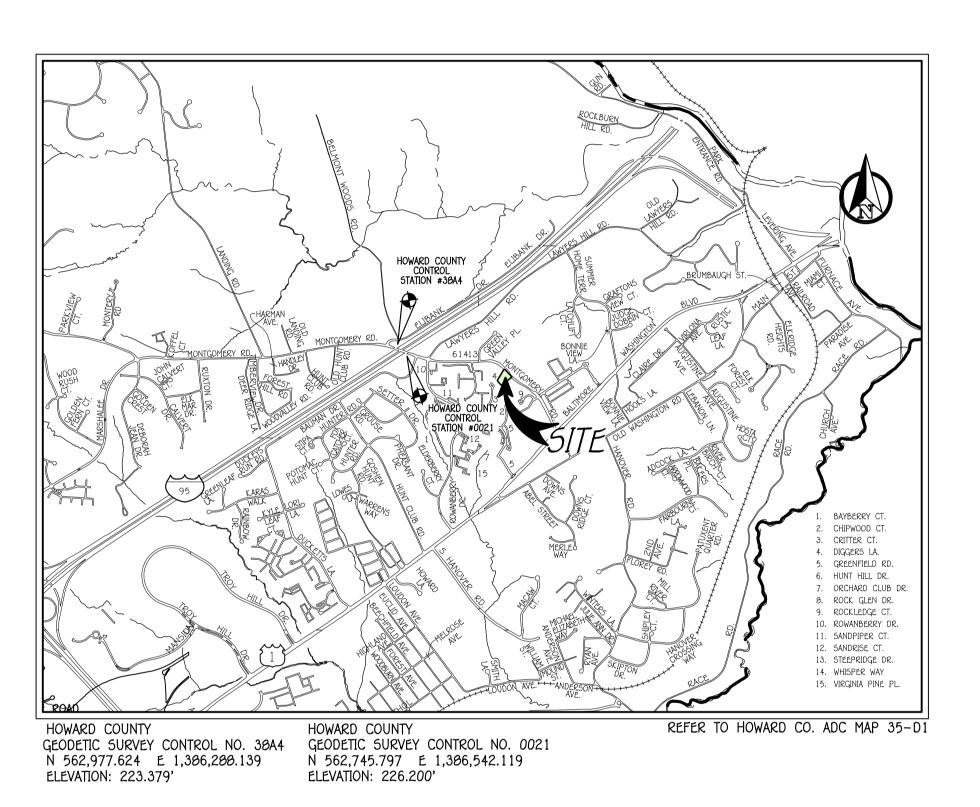
		SHEET INDEX
SHEET	NO.	DESCRIPTION
1		TITLE SHEET
2		EXISTING CONDITIONS & DEMO PLAN
3		ENVIRONMENTAL CONCEPT PLAN & GRADING PLAN
4		SEDIMENT EROSION CONTROL PLAN
5		NOTES AND DETAILS
6		LANDSCAPE PLAN AND DETAILS

50IL5 LEGEND					
50IL	NAME	CLA55	'K' VALUE		
5rE	Sassafras and Croom soils, 15 to 25 percent slopes	С	.32		
UcB	Urban land-Chillum-Beltsville complex, 0 to 5 percent slopes	С	.43		

SITE DEVELOPMENT PLAN 7170 MONTGOMERY ROAD

R-A-15 ZONING DISTRICT TAX MAP No. 38 GRID No. 02 PARCEL NO. 700 1ST ELECTION DISTRICT ELKRIDGE, MARYLAND



	STORMWATER MANAGEMENT PRACTICES							
AREA ID	LOCATION	ADDRE55	DRAINAGE AREA SF.	% IMPERVIOUS	E5DV REQUIRED CuF†.	E5DV PROVIDED CuF†.	DRY WELLS M-5 (Y/N)	NON-ROOFTOP DISCONNECT N-2 (Y/N)
DW1			742	100%	71	119	Υ	
DW2		7170 MONTCOMEOV	742	100%	71	119	Υ	
DW3	PARCEL 700	7170 MONTGOMERY	742	100%	71	119	Υ	
DW4		, KOAU	742	100%	71	119	Y	
AREA 1			945	0%	N/A	64		Y

ADDRESS CHART LOT NUMBER STREET ADDRESS 1 7170 MONTGOMERY ROAD

	SITE ANALYSIS DATA CHART
A.	TOTAL AREA OF THIS SUBMISSION = 0.91 AC.±.
B.	LIMIT OF DISTURBED AREA = 0.46 Ac. ±
	(5WM BASED ON LOD)
C.	PRESENT ZONING DESIGNATION = $R-A-15$
	(PER 10/06/2013 COMPREHENSIVE ZONING PLAN)
D.	PROPOSED USE: RESIDENTIAL SINGLE FAMILY DETACHED
É.	PREVIOUS HOWARD COUNTY FILES: ECP-22-012, ECP-23-019,
	5DP-22-024, WP-22-110, AND WP-23-079
F.	TOTAL AREA OF FLOODPLAIN LOCATED ON-SITE = 0 AC
,	TOTAL AREA OF SLOPES IN EXCESS OF 25% = 0.89 AC±
Н.	TOTAL AREA OF WETLANDS (INCLUDING BUFFER) = $0 \text{ AC.} \pm$
Į.	TOTAL AREA OF STREAM (INCLUDING BUFFER) = $0 \text{ AC.} \pm$
J.	TOTAL AREA OF EXISTING FOREST $= 0.00$ AC.
Ķ.	TOTAL AREA OF FOREST TO BE RETAINED = 0.00 AC±
L.	TOTAL AREA OF LOTS / BUILDABLE PARCELS = 0.84 AC±

TOTAL GREEN OPEN AREA (PERVIOUS)

EXCLUDES EXISTING IMPERVIOUS) O. TOTAL AREA OF ERODIBLE SOILS

N. TOTAL IMPERVIOUS AREA

5CALE: 1" = 2,000

5CALE: 1" = 2,000"

MODERATE INCOME HOUSING UN ALLOCATION EXEMPTIONS TR	NITS (MIHU) ACKING
Total Number of Lots/Units Proposed	1
Number of MIHU Required	0 %
Number of MIHU Provided Onsite (exempt from APFO allocations)	0
Number of APFO Allocations Required (remaining lots/units)	0
MIHU Fee-in-Lieu (indicate lot/unit numbers)	

OWNER/DEVELOPER

CHETAN MEHTA

5192 TALBOTS LANDING

ELLICOTT CITY MD 21043

443-285-9563

GENERAL NOTES

- THE SUBJECT PROPERTY IS ZONED R-A-15 (PER 10/06/13 COMPREHENSIVE ZONING PLAN.) BOUNDARY IS BASED ON A FIELD RUN SURVEY PERFORMED BY FISHER, COLLINS & CARTER ON OR ABOUT OCTOBER, 2020, CONTOURS ARE BASED ON A TOPOGRAPHIC FIELD RUN SURVEY PERFORMED BY FISHER, COLLINS AND CARTER, ON OR ABOUT OCTOBER, 2020 AND SUPPLEMENTED WITH HOWARD COUNTY GIS TOPOGRAPHY AT 5' CONTOUR INTERVAL INTERPOLATED FOR 2' CONTOUR INTERVAL.
- COORDINATES BASED ON NAD'83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 34FE AND NO. 34FB:

HOWARD COUNTY MONUMENT NO. 38A4 N 562,977.624 E 1,386,288.139 ELEV. 223.379' HOWARD COUNTY MONUMENT NO. 0021 N 562,745.797

4. THE GROSS PROPERTY AREA FOR THIS SITE IS 0.91 ACRES. 5. IN ACCORDANCE WITH SECTION 128.0 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES, OR DECKS, OPEN OR ENCLOSED MAY

E 1,386,542.119 ELEV. 226.200'

- PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK. STORM WATER MANAGEMENT WILL BE PRIVATELY OWNED AND MAINTAINED AND IS IN ACCORDANCE WITH THE M.D.E. STORM WATER DESIGN MANUAL, VOLUMES I & II, REVISED 2009. NON-STRUCTURAL PRACTICES IN ACCORDANCE WITH CHAPTER 5 ARE BEING UTILIZED, INCLUDING DRY WELLS AND AN AREA OF DISCONNECT OF NON-ROOFTOP RUNOFF.
- EXISTING UTILITIES ARE BASED ON HOWARD COUNTY RECORD DRAWINGS AS LABELED. 6. THIS PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT. PUBLIC WATER AND SEWER WILL
- BE UTILIZED FOR THIS PROJECT. 9. ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE CONTRACTOR'S
- 10. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAM(5) OR THEIR BUFFERS, FOREST
- CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN. 11. A PRE-5UBMISSION COMMUNITY MEETING WAS HELD ON 5-2-22 FOR THIS PROJECT.
- 12. THERE ARE NO WETLANDS, STREAMS OR THEIR BUFFERS LOCATED WITHIN THE BOUNDARY OF
- 13. LANDSCAPING: THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. FINANCIAL SURETY IN THE AMOUNT OF \$1,200 FOR 4 SHADE TREES HAS BEEN POSTED WITH THE GRADING PLAN. 14. THIS PROPOSED LOT IS LESS THAN 40,000 Sq.Ft. (39,640 Sq.Ft.), AND IS THEREFORE EXEMPT FROM FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1202(a) OF THE HO.CO.
- 15. DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
- a. WIDTH 12 FEET (16 FEET SERVING MORE THAN ONE RESIDENCE)
- b. SURFACE SIX (6") INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND SHIP COATING c. GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND MIN. 45' TURNING
- d. STRUCTURE (CULVERTS/BRIDGES) CAPABLE OF SUPPORTING 25 GROSS TONS (H 25 LOADING)
- e. DRAINAGE ELEMENTS SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE
- f. STRUCTURE CLEARANCES MINIMUM 12 FEET q. MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE

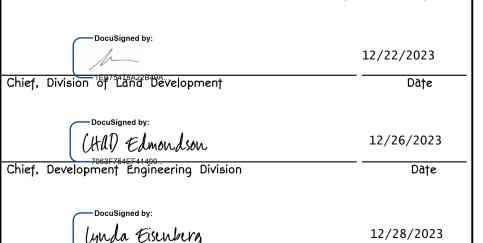
SUBDIVISION REGULATIONS.

- 16. BASED ON A NOISE STUDY ANALYSIS PROVIDED BY THE MARS GROUP ON 6-15-2023, THE FUTURE UN-MITIGATED NOISE LINE FROM MONTGOMERY ROAD THAT EXCEEDS THE 65 dba THRESHOLD IS LOCATED ON THE PROPERTY, MITIGATION IS SHOWN.
- THE 65 dba NOISE LINE ESTABLISHED BY HOWARD COUNTY TO ALERT DEVELOPERS, BUILDERS AND FUTURE RESIDENTS THAT AREAS BEYOND THIS THRESHOLD MAY EXCEED GENERALLY ACCEPTED NOISE LEVELS ESTABLISHED BY THE U.S. DEPT OF HOUSING AND URBAN
- 17. RESULTS OF GROUND PENETRATION RADAR HAS BEEN PROVIDED.
- 18. SITE HISTORY AND WAIVER REQUESTS: ECP-22-012, ECP-23-19, SDP-22-024, WP-22-110 TO ADDRESS THE STEEP SLOPES, WHICH WAS DENIED AND HAS BEEN RESUBMITTED AS WP-23-079 WHICH WAS APPROVED ON MAY 10,
- 19. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT 410-313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- 20. THE CONTRACTOR SHALL NOTIFY (MISS UTILITY) AT 1-800-257-7777 AT LEAST 40 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- 21. A SOIL BORING REPORT IS PROVIDED FOR THIS PROJECT SINCE DRYWELLS ARE BEING UTILIZED.
- 22. SOILS SHOWN HEREON ARE BASED ON THE NRCS WEBSOIL SURVEY AND HOWARD COUNTY SOILS. 23. EXISTING UTILITIES ARE BASED ON MISS UTILITY MARKINGS, FIELD LOCATIONS AND AVAILABLE COUNTY INFORMATION.
- 24. B.R.L. DENOTES BUILDING RESTRICTION LINE. 25. REFER TO INVERT ELEVATION AT PROPERTY LINE AND MAIN FOR SANITARY HOUSE CONNECTION. WATER AND SEWER SERVICE WILL BE GRANTED UNDER THE PROVISIONS OF SECTION 10.122.B OF
- THE HOWARD COUNTY CODE. (CONTRACT #44-4280 & #10-8096). 26. THIS LOT IS NOT AN IN-FILL DEVELOPMENT. ADJACENT LOTS ARE ALL DEVELOPED. 27. THERE ARE NO CEMETERIES ON SITE. HOWEVER. THIS SITE IS LOCATED DIRECTLY ADJACENT TO CEMETERY #30-3 AND #30-4 ON THE HOWARD COUNTY CEMETERY INVENTORY. AS PER SECTION
- 16.110(C) OF THE HOWARD COUNTY CODE, NO GRADING OR CONSTRUCTION SHALL BE PERMITTED WITHIN 30 FEET OF A CEMETERY BOUNDARY OR WITHIN TEN FEET OF INDIVIDUAL GRAVE SITES. ANY FUTURE DISTURBANCE OF GROUND ADJACENT TO THE ADJOINING GRAVESITES WILL REQUIRE INVESTIGATION BY GROUND PENETRATING RADAR. 28. THE SITE IS NOT ADJACENT TO A SCENIC ROAD.
- 29. THE PROJECT IS IN CONFORMANCE WITH APPLICABLE HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
- 30. THERE ARE NO HISTORICAL FEATURES ON SITE.
- 31. 0.89 ACRES OF THE SITE CONSTAINS STEEP SLOPES OF 25% OF GREATER. WAIVER PETITION WP-23-079 ADDRESSES THE ON-SITE STEEP SLOPES AND WAS APPROVED ON MAY 10, 2023 UNDER THE FOLLOWING CONDITIONS:
- 1. DISTURBANCE IS TO BE LIMITED TO WHAT IS SHOWN ON EXHIBIT B AND 2,409 SF.
- 2. ALL COMMENTS PROVIDED WITH ECP-23-019 MUST BE ADDRESSED. 3. SUBMISSION AND APPROVAL OF A SITE DEVELOPMENT PLAN WITH THE IMPROVEMENTS SHOWN
- ON EXHIBIT B IS REQUIRED PRIOR TO THE ISSUANCE OF A GRADING PERMIT. 4. ALL GRADING ACTIVITY MUST AVOID THE AREA ALONG THE WESTERN BOUNDARY ADJACENT TO THE GRAVE SITES ON THE ADJOINING PROPERTIES UNLESS GROUND-PENETRATING RADAR IS CONDUCTED. THE LOD AS SHOWN ON EXHIBIT B WILL NOT REQUIRE GROUND-PENETRATING
- 32. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND
- REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT. 33. IF ANY PREVIOUS PRIVATE WELL OR SEPTIC COMPONENTS ARE DISCOVERED IT WILL BE THE
- RESPONSIBILITY OF THE BUILDERS AND CONTRACTORS INVOLVED TO CONTACT THE HEALTH DEPARTMENT IMMEDIATELY.
- 35. THE CHURCH SHALL BE PERMITTED TO USE THE SHARED PORTION OF THE DRIVEWAY UNTIL SUCH TIME THAT THEIR DRIVEWAY APRON IS CONSTRUCTED WITH THE CAPITAL PROJECT.

STORMWATER MANAGEMENT SUMMARY								
AREA ID.	E5DV REQUIRED CU.FT.	E5Dv PROVIDED CU.FT.	REMARK5					
SITE	501	540	DRY WELL (M-5) & DISCONNECTION OF NON-ROOFTOP RUNOFF (N-2)					
TOTAL	501	540						

GROSS AREA = 0.91 AC. (TOTAL) LOD = 0.46 ACRESRCN = 70TARGET Pe = 1.2" Pe PROVIDED = 1.3" RV = 0.05 + (0.009) (I); I= 25% = 0.255 = 0.13 (100% 'C' 50ils)Rev = (5) (Rv) (A)/12= (0.13) (0.25) (0.46)/12= 0.00124 ac-ft or 54 cu-ft

FISHER, COLLINS & CARTER, INC. VIL ENGINEERING CONSULTANTS & LAND SURVEYORS ELLICOTT CITY, MARYLAND 21042



Director - Department of Planning and Zoning

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING



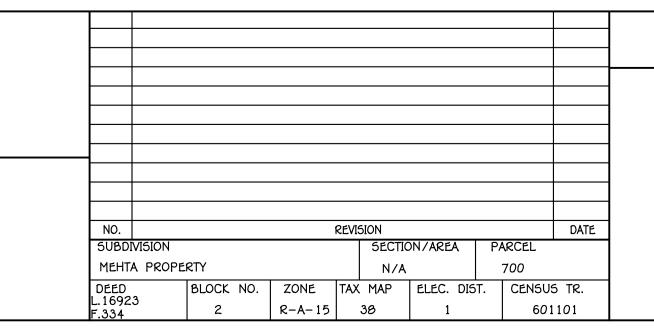
PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED UNDER MY SUPERVISION

 $= 0.74 \text{ AC} \pm$

 $= .34 AC \pm$

= 0.10 AC \pm (WITHIN LOD,

AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27020, EXPIRATION DATE: 01/25/24. Paul G. Cavanaugh 12/20/2023 PAUL G. CAVANAUGH



TITLE SHEET

MEHTA PROPERTY 7170 MONTGOMERY ROAD

ZONED: R-A-15 TAX MAP NO.: 38 GRID NO.: 02 PARCEL 700 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

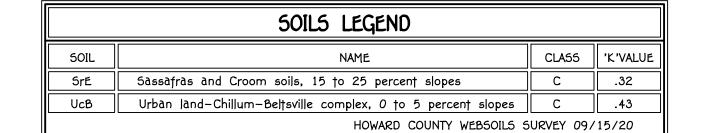
> SCALE: AS SHOWN DATE: NOVEMBER, 2023 SHEET 1 OF 6

SYMBOL	LEGEND DESCRIPTION
311(DOL	EXISTING CONTOUR 2' INTERVAL
	EXISTING CONTOUR 10' INTERVAL
	PROPOSED CONTOUR 10' INTERVAL
	PROPOSED CONTOUR 2' INTERVAL
- 0 - 0	EXISTING FENCE
×448.5	SPOT ELEVATION
18"_5D	EXISTING STORM DRAIN
「	EXISTING WATER LINE
<u> </u>	EXISTING SEWER LINE
	EXISTING OVERHEAD WIRE
×>w	EXISTING FENCE LINE
	PROPOSED PAVING
	EXISTING PAVING
	PRIVATE UIC EASEMENT
	PRIVATE DRAINAGE & UTILITY EASEMENT
4. 4 4	<u> </u>
4	PERVIOUS PAVING PARKING BAYS
LOD	LIMIT OF DISTURBANCE
55F/TP	SUPER SILT FENCE/TREE PROTECTION FENCE
—— DF/TP ——	DIVERSION FENCE/TREE PROTECTION FENCE
	EXISTING TREE LINE
~~~~	PROPOSED TREE LINE
	DRAINAGE DIVIDE
×××××××××××××××××××××××××××××××××××××××	PERMANENT SOIL STABILIZATION
GhB	CONTROL MATTING
LoB	SOIL LINES AND TYPES
	BIO RETENTION FACILITY  (F-6) OR (M-6)  AS NOTED
· · · · · · · ·	PROPOSED ROOF LEADER
<b>**</b>	DENOTES EXISTING TREES TO BE REMOVED
*	DENOTES EXISTING TREES TO REMAIN
*	DENOTES PROPOSED TREE
5T 3	SPECIMEN TREE
is a second	CRITICAL ROOT ZONE
	GRASS DISCONNECT AREA
	PROPOSED SHADE TREE
	65 dBA UNMITIGATED LINE
	65 dBA MITIGATED LINE
	ט ישט ווווקרובט בוהב
4	

AREA 25% OR GREATER STEEP SLOPE: TOTAL AREA: 39,640 54.Ft. ONSITE AREA BEING DISTURBED: 2,409 5Q.FT.

SPECIMEN TREE TABLE						
SPECIMEN TREE	TREE TYPE	DBH (in)	CRZ (ff)			
5T 1	WHITE OAK	52"	78'			
5T 2	WHITE OAK	4 <i>8</i> "	72'			

FRONTAGE IMPROVEMEN PROVIDED E	ITS OF THE PROPERTY OF THE PRO	Water Valve Water Valve	
RUB IMPROVEME	5061.03.2	UP 244763	- PAVEMENT MARKINGS
N 562,400	10492 FOLIC 479		PAVEMENT MARKINGS ASSOCIATED WITH DPW IMPROVEMENT PROJECT K5601.03.2  PROPOSED WATER METER VAULT
лом ом тне	E: THE PORTION OF EXISTING PAVEMENT THIS PROPERTY SHALL BE REMOVED BY DEVELOPERFOLLOWING THE PRONTAGE ROVEMENT PROJECT K5061.03,2	Con Port	г. 1.388.
	ANTI-LINI PROJECT 159001.US,Z	3.96.	
			wight —
CRZ CAZ	-256-	UP 63275	16 Mountain St. Mar.
W GRAVE		35.	
82	CRZ 252 S CAR		, cra-
	Sil		
5T2 1 00			
PROPERTY OF  HOWARD COUNTY MD  TAX-MAP 38 PARCEL 1699  LIBER/19177 FOLIC 000052  ZONED R-A-15	CRIA		
LIBER /19177 FOLIO /00052 / ZONED R-A-15 / 1	PARCEL 700  AREA: 39,640 5qFt.  0.91 Acres		
	5T1 5T1	SIDEWALK	(PUBLIC PROJECT)  UP) 238239
CRZ		BAPTIST CHURCH/ /TAX MAP 38 /PAI /TAX MAP 38 /PAI LIBER 3428 FO ZONED R-A	OF ELKRIDGE INC RCEL 701 LIC 679   -15
25% OR			8.750 (%)
CREATER STEEP SLOPE (30,960 54 Ft.)  ROCKBURN 20 MMONS SECTION 10 CREATER STEEP  PLAT NO. 6676	P3.		N 562,150
ROCKBURN ZOMMONS SECTION 2 OF ZONED R-A-15	CR	246	
	14 13 3 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		
	JCB		
	2200	25	
	PROPOSE	D PLAN VIEW	
	SCALE	: 1" = 30'	



0' 30' 60' 120' SCALE: 1" = 30'

FISHER, COLLINS & CARTER, INC.

CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS

CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE

ELLICOTT CITY, MARYLAND 21042

(410) 461 - 2055

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Docusigned by:

LHD Edmondson

Chief, Development Date

12/26/2023

Chief, Development Engineering Division

Docusigned by:

LHD Edmondson

Date

12/28/2023

Director - Department of Planning and Zoning

Date



PROFESSIONAL CERTIFICATION

EXISTING DRIVEWAY TO
BE RELOCATED PER
CAPITAL PROJECT #

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED UNDER MY SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27020, EXPIRATION DATE: 01/25/24.

Paul G. Cavanaugh

PAUL G. CAVANAUGH

Date

OWNER/DEVELOPER

CHETAN MEHTA
5192 TALBOT5 LANDING
ELLICOTT CITY MD 21043
443-205-9563

NO. REVISION DATE

SUBDIVISION SECTION/AREA PARCEL

MEHTA PROPERTY N/A 700

DEED BLOCK NO. ZONE TAX MAP ELEC. DIST. CENSUS TR.

L.16923
F.334 2 R-A-15 38 1 601101

& DEMO PLAN

MEHTA PROPERTY
7170 MONTGOMERY ROAD

EXISTING CONDITIONS

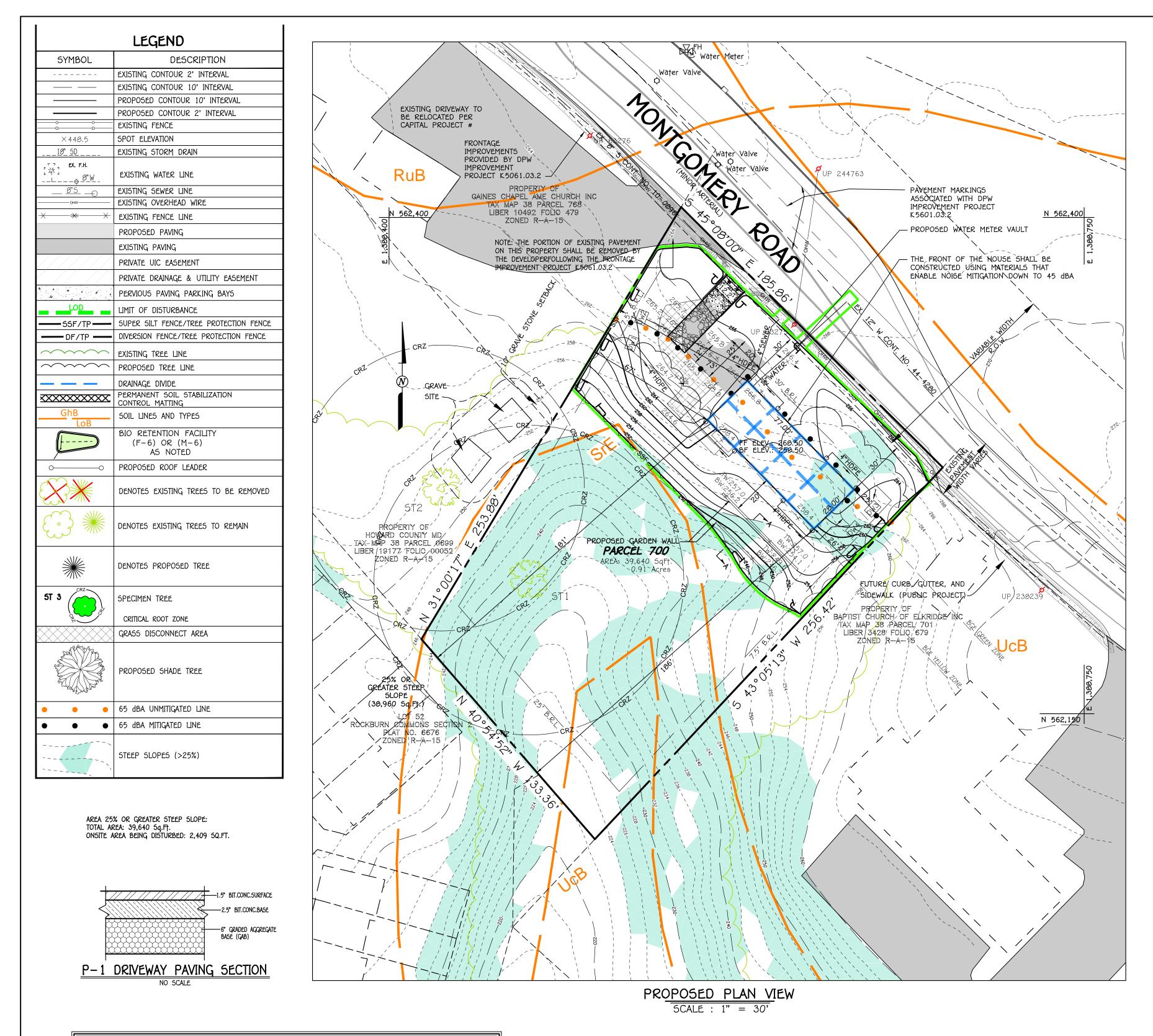
ZONED: R-A-15

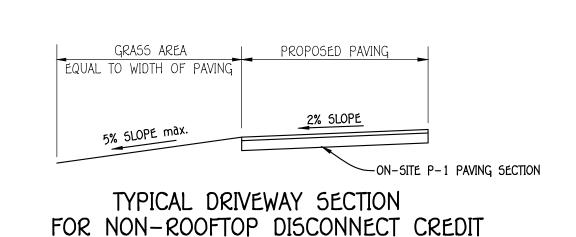
TAX MAP NO.: 38 GRID NO.: 02 PARCEL 700

FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE: AS SHOWN DATE: NOVEMBER, 2023

SHEET 2 OF 6

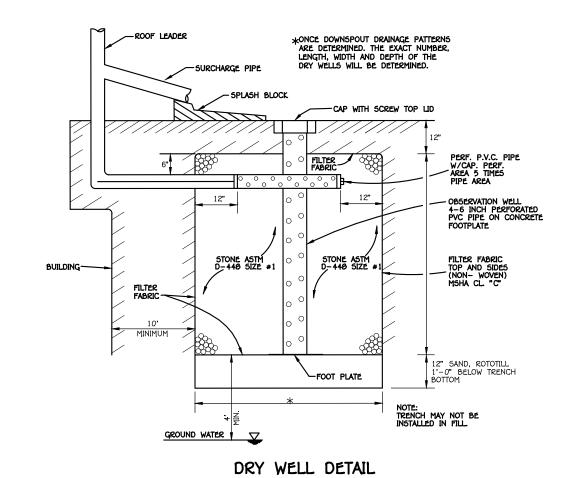




OPERATION & MAINTENANCE SCHEDULE
FOR PRIVATELY OWNED AND MAINTAINED,
DISCONNECTION OF NON-ROOFTOP RUNOFF (N-2)

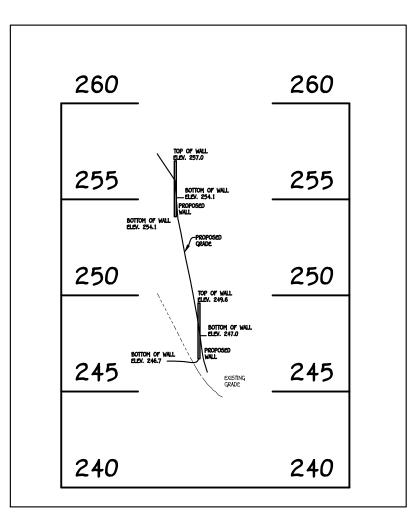
I. MAINTENANCE OF AREAS RECEIVING DISCONNECTION RUNOFF IS GENERALLY NO DIFFERENT THAN THAT REQUIRED FOR OTHER LAWN OR LANDSCAPED AREAS. THE AREAS RECEIVING RUNOFF SHOULD BE PROTECTED FROM FUTURE COMPACTION OR DEVELOPMENT OF IMPERVIOUS AREA. IN COMMERCIAL AREAS FOOT TRAFFIC SHOULD BE DISCOURAGED AS WELL.

NOT TO SCALE



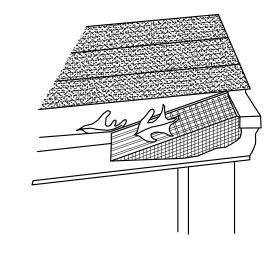
DRY WELL CHART							
PARCEL NO.	AREA OF ROOF PER DOWN SPOUT	VOLUME REQUIRED	VOLUME PROVIDED	AREA OF TREATMENT	NO. OF DRYWELLS	*D L W	
700	371 Sq.Ft.	71 C.F.	119 C.F.	100%	1	5.5' x 9' x 6'	
700	371 5q.F†.	71 C.F.	119 C.F.	100%	1	5.5' x 9' x 6'	
700	371 5q.F†.	71 C.F.	119 C.F.	100%	1	5.5' x 9' x 6'	
700	371 5q.Ft.	71 C.F.	119 C.F.	100%	1	5.5' x 9' x 6'	

NOT TO SCALE



A-A RETAINING WALL DETAIL

NOT TO SCALE



NOT TO SCALE

GUTTER DRAIN FILTER DETAIL (OR EQUAL)

# OPERATION AND MAINTENANCE SCHEDULE FOR DRYWELLS (M-5)

- A. THE OWNER SHALL INSPECT THE MONITORING WELLS AND STRUCTURES ON A QUARTERLY BASIS AND AFTER EVERY HEAVY STORM EVENT.
- B. THE OWNER SHALL RECORD THE WATER LEVELS AND SEDIMENT BUILD UP IN THE MONITORING WELLS OVER A PERIOD OF SEVERAL DAYS TO INSURE TRENCH DRAINAGE.
- C. THE OWNER SHALL MAINTAIN A LOG BOOK TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.

  D. WHEN THE FACILITY BECOMES CLOGGED SO THAT IT DOES NOT DRAIN DOWN WITHIN A SEVENTY TWO (72) HOUR
- TIME PERIOD, CORRECTIVE ACTION SHALL BE TAKEN.

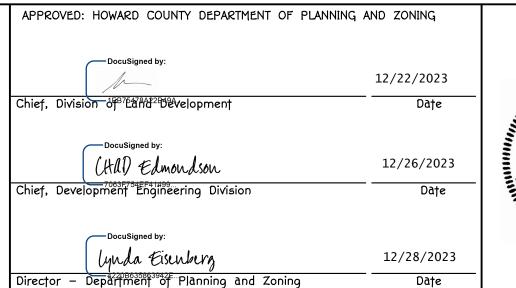
  E. THE MAINTENANCE LOG BOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE
- WITH OPERATION AND MAINTENANCE CRITERIA.

  F. ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION FACILITY HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.

	50IL5 LEGEND						
50IL	NAME	CLA55	'K' VALUE				
5rE	Sassafras and Croom soils, 15 to 25 percent slopes	С	.32				
UcB	Urban land-Chillum-Beltsville complex, 0 to 5 percent slopes	С	.43				

DAILY STABILIZATION NOTE
ALL DISTURBED AREAS NOT DIRECTED TO A SEDIMENT CONTROL DEVICE SHALL BE STABILIZED AT THE END OF EACH WORKDAY. THE CONTRACTOR SHALL NOT DISTURB AN AREA GREATER THAN THAT WHICH CAN BE STABILIZED AT THE END OF EACH WORKDAY







# PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED UNDER MY SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27020, EXPIRATION DATE: 01/25/24.

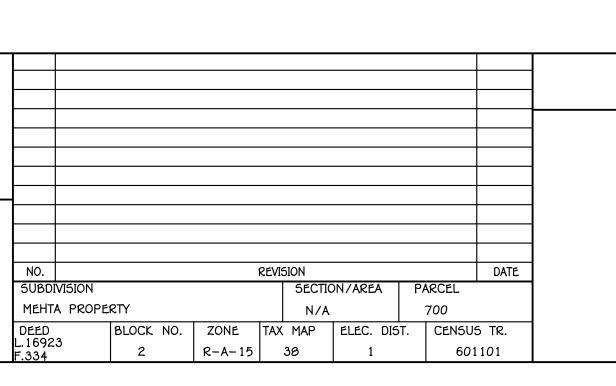
Paul G. Cavanaugh

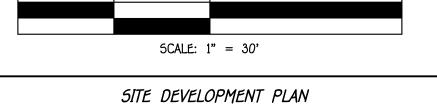
PAUL G. CAVANAUGH

Date

OWNER/DEVELOPER

CHETAN MEHTA
5192 TALBOTS LANDING
ELLICOTT CITY MD 21043
443-285-9563





& GRADING PLAN

MEHTA PROPERTY
7170 MONTGOMERY ROAD

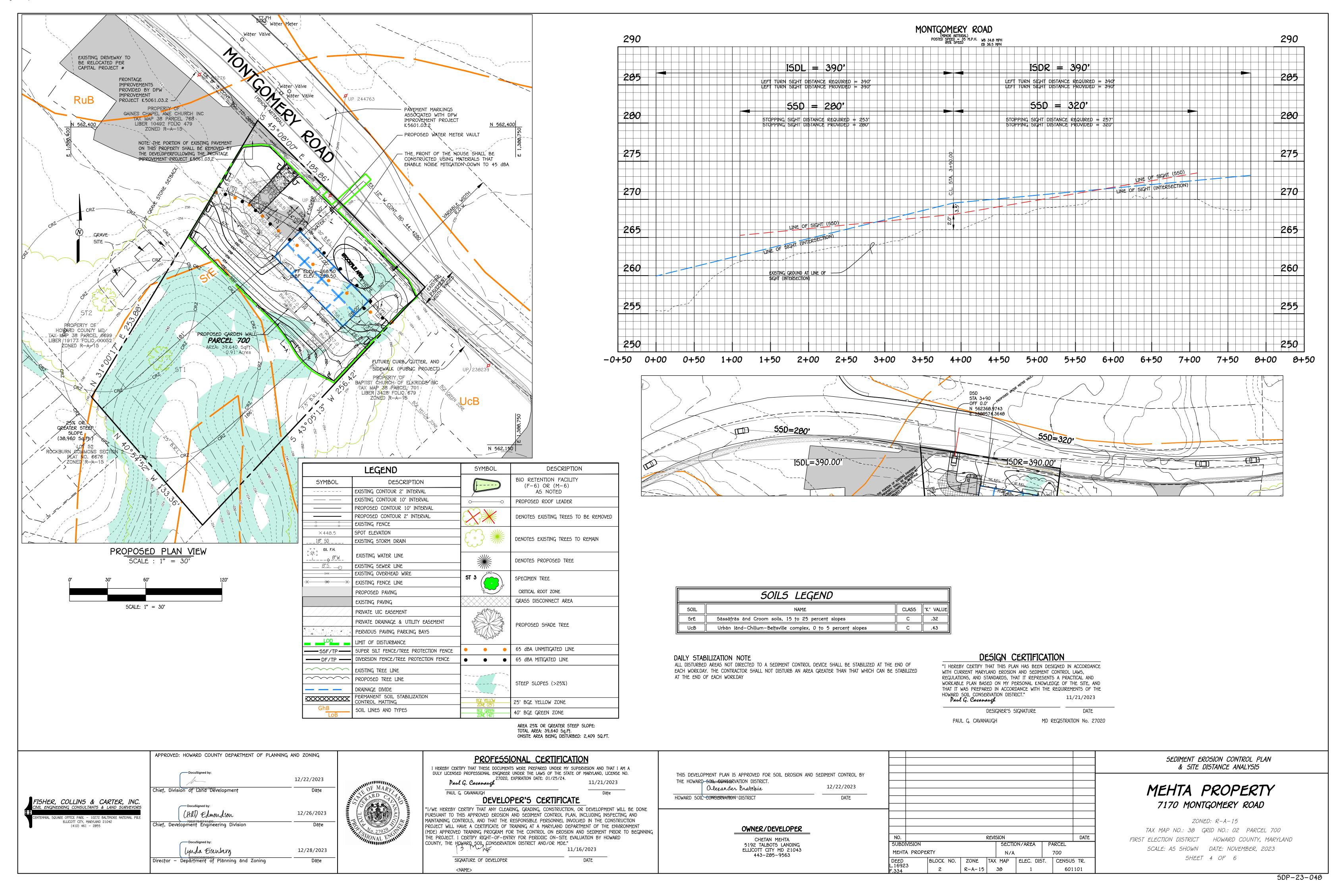
ZONED: R-A-15

TAX MAP NO.: 38 GRID NO.: 02 PARCEL 700

FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE: AS SHOWN DATE: NOVEMBER, 2023

SHEET 3 OF 6



# SOIL PREPARATION, TOPSOILING AND SOIL AMENDMENTS (B-4-2)

# A. Soil Preparation

1. Temporary Stabilization

a. Seedbed preparation consists of loosening soil to a depth of 3 to 5 inches by means of suitable agricultural or construction equipment, such as disc harrows or chisel plows or rippers mounted on construction equipment. After the soil is loosened, it must not be rolled or dragged smooth but left in the roughened condition. Slopes 3:1 or flatter are to be tracked with ridges running parallel to the contour of the slope.

b. Apply fertilizer and lime as prescribed on the plans.

c. Incorporate lime and fertilizer into the top 3 to 5 inches of soil by disking or other suitable means.

### 2. Permanent Stabilization

a. A soil test is required for any earth disturbance of 5 acres or more. The minimum soil conditions required for permanent vegetative establishment are:

## Soil pH between 6.0 and 7.0

Soluble salts less than 500 parts per million (ppm). ii. Soil contains less than 40 percent clay but enough fine grained material (greater than 30 percent silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exception: if lovegrass will be planted, then a sandy soil (less than 30 percent silt plus clay) would be acceptable.

iv. Soil contains 1.5 percent minimum organic matter by weight. v. Soil contains sufficient pore space to permit adequate root penetration.

o. Application of amendments or topsoil is required if on—site soils do not meet the above conditions.

### . Graded areas must be maintained in a true and even grade as specified on the approved plan, then scarified or otherwise loosened to a depth of 3 to 5 inches.

d. Apply soil amendments as specified on the approved plan or as indicated by the results of a soil test. e. Mix soil amendments into the top 3 to 5 inches of soil by disking or other suitable means. Rake lawn areas to smooth the surface, remove large objects like stones and branches, and ready the area for seed application. Loosen surface soil by dragging with a heavy chain or other equipment to roughen the surface where site conditions will not permit normal seedbed preparation. Track slopes 3:1 or flatter with tracked equipment leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. Leave the top 1 to 3 inches of soil loose and friable. Seedbed loosening may be unnecessary on newly disturbed areas.

# B. Topsoiling

1. Topsoil is placed over prepared subsoil prior to establishment of permanent vegetation. The purpose is to provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

?. Topsoil salvaged from an existing site may be used provided it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-NRCS.

## 3. Topsoiling is limited to areas having 2:1 or flatter slopes where:

a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.

b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.

c. The original soil to be vegetated contains material toxic to plant growth.

## d. The soil is so acidic that treatment with limestone is not feasible.

4. Areas having slopes steeper than 2:1 require special consideration and design.

5. Topsoil Specifications: Soil to be used as topsoil must meet the following criteria:

be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. every 3 to 4 days depending on soil texture) until they are firmly established. This is especially true Topsoil must not be a mixture of contrasting textured subsoils and must contain less than 5 percent by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2 inches in diameter.

b. Topsoil must be free of noxious plants or plant parts such as Bermuda grass, quack grass, Johnson grass, nut sedge, poison ivy, thistle, or others as specified.

:. Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil. 6. Topsoil Application

# a. Erosion and sediment control practices must be maintained when applying topsoil.

b. Uniformly distribute topsoil in a 5 to 0 inch layer and lightly compact to a minimum thickness of 4 inches. Spreading is to be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations must be corrected in order to prevent the formation of depressions or water pockets.

c. Topsoil must not be placed if the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation C. Soil Amendments (Fertilizer and Lime Specifications)

1. Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas of 5 acres or more. Soil analysis may be performed by a recognized private or commercial laboratory. Soil samples taken for engineering purposes may also be used for chemical

2. Fertilizers must be uniform in composition, free flowing and suitable for accurate application by appropriate equipment. Manure may be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers must all be delivered to the site fully labeled according to the applicable laws and must bear the name, trade name or trademark and warranty of the producer.

3. Lime materials must be ground limestone (hydrated or burnt lime may be substituted except when hydroseedina) which contains at least 50 percent total oxides (calcium oxide plus magnesium oxide). Limestone must be ground to such fineness that at least 50 percent will pass through a #100 mesh sieve and 98 to 100 1. Excavate and stabilize cut slopes in increments not to exceed 15 feet in height. Prepare seedbed and percent will pass through a #20 mesh sieve.

4. Lime and fertilizer are to be evenly distributed and incorporated into the top 3 to 5 inches of soil by disking or other suitable means.

5. Where the subsoil is either highly acidic or composed of heavy clays, spread ground limestone at the rate of 4 to 8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil.

# TEMPORARY SEEDING NOTES (B-4-4)

To stabilize disturbed soils with vegetation for up to 6 months.

To use fast growing vegetation that provides cover on disturbed soils

# Conditions Where Practice Applies

Exposed soils where ground cover is needed for a period of 6 months or less. For longer duration of time, permanent stabilization practices are required.

1. Select one or more of the species or seed mixtures listed in Table B.1 for the appropriate Plant Hardiness Zone (from Figure B.3), and enter them in the Temporary Seeding Summary below along with application rates, seeding dates and seeding depths. If this Summary is not put on the plan and completed, then Table B.1 plus fertilizer and lime rates must be put on the plan.

2. For sites having soil tests performed, use and show the recommended rates by the testing agency. Soil tests are not required for Temporary Seeding.

3. When stabilization is required outside of a seeding season, apply seed and mulch or straw mulch alone as prescribed in Section B-4-3.A.1.b and maintain until the next seeding season.

		Temporary Seedin	g Summary		
Hardiness Zone Seed Mixture (	e (from Figure B. from Table B.1):	3): <u>6b</u>	Ferțilizer	Ra†e (10-20-20)	Lime Rațe
Species	Application Rate (lb/ac)	Seeding Dațes	Seeding Depths		
BARLEY	96	3/1 - 5/15, 8/1 - 10/15	1"	436 lb/ac	2 †ons/āc
OAT5	72	3/1 - 5/15, 8/1 - 10/15	1"	(10 lb/ 1000 sf)	(90 lb/ 1000 sf)
RYE	112	3/1 - 5/15, 8/1- 10/15	1"		
FOXTAIL MILLET	30	5/16 - 7/31	0.50"		

### PERMANENT SEEDING NOTES (B-4-5) A. Seed Mixtures

a. Select one or more of the species or mixtures listed in Table B.3 for the appropriate Plant Hardiness Zone (from Figure B.3) and based on the site condition or purpose found on Table B.2. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The Summary is to be

b. Additional planting specifications for exceptional sites such as shorelines, stream banks, or dunes or for special purposes such as wildlife or aesthetic treatment may be found in USDA-NRCS Technical Field Office Guide, Section 342 - Critical Area Planting.

c. For sites having disturbed area over 5 acres, use and show the rates recommended by the soil testing agency. d. For areas receiving low maintenance, apply urea form fertilizer (46-0-0) at 3 1/2 pounds per 1000 square feet (150 pounds per acre) at the time of seeding in addition to the soil amendments shown in the Permanent Seeding Summary .

a. Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance.

b. Select one or more of the species or mixtures listed below based on the site conditions or purpose. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The summary is to be placed on the plan.

i. Kentucky Bluegrass: Full Sun Mixture: For use in areas that receive intensive management. Irrigation required in the areas of central Maryland and Eastern Shore. Recommended Certified Kentucky Bluegrass Cultivars Seeding Rate: 1.5 to 2.0 pounds per 1000 square feet. Choose a minimum of three Kentucky bluegrass cultivars with each ranging from 10 to 35 percent of the total mixture by weight. Kentucky Bluegrass/Perennial Rye: Full Sun Mixture: For use in full sun areas where rapid

establishment is necessary and when turf will receive medium to intensive management. Certified Perennial Ryegrass Cultivars/Certified Kentucky Bluegrass Seeding Rate: 2 pounds mixture per 1000 square feet. Choose a minimum of three Kentucky bluegrass cultivars with each ranging from 10 to 35 percent of the

Tall Fescue/Kentucky Bluegrass: Full Sun Mixture: For use in drought prone areas and/or for areas receiving low to medium management in full sun to medium shade. Recommended mixture includes; Certified Tall Fescue Cultivars 95 to 100 percent, Certified Kentucky Bluegrass Cultivars 0 to 5 percent. Seeding Rate: 5 to 8 pounds per 1000 square feet. One or more cultivars may be blended.

Kentucky Bluegrass/Fine Fescue: Shade Mixture: For use in areas with shade in Bluegrass lawns. For establishment in high quality, intensively managed turf area. Mixture includes; Certified Kentucky Bluegrass Cultivars 30 to 40 percent and Certified Fine Fescue and 60 to 70 percent. Seeding Rate: 1 1/2 to 3 pounds per 1000 sauare feet.

Select turfgrass varieties from those listed in the most current University of Maryland Publication, Agronomy Memo #77. "Turfgrass Cultivar Recommendations for Maryland"

Choose certified material. Certified material is the best guarantee of cultivar purity. The certification program of the Maryland Department of Agriculture, Turf and Seed Section, provides a reliable means of consumer protection and assures a pure genetic line

Ideal Times of Seeding for Turf Grass Mixtures Western MD: March 15 to June 1, August 1 to October 1 (Hardiness Zones: 5b. 6a) Central MD: March 1 to May 15. August 15 to October 15 (Hardiness Zone: 6b) Southern MD, Eastern Shore: March 1 to May 15, August 15 to October 15 (Hardiness Zones: 7a. 7b)

d. Till areas to receive seed by disking or other approved methods to a depth of 2 to 4 inches, level and rake the areas to prepare a proper seedbed. Remove stones and debris over 1 1/2 inches in diameter. The resulting seedbed must be in such condition that future moving of grasses will pose no

ā. Topsoil myst be à loàm, sàndy loàm, clay loàm, silt loàm, sàndy clay loàm, or loàmy sànd. Other soils mày 🛭 e. If soil moisture is deficient, supply new seedings with àdequâte wâter for plànt growth ( 1/2 to 1 inch when seedings are made late in the planting season, in abnormally dry or hot seasons, or on adverse

### Permanent Seeding Summary

Hardiness Zone (from Figure B.3): <u>6b</u> Ferțilizer Rațe (10-20-20) Seed Mixture (from Table B.3): <u>8</u>							Lime Rate	
No.	Species	Application Rate (lb/ac)	Seeding Dates	5eeding Depths	N	P ₂ O ₅	K ₂ O	
8	TALL FESCUE	100	Mar. 1-May 15 Aug. 1-Oct. 15	1/4-1/2 in.	45 lbs. per acre	90 lb/ac (2 lb/	90 lb/ac (2 lb/	2 †ons/dc (90 lb/
N/A	MILLET FOXTAIL	50 50	May 15-June 15	1/4-1/2 in.	(1.0 lb/ 1000 sf)	1000 sf)	1000 sf)	1000 sf)
N/A	50D	100	Mar. 1-May 15 May 16-Sept. 14 Sept. 15-Nov. 15	3/4 in.				
1,2	5WITCH GRASS BUSH CLOVER (LEGUME)	10 2	June 1-July 31	4–7 in. Max.				

# B-4-1 STANDARDS AND SPECIFICATIONS FOR INCREMENTAL STABILIZATION

# Definition

Establishment of vegetative cover on cut and fill slopes. <u>Purpose</u> To provide timely vegetative cover on cut and fill slopes as work progresses.

Conditions Where Practice Applies Any cut or fill slope greater than 15 feet in height. This practice also applies to stockpiles.

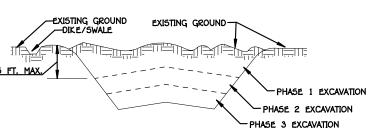
A. Incremental Stabilization - Cut Slopes

apply seed and mulch on all cut slopes as the work progresses. 2. Construction sequence example (Refer to Figure B.1) a. Construct and stabilize all temporary swales or dikes that will be used to convey runoff around the excavation.

b. Perform Phase 1 excavation, prepare seedbed, and stabilize. c. Perform Phase 2 excavation, prepare seedbed, and stabilize. Overseed Phase 1 areas as

d. Perform final phase excavation, prepare seedbed, and stabilize. Overseed previously seeded

Note: Once excavation has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation out of the seeding season will necessitate the application of temporary stabilization.



# Figure B.1: Incremental Stabilization — Cut

B. Incremental Stabilization - Fill Slopes 1. Construct and stabilize fill slopes in increments not to exceed 15 feet in height. Prepare seedbed and apply seed and mulch on all slopes as the work progresses. 2. Stabilize slopes immediately when the vertical height of a lift reaches 15 feet, or when the grading operation ceases as prescribed in the plans. 3. At the end of each day, install temporary water conveyance practice(s), as necessary, to intercept surface runoff and convey it down the slope in a non-erosive manner. 4. Construction sequence example (Refer to Figure B.2):

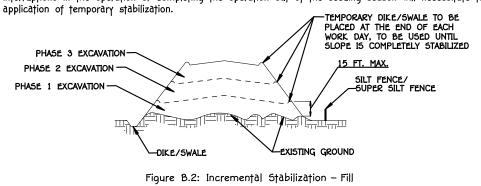
a. Construct and stabilize all temporary swales or dikes that will be used to divert runoff around the fill. Construct silt fence on low side of fill unless other methods shown on the plans address b. At the end of each day, install temporary water conveyance practice(s), as necessary, to

intercept surface runoff and convey it down the slope in a non-erosive manner. c. Place Phase 1 fill, prepare seedbed, and stabilize. d. Place Phase 2 fill, prepare seedbed, and stabilize e. Place final phase fill, prepare seedbed, and stabilize. Overseed previously seeded areas as

12/22/2023

12/28/2023

# Note: Once the placement of fill has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation out of the seeding season will necessitate the



STANDARD STABILIZATION NOTE FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR

TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN: a.) THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND

b.) SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.

# STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

<u>Definition</u> The application of seed and mulch to establish vegetative cover.

<u>Purpose</u> To protect disturbed soils from erosion during and at the end of construction.

Conditions Where Practice Applies To the surface of all perimeter controls, slopes, and any disturbed area not under active grading.

<u>Criteria</u>

a. All seed must meet the requirement of the Maryland State Seed Law. All seed must be subject to re-testing by a recognized seed laboratory. All seed used must have been tested within the 6 months immediately preceding the date of sowing such material on any project. Refer to Table 3.4 regarding the quality of seed. Seed tags must be available upon request to the inspector to verify type of seed and seeding rate.

Mulch alone may be applied between the fall and spring seeding dates only if the ground is frozen. The appropriate seeding mixture must be applied when the ground thaws. Inoculants: The inoculant for treating legume seed in the seed mixtures must be a pure culture of nitrogen fixing bacteria prepared specifically for the species. Inoculants must not be used later than the date indicated on the container. Add fresh inoculants as directed on the package Use four times the recommended rate when hydroseeding. Note: It is very important to keetp inoculant as cook as possible until used. Temperatures above 75 to 80 degrees Fahrenheit can weaken bacteria and make the inoculant less effective.

d. Sod or seed must not be placed on soil which has been treated with soil sterilants or chemicals used for weedcontrol until sufficient time has elapsed (14 days min.) to permit dissipation of phyto-toxic materials.

### a. Dry Seeding: This includes use of conventional drop or broadcast spreaders. Incorporate seed into the subsoil at the rates prescribed on Temporary Seeding Table B.1,

Permanent Seeding Table B.3. or site-specific seeding summaries. Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction. Roll the seeded area with weighted roller to provide good seed to soil

b. Drill or Cultipacker Seeding: Mechanized seeders that apply and cover seed with soil. Cultipacking seeders are required to bury the seed in such a fashion as to provide at least 1/4 inch of soil covering. Seedbed must be firm after planting.

Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction. c. Hydroseeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer). If fertilizer is being applied at the time of seeding, the application rates should not exceed the following: nitrogen, 100 pounds per acre total of soluble nitrogen; P O (phosphorus), 200 pounds per acre; K O (potassium), 200 pounds per acre.

ii. Lime: Use only ground agricultural limestone (up to 3 tons per acre may be applied by hydroseeding). Normally, not more than 2 tons are applied by hydroseeding at any one time Do not use burnt or hydrated lime when hydroseeding ii. Mix seed and fertilizer og site and seed immediately and without interruption.

iv. When hydroseeding do not incorporate seed into the soil.

Mulchina Mulch Materials (in order of preference) Straw consisting of thoroughly threshed wheat, rye, oat, or barley and reasonably bright in color. Straw is to be free of noxious weed seeds as specified in the Maryland Seed Law and not musty, moldy, caked, decayed, or excessively dusty. Note: Use only sterile straw mulch in areas

where one species of grass is desired. Wood Cellulose Fiber Mulch (WCFM) consisting of specially prepared wood cellulose processed into uniform fibrous physical state. i. WCFM is to be dyed green or contain a green dye in the package that will provide an appropriate colot to facilitate visual inspection of the uniformly spread slurry.

WCFM, including dye, must contain no germination or growth inhibiting factors. iii. WCFM materials are to be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed fertilizer and other additives to form a homogeneous slurry. The mulch material must form a blotter-like around cover, on application, having moisture absorption and percolation properties and must cover and hold grass seed in contact with the soil without inhibiting the growth of the

v. WCFM material must not contain elements or compounds at concentration levels that will by WCFM must conform to the following physical requirements: fiber length of approximately 10 millimeters, diameter approximately 1 millimeter, pH range of 4.0 to 8.5, ash content of 1.6 percent

maximum and water holding capacity of 90 percent minimum. Application Apply mulch to all seeded areas immediately after seeding. When straw mulch is used, spread it over all seeded areas at the rate of 2 tons per acre to a uniform loose depth of 1 to 2 inches. Apply mulch to achieve a uniform distribution and depth so that the soil surface is not exposed. When using a mulch anchoring tool, increase the application rate to 2.5 tons

Wood cellulose fiber used as mulch must be applied to a net dry weight of 1500 pounds per acre. Mix the wood cellulose fiber with water to attain a mixture with a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.

b. Perform mulch anchoring immediately following application of mulch to minimize loss by wind or water. This may be done by one of the following methods (listed by preference), depending upon the size of i. A mulch anchoring tool is a tractor drawn implement designed to punch and anchor mulch into the soil surface a minimum of 2 inches. This practice is most effective on large areas, but is limited to flatter

slopes where equipment can operate safely. If used on sloping land, this practice should follow the contour. ii. Wood cellulose fiber may be used for anchoring straw. Apply the fiber binder at a net dry weight of 750 pounds per acre. Mix the wood cellulose fiber with water at a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water. iii. Synthetic binders such as Acrylic DLR (Agro-Tack), DCA-70, Petroset, Terra Tax II, Terra

iv. Lightweight plastic netting may be stapled over the mulch according to manufacturer ecommendations. Netting is usually available in rolls 4—15 feet wide and 300 to 3,000 feet long.

Tack AR or other approved equal may be used. Follow application rates as specified by the

manufacturer. Application of liquid binders needs to be heavier at the edges where wind

catches mulch, such as in valleys and on crests of banks. Use of asphalt binders is

# STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA (B-4-8)

Definition

The mound or pile of soil protected by appropriately designed erosion and sediment control measures.

To provide a designated location for the temporary storage of soil that controls the potential for erosion,

Conditions Where Practice Applies

Stockpile areas are utilized when it is necessary to salvage and store soil for later use.

sedimentation, and changes to drainage patterns.

<u>Criteria</u>

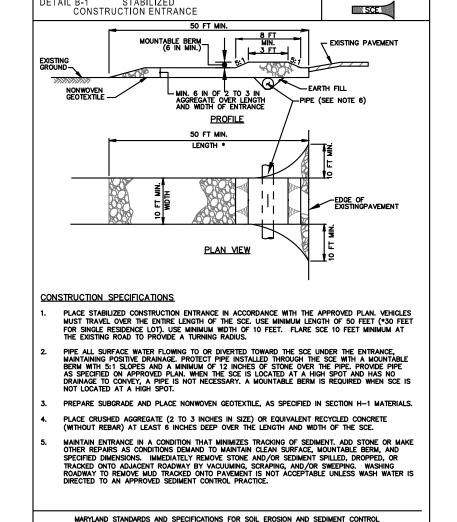
1. The stockpile location and all related sediment control practices must be clearly indicated on the erosion and sediment control plan. The footprint of the stockpile must be sized to accommodate the anticipated volume of material and based on a side slope ratio no steeper tha 2:1. Benching must be provided in accordance with Section B-3 Land Grading.

Runoff from the stockpile area must drain to a suitable sediment control practice. Access the stockpile area from the upgrade side. Clear water runoff into the stockpile area must be minimized by use of a diversion device such as an earth dike, temporary swale or diversion fence. Provisions must be made for discharging concentrated

flow in a non-erosive manner. Where runoff concentrates along the toe of the stockpile fill, an appropriate erosion/sediment control practice must be used to intercept the discharge.

Stockpiles must be stabilized in accordance with the 3/7 day stabilization requirement as well as Standard B—4—1 Incremental Stabilization and Standard B—4—4 Temporary Stabilization. If the stockpile is located on an impervious surface, a liner should be provided below the stockpile to facilitate cleanup. Stockpiles containing contaminated material must be covered with impermeable

The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment in accordance with Section B-4 Vegetative Stabilization. Side slopes must be maintained at no steeper than a 2:1 ratio. The stockpile area must be kept free of erosion. If the vertical height of a stockpile exceeds 20 feet for 2:1 slopes, 30 feet for 3:1 slopes, or 40 feet for 4:1 slopes, benching must be provided in accordance with Section B-3 Land Grading.



# HOWARD SOIL CONSERVATION DISTRICT (HSCD) STANDARD SEDIMENT CONTROL NOTES

1. A pre-construction meeting must occur with the Howard County Department of Public Works, Construction Inspection Division (CID), 410-313-1855 after the future LOD and protected areas are marked clearly in the field. A minimum of 40 hour notice to CID must be given at the following stages: a. Prior to the start of earth

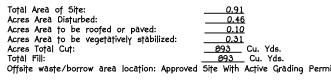
2011 MARYLAND DEPARTMENT OF ENVIRONMEN
WATER MANAGEMENT ADMINISTRATION

b. Upon completion of the installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading c. Prior to the start of another phase of construction or opening of another grading unit, d. Prior to the removal or modification of sediment control practices Other building or grading inspection approvals may not be authorized until this initial approval by the inspection

agency is made. Other related state and federal permits shall be referenced, to ensure coordination and to avoid conflicts with this plan 2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and revisions thereto.

3. Following initial soil disturbance or re-disturbance, permanent or temporary stabilization is required within three (3) calendar days as to the surface of all perimeter controls, dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3 horizontal to 1 vertical (3:1); and seven (7) calendar days as to all other disturbed areas on the project site except for those areas under active grading. 4. All disturbed areas must be stabilized within the time period specified above in accordance with the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for topsoil (Sec. B-4-2), permanent seeding (Sec. B-4-5), temporary seeding (Sec. B-4-4) and mulching (Sec. B-4-3). Temporary stabilization with mulch alone can only be applied between the fall and spring seeding dates if the of cut and/or fill. Stockpiles (Sec. B-4-8) in excess of 20 ft, must be benched with stable outlet. All concentrated flow, steep slope, and highly erodible areas shall receive soil stabilization matting (Sec. B-4-6).

5. All sediment control structures are to remain in place, and are to be maintained in operative condition until permission for their removal has been obtained from the CID. 6. Site Analysis:



7. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired 8. Additional sediment control must be provided, if deemed necessary by the CID. The site and a11 controls shall be inspected by the contractor weekly; and the next day after each rain event. A written report by the

Inspection type (routine, pre-storm event, during rain event)
 Name and title of inspector
 Weather information (current conditions as well as time and amount of last recorded precipitation)

contractor, made available upon request, is part of every inspection and should include:

 Identification of plan deficiencie Identification of sediment controls that require maintenance l Identification of missing or improperty installed sediment controls

Compliance status regarding the sequence of construction and stabilization requirements

Maintenance and/or corrective action performed • Other inspection items as required by the General Permit for Stormwater Associated with Construction Trenches for the construction of utilities is limited to three pipe lengths or that which can and shall be back-filled and stabilized by the end of each workday, whichever is shorte 10. Any major changes or revisions to the plan or sequence of construction must be reviewed and approved by

11. Disturbance shall not occur outside the L.O.D. A project is to be sequenced so that grading activities begin on one grading unit (maximum acreage of 20 ac. per grading unit) at a time. Work may proceed to a subsequent grading unit when at least 50 percent of the disturbed area in the preceding grading unit has been stabilized and approved by the HSCD. Unless otherwise specified and approved by the HSCD, no more than 30 acres cumulatively may be disturbed at a given time.

the HSCD prior to proceeding with construction. Minor revisions may allowed by the HSCD per the list of

12. Wash water from any equipment, vehicles, wheels, pavement, and other sources must be treated in a sediment basin or other approved washout structure 13. Topsoil shall be stockpiled and preserved on-site for redistribution onto final grade. 14. All Silt Fence and Super Silt Fence shall be placed on-the-contour, and be imbricated at 25' minimum

15. Stream channels must not be disturbed during the following restricted time periods Use 1 and IP March 1 - June 15
Use II June 16 - Sept. 30

intervals, with lower ends curled uphill by 2' in elevation

 Use III and IIIP October 1 - April 30 Use IV March 1 - May 31 16. A copy of this plan, the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT

### BEST MANAGEMENT PRACTICES FOR WORKING IN NONTIDAL WETLANDS. WETLAND BUFFERS. WATERWAYS. AND 100-YEAR FLOODPLAINS

1) No excess fill, construction material, or debris shall be stockpiled or stored in nontida

CONTROL, and associated permits shall be on-site and available when the site is active.

wetlands, nontidal wetland buffers, waterways, or the 100-year floodplain. 2) Place materials in a location and manner which does not adversely impact surface or subsurface water flow into or out of nontidal wetland buffers, waterways, or the 100-year floodplain.

3) Do not use the excavated material as backfill if it contains waste metal products, unsightly debris, toxic material, or any other deleterious substance. If additional backfill is required, use clean material free of waste metal products, unsightly debris, toxic or any other deleterious substance

4) Place heavy equipment on mats or suitably operate the equipment to prevent damage to nontidal wetlands. nontidal wetland buffers, or waterways, or 100 year floodplain.

5) Repair and maintain any serviceable structure or fill so there is no permanent loss of

nontidal wetlands, nontidal wetland buffers, or waterways, or permanent modification of the 100-year floodplain in excess of that lost under the originally authorized structure or fill. 6) Rectify any nontidal wetland buffers, waterways, or 100-year floodplain temporarily impacted by any 7) All stabilization in the nontidal wetland and nontidal wetland buffer shall consist of the following species: Annual Ryegrass (Lolium Multiflorum), Millet (Setaria italica), Barley (Hordeum sp.), Oats (Uniola sp.), and/o Rye (Secale cereale). These species will allow for the stabilization of the site while also allowing for the

oluntary revegetation of natural wetland species. Other non-persistent vegetation may be acceptable, but must be approved by the Nontidal Wetlands and Waterways Division. Kentucky 31 fescue shall not be utilized in wetland or buffer areas. The area should be seeded and mulched to reduce erosion after construction activities have been completed. After installation has been completed, make post -construction grades and elevations the same as the original grades and elevations in temporarily impacted areas. 9) To protect aquatic species, in-stream work is prohibited as determined by the classification of the stream:

Use I waters: In-stream work shall not be conducted during the period March 1 through June 15, inclusive, during any year.

Use III waters: In-stream work shall not be conducted during the period October 1 through April 30, inclusive. during any year. Use IV waters: In-stream work shall not be conducted during the period March 1 through May 31, inclusive, during any year. 10) Stormwater runoff from impervious surfaces shall be controlled to prevent the washing of 11) Culverts shall be constructed and any riprap placed so as not to obstruct the movement

of debris into the waterway. aquatic species, unless the purpose of the activity is to

# SEQUENCE OF CONSTRUCTION

NON-ROOFTOP RUNOFF

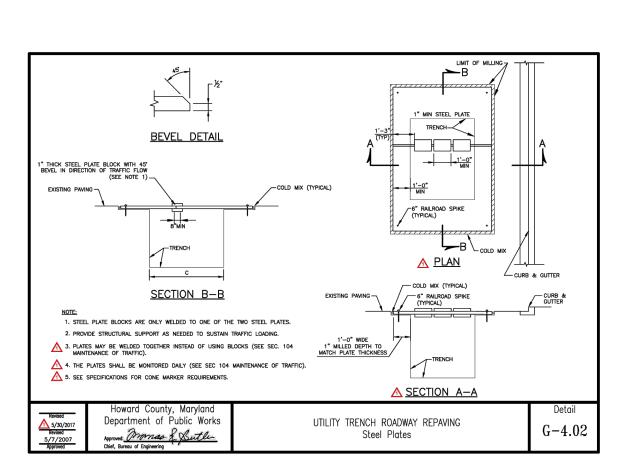
OBTAIN A GRADING PERMIT. (2 WEEK5) . NOTIFY "MISS UTILITY" AT LEAST 40 HOURS BEFORE BEGINNING ANY WORK AT 1-000-257-7777. NOTIFY THE HOWARD COUNTY OFFICE OF CONSTRUCTION/INSPECTION AT 410-313-1330 AT LEAST 24 HOURS BEFORE STARTING WORK. REQUEST A PRE-CONSTRUCTION MEETING WITH THE HOWARD COUNTY OFFICE OF CONSTRUCTION INSPECTION.

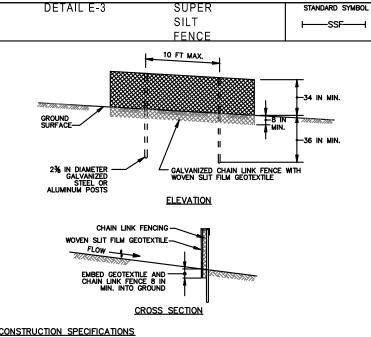
4. WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR COMMENCE INSTALLATION OF STABILIZED

CONSTRUCTION ENTRANCE AND SUPER SILT FENCE. (1 WEEK) COMMENCE GRADING, INCLUDING CONSTRUCTION OF GARDEN WALLS, HOUSE, UTILITY TIE-INS, AND IMPERVIOUS STABILIZE ALL DISTURBED AREAS DRAINAGE AREAS ARE STABILIZED, INSTALL M-5 DRYWELLS AND N-2 DISCONNECTION OF

REMOVAL OF CONTROLS AND STABILIZATION OF AREAS THAT ARE DISTURBED BY REMOVAL OF SEDIMENT NOTE: THE CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE AFTER EACH RAINFALL AND ON A DAILY BASIS. REMOVE SEDIMENT FROM ALL SEDIMENT AND EROSION CONTROL STRUCTURES SHOWN HEREON.

OBTAIN APPROVAL OF SEDIMENT CONTROL INSPECTOR PRIOR TO REMOVAL OF SEDIMENT CONTROLS. (3 DAYS)





INSTALL 2% INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND.

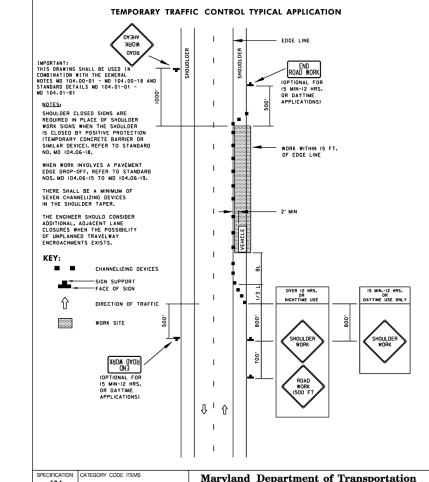
FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2% INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUG RINGS.

FASTEN WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO THUPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 8 INCHES INTO THE GROUND.

WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS.

PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.

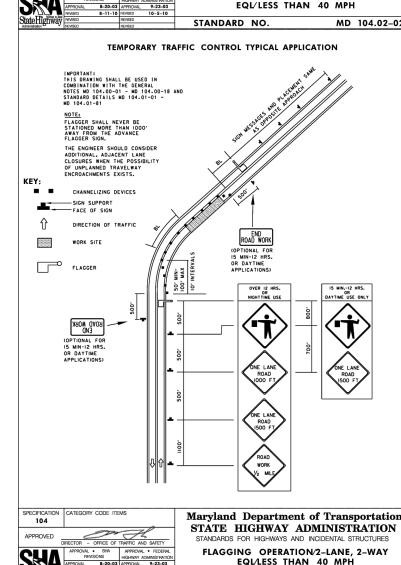
MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL U.S. DEPARTMENT OF AGRICULTURE 2011 MARYLAND DEPARTMENT OF ENVIRONMEN WATER MANAGEMENT ADMINISTRATION EMPORARY TRAFFIC CONTROL TYPICAL APPLICATION



STATE HIGHWAY ADMINISTRATION

SHOULDER WORK/2-LANE, 2-WAY

STANDARDS FOR HIGHWAYS AND INCIDENTAL STRUCTURES



# APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

FISHER, COLLINS & CARTER, INC. 'L ENGINEERING CONSULTANTS & LAND SURVEYORS 12/26/2023 (Hd1) Edmondson ELLICOTT CITY, MARYLAND 21042 Chief, Development Engineering Division Da†e (410) 461 - 2855

lynda Eisenberg

Director — Department of Planning and Zoning

Chief, Division of Land Development



# PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED UNDER MY SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27020, EXPIRATION DATE: 01/25/24. 11/21/2023

DEVELOPER'S CERTIFICATE

COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE." 11/16/2023 SIGNATURE OF DEVELOPER

HOWARD SOIL COMMERVATION DISTRICT

I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD

5192 TALBOTS LANDING ELLICOTT CITY MD 21043 443-285-9563 DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD-SOLLUSION DISTRICT. Olexander Bratchie 12/22/2023

DATE

OWNER/DEVELOPER CHETAN MEHTA

NO. REVISION DATE SUBDIVISION ECTION/AREA MEHTA PROPERTY 700 DEED .16923 BLOCK NO. | ZONE CENSUS TR. |TAX MAP | ELEC. DIST. R-A-15 38

SEDIMENT EROSION CONTROL PLAN

# MEHTA PROPERTY 7170 MONTGOMERY ROAD

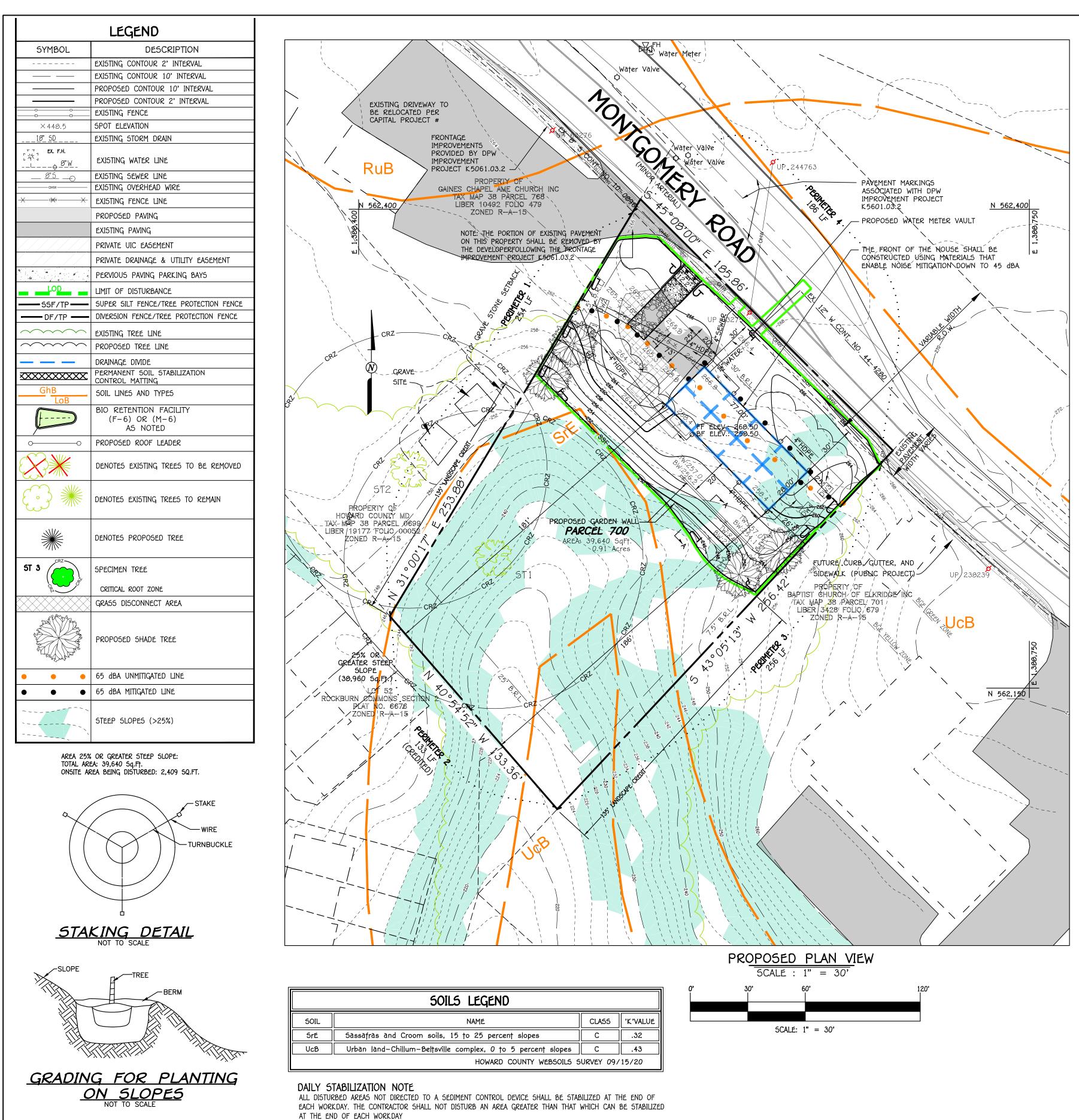
ZONED: R-A-15

TAX MAP NO.: 38 GRID NO.: 02 PARCEL 700 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND SCALE: AS SHOWN DATE: NOVEMBER, 2023 SHEET 5 OF 6

5DP-23-048

<NAMF>

PAUL G. CAVANAUGH



SCHEDULE A - PERIMETER LANDSCAPE EDGE						
PERIMETER	P-1	P-2	P-3	P-4	TOTA	
CATEGORY	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO PERIMETER PROPERTIES	FRONT ADJACENT TO ROADWAY		
LANDSCAPE TYPE	A	A	A	N/A		
LINEAR FEET OF PERIMETER	254 L.F.	133 L.F.	256 L.F.	1 <i>8</i> 6 L.F.		
NUMBER OF PLANTS REQUIRED SHADE TREES	(254'/60' = 4.23 OR 4)	(133'/60' = 2.22  OR  2)	(256'/60' = 4.27 OR 4)	0	10	
EVERGREEN TREES				0		
CREDIT FOR EXISTING VEGETATION	YES, 135 L.F. 254-135= 119 119'/60 = 1.90 or 2 2 SHADE TREES REQUIRED	YE5, 133 L.F.	YE5, 135 L.F. 256-135= 121 121'/60 = 2.01 or 2 2 SHADE TREES REQUIRED	0 0	9	
NUMBER OF PLANTS PROVIDED SHADE TREES EVERGREEN TREES	2 0	0 0	2	0	<b>4</b> 0	

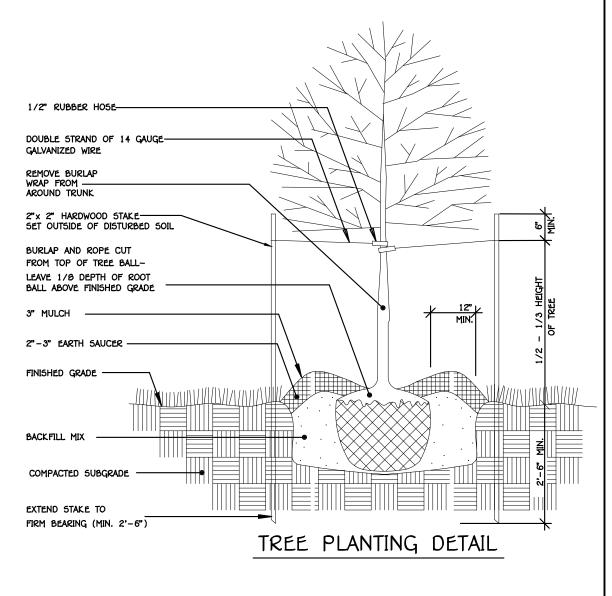
STREET TREE SCHEDULE						
	QTY.	KEY	NAME	SIZE		
	4		TILIA AMERCANA (AMERICAN LINDEN)	2 1/2" – 3" CALIPER FULL CROWN, B&B		

# LANDSCAPE NOTES

- THE PERIMETER LANDSCAPE AND STREET TREE OBLIGATION IS PROVIDED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL, A LANDSCAPE SURETY IN THE AMOUNT OF \$1,200 BASED ON 4 SHADE TREES @ \$300/SHADE TREE SHALL BE BONDED AS PART OF THE GRADING PLAN.
- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPING MANUAL IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL
- 3. THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY. REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.

4. FOR ANY TREE DESIGNATED FOR PRESERVATION, FOR WHICH CREDIT IS GIVEN, BE REMOVED OR DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR IF THE TREE IS LISTED AS A PROHIBITED OR INVASIVE SPECIES ON THE DPZ TREE LIST IT SHOULD BE REPLACED WITH A RECOMMENDED TREE SPECIES WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE



# LANDSCAPE DEVELOPER'S CERTIFICATE

I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a letter of landscape installation accompanied by an executed one year guarantee of plant materials will be submitted to the Department of Planning and Zoning.

3. Menta 11/21/2023 Date



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING 12/22/2023 Chief, Division of B72 and 200 bevelopment CHAD Edmondson 12/26/2023 Chief, Development Engineering Division Date Lynda Eisenberg 12/28/2023 Director - Department of Planning and Zoning



# PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED UNDER MY SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27020, EXPIRATION DATE: 01/25/24. Paul G. Cavanaugh 11/21/2023 PAUL G. CAVANAUGH

# OWNER/DEVELOPER CHETAN MEHTA

5192 TALBOTS LANDING ELLICOTT CITY MD 21043 443-205-9563

NO.	REVISION DATE									
SUBDI	DIVISION SECTION/AREA PARCEL									
MEHT	EHTA PROPERTY				N/A 700					
DEED	_	BLOCK NO.	ZONE	TAX	MAP	ELEC. DIS	T.	CENSUS	5 TR.	
1692 ⁻ .334	3	2	R-A-15		38	1		601	101	

# MEHTA PROPERTY 7170 MONTGOMERY ROAD

LANDSCAPE PLAN

ZONED: R-A-15 TAX MAP NO.: 38 GRID NO.: 02 PARCEL 700 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND SCALE: AS SHOWN DATE: NOVEMBER, 2023 SHEET 6 OF 6

**Certificate Of Completion** 

Envelope Id: 814CB5793A1246568F6ED7222D03ACD8

Subject: SDP-23-048 - Updated plans - new signatures required

Source Envelope:

Document Pages: 6 Signatures: 20 Certificate Pages: 5 Initials: 0

AutoNav: Enabled

**Envelopeld Stamping: Enabled** 

Time Zone: (UTC-05:00) Eastern Time (US & Canada)

Status: Completed

Envelope Originator: Anthony Cataldo

Ellicott City, MD 21043

acataldo@howardcountymd.gov IP Address: 73.133.203.162

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12/22/2023 12:05:41 PM

Holder: Anthony Cataldo

acataldo@howardcountymd.gov

Location: DocuSign

**Timestamp** 

**Signer Events** 

Alexander Bratchie

abratchie@howardcountymd.gov

Security Level: Email, Account Authentication

(None)

**Signature** 

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-65648D5BA9B64C1..

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Signature Adoption: Pre-selected Style Using IP Address: 71.244.248.201

Signed using mobile

**Electronic Record and Signature Disclosure:** 

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ID: 789287ad-240f-43c9-bcd3-4d780cb397f1

Anthony Cataldo

acataldo@howardcountymd.gov

**Division Chief** 

**Howard County Government** 

Security Level: Email, Account Authentication

(None)

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**CHAD Edmondson** 

cedmondson@howardcountymd.gov

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(None)

(HdD) Edmondson

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**Electronic Record and Signature Disclosure:** 

Accepted: 5/31/2022 7:58:25 AM

ID: 76f4f787-60c8-47dc-8130-5c8ec8e8de04

Lynda Eisenberg

leisenberg@howardcountymd.gov

Security Level: Email, Account Authentication

(None)

lynda Eisenberg

Signature Adoption: Pre-selected Style Using IP Address: 167.102.191.18

Sent: 12/26/2023 10:31:13 AM Viewed: 12/28/2023 9:47:13 AM Signed: 12/28/2023 9:47:35 AM

**Electronic Record and Signature Disclosure:** 

Accepted: 6/26/2023 1:54:38 PM

ID: 65b25253-387f-4fdd-b8c8-566030656392

In Person Signer Events

Signature

**Timestamp** 

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Certified Delivery Events	Status	Timestamp
Carbon Copy Events	Status	Timestamp
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Howard County government

Security Level: Email, Account Authentication (None)

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Notary Events	Signature	Timestamp		
Envelope Summary Events	Status	Timestamps		
Envelope Sent	Hashed/Encrypted	12/22/2023 12:14:04 PM		
Certified Delivered	Security Checked	12/28/2023 9:47:13 AM		
Signing Complete	Security Checked	12/28/2023 9:47:35 AM		
Completed	Security Checked	12/28/2023 9:47:41 AM		
Payment Events	Status	Timestamps		
Electronic Record and Signature Disclosure				

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You may contact us to let us know of your changes as to how we may contact you electronically, to request paper copies of certain information from us, and to withdraw your prior consent to receive notices and disclosures electronically as follows:

To contact us by email send messages to: glovelace@howardcountymd.gov

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To let us know of a change in your e-mail address where we should send notices and disclosures electronically to you, you must send an email message to us at glovelace@howardcountymd.gov and in the body of such request you must state: your previous e-mail address, your new e-mail address. We do not require any other information from you to change your email address.. In addition, you must notify DocuSign, Inc. to arrange for your new email address to be reflected in your DocuSign account by following the process for changing e-mail in the DocuSign system.

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i. decline to sign a document from within your DocuSign session, and on the subsequent page, select the check-box indicating you wish to withdraw your consent, or you may; ii. send us an e-mail to glovelace@howardcountymd.gov and in the body of such request you must state your e-mail, full name, US Postal Address, and telephone number. We do not need any other information from you to withdraw consent.. The consequences of your withdrawing consent for online documents will be that transactions may take a longer time to process..

Required hardware and software

Operating Systems:	Windows® 2000, Windows® XP, Windows				
	Vista®; Mac OS® X				
Browsers:	Final release versions of Internet Explorer® 6.0				
	or above (Windows only); Mozilla Firefox 2.0				
	or above (Windows and Mac); Safari [™] 3.0 or				
	above (Mac only)				
PDF Reader:	Acrobat® or similar software may be required				
	to view and print PDF files				
Screen Resolution:	800 x 600 minimum				
Enabled Security Settings:	Allow per session cookies				

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