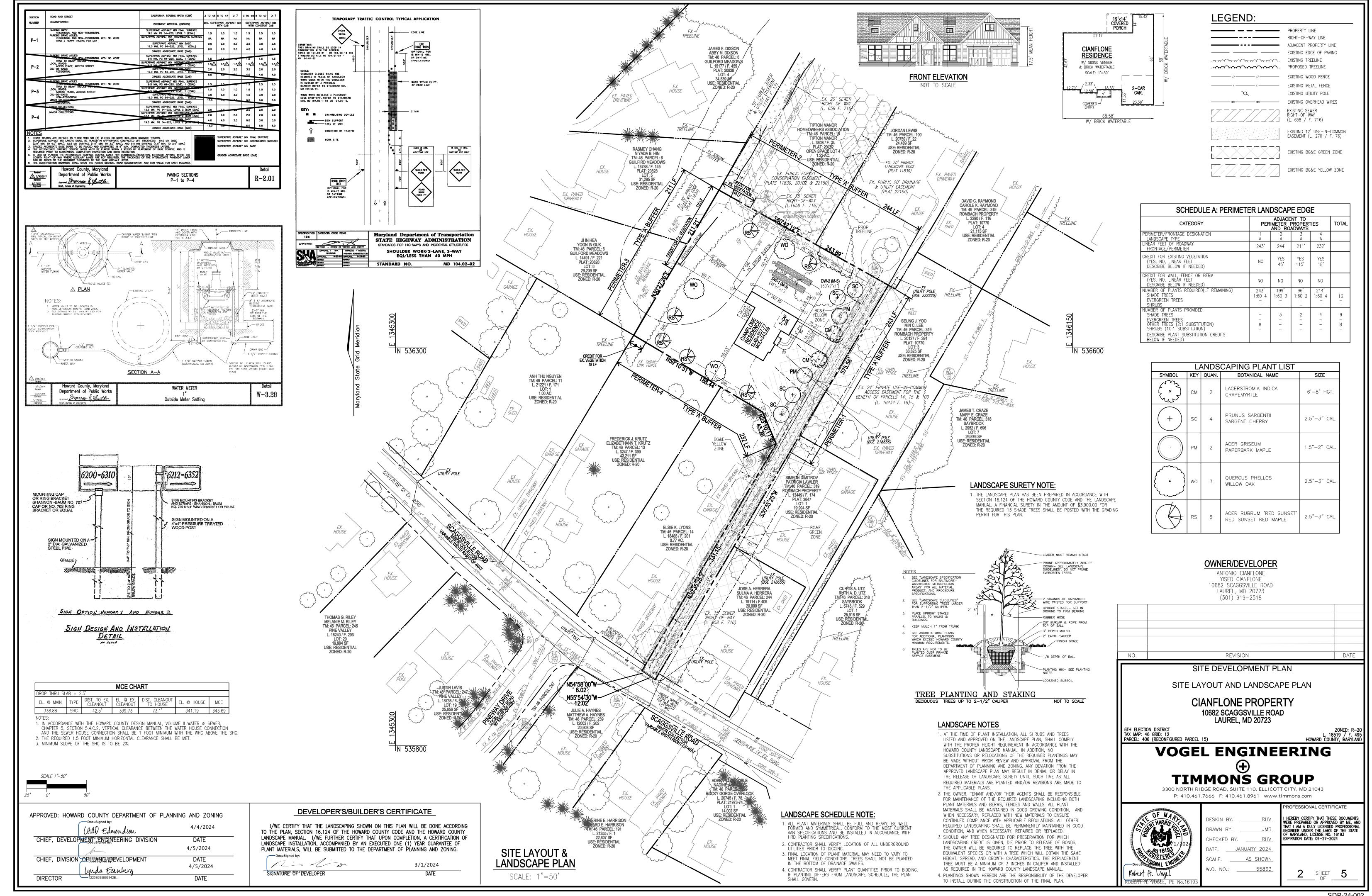
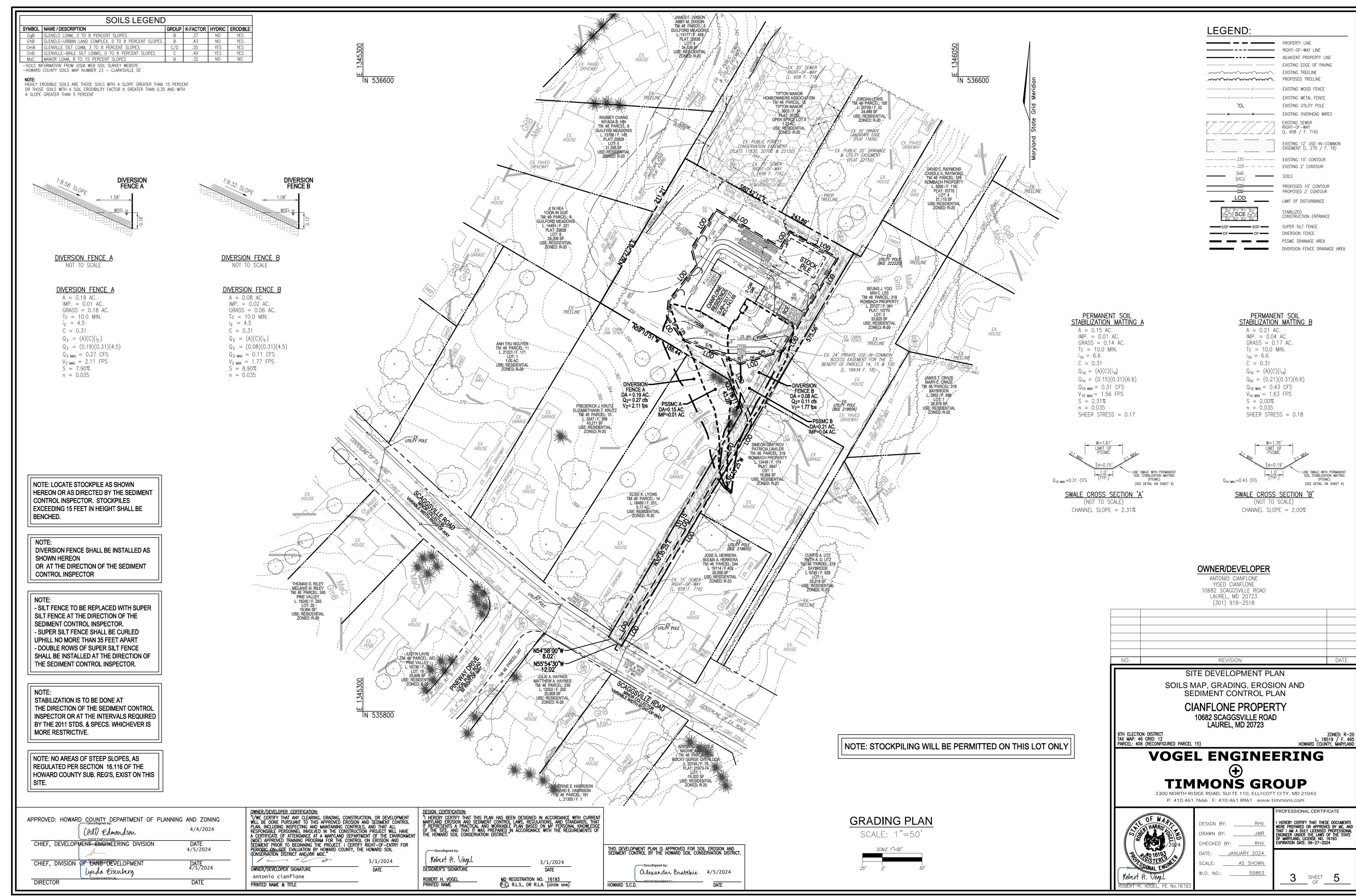
SITE DEVELOPMENT PLAN **GENERAL NOTES BENCHMARKS** THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION HOWARD COUNTY BENCHMARK 46CB (CONC. MON.) DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE. N 537123.04 E 1344291.42 ELEV. 394.63 LOCATION: SCAGGSVILLE RD. AND JANDY AVE. CIANFLONE PROPERTY 3. ALL ASPECTS OF THE PROJECT ARE IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HOWARD COUNTY BENCHMARK 46FD (CONC. MON.) N 535892.90 E 1345540.06 ELEV. 379.93 4. THE SUBJECT PROPERTY IS ZONED R-20 IN ACCORDANCE WITH THE 10/6/2013 COMPREHENSIVE ZONING PLAN AND IS LOCATION: SCAGGSVILLE RD. AND PINEWAY DR. SUBJECT TO THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS EFFECTIVE 10/2/03 PER COUNCIL BILL 75-2003. - DEVELOPMENT OR CONSTRUCTION OF THIS LOT MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT 10682 SCAGGSVILLE ROAD NT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, ALTERNATIVE COMPLIANCE, OR BUILDING AND 5. THE PROJECT BOUNDARY SHOWN HEREON IS BASED ON L. 18519 / F. 495. 6. THE EXISTING TOPOGRAPHY SHOWN HEREON IS BASED ON FILED RUN TOPOGRAPHICAL SURVEY PERFORMED BY VOGEL LAUREL, MD 20723 COORDINATE LIST ENGINEERING + TIMMONS GROUP, INC., DATED OCTOBER 10, 2022, AND IS SUPPLEMENTED WITH CURRENT HOWARD POINT | NORTHING | EASTING 7. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL, WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 46CB AND 46FD 46FD WERE USED FOR THIS PROJECT. 536496.9115 ABBY M. DIXSON TM: 46 PARCEL: 6 8. THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. 535882.1139 9. STORM WATER MANAGEMENT TO BE PROVIDED FOR THIS DEVELOPMENT BY ENVIRONMENTAL SITE DESIGN UTILIZING TWO **GUILFORD MEADOW** 1345625.78 DRYWELLS (M-5), ROFFTOP DISCONNECTION (N-1) AND NON-ROOFTOP DISCONNECTION (N-2). THE FACILITIES WILL 204 535893.4552 1345609.266 BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER. REFERENCE 2010 MDE STORMWATER DESIGN 205 536178.5186 1345777.7868 206 536218.3078 1345760.7580 MANUAL (CHAPTER 5). . THE PROPOSED NEW DWELLING SHALL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM. . EXISTING UTILITIES ARE LOCATED FROM TOPOGRAPHIC SURVEY, AS-BUILT DRAWINGS AND HOWARD COUNTY GIS DATA. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. **VICINITY MAP** . ANY DAMAGE TO THE COUNTY'S RIGHTS-OF-WAY, PAVING, OR EXISTING UTILITIES SHALL BE CORRECTED AT THE SCALE: 1"=2000' IN 536600 3. SHC ELEVATIONS ARE LOCATED AT THE PROPERTY LINE/EDGE OF EASEMENT. ADC MAP/GRID NO: 39-E4 4. THE EXISTING USE-IN-COMMON DRIVEWAY IS TO REMAIN. . THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING: TIPTON MANOR 1-800-252-1133 BGE (CONSTRUCTION SERVICES) 410-637-8713 TIPTON MANOR BGE (EMERGENCY) 410.685-0123 LEGEND: L. 3603 / F. 24 PLAT: 20702 OPEN SPACE LOT 4 1.23 AC. USE: RESIDENTIAL BUREAU OF UTILITIES 410-313-4900 COLONIAL PIPELINE CO. 410-795-1390 PROPERTY LINE MISS UTILITY 1-800-257-7777 STATE HIGHWAY ADMINISTRATION GUILFIRD MEADOWS RIGHT-OF-WAY LINE L. 13788 / F. 145 PLAT: 20828 ADJACENT PROPERTY LINE 6. THIS PROPERTY IS NOT LOCATED IN A HISTORIC DISTRICT. EXISTING EDGE OF PAVING . THIS PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT. (PLATS 11830, 20702 & 22150)_ - WATER SERVICE FOR THIS PROJECT IS TO BE PROVIDED BY SERVICE CONNECTIONS FROM CONTRACT NO. 354-W EXISTING TREELINE & UTILITY EASEMENT - SEWER SERVICE FOR THIS PROJECT IS TO BE PROVIDED BY SERVICE CONNECTIONS FROM CONTRACT NO. 529-S. (PLAT 22150) ------ //----- EXISTING WOOD FENCE 18. WATER AND SEWER SERVICE TO THIS LOT WILL BE GRANTED UNDER THE PROVISIONS OF SECTION 18.122.B OF THE SEWER HOWARD COUNTY CODE. EXISTING METAL FENCE 9. PUBLIC WATER AND SEWER ALLOCATION WILL BE GRANTED AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF TM: 46 PARCEL: 31 EXISTING UTILITY POLE CAPACITY IS AVAILABLE AT THAT TIME.). ALL WATER HOUSE CONNECTIONS SHALL BE OUTSIDE METER SETTING UNLESS OTHERWISE NOTED ON THE PLANS OR L. 3290 / F. 116 PLAT: 10770 EXISTING LIGHT . IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD _ __/__ _/ __ (L. 658 / F. 716) . DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS: **GUILFORD MEADOWS** A) WIDTH - 12' (16' IF SERVING MORE THAN ONE RESIDENCE) B) SURFACE - 6" OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1"-1.5" MIN.) C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM 45 FOOT TURNING RADIUS D) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING) E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD EVENTS WITH NO MORE THAN 1 DEPTH OVER THE DRIVEWAY SURFACE UTILITY POLE EX.— (BGE 222220) TREELINE F) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE SITE ANALYSIS DATA 3. A PERENNIAL STREAM, AND IT'S ASSOCIATED BUFFERS, ARE PRESENT ON THE SUBJECT PROPERTY. NO FOREST, WETLANDS, FLOODPLAINS OR ANY OTHER NATURAL RESOURCES ARE PRESENT. A. TOTAL AREA: 24. NO RARE, THREATENED OR ENDANGERED SPECIES OR THEIR HABITATS WERE OBSERVED ON THE PROPERTY. B. AREA OF PLAN SUBMISSION: 1.37 AC. . REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE FOR THIS LOT IS PROVIDED TO THE JUNCTION OF THE 0.64 AC. PIPESTEM AND THE ROAD RIGHT-OF-WAY LINE AND NOT ONTO THE PIESTEM LOT DRIVEWAY. TRASH AND RECYCLING C. LIMIT OF DISTUBANCE: WILL BE COLLECTED WITHIN 5' OF THE COUNTY ROADWAY. D. PRESENT ZONING DESIGNATION: 6. TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO BURIAL GROUNDS, CEMETERIES, OR HISTORIC STRUCTURES E. PROPOSED USES FOR SITE AND STRUCTURES: SFD RESIDENTIAL ROMBACH PROPERT F. FLOOR SPACE ON EACH LEVEL OF BUILDING (PER USE): LOCATED ON THIS PROPERTY. TREFINO 7. SCAGGSVILLE ROAD IS CLASSIFIED AS A MINOR COLLECTOR. SITE ACCESS SHALL BE VIA A USE—IN—COMMON DRIVEWAY. G. TOTAL NUMBER OF UNITS ALLOWED 2 SFD 28. A NATURAL RESOURCES FIELD REVIEW WAS CONDUCTED BY JOHN CANOLES WITH ECO-SCIENCE PROFESSIONALS, INC. (2 DWELLING UNITS PER NET ACRE) H. TOTAL NUMBER OF UNITS PROPOSED: ON OCTOBER 31, 2022, AND APPROVED AS PART OF THE ECP PLAN SUBMISSION 9. THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS FOR FOREST CONSERVATION IN ACCORDANCE WITH SECTION 16.1202.b.1.vi I. MAXIMUM NUMBER OF EMPLOYEES/TENANTS ON SITE, PER USE: OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION WITH FILING OF A DECLARATION OF INTENT WITH THE OWNER'S J. NUMBER OF PARKING SPACES REQUIRED: BUILDING PERMIT. K. NUMBER OF PARKING SPACES PROVIDED: O. IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL VOLUME 3, CHAPTER 4 - SECTION 4.7(B)(5), A TRAFFIC STUDY L. OPEN SPACE ON SITE M. AREA OF RECREATIONAL OPEN SPACE REQUIRED: IS NOT REQUIRED FOR THIS PROJECT. I. A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN 200' OF - FX. 24' PRIVATE USF-IN-COMMON N BUILDING COVERAGE OF SITE 0.09 AC. (6.57%) ANY EXISTING, OR PROPOSED, MINOR ARTERIAL RIGHT OF WAY LINE (OR HEIGHT CLASSIFICATION). WP-19-005, ECP-23-016, ACCESS EASEMENT FOR THE O. DPZ FILE REFERENCES: BENEFIT OF PARCELS 14, 15 & 10 . THE EXISTING DWELLING LOCATED ON THIS PROPERTY IS TO BE RAZED AND THE EXISTING SHED IS TO BE RELOCATED OUT 354-W & 529-S (L. 18434 F. 18) P. FLOOR AREA RATIO: . NO STEEP SLOPES OVER 20,000 SF CONTIGUOUS ARE LOCATED ONSITE JAMES T. CRAZE MARY E. CRAZE TM: 46 PARCEL: 318 SAYBROOK 34. A CERTIFIED TEST PIT HAS BEEN PROVIDED TO VERIFY THE LOCATION OF GROUNDWATER AND/OR ROCK. AN OPEN TEST PARKING TABULATION PIT WAS OBSERVED BY VOGEL ENGINEERING + TIMMONS GROUP ON AUGUST 16, 2023. WATER WAS NOTED AT A DEPTH OF 6 FEET. NO SOLID ROCK WAS PRESENT. 5. AN ENVIRONMENTAL CONCEPT PLAN (ECP-23-016) WAS APPROVED ON JULY 10, 2023. TOTAL NUMBER OF DWELLING UNITS PROPOSED 36. PUBLIC STREET TREES ARE NOT REQUIRED FOR THIS PROJECT. OFF-STREET PARKING SPACES REQUIRED: 2 (2 SPACES PER SFD UNIT) THE LANDSCAPE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND OVERFLOW/GUEST PARKING SPACES REQUIRED: 0.5 (0.5 SPACES PER SFD UNIT) THE LANDSCAPE MANUAL. A FINANCIAL SURETY IN THE AMOUNT OF \$3,900.00 FOR THE REQUIRED 13 SHADE TREES SHALL TOTAL PARKING SPACES REQUIRED: 2.5 PARKING SPACES BE POSTED WITH THE GRADING PERMIT FOR THIS PLAN. TOTAL PARKING SPACES PROVIDED: 4 OFF-STREET SPACES 38. IN ACCORDANCE WITH DESIGN MANUAL-VOLUME 3, CHAPTER 2-SECTION 2.9.B. PARKING IS REQUIRED AT TWO (2) SPACES PER UNIT OFF STREET PARKING TO INCLUDE GARAGE SPACE, DRIVEWAY AND PARKING PADS. GARAGES COUNT AS A FULL (2 SPACES IN GARAGE) (2 SPACES IN DRIVEWAY) SPACE. THE GARAGE SPACE SHALL NOT BE CONVERTED TO LIVING SPACE AND SHALL ONLY BE UTILIZED FOR VEHICULAR 39. A PRIVATE RANGE OF ADDRESS SIGN SHALL BE FABRICATED AND INSTALLED BY HOWARD COUNTY BUREAU OF HIGHWAYS PATRICIA LAWLER AT THE DEVELOPERS/OWNERS EXPENSE. CONTACT HOWARD COUNTY TRAFFIC DIVISION AT 410-313-5752 FOR DETAILS EX. GARAGE 40. A 24' PRIVATE USE-IN-COMMON ACCESS EASEMENT FOR THE BENEFIT OF PARCELS 14, 15 & 100 WAS GRANTED UNDER OWNER/DEVELOPER LIBER 18434, FOLIO 18 ON OCTOBER 16, 2018. 1. REFERENCE WP-19-005, APPROVED ON AUGUST 28, 2018 AN ALTERNATIVE COMPLIANCE OF SECTION 16.147. FINAL SUBDIVISION PLAN AND FINAL PLAT WHICH REQUIRES THE SUBMISSION OF A FINAL SUBDIVISION PLAN FOR ALL DIVISIONS OF LAND IN ANTONIO CIANFLONE HOWARD COUNTY TO BE APPROVED BY THE DEPARTMENT OF PLANNING AND ZONING AND RECORDED IN THE LAND RECORDS YISED CIANFLONE OFFICE. THE APPLICANT IS PROPOSING TO RECONFIGURE TWO (2) EXISTING DEEDED PARCELS OF LAND, PARCELS 14 AND 15, 10682 SCAGGSVILLE ROAD SHEET INDEX ELSIE K. LYONS TM: 46 PARCEL: 14 L. 18485 / F. 201 0.77 AC. USE: RESIDENTIAL ZONED: R-20 TO ESTABLISH AS BUILDABLE PARCELS AROUND TWO EXISTING DWELLINGS. LAUREL, MD 20723 HOUSE APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS: SHEET NO. (301) 919-2518 DESCRIPTION 1. APPROVAL FOR THIS ALTERNATIVE COMPLIANCE REQUEST IS FOR THE RECONFIGURATION OF TWO ADJOINING DEEDED PARCELS UNDER THE SAME OWNERSHIP AS DESCRIBED IN LIBER 280, FOLIO 130 DATED MARCH 19, 1956 AND LIBER 270, FOLIO 75 DATED JULY 16, 1955. NO OTHER PARCELS ARE BEING ENDORSED AND NO OTHER PARCÉLS WILL BE CREATED. 2. THE TWO PARCELS SHALL BE RECONFIGURED BY UTILIZATION OF THE ADJOINDER DEED PROCESS. THE ADJOINDER DEED ILS MAP, GRADING, EROSION AND SEDIMENT CONTROL PLAN SHALL BE RECORDED AT LAND RECORDS OF HOWARD COUNTY, MARYLAND WITHIN 120 DAYS OF THE DATE OF THIS RADING, EROSION AND SEDIMENT CONTROL NOTES AND DETAILS ALTERNATIVE COMPLIANCE REQUEST APPROVAL (ON, OR BEFORE, DECEMBER 26, 2018) 5 OF 5 ORMWATER MANAGEMENT PLAN, NOTES AND DETAILS 3. A RECORDED COPY OF THE ADJOINDER DEED SHALL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING FOR FILE RETENTION PURPOSES WITHIN 140 DAYS OF THE DATE OF THE ALTERNATIVE COMPLIANCE REQUEST APPROVAL (ON, OR HOUSE BEFORE, JANUARY 15, 2019). 4. THE ADJOINDER DEED SHALL REFERENCE THIS ALTERNATIVE COMPLIANCE REQUEST FILE NUMBER, WP-19-005, AND IT'S JOSE A. HERRERA SULMA A. HERRERA APPROVAL DATE. THE ADDITION OF THIS REFERENCE HELPS ANYONE WHO MAY BE REVIEWING THE DEED TO READILY DETERMINE THAT THE DEED ADJOINDER WAS DONE WITH THE ACKNOWLEDGMENT OF THE DEPARTMENT OF PLANNING SITE DEVELOPMENT PLAN PERMIT INFORMATION CHART 5. A SIMILAR ALTERNATIVE COMPLIANCE REQUEST EXHIBIT (SMALLER SIZE) SHALL BE RECORDED WITH THE ADJOINDER DEED. 6. COMPLIANCE WITH ALL APPLICABLE COUNTY AND STATE REGULATIONS IS REQUIRED. 7. SUBJECT TO COMPLIANCE WITH THE ATTACHED COMMENTS FROM THE DEVELOPMENT ENGINEERING DIVISION COMMENTS MELANIE M. RILEY TM: 46 PARCEL: 245 **DEMOLITION PLAN** CIANFLONE PROPERTY 1, 3 AND 4 AND HOWARD COUNTY DEPARTMENT OF FIRE AND RESCUE SERVICES, BOTH DATED AUGUST 15, 2018. CONFIGURED PARCE 8. PLEASE MAKE CORRECTIONS TO THE ALTERNATIVE COMPLIANCE REQUEST EXHIBIT BASED ON DIVISION OF LAND DEVELOPMENT DEED REF. | BLOCK NO. | ZONING | TAX/ZONE | ELECT. DIST. CENSUS TR. # COMMENTS, DATED AUGUST 20TH, AND RESUBMIT TO THE OFFICE WITHIN TWO WEEKS OF THE APPROVAL DATE FOR FILE 18519/F. 495 | 12 R-20 CIANFLONE PROPERTY 9. THE RECONFIGURED PARCELS SHALL COMPLY WITH THE MINIMUM "R-20" LOT SIZE REQUIRED AND THE EXISTING HOUSES USE: RESIDENTIAL 10682 SCAGGSVILLE ROAD SHALL COMPLY WITH THE SETBACK REQUIREMENTS. LAUREL, MD 20723 2. REFERENCE DESIGN MANUAL WAIVER, APPROVED SEPTEMBER 10, 2018, REQUESTING A WAIVER TO DESIGN MANUAL, VOLUME III, SECTION 2.6.B AND TABLE 2.10, WHICH REQUIRES A 16' MINIMUM DRIVEWAY WIDTH FOR DRIVEWAYS SERVING 2 TO 6 LOTS. THE 6TH ELECTION DISTRICT TAX MAP: 46 GRID: 12 PARCEL: 406 (RECONFIGURED PARCEL 15) REQUEST IS TO MAINTAIN THE EXISTING DRIVEWAY WHICH VARIES IN WIDTH FROM 12' TO 20'. THIS DIVISION HAS DECIDED TO APPROVE THE REQUEST BASED ON THE JUSTIFICATION SUBMITTED AND SUBJECT TO RECORDATION OF A 24' PRIVATE USE-IN-COMMON ACCESS AND UTILITY EASEMENT FOR THE USE AND BENEFIT OF PARCEL 14, 15 AND 100, ALONG WITH THE 'N54°58'00"W **VOGEL ENGINEERING** THE REMOVAL OF THE EXISTING DWELLING, AND THE INSTALLATION OF THE SEWER HOUSE CONNECTION, ARE THE ONLY PROPOSED DISTURBANCES WITHIN THE STREAM BUFFER. NO FURTHER GRADING, OR REMOVAL OF VEGETATIVE COVER, WILL TAKE PLACE IN THAT DISCONNECTION DISCONNECTIO OF NON-AREA. A NECESSARY DISTURBANCE REQUEST WAS GRANTED BY HOWARD COUNTY IN A LETTER DATED JANUARY 03, 2024. OF ROOFTOP DRYWELLS **ADDRESS ROOFTOP RUNOFF** 1. THE REMOVAL OF THE EXISTING DWELLING, AND INSTALLATION OF THE NEW SEWER HOUSE CONNECTION FOR THE PROPOSED RUNOFF **TIMMONS GROUP** DWELLING, SHALL ONLY DISTURB 2,064 SF OF STREAM BUFFER AS STATED IN THE REQUEST AND AS DELINEATED ON THE PLAN TM: 46 PARCEL: 239 L. 12002 / F. 202 20,908 SF EXHIBITS. ANY DISTURBANCES TO REGULATED ENVIRONMENTAL FEATURES BEYOND THIS REQUEST ARE NOT PERMITTED UNLESS THE APPLICANT SUBMITS A FORMAL REQUEST TO THE DEPARTMENT OF PLANNING & ZONING IN ACCORDANCE WITH SECTION 16.116(c) (NUMBER) (Y/N)(NUMBER) 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043 2. THE DISTURBED AREAS SHALL BE STABILIZED AND SEEDED IN ACCORDANCE WITH THE SDP-24-002 EROSION AND SEDIMENT P: 410.461.7666 F: 410.461.8961 www.timmons.com 10682 SCAGGSVILLE ROAD YES CONTROL PLAN. APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2024 4/4/2024 **DEMOLITION PLAN** (Hd) Edmondson CHIEF, DEVELOPMENT OF THE CHIEF DIVISION CHECKED BY: 4/5/2024 DATE: <u>JANUARY 2024</u> EXISTING 1" WHC AND 3/4" METER TO BE ABANDONED AND ROCKY GORGE OVERLOOK A NEW 1.5" WHC AND 1" VALVE ARE TO BE INSTALLED OFF CHIEF, DIVISION OF BANGARDEVELOPMENT OF THE EXISTING 12" WATER MAIN (CONT. 354-W) LOCATED 4/5/2024 IN SCAGGSVILLE ROAD. CONTRACTOR IS RESPONSIBLE FOR Lynda Eisenberg VERIFYING THE LOCATION OF THE EXISTING WHC, VALVE AND USE: RESIDENTIAL METER ASSOCIATED WITH THE SUBJECT PROPERTY.





- HOWARD SOIL CONSERVATION DISTRICT STANDARD SEDIMENT CONTROL NOTES
- OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID), 410-313-1855 AFTER THE FUTURE LOD AND PROTECTED AREAS ARE MARKED CLEARLY IN THE FIELD. A MINIMUM OF 48 HOUR NOTICE TO CID MUST BE GIVEN AT THE FOLLOWING STAGES:

ANOTHER GRADING UNIT.

- B. UPON COMPLETION OF THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING C. PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR OPENING OF
- D. PRIOR TO THE REMOVAL OR MODIFICATION OF SEDIMENT CONTROL PRACTICES. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIl THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE. OTHER RELATED STATE AND FEDERAL PERMITS SHALL BE REFERENCED, TO ENSURE COORDINATION AND TO AVOID
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 2011 "MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", AND
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION IS REQUIRED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1): AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 "MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" FOR TOPSOIL (SEC. B-4-2), PERMANENT SEEDING (SEC. B-4-5), TEMPORARY SEEDING (SEC. B-4-4) AND MULCHING (SEC. B-4-3) TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES IF THE GROUND IS FROZEN. INCREMENTAL STABILIZATION (SEC. B-4-1) SPECIFICATIONS SHALL BE ENFORCED IN AREAS WITH >15' OF CUT AND/OR FILL. STOCKPILES (SEC. B-4-8) IN EXCESS OF 20 FT. MUST BE BENCHED WITH STABLE OUTLET. ALL CONCENTRATED FLOW, STEEP SLOPE, AND HIGHLY ERODIBLE AREAS SHALL RECEIVE SOIL STABILIZATION MATTING (SEC. B-4-6).
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE, AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE
- ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE CID THE SITE AND ALL CONTROLS SHALL BE INSPECTED BY THE CONTRACTOR WEEKLY: AND THE NEXT DAY AFTER EACH RAIN EVENT. A WRITTEN REPORT BY THE CONTRACTOR, MADE AVAILABLE UPON REQUEST, IS PART OF EVERY INSPECTION AND SHOULD INCLUDE:
 - -INSPECTION DATE -INSPECTION TYPE (ROUTINE, PRE-STORM EVENT, DURING RAIN EVENT) -NAME AND TITLE OF INSPECTOR
 - -WEATHER INFORMATION (CURRENT CONDITIONS AS WELL AS TIME AND AMOUNT OF LAST RECORDED PRECIPITATION) -BRIEF DESCRIPTION OF PROJECT'S STATUS (e.g. PERCENT COMPLETE) AND/OR CURRENT ACTIVITIES
 - -IDENTIFICATION OF SEDIMENT CONTROLS THAT REQUIRE MAINTENANCE -IDENTIFICATION OF MISSING OR IMPROPERLY INSTALLED SEDIMENT CONTROLS -COMPLIANCE STATUS REGARDING THE SEQUENCE OF CONSTRUCTION AND STABILIZATION REQUIREMENTS
 - MAINTENANCE AND/OR CORRECTIVE ACTION PERFORMED -OTHER INSPECTION ITEMS AS REQUIRED BY THE GENERAL PERMIT FOR STORMWATER
- ASSOCIATED WITH CONSTRUCTION ACTIVITIES (NPDES, MDE). 8. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN BE, AND SHALL BE, BACK FILLED AND STABILIZED BY THE END OF
- ANY MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF CONSTRUCTION MIIST BE REVIEWED AND APPROVED BY THE HSCD PRIOR TO PROCEEDING WITH CONSTRUCTION. MINOR REVISIONS MAY BE ALLOWED BY THE CID PER THE LIST OF HSCD
- 10. DISTURBANCE SHALL NOT OCCUR OUTSIDE OF THE LOD. A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM ACREAGE OF 20 AC. PER GRADING UNIT) AT A TIME. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE CID. UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE HSCD, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED
- WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS, PAVEMENT, AND OTHER SOURCES MUST BE TREATED IN A SEDIMENT BASIN OR OTHER APPROVED WASHOUT STRUCTURE.
- TOPSOIL SHALL BE STOCKPILED AND PRESERVED ON—SITE FOR REDISTRIBUTION ONTO
- 13. ALL SILT FENCE AND SUPER SILT FENCE SHALL BE PLACED ON-THE-CONTOUR, AND BE IMBRICATED AT 25' MINIMUM INTERVALS, WITH LOWER ENDS CURLED UPHILL BY 2'
- 14. STREAM CHANNELS MUST NOT BE DISTURBED DURING THE FOLLOWING RESTRICTED TIME PERIODS (INCLUSIVE): -USE I AND IP MARCH 1 - JUNE 15 -USE III AND IIIP OCTOBER 1 - APRIL 30 -USE IV MARCH 1 - MAY 31
- 15. A COPY OF THIS PLAN, THE 2011 "MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", AND ASSOCIATED PERMITS SHALL BE ON-SITE AND AVAILABLE WHEN THE SITE IS ACTIVE.

SITE ANALYSIS

AREA DISTURBED 0.64 ACRES AREA TO BE ROOFED OR PAVED: 0.13 ACRES AREA TO BE VEGETATIVELY STABILIZED: 0.51 ACRES ____150 CY* TOTAL CUT: ____150 CY* TOTAL FILL: OFFSITE WASTE/BORROW AREA LOCATION:

HARDINESS ZONE (FROM FIGURE B.3): ZONE 6b

APPLICATION SEEDING

K.B. 40 LB / AC AUG 15 TO

SEED MIXTURE (FROM TABLE B.3): 9

COOL SEASON T.F. 60 LB / AC MAR 1 TO MAY 15

SPECIES | RATE (LB/AC) |

* ESTIMATE ONLY; CONTRACTOR SHALL VERIFY QUANTITIES TO HIS/HER OWN SATISFACTION. ** TO BE DETERMINED BY CONTRACTOR, WITH PRE-APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, WITH AN APPROVED AND ACTIVE GRADING PERMIT.

PERMANENT SEEDING SUMMARY

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

(Hd) Edmondson

lynda Eisenberg

CHIEF, DEVELOPMENTO SHOWEERING DIVISION

CHIEF, DIVISION OF LAND OF LOPMENT

DIRECTOR

(10-20-20)

N P₂ O₅ K₂O

1/4-1/2 IN. (1 LB PER (2 LB PER (2 LB PER (90 LB PER)

45 LB/AC 90 LB/AC 90 LB/AC 2 TONS/AC

| 1000 SF) | 1000 SF) | 1000 SF) | 1000 SF) |

4/4/2024

4/5/2024

DATE 4/5/2024

DATE

B-4-5 STANDARDS AND SPECIFICATIONS PERMANENT STABILIZATION

TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS. CONDITIONS WHERE PRACTICE APPLIES

EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

- A. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE 8.3 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE 8.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE 8.2. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN. B. ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES,
- STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 - CRITICAL AREA PLANTING. C. FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY. D. FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3-1/2 POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT
- 2. TURFGRASS MIXTURES A. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE B. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED
- I. KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT. IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT. II. KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN
- AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL RYEGRASS CULTIVARS/ CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS MIXTURE PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT III. TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FUL SUN TO MEDIUM SHADE. RECOMMENDED MIXTURE INCLUDES; CERTIFIED TALL FESCUE CULTIVARS 95 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE BLENDED.
- IV. KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE: FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED TURF AREA. MIXTURE INCLUDES; CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT SEEDING RATE: 1½ TO 3 POUNDS PER 1000 SQUARE FEET.

SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77, "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND" CHOOSE CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURE AND SEED SECTION. PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC

- C. IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES
- WESTEM MD: MARCH 15 TO JUNE 1, AUGUST ITO OCTOBER 1 (HARDINESS ZONES: SB, 6A) — CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE: 6B) - SOUTHERN MD, EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONES: 7A, 7B)
- TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF TO 4 INCHES, LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED, REMOVE STONES AND DEBRIS OVER 11/4 INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE IN IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH (1/2 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ABNORMALLY DRY OR HOT SEASONS, OR ON ADVERSE SITES.
- SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER)
- A. CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR. B. SOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4 INCH. PLUS OF MINUS 1/4 INCH, AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP GROWTH AND THATCH, BROKEN PADS AND TOM OR UNEVEN ENDS WILL NOT BE STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION.
- D. SOD MUST NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL. SOD MUST BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPLANTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION. A. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD
- B. LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS. C. WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERING JOINTS. ROLL AND TAMP, PEG OR OTHERWISE SECURE THE SOD TO PREVENT SLIPPAGE ON SLOPES. ENSURE SOLID CONTACT EXISTS BETWEEN SOD ROOTS AND THE UNDERLYING SOIL SURFACE. D. WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN EIGHT
- SOD MAINTENANCE A. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER SOD DURING THE HEAT OF THE DAY TO PREVENT WILTING. B. AFTER THE FIRST WEEK. SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT. C. DO NOT MOW UNTIL THE SOD IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A

GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

OWNER/DEVELOPER CERTIFICATION:

OWNER DEVELOPER SIGNATURE

Antonio cianflone

PRINTED NAME & TITLE

"I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT
WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL
PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL
RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE
A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT
(MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND
SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT FOR
PERIODIC ON—SITE EVALUATION BY HOWARD COLUMN THE HOWARD SOIL

3/1/2024

DATE

PERIODIC ON SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND SOIL

R-4-2 STANDARDS AND SPECIFICATIONS SOIL PREPARATION, TOPSOILING AND SOIL AMENDMENTS

THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION.

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. CONDITIONS WHERE PRACTICE APPLIES

WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED.

BE ACCEPTABLE

A. SOIL PREPARATION

- 1 TEMPORARY STABILIZATION A. SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT, SUCH AS DISC HARROWS OR CHISEL PLOWS OR RIPPERS MOUNTED ON CONSTRUCTION EQUIPMEN AFTER THE SOIL IS LOOSENED, IT MUST NOT BE ROLLED OR DRAGGED SMOOTH BUT LEFT IN THE ROUGHENED CONDITION. SLOPES 3:1 OR FLATTER ARE TO BE TRACKED WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. B. APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS
- . INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. 2 PERMANENT STABILIZATION A. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE:
- I. SOIL PH BETWEEN 6.0 AND 7.0. II. SOLUBLE SALTS LESS THAN 500 PARTS PER MILLION (PPM). III. SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIAL (GREATER THAN 30 PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD À MODERATE AMOUNT OF MOISTURE. AN EXCÉPTION: IF LOVEGRASS WILL BE PLANTED, THEN A SANDY SOIL (LESS THAN 30 PERCENT SILT PLUS CLAY) WOULD
- V. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION B. APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET C. GRADED AREAS MUST BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED ON THE APPROVED PLAN, THEN SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO D. APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY E. MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. RAKE LAWN AREAS TO SMOOTH THE SURFACE. REMOVE LARGE OBJECTS LIKE STONES AND BRANCHES. AND READY THE AREA FOR SEED APPLICATION. LOOSEN SURFACE SOIL BY DRAGGING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO ROUGHEN

IV. SOIL CONTAINS 1.5 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT.

- THE SURFACE WHERE SITE CONDITIONS WILL NOT PERMIT NORMAL SEEDBED PREPARATION. TRACK SLOPES 3:1 OR FLATTER WITH TRACKED EQUIPMENT LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. LEAVE THE TOP 1 TO 3 INCHES OF SOIL LOOSE AND FRIABLE. SEEDBED LOOSENING MAY BE UNNECESSARY ON NEWLY DISTURBED AREAS.
- I. TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCEM HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION. 2. TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-
- TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE: A. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH. B. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FLIRNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
- D. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE. 4. AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND 5. TOPSOIL SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING A. TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, OR LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. TOPSOIL MUST NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND MUST CONTAIN LESS THAN 5 PERCENT BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS,
- TRASH, OR OTHER MATERIALS LARGER THAN 1½ INCHES IN DIAMETER. B. TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACK GRASS, JOHNSON GRASS, NUT SEDGE, POISON IVY, THISTLE, OR OTHERS . TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIE AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.
- TOPSOIL APPLICATION A. EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING . UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO 8 INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES. SPREADING IS TO BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS MUST BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. C. TOPSOIL MUST NOT BE PLACED IF THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MILDDY CONDITION WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.
- C. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS) I. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. SOIL ANALYSIS MAY BE PERFORMED BY A RECOGNIZED PRIVATE OR COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO BE USED FOR CHEMICAL ANALYSES. 2. FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM THE APPROPRIATE APPROVAL AUTHORITY. FERTILIZERS MUST ALL BE DELIVERED TO THE SITE FULLY LABELED ACCORDING TO THE APPLICABLE LAWS AND MUST BEAR THE NAME, TRADE NAME OR TRADEMARK AND
- 3. LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED EXCEPT WHEN HYDROSEEDING) WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNÉSIUM OXIDE) LIMESTONE MUST BE GROUND TO SUCH FINENESS THAT AT LEAST 50 PERCENT WILL PASS THROUGH A #100 MESH. SIEVE AND 98 TO 100 PERCENT WILL PASS THROUGH A #20 MESH SIEVE 4. LIME AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED "AND INCORPORATED INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. 5. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND LIMESTONE AT THE RATE OF 4 TO 8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL.

"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

3/1/2024

AD REGISTRATION NO. 16193

(P.E), R.L.S., OR R.L.A. (circle one)

DESIGN CERTIFICATION:

DocuSigned by:

DESIGNER'S SIGNATURE

Robert H. Vosel

B-4-3 STANDARDS AND SPECIFICATIONS SEEDING AND MULCHING

THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE

CONDITIONS WHERE PRACTICE APPLIES

RATE IN EACH DIRECTION.

- A. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE TO RE-TESTING BY A RECOGNIZED SEED LABORATORY ALL SEED LISED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY PROJECT. REFER TO TABLE B.4 REGARDING THE QUALITY OF SEED. SEED TAGS MUST BE AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND SEEDING RATE. B. MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE APPLIED WHEN THE GROUND
- C. INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICALLY FOR THE SPECIES. INOCULANTS MUST NOT BE USED LATER THAN THE DATE INDICATED ON THE CONTAINER. ADD FRESH INOCULANTS AS DIRECTED ON THE PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE: IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL JSED. TEMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT CAN WEAKEN BACTERIA AND MAKE
- THE INOCULANT LESS EFFECTIVE. D. SOD OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.
- . APPLICATION A. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS. I. INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE 8.1, PERMANENT SEEDING TABLE 8.3, OR SITE-SPECIFIC SEEDING SUMMARIES. II. APPLY SEED IN TWO DIRECTIONS. PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION. ROLL THE SEEDED AREA WITH A WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL CONTACT B. DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER SEED WITH SOIL. I. CULTIPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A FASHION AS TO PROVIDE AT LEAST 1/4 INCH OF SOIL COVERING. SEEDBED MUST BE FIRM AFTER PLANTING.
- C. HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEED AND I. IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN, 100 POUNDS PER ACRE TOTAL OF SOLUBLE NITROGEN; P205 (PHOSPHOROUS), 200 POUNDS PER ACRE; K20 (POTASSIUM), 200 POUNDS PER ACRE II. LIME: USE ONLY GROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER ACRE MAY BE APPLIED BY HYDROSEEDING). NORMALLY, NOT MORE THAN 2 TONS ARE APPLIED BY HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR HYDRATED LIME WHEN HYDROSEEDING. III. MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT INTERRUPTION.

IV. WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL.

II. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING

- I. MULCH MATERIALS (IN ORDER OF PREFERENCE) A. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, LYE, OAT, OR BARLEY AND REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOLDY, CAKED, DECAYED, OR EXCESSIVELY DUSTY. NOTE: USE ONLY STERILE STRAW MULCH IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED. B. WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO A UNIFORM FIBROUS PHYSICAL STATI I. WCFM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE THAT WILL PROVIDE AN APPROPRIATE COLOR TO FACILITATE VISUAL INSPECTION OF THE UNIFORMLY SPREAD SLURRY. II. WCFM. INCLUDING DYE, MUST CONTAIN NO GERMINATION OR GROWTH INHIBITING FACTORS
- III. WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM SUSPENSION IN WATER UNDER AGITATION AND WILL BLEND WITH SEED, FERTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE MULCH MATERIAL MUST FORM A BLOTTER-LIKE GROUND COVER, ON APPLICATION, HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL WITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS. IV. WCFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT WILL BE
- V. WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER LENGTH OF APPROXIMATELY 10 MILLIMETERS. DIAMETER APPROXIMATELY 1 MILLIMETER, PH RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER HOLDING CAPACITY OF 90 PERCENT MINIMUM.
- A. APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING. B. WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES. APPLY MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL SURFACE IS NOT EXPOSED. WHEN USING A MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE. C. WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER TO ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.
- A. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE), DEPENDING UPON THE SIZE OF THE AREA AND EROSION HAZARD I. A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES. THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS. BUT IS LIMITED TO FLATTER SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND. THIS PRACTICE SHOULD FOLLOW THE CONTOUR. II. WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER. III. SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRO-TACK), DCA-70, PETROSET, TERRA TAX II, TERRA TACK AR OR OTHER APPRÔVED EQUAL MAY BE USED. FOLLOW APPLICATION RATES AS SPECIFIED BY THE MANUFACTURER. APPLICATION OF LIQUID BINDERS NEEDS TO BE HEAVIER AT THE EDGES

WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF BANKS. USE OF ASPHALT BINDERS IV. LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER RECOMMENDATIONS. NETTING IS USUALLY AVAILABLE IN ROLLS 4 TO 15 FEET WIDE AND 300 TO 3,000 FEET

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

HOWARD S.C.D.

Olexander Bratchie 4/5/2024

B-4-4 STANDARDS AND SPECIFICATIONS TEMPORARY STABILIZATION

TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS. CONDITIONS WHERE PRACTICE APPLIES

EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS.

- 1. SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE 8.1 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3), AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS. IF THIS SUMMARY IS NOT PUT ON THE PLAN
- AND COMPLETED, THEN TABLE 8.1 PLUS FERTILIZER AND LIME RATES MUST BE PUT 2. FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES BY THE TESTING AGENCY. SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY 3. WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION B-4-3.A.1.B AND MAINTAIN UNTIL THE NEXT SEEDING SEASON.

TEMPORARY SEEDING SUMMARY

HARDINESS ZONE (FROM FIGURE B.3):ZONE 6b SEED MIXTURE (FROM TABLE B.1):					FELIZER RATE	LIME RATE
NO	SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATES	SEEDING DEPTHS	(10-20-20)	
1	COOL SEASON ANNUAL RYEGRASS OR EQUAL	40 LB / AC	MAR 1 TO MAY 15 AUG 1 TO OCT 15	1/2 IN.	436 LB/AC (10 LB PER 1000 SF)	2 TONS/AC (90 LB PER 1000 SF)
2	WARM SEASON FOXTAIL MILLET OR EQUAL	30 LB / AC	MAY 16 TO JUL 31	1/2 IN.		

ONSTRUCTION SPECIFICATIONS:

PERMANENT SOIL STABILIZATION MATTING

HANNEL APPLICATION

USE MATTING THAT HAS A DESIGN VALUE FOR SHEAR STRESS EQUAL TO OR HIGHER THAN THE SHEAR STRESS DESIGNATED ON APPROVED PLANS.

2. USE PERMANENT SOIL STABILIZATION MATTING MADE OF OPEN WEAVE SYNTHETIC, NON-DEGRADABLE FIBERS OR ELEMENTS OF UNIFORM THICKNESS AND DISTRIBUTION THROUGHOUT. CHEMICALS USED IN THE MAT MUST BE NON-LEACHING AND NON-TOXIC TO VEGETATION AND SEED GERMINATION AND NON-INJURIOUS TO THE SKIN. IF PRESENT, NETTING MUST BE EXTRUDED PLASTIC WITH A MAXIMUM MESH OPENING OF 2½ INCHES AND SUPFICIENTLY BONDED OR SEWN ON 2 INCH CENTERS ALONG LONGITUDINAL AXIS OF THE MATERIAL TO PREVENT SEPARATION OF THE NET FROM THE PARENT MATERIAL.

3. SECURE MATTING USING STEEL STAPLES OR WOOD STAKES. STAPLES MUST BE "U" OR "T" SHAPED STEEL WIRE HAVING A MINIMUM GAUGE OF NO. 11 AND NO. B RESPECTIVELY. "U" SHAPED STAPLES MUST AVERAGE 1 TO 1 % INCHES WIDE AND BE A MINIMUM OF 6 INCHES LONG. "T' SHAPED STAPLES MUST HAVE A MINIMUM B INCH MAIN LEG, A MINIMUM INCH SECONDARY LEG, AND MINIMUM H (NCH HEAD. WOOD STAKES MUST BE ROUGH-SAWN HARDWOOD, 12 TO 24 INCHES IN LENGTH, 1x3 INCH IN CROSS SECTION, AND WEDGE SHAPE AT THE BOTTOM.

PERFORM FINAL GRADING, TOPSOIL APPLICATION, SEEDBED PREPARATION, AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS. PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS, UNLESS END OF WORKDAY STABILIZATION IS SPECIFIED ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN

UNROLL MATTING IN DIRECTION OF WATER FLOW, CENTERING THE FIRST ROLL ON THE CHANNEL CENTER LINE. WORK FROM CENTER OF CHANNEL OUTWARD WHEN PLACING ROLLS. LAY MATTING SMOOTHLY AND FIRMLY UPON THE SEEDED SURFACE. AVOID STRETCHING THE MATTING.

OVERLAP OR ABUT EDGES OF MATTING ROLLS PER MANUFACTURER RECOMMENDATIONS. OVERLAP ROLL END BY 6 INCHES (MINIMUM), WITH THE UPSTREAM MAT OVERLAPPING ON TOP OF THE NEXT DOWNSTREAM MAT.

IF SPECIFIED BY THE DESIGNER OR MANUFACTURER AND DEPENDING ON THE TYPE OF MAT BEING INSTALLED, ONCE THE MATTING IS KEYED AND STAPLED IN PLACE, FILL THE MAT VOIDS WITH TOP SOIL OR GRANULAR MATERIAL AND LIGHTLY COMPACT OR ROLL TO MAXIMIZE SOIL/MAT CONTACT WITHOUT CRUSHING MAT.

ESTABLISH AND MAINTAIN VEGETATION SO THAT REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE
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2011

MARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION

3. STAPLE/STAKE MAT IN A STAGGERED PATTERN ON 4 FOOT (MAXIMUM) CENTERS THROUGHOUT AND 2 FOOT (MAXIMUM) CENTERS ALONG SEAMS, JOINTS, AND ROLL ENDS.

KEY IN THE TOP OF SLOPE END OF MAT 6 INCHES (MINIMUM) BY DIGGING A TRENCH, PLACING THE MATTING ROLL END IN THE TRENCH, STAPLING THE MAT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMPING TO SECURE THE MAT END IN THE KEY.

PSSMC - *0.18 ib/ft³ (* include shear stress)

B-4-8 STANDARDS AND SPECIFICATIONS

A mound or pile of soil protected by appropriately designed erosion and sediment control measures

To provide a designated location for the temporary storage of soil that controls the potential for erosion, edimentation, and changes to drainage patterns.

STOCKPILE AREA

Stockpile areas are utilized when it is necessary to salvage and store soil for later us

- . The stockpile location and all related sediment control practices must be clearly indicated on th
- 2. The footprint of the stockpile must be sized to accommodate the anticipated volume of materia and based on a side slope ratio no steeper than 2:1. Benching must be provided in accordance
- 3. Runoff from the stockpile area must drain to a suitable sediment control practice
- Access the stockpile area from the upgrade side. 5. Clear water runoff into the stockpile area must be minimized by use of a diversion device such as
- an earth dike, temporary swale or diversion fence. Provisions must be made for discharging concentrated flow in a non-erosive manner. 6. Where runoff concentrates along the toe of the stockpile fill, an appropriate erosion/sedimental
- control practice must be used to intercept the discharge. Stockpiles must be stabilized in accordance with the 3/7 day stabilization requirement as well as Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization.
- 8. If the stockpile is located on an impervious surface, a liner should be provided below the stockpile facilitate cleanup. Stockpiles containing contaminated material must be covered with impermeable

The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment in accordance with Section B-4 Vegetative Stabilization. Side slopes must be maintained at no steeper than a 2:1 atio. The stockpile area must be kept free of erosion. If the vertical height of a stockpile exceeds 20 feet for 2 slopes, 30 feet for 3:1 slopes, or 40 feet for 4:1 slopes, benching must be provided in accordance with Section B-3

DETAIL C-9 DIVERSION FENCE

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL 2011

CONSTRUCTION SPECIFICATIONS

DETAIL B-1 STABILIZED CONSTRUCTION

MOUNTABLE BERM (6 IN MIN.)

MIN. 6 IN OF 2 TO 3 IN
AGGREGATE OVER LENGTH
AND WIDTH OF ENTRANCE

PROFILE

PLAN VIEW

PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (*30 FEET FOR SINGLE RESIDENCE LOT), USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.

2. PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE LINDER THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAG TO CONYEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.

. PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.

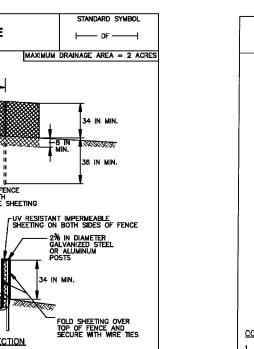
5. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SUBFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACULMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

ENTRANCE

SCE SCE

- EXISTING PAVEMEN

-EARTH FILL



SECTION CONSTRUCTION SPECIFICATIONS 1. USE 42 INCH HIGH, 9 GAUGE OR THICKER CHAIN LINK FENCING (2¾ INCH MAXIMUM OPENING) USE 2% INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. THE POSTS DO NOT NEED TO BE SET IN CONCRETE.

<u>ELEVATION</u>

- FASTEN CHAIN LINK FENCE SECURELY TO THE FENCE POSTS WITH WIRE TIES. SECURE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING TO CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT TOP, MID SECTION, AND BELOW GROUND SURFACE. i. EXTEND SHEETING A MINIMUM OF 4 FEET ALONG FLOW SURFACE AND EMBED END A MINIMUM OF 8 INCHES INTO GROUND. SOIL STABILIZATION MATTING MAY BE USED IN LIEU OF IMPERMEABLE SHEETING ALONG FLOW SURFACE.
- WHEN TWO SECTIONS OF SHEETING ADJOIN EACH OTHER, OVERLAP BY 6 INCHES AND FOLD WITH SEAM FACING DOWNGRADE.
- MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL U.S. DEPARTMENT OF AGRICULTURE
 JATURAL RESOURCES CONSERVATION SERVICE

 2011

 MARYLAND DEPARTMENT OF ENVIRONMENT
 WATER MANAGEMENT ADMINISTRATION

DETAIL E-3 SUPER SILT FENCE ⊢—SSF——I ELEVATION CHAIN LINK FENCING-WOVEN SLIT FILM GEOTEXTILE-FLOW _1 CROSS SECTION

CONSTRUCTION SPECIFICATIONS

- . INSTALL 2% INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART, DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND. FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2% INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUG RINGS.
- FASTEN WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO THE UPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MEMBY 24 INCHES INTO THE GROUND. WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS.
- . EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE.
- PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL FROSION AND SEDIMENT CONTROL 2011

OWNER/DEVELOPER ANTONIO CIANFLONE YISED CIANFLONE 10682 SCAGGSVILLE ROAD LAUREL, MD 20723

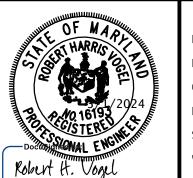
(301) 919-2518

- 1. OBTAIN GRADING PERMIT. (1 WEEK) 2. REQUEST A PRE-CONSTRUCTION MEETING WITH THE HOWARD COUNTY DPW, CONSTRUCTION INSPECTION DIVISION (410) 313-5712 PRIOR TO
- BEGINNING CONSTRUCTION. (1 DAY) 3. NOTIFY HOWARD COUNTY BUREAU OF INSPECTIONS AND PERMITS (410-313-1880) AT LEAST 24 HOURS BEFORE STARTING ANY WORK. (1 DAY)
- 4. STAKEOUT LIMITS OF DISTURBANCE. (1 DAY) 5. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE. (1 DAY)

SEQUENCE OF CONSTRUCTION

- 6. CLEARING AND GRUBBING AS NECESSARY FOR THE INSTALLATION OF PERIMETER 7. INSTALL DIVERSION FENCE AND SUPER SILT FENCE. (2 DAYS)
- 8. PERFORM BALANCE CLEARING AND GRUBBING WITHIN LOD. (2 DAYS) 9. AFTER OBTAINING PERMISSION FROM THE SEDIMENT CONTROL INSPÉCTOR TO PROCEED, ROUGH GRADE SITE. DO NOT GRADE SWALES OR INSTALL STORMWATER MANAGEMENT FACILITIES INITIALLY. RETAIN SHEET FLOW TO GREATEST EXTENT
- POSSIBLE. (1 WEEK) 10. CONSTRUCT HOME AND DRIVEWAY. (8 MONTHS)
- 11. CONSTRUCT DRYWELL FACILITIES. (3 DAYS)
- 12. FINE GRADE SITE AND ESTABLISH SWALES AS SHOWN ON THE PLAN. (2 DAYS) 13. STABILIZE ALL SWALES WITH PERMANENT SOIL STABILIZATION MATTING. (1 DAY)
- 14. STABILIZE ALL OTHER DISTURBED AREAS/AREAS OF GRADING. (1 DAY) 15. UPON STABILIZATION OF ALL DISTURBED AREAS, AND WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE THE DIVERSION FENCE, SUPER SILT FENCE AND THE STABILIZED CONSTRUCTION ENTRANCE. (2 DAYS)

SITE DEVELOPMENT PLAN GRADING, EROSION AND SEDIMENT CONTROL NOTES AND DETAILS CIANFLONE PROPERTY 10682 SCAGGSVILLE ROAD LAUREL, MD 20723 TH ELECTION DISTRICT TAX MAP: 46 GRID: 12 PARCEL: 406 (RECONFIGURED PARCEL 15) L. 18519 / F. 49 HOWARD COUNTY, MARYLAN **VOGEL ENGINEERING TIMMONS GROUP**



)BF 8519PP57/876#51.

DESIGN BY: DRAWN BY: JMR CHECKED BY: ____RHV DATE: JANUARY 2024 AS SHOWN SCALE: W.O. NO.: <u>55863</u>

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043

P: 410.461.7666 F: 410.461.8961 www.timmons.com

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2024 SHEET 5

ROFESSIONAL CERTIFICATE

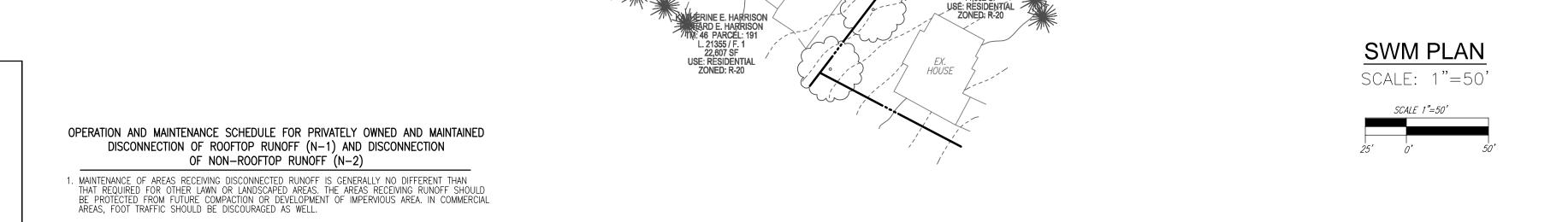


4. WHEN THE FACILITY BECOMES CLOGGED, SO THAT IT DOES NOT DRAIN DOWN WITHIN A

TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.

- SEVENTY-TWO (72) HOUR TIME PERIOD, CORRECTIVE ACTION SHALL BE TAKEN. 5. THE MAINTENANCE LOGBOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION
- 6. ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION FACILITY HAVE BEEN VERIFIED. THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS, UNLESS THE
- PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLA	NNING AND ZONING
CHOD Edmondson	4/4/2024
CHIEF, DEVELOPMEN CHIEF DIVISION	DATE
	4/5/2024
CHIEF, DIVISION OF BANGAR SEVELOPMENT	DATE
lynda Eisenberg	4/5/2024
DIRECTOR 4220B635863942E	DATE





W.O. NO.: <u>55863</u>

ESDv