

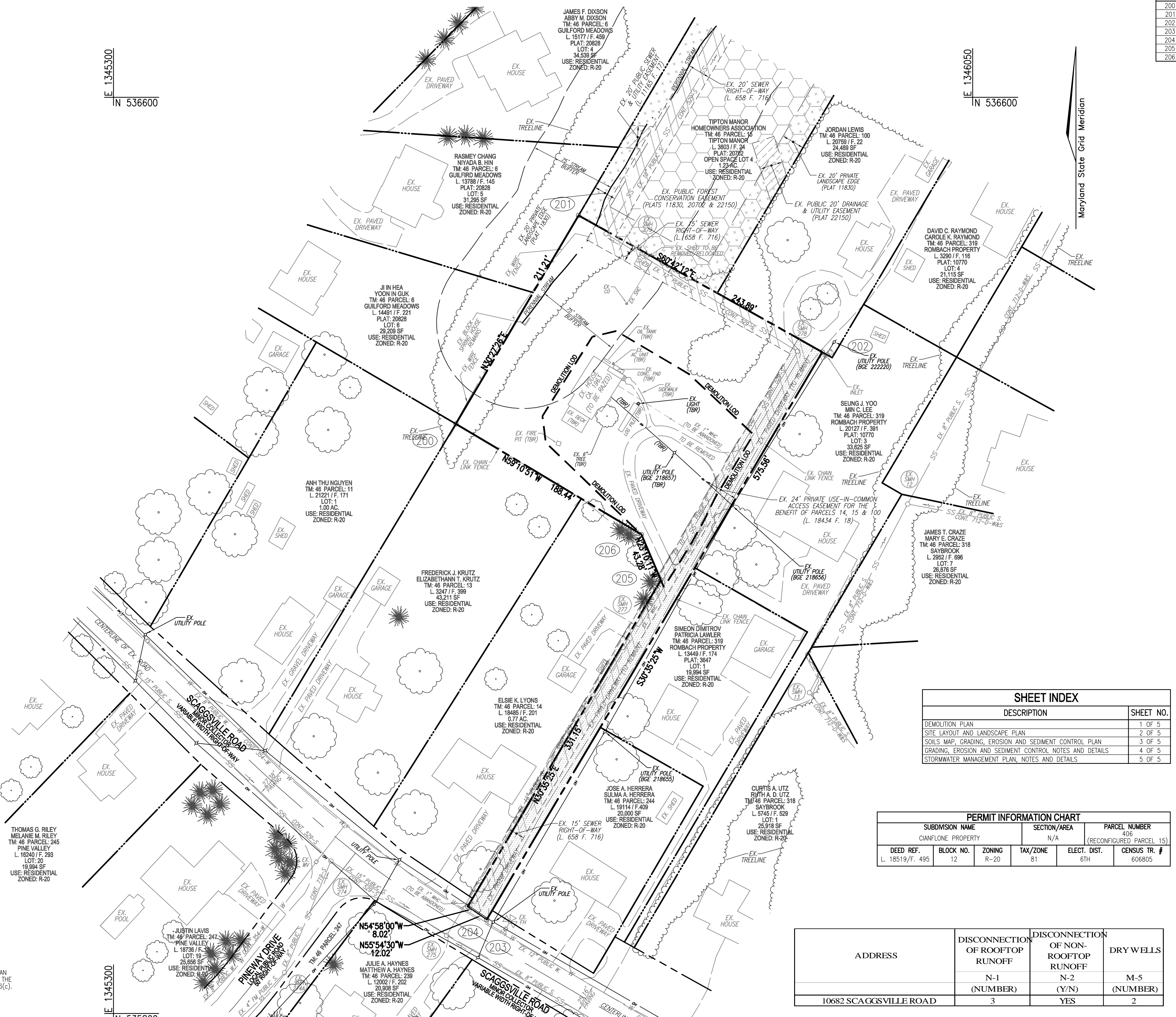
GENERAL NOTES

- 1. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
2. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
3. ALL ASPECTS OF THE PROJECT ARE IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
4. THE SUBJECT PROPERTY IS ZONED R-20 IN ACCORDANCE WITH THE 10/6/2013 COMPREHENSIVE ZONING PLAN AND IS SUBJECT TO THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS EFFECTIVE 10/27/03 PER COUNCIL BILL 75-2003.
5. THE PROJECT BOUNDARY SHOWN HEREON IS BASED ON L. 18519 / F. 495.
6. THE EXISTING TOPOGRAPHY SHOWN HEREON IS BASED ON FILED RUN TOPOGRAPHICAL SURVEY PERFORMED BY VOGEL ENGINEERING + TIMMONS GROUP, INC., DATED OCTOBER 10, 2022, AND IS SUPPLEMENTED WITH CURRENT HOWARD COUNTY GIS DATA.
7. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL, WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM, HOWARD COUNTY MONUMENT NOS. 46CB AND 46FD WERE USED FOR THIS PROJECT.
8. THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
9. STORM WATER MANAGEMENT TO BE PROVIDED FOR THIS DEVELOPMENT BY ENVIRONMENTAL SITE DESIGN UTILIZING TWO DRYWELLS (M-5), ROFTOP DISCONNECTION (N-1) AND NON-ROFTOP DISCONNECTION (N-2). THE FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER. REFERENCE 2010 MDE STORMWATER DESIGN MANUAL (CHAPTER 5).
10. THE PROPOSED NEW DWELLING SHALL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM.
11. EXISTING UTILITIES ARE LOCATED FROM TOPOGRAPHIC SURVEY, AS-BUILT DRAWINGS AND HOWARD COUNTY GIS DATA. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE.
12. ANY DAMAGE TO THE COUNTY'S RIGHTS-OF-WAY, PAVING, OR EXISTING UTILITIES SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
13. S&L ELEVATIONS ARE LOCATED AT THE PROPERTY LINE/EDGE OF EASEMENT.
14. THE EXISTING USE-IN-COMMON DRIVEWAY IS TO REMAIN.
15. THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING:
1-800-257-1133
BGE (CONSTRUCTION SERVICES) 410-637-8713
BGE (EMERGENCY) 410-685-0123
BUREAU OF UTILITIES 410-313-4900
COLONIAL PIPELINE CO. 410-785-1360
MISS UTILITY 1-800-257-7777
STATE HIGHWAY ADMINISTRATION 410-531-5533
VERIZON 1-800-743-0033
16. THIS PROPERTY IS NOT LOCATED IN A HISTORIC DISTRICT.
17. THIS PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT.
WATER SERVICE FOR THIS PROJECT IS TO BE PROVIDED BY SERVICE CONNECTIONS FROM CONTRACT NO. 354-W. SEWER SERVICE FOR THIS PROJECT IS TO BE PROVIDED BY SERVICE CONNECTIONS FROM CONTRACT NO. 529-S.
18. WATER AND SEWER SERVICE TO THIS LOT WILL BE GRANTED UNDER THE PROVISIONS OF SECTION 18.122.B OF THE HOWARD COUNTY CODE.
19. PUBLIC WATER AND SEWER ALLOCATION WILL BE GRANTED AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF CAPACITY IS AVAILABLE AT THAT TIME.
20. ALL WATER HOUSE CONNECTIONS SHALL BE OUTSIDE METER SETTING UNLESS OTHERWISE NOTED ON THE PLANS OR IN SPECIFICATIONS.
21. IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STARWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
22. DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
A) WIDTH - 12' (16' IF SERVING MORE THAN ONE RESIDENCE)
B) SURFACE - 6" OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1"-1.5" MIN.)
C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM 45 FOOT TURNING RADIUS
D) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING)
E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD EVENTS WITH NO MORE THAN 1' DEPTH OVER THE DRIVEWAY SURFACE
F) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE
23. A PERENNIAL STREAM, AND ITS ASSOCIATED BUFFERS, ARE PRESENT ON THE SUBJECT PROPERTY. NO FOREST, WETLANDS, FLOODPLAINS OR ANY OTHER NATURAL RESOURCES ARE PRESENT.
24. NO RARE, THREATENED OR ENDANGERED SPECIES OR THEIR HABITATS WERE OBSERVED ON THE PROPERTY.
25. REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE FOR THIS LOT IS PROVIDED TO THE JUNCTION OF THE PINESTEM AND THE ROAD RIGHT-OF-WAY AND ONTO THE PINESTEM LOT DRIVEWAY, TRASH AND RECYCLING WILL BE COLLECTED WITHIN 5' OF THE COUNTY ROADWAY.
26. TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO BURIAL GROUNDS, CEMETERY, OR HISTORIC STRUCTURES LOCATED ON THIS PROPERTY.
27. SCAGGSVILLE ROAD IS CLASSIFIED AS A MINOR COLLECTOR. SITE ACCESS SHALL BE VIA A USE-IN-COMMON DRIVEWAY.
28. A NATURAL RESOURCES FIELD REVIEW WAS CONDUCTED BY JOHN CANOLES WITH ECO-SCIENCE PROFESSIONALS, INC. ON OCTOBER 31, 2022, AND APPROVED AS PART OF THE ECP PLAN SUBMISSION.
29. THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS FOR FOREST CONSERVATION IN ACCORDANCE WITH SECTION 16.1022.B.1.4 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION WITH FILING OF A DECLARATION OF INTENT WITH THE OWNER'S BUILDING PERMIT.
30. IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL VOLUME 3, CHAPTER 4 - SECTION 4.7(B)(5), A TRAFFIC STUDY IS NOT REQUIRED FOR THIS PROJECT.
31. A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN 200' OF ANY EXISTING, OR PROPOSED, MAJOR ARTERIAL RIGHT-OF-WAY LINE (OR HEIGHT CLASSIFICATION).
32. EXISTING DWELLING LOCATED ON THIS PROPERTY IS TO BE PRAZED AND THE EXISTING SHED IS TO BE RELOCATED OUT OF THE EXISTING 15' SEWER RIGHT-OF-WAY.
33. NO STEEP SLOPES OVER 20.000 SF CONTIGUOUS ARE LOCATED ON SITE.
34. A CERTIFIED TEST HAS BEEN PROVIDED TO VERIFY THE LOCATION OF GROUNDWATER AND/OR ROCK. AN OPEN TEST PIT WAS OBSERVED BY VOGEL ENGINEERING + TIMMONS GROUP ON AUGUST 16, 2023. WATER WAS NOTED AT A DEPTH OF 6 FEET. NO SOLID ROCK WAS PRESENT.
35. AN ENVIRONMENTAL CONCEPT PLAN (ECP-23-016) WAS APPROVED ON JULY 10, 2023.
36. PUBLIC TREES ARE NOT REQUIRED FOR THIS PROJECT.
37. THE LANDSCAPE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. A FINANCIAL SURETY IN THE AMOUNT OF \$3,900.00 FOR THE REQUIRED 13 SHADE TREES SHALL BE POSTED WITH THE GRADING PERMIT FOR THIS PLAN.
38. IN ACCORDANCE WITH DESIGN MANUAL-VOLUME 3, CHAPTER 2-SECTION 2.9.B. PARKING IS REQUIRED AT TWO (2) SPACES PER UNIT OFF STREET PARKING TO INCLUDE GARAGE SPACE, DRIVEWAY AND PARKING PADS, GARAGES COUNT AS A FULL SPACE. THE GARAGE SPACE SHALL NOT BE CONVERTED TO LIVING SPACE AND SHALL ONLY BE UTILIZED FOR VEHICULAR PARKING.
39. A PRIVATE RANGE OF ADDRESS SIGN SHALL BE FABRICATED AND INSTALLED BY HOWARD COUNTY BUREAU OF HIGHWAYS AT THE DEVELOPER'S/OWNERS EXPENSE. CONTACT HOWARD COUNTY TRAFFIC DIVISION AT 410-313-5752 FOR DETAILS AND COST ESTIMATES.
40. A 24' PRIVATE USE-IN-COMMON ACCESS EASEMENT FOR THE BENEFIT OF PARCELS 14, 15 & 100 WAS GRANTED UNDER LIBER 18434, FOLIO 18 ON OCTOBER 16, 2018.
41. REFERENCE WP-19-005, APPROVED ON AUGUST 28, 2018 AN ALTERNATIVE COMPLIANCE OF SECTION 16.147. FINAL SUBDIVISION PLAN AND FINAL PLAT WHICH REQUIRES THE SUBMISSION OF A FINAL SUBDIVISION PLAN FOR ALL DIVISIONS OF LAND IN HOWARD COUNTY TO BE APPROVED BY THE DEPARTMENT OF PLANNING AND ZONING AND RECORDED IN THE LAND RECORDS OFFICE. THE APPLICANT IS PROPOSING TO RECONFIGURE TWO (2) EXISTING DEEDED PARCELS OF LAND, PARCELS 14 AND 15, TO ESTABLISH AS BUILDABLE PARCELS AROUND TWO EXISTING DWELLINGS.
APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
1. APPROVAL FOR THIS ALTERNATIVE COMPLIANCE REQUEST IS FOR THE RECONFIGURATION OF TWO ADJOINING DEEDED PARCELS UNDER THE SAME OWNERSHIP AS DESCRIBED IN LIBER 280, FOLIO 130 DATED MARCH 19, 1956 AND LIBER 270, FOLIO 75 DATED JULY 16, 1955. NO OTHER PARCELS ARE BEING ENDORSED AND NO OTHER PARCELS WILL BE CREATED. THE TWO PARCELS SHALL BE RECONFIGURED BY UTILIZATION OF THE ADVJONDER DEED PROCESS. THE ADVJONDER DEED SHALL BE RECORDED AT LAND RECORDS OF HOWARD COUNTY, MARYLAND WITHIN 120 DAYS OF THE DATE OF THIS ALTERNATIVE COMPLIANCE REQUEST APPROVAL (ON, OR BEFORE, DECEMBER 26, 2018).
2. A RECORDED COPY OF THE ADVJONDER DEED SHALL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING FOR FILE RETENTION PURPOSES WITHIN 140 DAYS OF THE DATE OF THE ALTERNATIVE COMPLIANCE REQUEST APPROVAL (ON, OR BEFORE, JANUARY 15, 2019).
3. THE ADVJONDER DEED SHALL REFERENCE THIS ALTERNATIVE COMPLIANCE REQUEST FILE NUMBER, WP-19-005, AND ITS APPROVAL DATE. THE ADDITION OF THIS REFERENCE HELPS ANYONE WHO MAY BE REVIEWING THE DEED TO READILY DETERMINE THAT THE DEED ADJONDER WAS DONE WITH THE ACKNOWLEDGMENT OF THE DEPARTMENT OF PLANNING AND ZONING.
4. A SIMILAR ALTERNATIVE COMPLIANCE REQUEST EXHIBIT (SMALLER SIZE) SHALL BE RECORDED WITH THE ADVJONDER DEED.
5. COMPLIANCE WITH ALL APPLICABLE COUNTY AND STATE REGULATIONS IS REQUIRED.
6. SUBJECT TO COMPLIANCE WITH THE ATTACHED COMMENTS FROM THE DEVELOPMENT ENGINEERING DIVISION COMMENTS 1, 3 AND 4, AND HOWARD COUNTY DEPARTMENT OF FIRE AND RESCUE SERVICES, BOTH DATED AUGUST 15, 2018.
7. EXISTING MAKE CORRECTIONS TO THE ALTERNATIVE COMPLIANCE REQUEST EXHIBIT BASED ON DIVISION OF LAND DEVELOPMENT COMMENTS, DATED AUGUST 20TH, AND RESUBMIT TO THE OFFICE WITHIN TWO WEEKS OF THE APPROVAL DATE FOR FILE RETENTION PURPOSES.
8. THE RECONFIGURED PARCELS SHALL COMPLY WITH THE MINIMUM "R-20" LOT SIZE REQUIRED AND THE EXISTING HOUSES SHALL COMPLY WITH THE SETBACK REQUIREMENTS.
42. REFERENCE DESIGN MANUAL WAIVER, APPROVED SEPTEMBER 10, 2018, REQUESTING A WAIVER TO DESIGN MANUAL VOLUME III, SECTION 2.6.B AND TABLE 2.10, WHICH REQUIRES A 16' MINIMUM DRIVEWAY WIDTH FOR DRIVEWAYS SERVING 2 TO 6 LOTS. THE REQUEST IS TO MAINTAIN THE EXISTING DRIVEWAY WHICH VARIES IN WIDTH FROM 12' TO 20'. THIS DIVISION HAS DECIDED TO APPROVE THE REQUEST BASED ON THE JUSTIFICATION SUBMITTED AND SUBJECT TO RECDORATION OF A 24' PRIVATE USE-IN-COMMON ACCESS AND UTILITY EASEMENT FOR THE USE AND BENEFIT OF PARCEL 14, 15 AND 100, ALONG WITH THE DEED OF RECONFIGURATION UNDER WP-19-005.
43. THE REMOVAL OF THE EXISTING DWELLING, AND THE INSTALLATION OF THE SEWER HOUSE CONNECTION, ARE THE ONLY PROPOSED DISTURBANCES WITHIN THE STREAM BUFFER. NO FURTHER GRADING, OR REMOVAL OF VEGETATIVE COVER, WILL TAKE PLACE IN THAT AREA. A NECESSARY DISTURBANCE REQUEST WAS GRANTED BY HOWARD COUNTY IN A LETTER DATED JANUARY 03, 2024.
APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
1. THE REMOVAL OF THE EXISTING DWELLING, AND INSTALLATION OF THE NEW SEWER HOUSE CONNECTION FOR THE PROPOSED DWELLING, SHALL ONLY DISTURB 2,064 SF OF STREAM BUFFER AS STATED IN THE REQUEST AND AS DELINEATED ON THE PLAN EXHIBITS. ANY DISTURBANCES TO REGULATED ENVIRONMENTAL FEATURES BEYOND THIS REQUEST ARE NOT PERMITTED UNLESS THE APPLICANT SUBMITS A FORMAL REQUEST TO THE DEPARTMENT OF PLANNING & ZONING IN ACCORDANCE WITH SECTION 16.116(C).
2. THE DISTURBED AREAS SHALL BE STABILIZED AND SEEDED IN ACCORDANCE WITH THE SDP-24-002 EROSION AND SEDIMENT CONTROL PLAN.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Date 4/4/2024
Chief, Division of Land Development
Date 4/5/2024
Director
Date

WHC NOTE:
EXISTING 1" WHC AND 3/4" METER TO BE ABANDONED AND A NEW 1.5" WHC AND 1" VALVE ARE TO BE INSTALLED OFF OF THE EXISTING 12" WATER MAIN (CONTRACT 354-W) LOCATED IN SCAGGSVILLE ROAD. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF THE EXISTING WHC, VALVE AND METER ASSOCIATED WITH THE SUBJECT PROPERTY.

SITE DEVELOPMENT PLAN
CIANFLONE PROPERTY
10682 SCAGGSVILLE ROAD
LAUREL, MD 20723

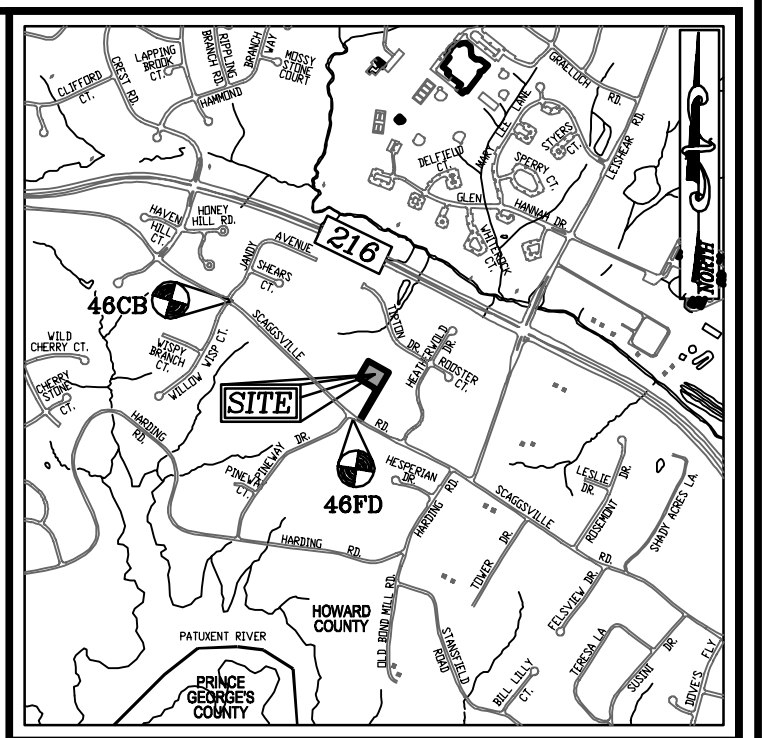


BENCHMARKS

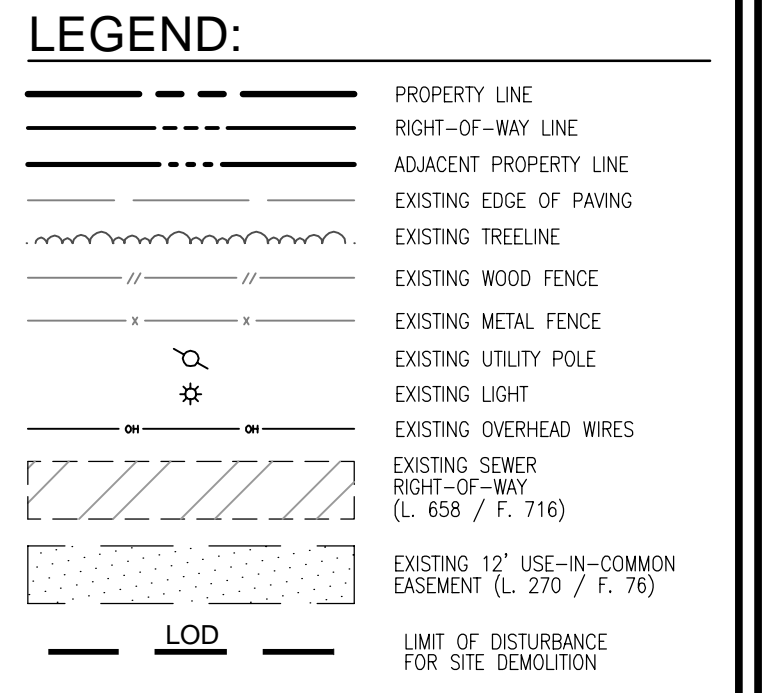
HOWARD COUNTY BENCHMARK 46CB (CONC. MON.)
ELEV. 394.63
LOCATION: SCAGGSVILLE RD. AND JANDY AVE.
HOWARD COUNTY BENCHMARK 46FD (CONC. MON.)
N 535892.90 E 1345400.06 ELEV. 379.93
LOCATION: SCAGGSVILLE RD. AND PINEWAY DR.

COORDINATE LIST

Table with 3 columns: POINT, NORTHING, EASTING. Lists coordinates for points 200 through 206.



VICINITY MAP
SCALE: 1"=2000'
ADD. MAP/GRID NO.: 39-E4



SITE ANALYSIS DATA

- A. TOTAL AREA: 1.37 AC
B. AREA OF PLAN SUBMISSION: 1.37 AC
C. LIMIT OF DISTURBANCE: 0.64 AC
D. PRESENT ZONING DESIGNATION: R-20
E. PROPOSED USES FOR SITE AND STRUCTURES: SFD RESIDENTIAL
F. FLOOR SPACE ON EACH LEVEL OF BUILDING (PER USE): N/A
G. TOTAL NUMBER OF UNITS ALLOWED: 2 SFD
H. TOTAL NUMBER OF UNITS PROPOSED: 2 (2 DWELLING UNITS PER NET ACRE)
I. MAXIMUM NUMBER OF EMPLOYEES/TENANTS ON SITE, PER USE: N/A
J. NUMBER OF PARKING SPACES REQUIRED: 2.5
K. NUMBER OF PARKING SPACES PROVIDED: 4
L. OPEN SPACE ON SITE: N/A
M. AREA OF RECREATIONAL OPEN SPACE REQUIRED: 0.09 AC (6.57%)
N. BUILDING COVERAGE OF SITE: WP-19-005, EDCR-23-016, 354-W & 529-S
O. DPZ FILE REFERENCES: N/A
P. FLOOR AREA RATIO: N/A

PARKING TABULATION

Table showing total number of dwelling units proposed (2), off-street parking spaces required (2.5), and total parking spaces provided (4).

OWNER/DEVELOPER

ANTONIO CIANFLONE
YSED CIANFLONE
10682 SCAGGSVILLE ROAD
LAUREL, MD 20723
(301) 919-2518

SHEET INDEX

Table with 2 columns: DESCRIPTION, SHEET NO. Lists sheets for Demolition Plan, Site Layout and Landscape Plan, etc.

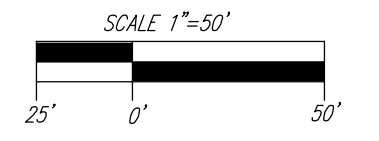
PERMIT INFORMATION CHART

Table with columns: SUBMISSION NAME, SECTION/AREA, PARCEL NUMBER, DEED REF., BLOCK NO., ZONING, TAX/ZONE, ELECT. DIST., CENSUS TR. #.

Table with 4 columns: ADDRESS, DISCONNECTION OF ROOFTOP RUNOFF, DISCONNECTION OF NON-ROOFTOP RUNOFF, DRY WELLS. Shows requirements for 10682 Scaggsville Road.

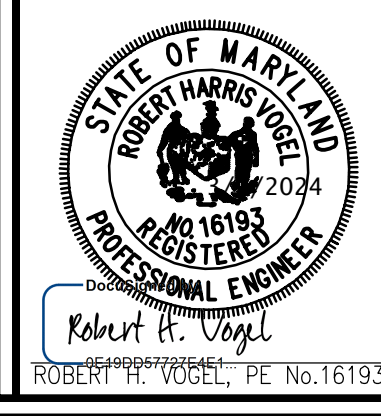
DEMOLITION PLAN

SCALE: 1"=50'



SITE DEVELOPMENT PLAN
DEMOLITION PLAN
CIANFLONE PROPERTY
10682 SCAGGSVILLE ROAD
LAUREL, MD 20723
ZONED: R-20
L. 18519 / F. 495
PARCEL: 406 (RECONFIGURED PARCEL 15)
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P. 410.461.7666 F. 410.461.8961 www.timmons.com

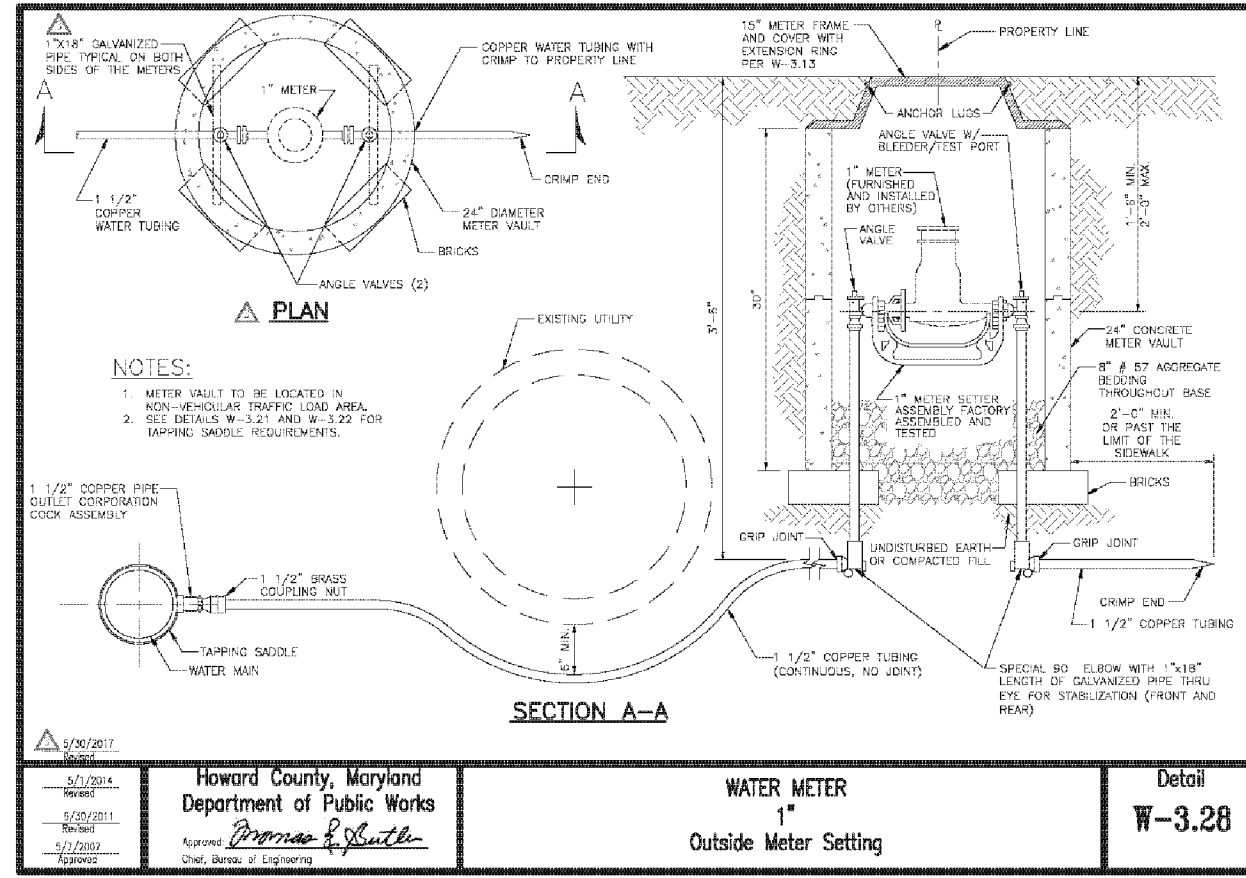


DESIGN BY: RHV
DRAWN BY: JMR
CHECKED BY: RHV
DATE: JANUARY 2024
SCALE: AS SHOWN
W.O. NO.: 55863
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A duly licensed PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND UNDER NO. 16193 EXPIRATION DATE: 09-27-2024
1 SHEET OF 5

SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CUT/PAVING SHOULDER WIDTH (DWS)				MIN. SUPERPAVE ASPHALT MIX WITH CONSTANT DWS			
		3 TO 4.5'	2 TO 3'	2.7'	3 TO 4.5'	2 TO 3'	2.7'	3 TO 4.5'	2 TO 3'
P-1	PARKING SPACES PARKING SPACES MADE NON-RESIDENTIAL RESIDENTIAL WITH NO MORE THAN 2 HEAVY TRUCKS PER DAY	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
P-2	LOCAL ROAD LOCAL ROAD ACCESS STREET LOCAL ROAD ACCESS STREET	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
P-3	RESIDENTIAL DRIVE AVENUE LOCAL ROAD LOCAL ROAD ACCESS STREET LOCAL ROAD ACCESS STREET	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
P-4	LOCAL ROAD LOCAL ROAD ACCESS STREET LOCAL ROAD ACCESS STREET LOCAL ROAD ACCESS STREET	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5

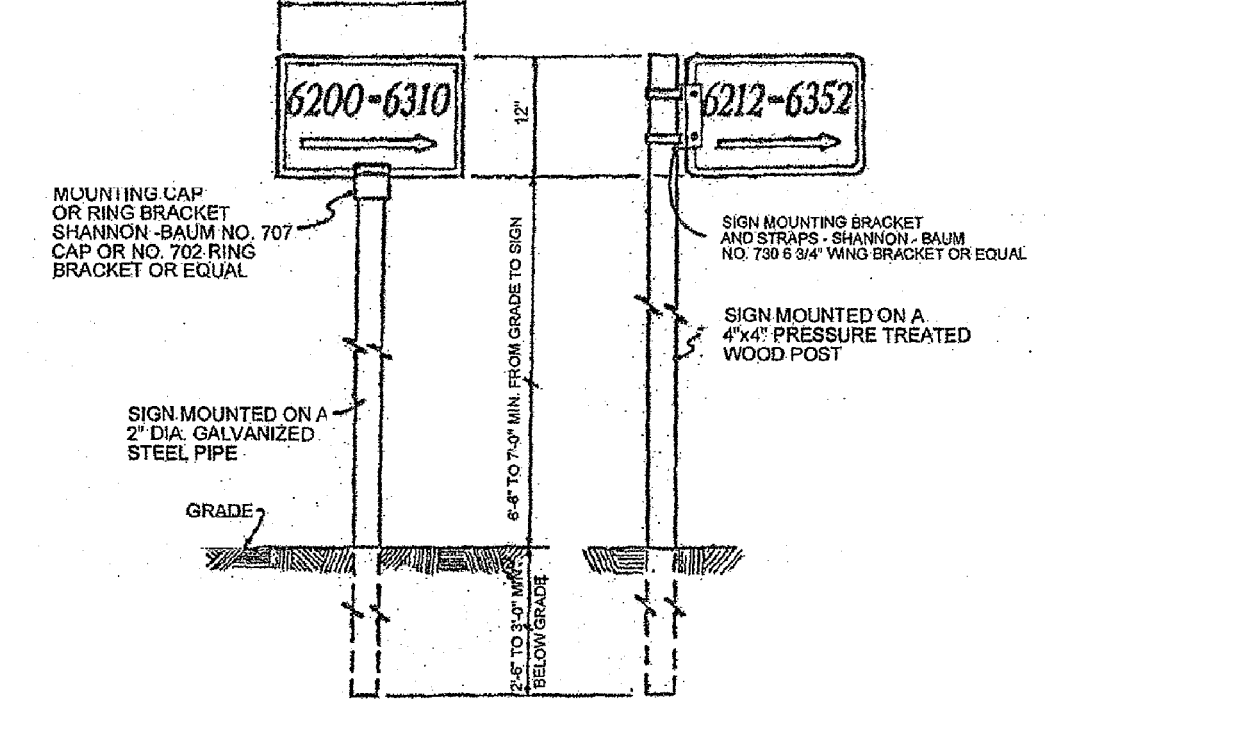
**NOTES:**

1. SIGN TYPES ARE SHOWN AS THEY APPEAR WITH EX. EX. DETAILS OR MORE INCLUDING CORNER DETAIL.
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6. SIGN TYPES ARE SHOWN AS THEY APPEAR WITH EX. EX. DETAILS OR MORE INCLUDING CORNER DETAIL.



Howard County, Maryland  
Department of Public Works  
Name: *Przemyslaw S. Swick*  
Title: *Senior Engineer*

**WATER METER**  
Outside Meter Setting  
Detail  
**W-3.28**



**MCE CHART**

DROP THRU SLAB = 2.5'	EL. @ MAIN	TYPE	DIST. TO EX. CLEANOUT	EL. @ EX. CLEANOUT	DIST. CLEANOUT TO HOUSE	EL. @ HOUSE	MCE
338.88	SHC	42.5'	339.73	73.1'	341.19	343.69	

**NOTES:**

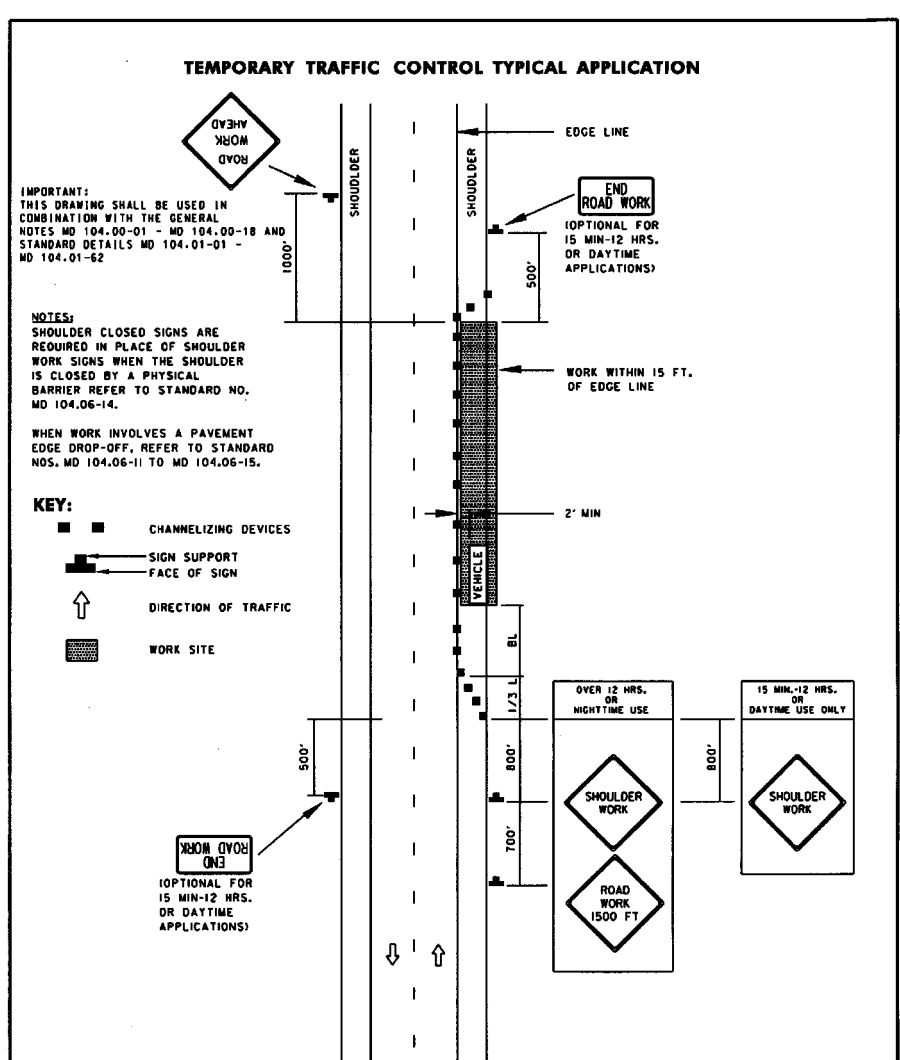
1. IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME II WATER & SEWER, CHAPTER 5, SECTION 5.4.2.2, VERTICAL CLEARANCE BETWEEN THE WATER HOUSE CONNECTION AND THE SEWER HOUSE CONNECTION SHALL BE 1 FOOT MINIMUM WITH THE WHC ABOVE THE SHC.
2. THE REQUIRED 1.5 FOOT MINIMUM HORIZONTAL CLEARANCE SHALL BE MET.
3. MINIMUM SLOPE OF THE SHC IS TO BE 2%.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

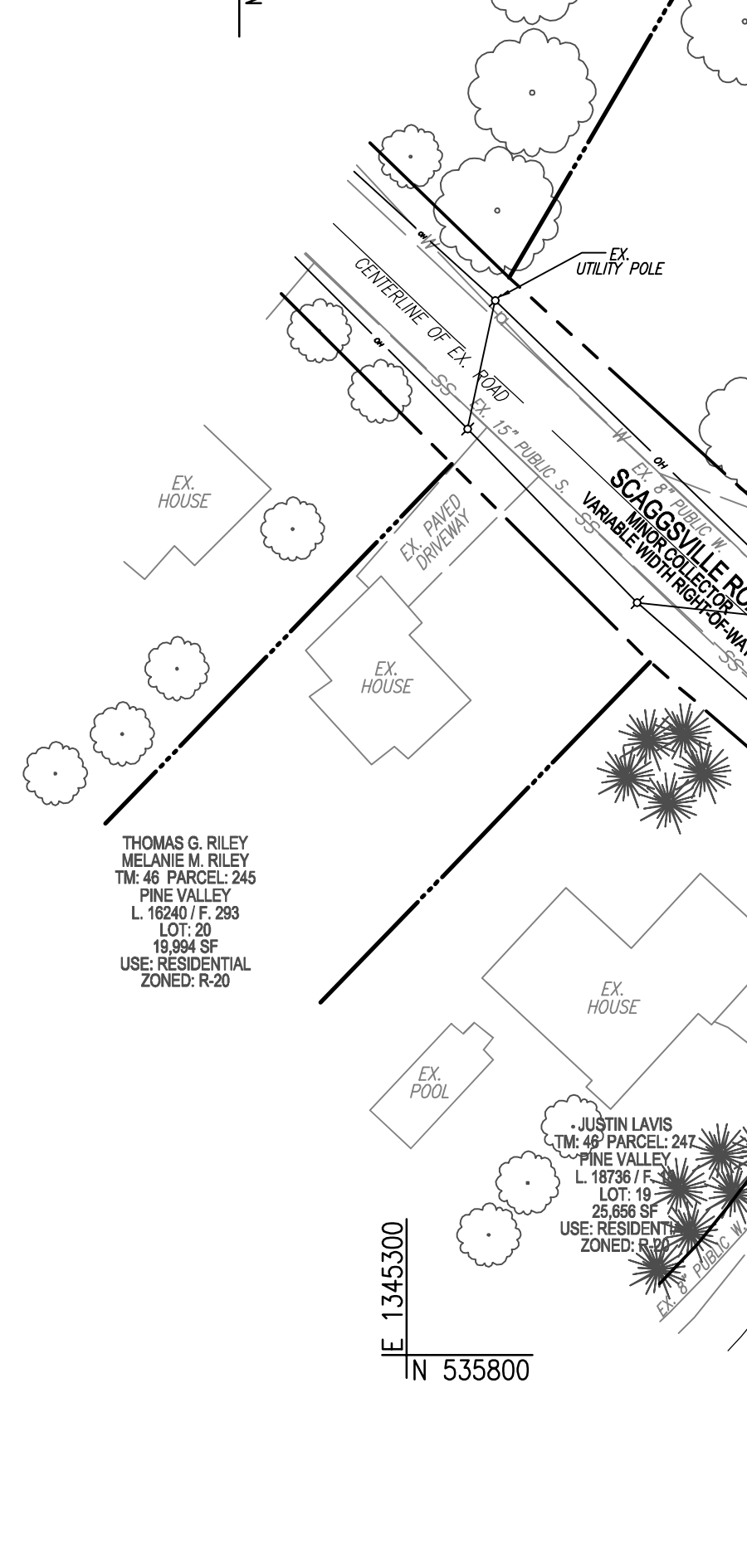
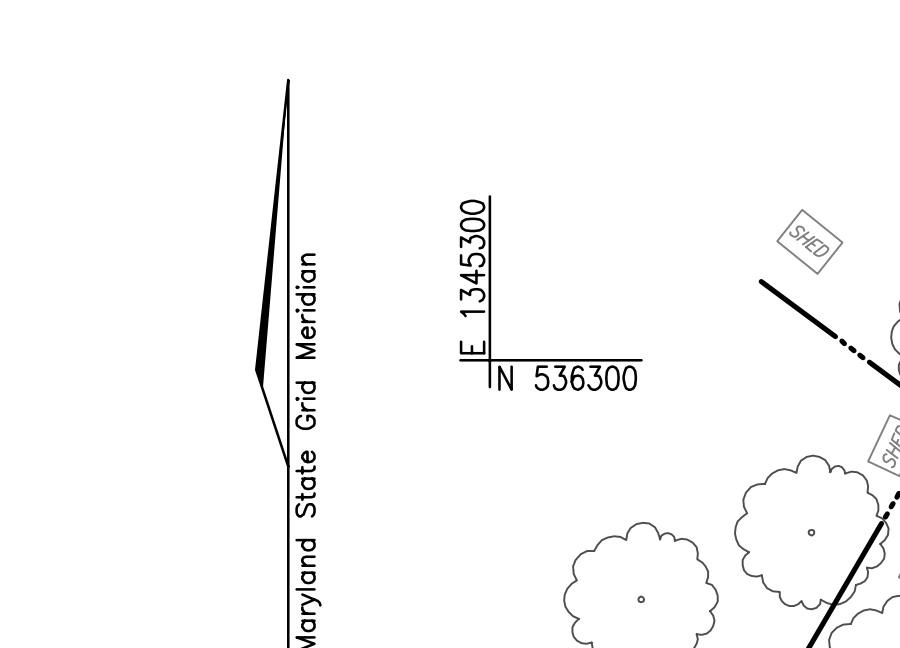
Chief, Development Engineering Division: *Chad Edmondson* 4/4/2024

Chief, Division of Planning and Development: *Lynda Eisenberg* 4/5/2024

Director: *Lynda Eisenberg* 4/5/2024



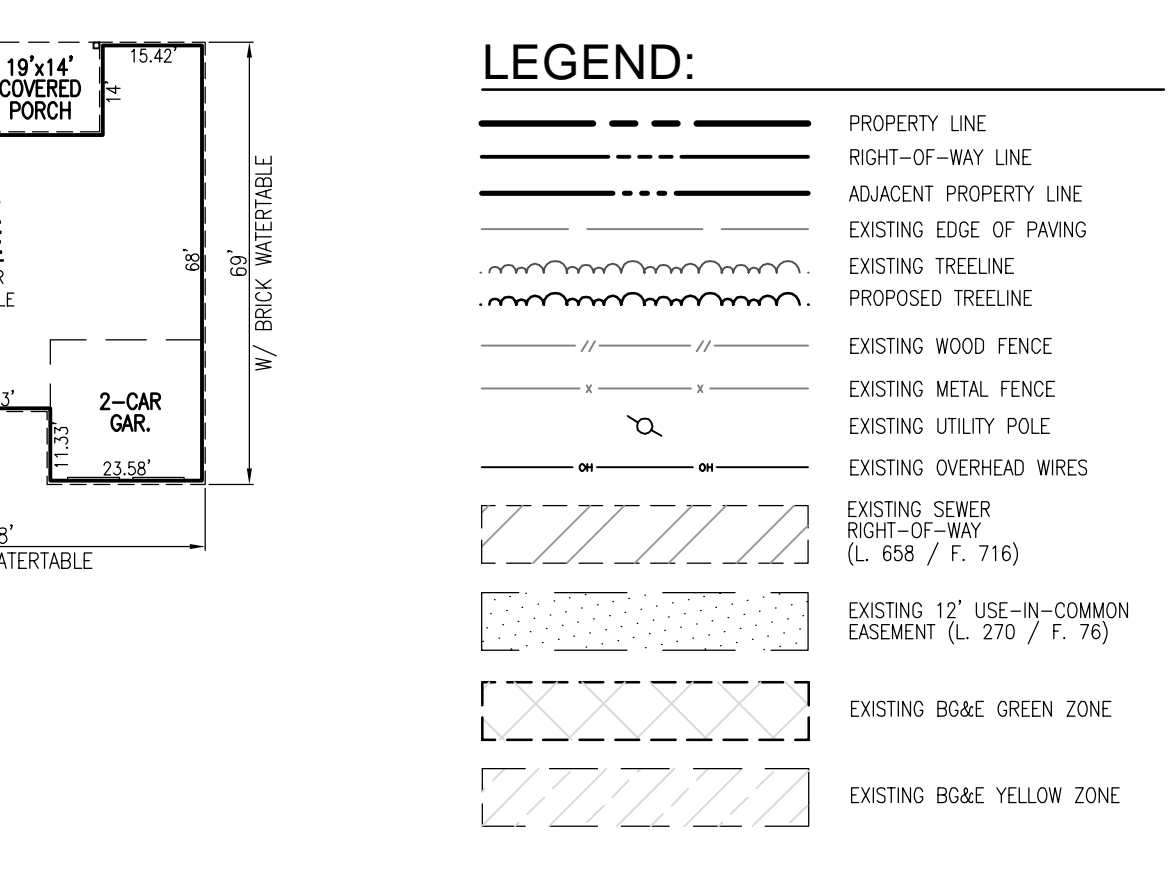
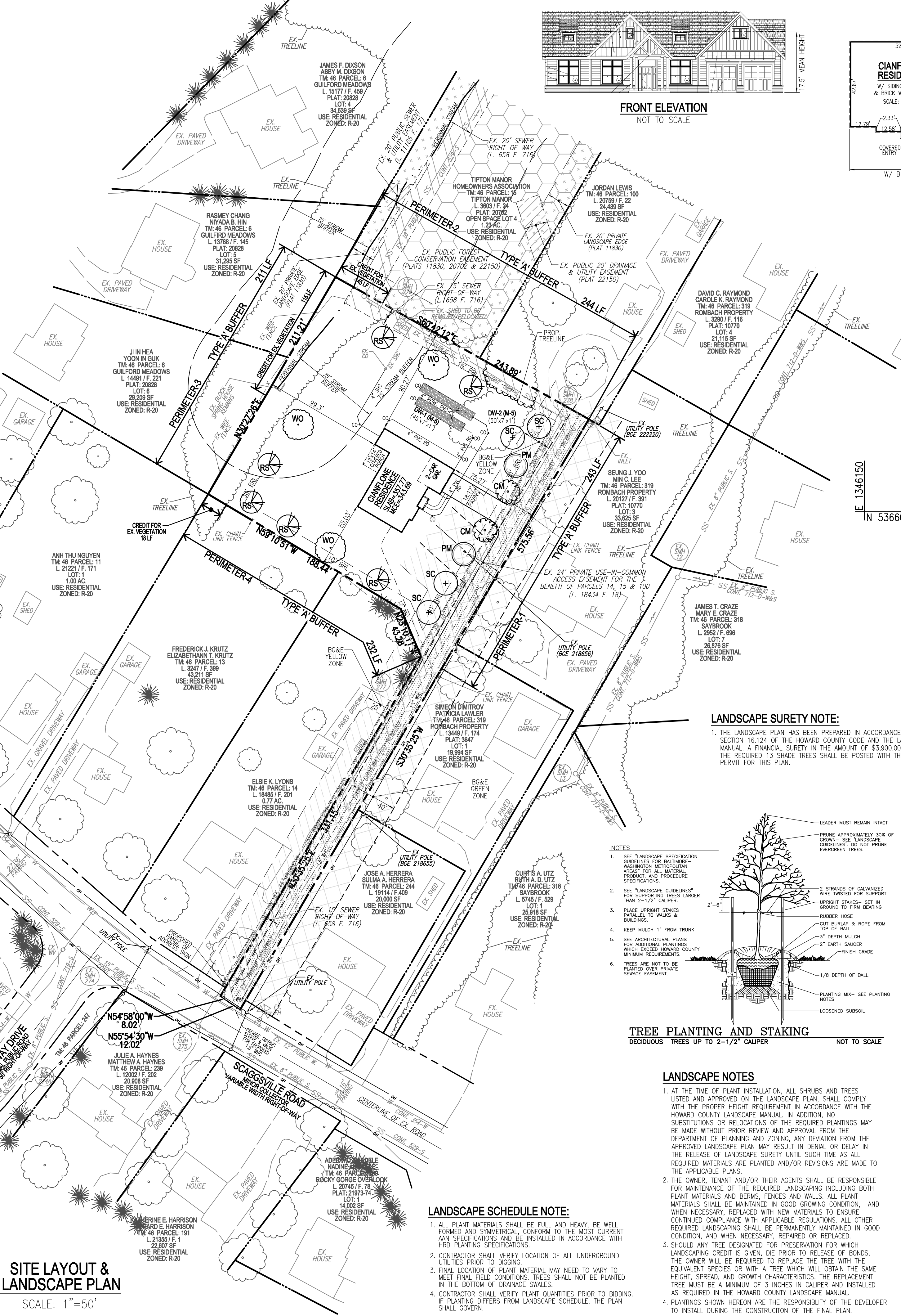
Maryland Department of Transportation  
STATE HIGHWAY ADMINISTRATION  
SHOULDER WORK/2-LANE, 2-WAY  
EQU/LESS THAN 40 MPH  
STANDARD NO. MD 104.02-02



**DEVELOPER'S/BUILDER'S CERTIFICATE**

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Signature of Developer: *Przemyslaw S. Swick* 3/1/2024



**SCHEDULE A: PERIMETER LANDSCAPE EDGE**

CATEGORY	ADJACENT TO PERIMETER PROPERTIES AND ROADWAYS				TOTAL
	1	2	3	4	
PERIMETER/FRONTAGE DESIGNATION	1	2	3	4	
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	243'	244'	211'	232'	
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET DESCRIBE BELOW IF NEEDED)	NO	YES	YES	YES	18'
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	
NUMBER OF PLANTS REQUIRED (IF REMAINING)	243	199	96	214	
SHADE TREES	1:60	4	1:60	2	1:3
EVERGREEN TREES	-	-	-	-	-
SHRUBS	-	-	-	-	-
NUMBER OF PLANTS PROVIDED	-	3	2	4	9
EVERGREEN TREES	-	-	-	-	-
OTHER TREES (2:1 SUBSTITUTION)	8	-	-	-	8
SHRUBS (10:1 SUBSTITUTION)	-	-	-	-	-
DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED	-	-	-	-	-

**LANDSCAPING PLANT LIST**

SYMBOL	KEY	QUAN.	BOTANICAL NAME	SIZE
CM	2	LAGERSTROMIA INDICA CRAPEMYRTLE	6"-8" HGT.	
SC	4	PRUNUS SARGENTII SARGENT CHERRY	2.5"-3" CAL.	
PM	2	ACER GRiseum PAPERBARK MAPLE	1.5"-2" CAL.	
WO	3	QUERCUS PHellos WILLOW OAK	2.5"-3" CAL.	
RS	6	ACER RUBRUM 'RED SUNSET' RED SUNSET RED MAPLE	2.5"-3" CAL.	

**LANDSCAPE SURETY NOTE:**

1. THE LANDSCAPE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. A FINANCIAL SURETY IN THE AMOUNT OF \$3,900.00 FOR THE REQUIRED 13 SHADE TREES SHALL BE POSTED WITH THE GRADING PERMIT FOR THIS PLAN.

**OWNER/DEVELOPER**  
ANTONIO CIANFLONE  
YISED CIANFLONE  
10682 SCAGGSVILLE ROAD  
LAUREL, MD 20723  
(301) 919-2518

NO.	REVISION	DATE

**SITE DEVELOPMENT PLAN**  
**SITE LAYOUT AND LANDSCAPE PLAN**  
**CIANFLONE PROPERTY**  
10682 SCAGGSVILLE ROAD  
LAUREL, MD 20723

6TH ELECTION DISTRICT  
TAX MAP: 46 GRD: 12  
PARCEL: 406 (RECONFIGURED PARCEL 15)

ZONED: R-20  
L 18519 / F. 485  
HOWARD COUNTY, MARYLAND

**VOGEL ENGINEERING**  
**TIMMONS GROUP**  
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
P: 410.461.7666 F: 410.461.8961 www.timmons.com

**PROFESSIONAL CERTIFICATE**

DESIGN BY: *RHY*  
DRAWN BY: *JMR*  
CHECKED BY: *RHY*  
DATE: JANUARY 2024  
SCALE: AS SHOWN  
W.O. NO.: 55863

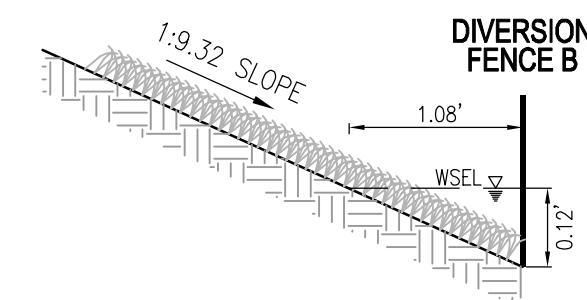
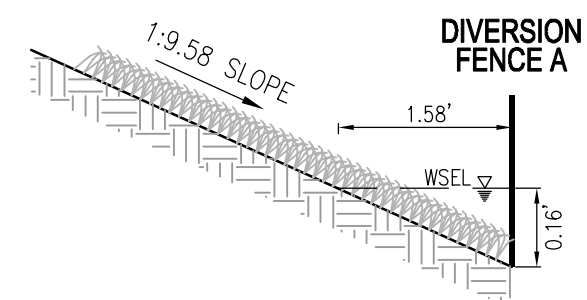
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2024

*Robert H. Vogel*  
PROFESSIONAL ENGINEER  
STATE OF MARYLAND  
NO. 16193  
EXPIRES 09/27/2024

2 OF 5

SOILS LEGEND					
SYMBOL	NAME/DESCRIPTION	GROUP	K-FACTOR	HYDRIC	ERODIBLE
GgB	GLENELG LOAM, 3 TO 8 PERCENT SLOPES	B	.37	NO	YES
GgB	GLENELG-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	B	.43	NO	YES
GmB	GLENVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES	C/D	.55	YES	YES
GmB	GLENVILLE-BAILE SILT LOAMS, 0 TO 8 PERCENT SLOPES	C	.49	YES	YES
MgC	MANOR LOAM, 8 TO 15 PERCENT SLOPES	B	.32	NO	NO

NOTE: HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT



DIVERSION FENCE A  
NOT TO SCALE

DIVERSION FENCE B  
NOT TO SCALE

DIVERSION FENCE A

A = 0.19 AC.  
IMP. = 0.01 AC.  
GRASS = 0.18 AC.  
Tc = 10.0 MIN.  
i<sub>10</sub> = 4.5  
C = 0.31  
Q<sub>2</sub> = (A)(C)(i<sub>10</sub>)  
Q<sub>2</sub> = (0.19)(0.31)(4.5)  
Q<sub>2</sub> max = 0.27 CFS  
V<sub>2</sub> max = 2.11 FPS  
S = 7.90%

DIVERSION FENCE B

A = 0.08 AC.  
IMP. = 0.02 AC.  
GRASS = 0.06 AC.  
Tc = 10.0 MIN.  
i<sub>10</sub> = 4.5  
C = 0.31  
Q<sub>2</sub> = (A)(C)(i<sub>10</sub>)  
Q<sub>2</sub> = (0.08)(0.31)(4.5)  
Q<sub>2</sub> max = 0.11 CFS  
V<sub>2</sub> max = 1.77 FPS  
S = 8.90%

NOTE: LOCATE STOCKPILE AS SHOWN HEREON OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED.

NOTE: DIVERSION FENCE SHALL BE INSTALLED AS SHOWN HEREON OR AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR

NOTE: - SILT FENCE TO BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.  
- SUPER SILT FENCE SHALL BE CURLED UPHILL NO MORE THAN 35 FEET APART  
- DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

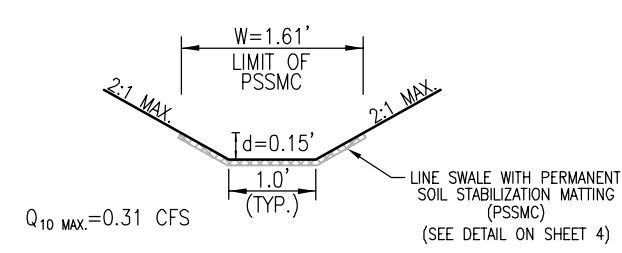
NOTE: STABILIZATION IS TO BE DONE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR AT THE INTERVALS REQUIRED BY THE 2011 STDS. & SPECS. WHICHEVER IS MORE RESTRICTIVE.

NOTE: NO AREAS OF STEEP SLOPES, AS REGULATED PER SECTION 16.116 OF THE HOWARD COUNTY SUB. REG'S, EXIST ON THIS SITE.

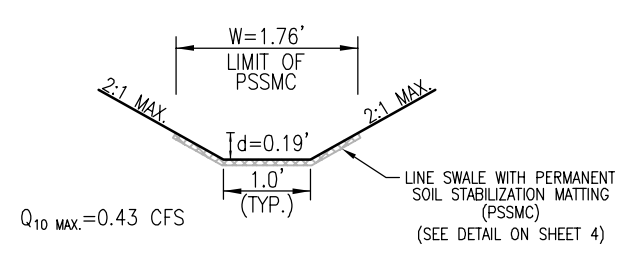


PERMANENT SOIL STABILIZATION MATTING A  
A = 0.15 AC.  
IMP. = 0.01 AC.  
GRASS = 0.14 AC.  
Tc = 10.0 MIN.  
i<sub>10</sub> = 6.6  
C = 0.31  
Q<sub>10</sub> = (A)(C)(i<sub>10</sub>)  
Q<sub>10</sub> = (0.15)(0.31)(6.6)  
Q<sub>10</sub> max = 0.31 CFS  
V<sub>10</sub> max = 1.56 FPS  
S = 2.31%  
n = 0.035  
SHEAR STRESS = 0.17

PERMANENT SOIL STABILIZATION MATTING B  
A = 0.21 AC.  
IMP. = 0.04 AC.  
GRASS = 0.17 AC.  
Tc = 10.0 MIN.  
i<sub>10</sub> = 6.6  
C = 0.31  
Q<sub>10</sub> = (A)(C)(i<sub>10</sub>)  
Q<sub>10</sub> = (0.21)(0.31)(6.6)  
Q<sub>10</sub> max = 0.43 CFS  
V<sub>10</sub> max = 1.63 FPS  
S = 2.00%  
n = 0.035  
SHEAR STRESS = 0.18



SWALE CROSS SECTION 'A'  
(NOT TO SCALE)  
CHANNEL SLOPE = 2.31%

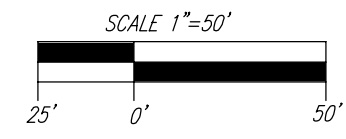


SWALE CROSS SECTION 'B'  
(NOT TO SCALE)  
CHANNEL SLOPE = 2.00%

OWNER/DEVELOPER  
ANTONIO CIANFLONE  
YESID CIANFLONE  
10682 SCAGGSVILLE ROAD  
LAUREL, MD 20723  
(301) 919-2518

NOTE: STOCKPILING WILL BE PERMITTED ON THIS LOT ONLY

GRADING PLAN  
SCALE: 1"=50'



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
4/4/2024  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE 4/5/2024  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE 4/3/2024  
DIRECTOR  
DATE

OWNER/DEVELOPER CERTIFICATION:  
I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERFORMING ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.  
3/1/2024  
OWNER/DEVELOPER SIGNATURE  
Antonio cianflone  
DATE  
PRINTED NAME & TITLE

DESIGN CERTIFICATION:  
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
Designed by:  
Robert H. Vogel  
DESIGNER'S SIGNATURE  
ROBERT H. VOGEL  
PRINTED NAME  
MD REGISTRATION NO. 16193  
R.L.S., OR R.L.A. (circle one)  
DATE 4/5/2024  
HOWARD S.C.D.

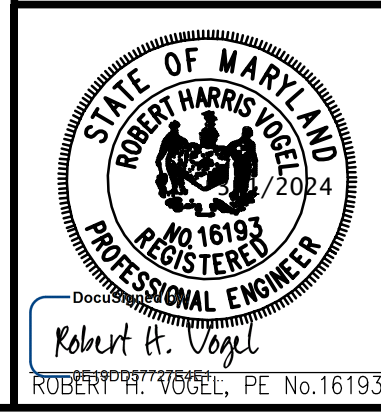
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
Designed by:  
Alexander Brathie  
DATE 4/5/2024  
HOWARD S.C.D.

NO.	REVISION	DATE

SITE DEVELOPMENT PLAN  
SOILS MAP, GRADING, EROSION AND SEDIMENT CONTROL PLAN  
CIANFLONE PROPERTY  
10682 SCAGGSVILLE ROAD  
LAUREL, MD 20723

6TH ELECTION DISTRICT  
TAX MAP 48 GRID: 12  
PARCEL: 408 (RECONFIGURED PARCEL 15)  
ZONED: R-20  
L. 18519 / F. 483  
HOWARD COUNTY, MARYLAND

**VOGEL ENGINEERING**  
**TIMMONS GROUP**  
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
P: 410.461.7666 F: 410.461.8961 www.Timmons.com



PROFESSIONAL CERTIFICATE  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024  
DESIGN BY: RHV  
DRAWN BY: JMR  
CHECKED BY: RHV  
DATE: JANUARY 2024  
SCALE: AS SHOWN  
W.O. NO.: 55863  
3 SHEET OF 5

HOWARD SOIL CONSERVATION DISTRICT STANDARD SEDIMENT CONTROL NOTES

- 1. A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS... 2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN... 3. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION IS REQUIRED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF THE DISTURBED SOIL...

SITE ANALYSIS

Table with 2 columns: AREA TO BE DISTURBED, AREA TO BE REEDED OR PAVED. Includes values for 0.64 ACRES, 0.13 ACRES, 0.51 ACRES, 150 CY, 150 CY.

ESTIMATE ONLY; CONTRACTOR SHALL VERIFY QUANTITIES TO HIS/HER OWN SATISFACTION. TO BE DETERMINED BY CONTRACTOR, WITH PRE-APPROVAL OF THE SEDIMENT CONTROL INSPECTOR...

R-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

- DEFINITION TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION. TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. TO MAINTAIN SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT AREA. SOIL PH BETWEEN 6.0 AND 7.0. SOIL SOLUBLE SALTS LESS THAN 500 PARTS PER MILLION (PPM).

PERMANENT STABILIZATION

Table with 2 columns: HARDNESS ZONE (FROM FIGURE B.3), FELZER SEED MIXTURE (FROM TABLE B.3). Includes columns for NO, SPECIES, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, N, P2O5, K2O, LIME RATE.

R-4-2 STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING AND SOIL AMENDMENTS

- DEFINITION THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION. PURPOSE TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. CONDITIONS WHERE PRACTICE APPLIES WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED. CRITERIA A. SEED PREPARATION 1. TEMPORARY STABILIZATION A SEEDING PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT...

SOIL PREPARATION

Table with 2 columns: HARDNESS ZONE (FROM FIGURE B.3), FELZER SEED MIXTURE (FROM TABLE B.3). Includes columns for NO, SPECIES, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, N, P2O5, K2O, LIME RATE.

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

- DEFINITION THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER. PURPOSE TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION. CONDITIONS WHERE PRACTICE APPLIES TO THE SURFACE OF ALL PERMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING. CRITERIA A. SEEDING 1. SPECIFICATIONS A. ALL SEEDS MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW...

SEEDING AND MULCHING

Table with 2 columns: HARDNESS ZONE (FROM FIGURE B.3), FELZER SEED MIXTURE (FROM TABLE B.3). Includes columns for NO, SPECIES, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, N, P2O5, K2O, LIME RATE.

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

- DEFINITION TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS. PURPOSE TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS. CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. CRITERIA 1. SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3) AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS...

TEMPORARY STABILIZATION

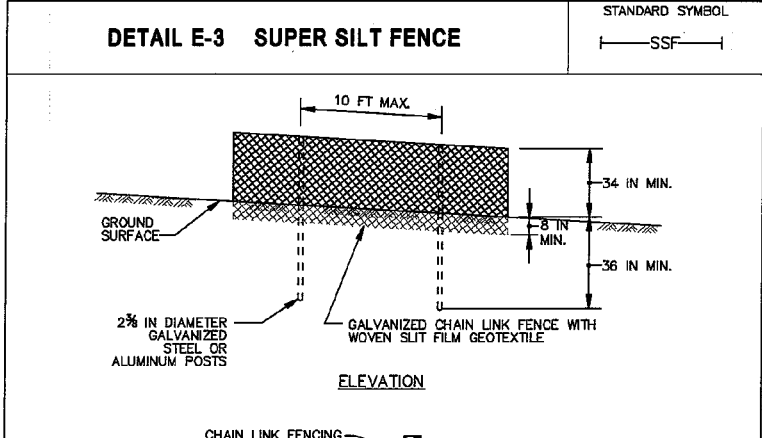
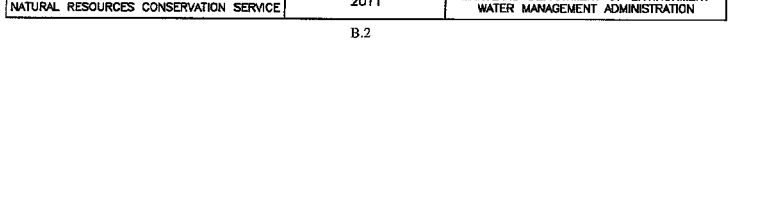
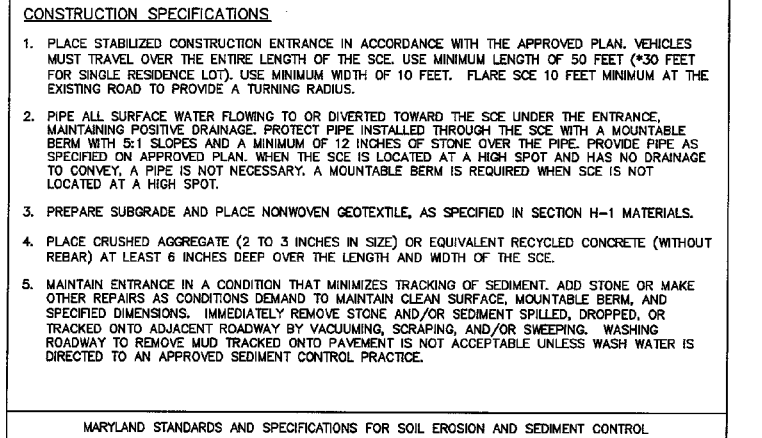
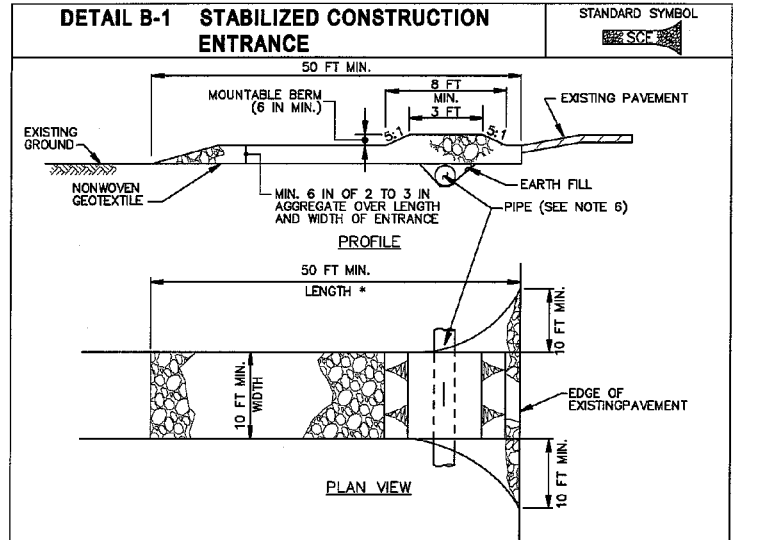
Table with 2 columns: HARDNESS ZONE (FROM FIGURE B.3), FELZER SEED MIXTURE (FROM TABLE B.3). Includes columns for NO, SPECIES, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, N, P2O5, K2O, LIME RATE.

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

- DEFINITION TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS. PURPOSE TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS. CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. CRITERIA 1. SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3) AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS...

TEMPORARY STABILIZATION

Table with 2 columns: HARDNESS ZONE (FROM FIGURE B.3), FELZER SEED MIXTURE (FROM TABLE B.3). Includes columns for NO, SPECIES, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, N, P2O5, K2O, LIME RATE.



CONSTRUCTION SPECIFICATIONS for various details. Includes instructions for pipe installation, matting application, fence construction, and silt fence construction.

CONSTRUCTION SPECIFICATIONS for various details. Includes instructions for pipe installation, matting application, fence construction, and silt fence construction.

OWNER/DEVELOPER INFORMATION. Includes name ANTONIO CIANFLONE, address 10682 SCAGGSVILLE ROAD LAUREL, MD 20723, and phone (301) 919-2518.

SITE DEVELOPMENT PLAN GRADING, EROSION AND SEDIMENT CONTROL NOTES AND DETAILS

CIANFLONE PROPERTY 10682 SCAGGSVILLE ROAD LAUREL, MD 20723

SEQUENCE OF CONSTRUCTION 1. OBTAIN GRADING PERMIT. (1 WEEK) 2. REQUEST A PRE-CONSTRUCTION MEETING WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS...

Vogel Engineering logo and contact information. Includes name, address, phone, and website.

