p> <p>Certified Delivered</p> <p>Signing Complete</p> <p>Completed</p>	<p>Hashed/Encrypted</p> <p>Security Checked</p> <p>Security Checked</p> <p>Security Checked</p>	<p>5/6/2024 9:54:19 AM</p> <p>5/7/2024 1:09:21 PM</p> <p>5/7/2024 1:09:31 PM</p> <p>5/7/2024 1:09:34 PM</p>
<p>Payment Events</p> <p>Status</p> <p>Timestamps</p>		
<p>Electronic Record and Signature Disclosure</p>		

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Browsers:	Final release versions of Internet Explorer® 6.0 or above (Windows only); Mozilla Firefox 2.0 or above (Windows and Mac); Safari™ 3.0 or above (Mac only)
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Screen Resolution:	800 x 600 minimum
Enabled Security Settings:	Allow per session cookies

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