

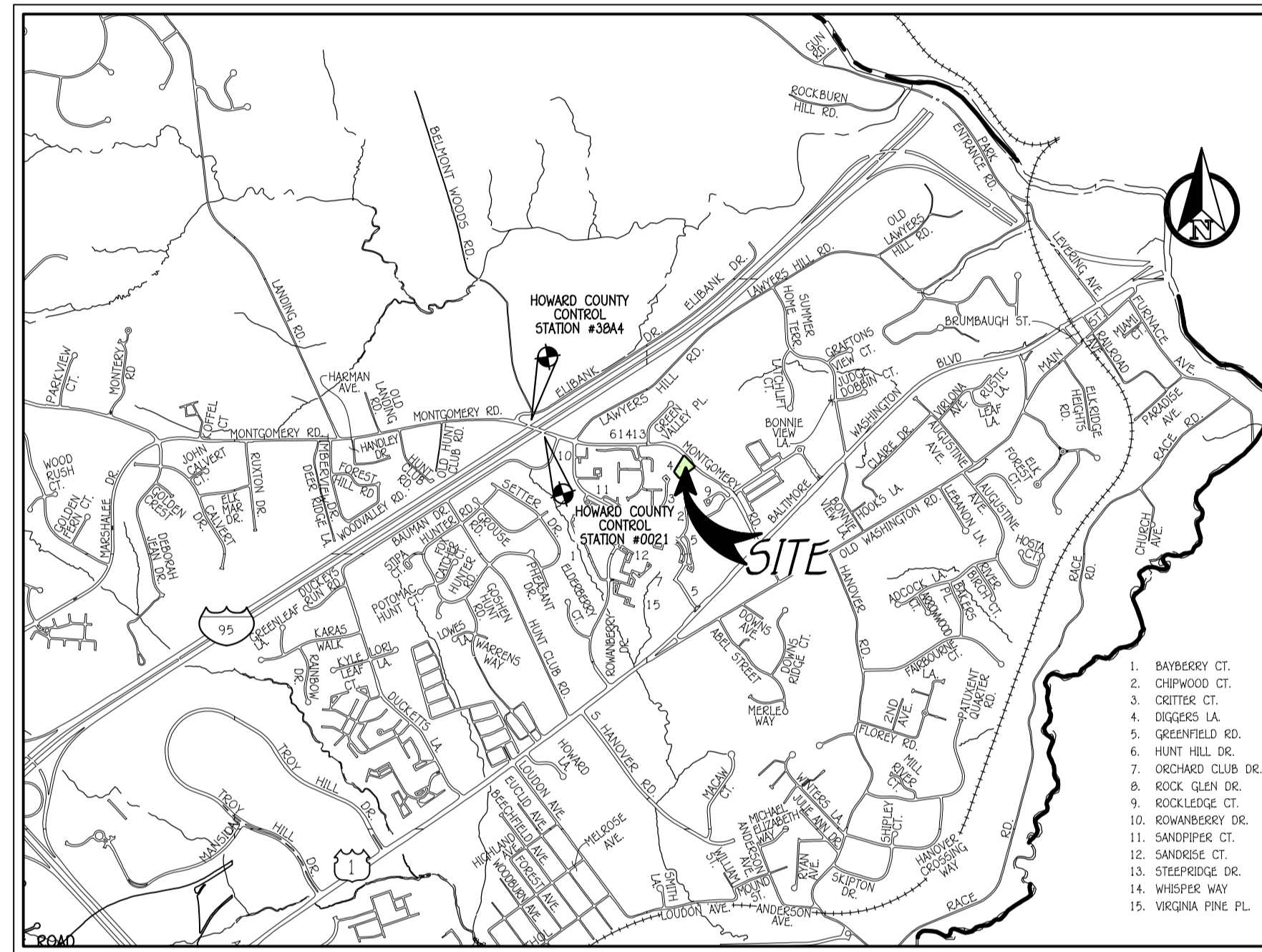
SHEET INDEX table with columns SHEET NO. and DESCRIPTION. Rows include TITLE SHEET, EXISTING CONDITIONS & DEMO PLAN, ENVIRONMENTAL CONCEPT PLAN & GRADING PLAN, SEDIMENT EROSION CONTROL PLAN, NOTES AND DETAILS, and LANDSCAPE PLAN AND DETAILS.

SOILS LEGEND table with columns SOIL, NAME, CLASS, and 'K' VALUE. Rows include Sassafras and Croom soils, and Urban land-Chillum-Bethville complex.

SITE DEVELOPMENT PLAN
7170 MONTGOMERY ROAD
R-A-15 ZONING DISTRICT
TAX MAP No. 38 GRID No. 02 PARCEL NO. 700
1ST ELECTION DISTRICT
ELKRIDGE, MARYLAND

GENERAL NOTES

- 1. THE SUBJECT PROPERTY IS ZONED R-A-15 (PER 10/06/13 COMPREHENSIVE ZONING PLAN.)
2. BOUNDARY IS BASED ON A FIELD RUN SURVEY PERFORMED BY FISHER, COLLINS & CARTER ON OR ABOUT OCTOBER, 2020.
3. COORDINATES BASED ON NAD'83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL.
4. THE GROSS PROPERTY AREA FOR THIS SITE IS 0.91 ACRES.
5. IN ACCORDANCE WITH SECTION 128.0 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS.
6. STORM WATER MANAGEMENT WILL BE PRIVATELY OWNED AND MAINTAINED AND IS IN ACCORDANCE WITH THE M.D.E. STORM WATER DESIGN MANUAL, VOLUMES I & II, REVISED 2009.
7. EXISTING UTILITIES ARE BASED ON HOWARD COUNTY RECORD DRAWINGS AS LABELED.
8. THIS PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT. PUBLIC WATER AND SEWER WILL BE UTILIZED FOR THIS PROJECT.
9. ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
10. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAMS OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN.
11. A PRE-SUBMISSION COMMUNITY MEETING WAS HELD ON 5-2-22 FOR THIS PROJECT.
12. THERE ARE NO WETLANDS, STREAMS OR THEIR BUFFERS LOCATED WITHIN THE BOUNDARY OF THIS SITE.
13. LANDSCAPING: THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. FINANCIAL SURETY IN THE AMOUNT OF \$1,200 FOR 4 SHADE TREES HAS BEEN POSTED WITH THE GRADING PLAN.
14. THIS PROPOSED LOT IS LESS THAN 40,000 SQ.FT. (39,640 SQ.FT.) AND IS THEREFORE EXEMPT FROM FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1202(a) OF THE HO.CO. SUBDIVISION REGULATIONS.
15. DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
a. WIDTH - 12 FEET (16 FEET SERVING MORE THAN ONE RESIDENCE)
b. SURFACE - SIX (6") INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND SHIP COATING
c. GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND MIN. 45' TURNING RADIUS
d. STRUCTURE (CULVERTS/BRIDGES) CAPABLE OF SUPPORTING 25 GROSS TONS (H 25 LOADING)
e. DRAINAGE ELEMENTS - SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE
f. STRUCTURE CLEARANCES - MINIMUM 12 FEET
g. MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE
9. BASED ON A NOISE STUDY ANALYSIS PROVIDED BY THE MARS GROUP ON 6-15-2023, THE FUTURE UN-MITIGATED NOISE LINE FROM MONTGOMERY ROAD THAT EXCEEDS THE 65 dba THRESHOLD IS LOCATED ON THE PROPERTY, MITIGATION IS SHOWN.
THE 65 dba NOISE LINE ESTABLISHED BY HOWARD COUNTY TO ALERT DEVELOPERS, BUILDERS AND FUTURE RESIDENTS THAT AREAS BEYOND THIS THRESHOLD MAY EXCEED GENERALLY ACCEPTED NOISE LEVELS ESTABLISHED BY THE U.S. DEPT. OF HOUSING AND URBAN DEVELOPMENT.
17. RESULTS OF GROUND PENETRATION RADAR HAS BEEN PROVIDED.
18. SITE HISTORY AND WAIVER REQUESTS:
ECP-22-012, ECP-23-19, SDP-22-024, WP-22-118 TO ADDRESS THE STEEP SLOPES, WHICH WAS DENIED AND HAS BEEN RESUBMITTED AS WP-23-079 WHICH WAS APPROVED ON MAY 10, 2023.
19. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT 410-313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
20. THE CONTRACTOR SHALL NOTIFY (MISS UTILITY) AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
21. A SOIL BORING REPORT IS PROVIDED FOR THIS PROJECT SINCE DRYWELLS ARE BEING UTILIZED.
22. SOILS SHOWN HEREON ARE BASED ON THE NRCS WEBSOIL SURVEY AND HOWARD COUNTY SOILS.
23. EXISTING UTILITIES ARE BASED ON MISS UTILITY MARKINGS, FIELD LOCATIONS AND AVAILABLE COUNTY INFORMATION.
24. B.R.L. DENOTES BUILDING RESTRICTION LINE.
25. REFER TO INVERT ELEVATION AT PROPERTY LINE AND MAIN FOR SANITARY HOUSE CONNECTION. WATER AND SEWER SERVICE WILL BE GRANTED UNDER THE PROVISIONS OF SECTION 18.122.B OF THE HOWARD COUNTY CODE. (CONTRACT #44-4280 & #10-8993).
26. THIS LOT IS NOT AN IN-FILL DEVELOPMENT. ADJACENT LOTS ARE ALL DEVELOPED.
27. THERE ARE NO CEMETERIES ON SITE. HOWEVER, THIS SITE IS LOCATED DIRECTLY ADJACENT TO CEMETERY #38-3 AND #38-4 ON THE HOWARD COUNTY CEMETERY INVENTORY. AS PER SECTION 16.118(C) OF THE HOWARD COUNTY CODE, NO GRADING OR CONSTRUCTION SHALL BE PERMITTED WITHIN 30 FEET OF A CEMETERY BOUNDARY OR WITHIN TEN FEET OF INDIVIDUAL GRAVE SITES ANY FUTURE DISTURBANCE OF GROUND ADJACENT TO THE ADJOINING GRAVESITES WILL REQUIRE INVESTIGATION BY GROUND PENETRATING RADAR.
28. THE SITE IS NOT ADJACENT TO A SCENIC ROAD.
29. THE PROJECT IS IN CONFORMANCE WITH APPLICABLE HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
30. THERE ARE NO HISTORICAL FEATURES ON SITE.
31. 0.89 ACRES OF THE SITE CONSTAINS STEEP SLOPES OF 25% OF GREATER. WAIVER PETITION WP-23-079 ADDRESSES THE ON-SITE STEEP SLOPES AND WAS APPROVED ON MAY 10, 2023 UNDER THE FOLLOWING CONDITIONS:
1. DISTURBANCE IS TO BE LIMITED TO WHAT IS SHOWN ON EXHIBIT B AND 2,409 SF.
2. ALL COMMENTS PROVIDED WITH ECP-23-019 MUST BE ADDRESSED.
3. SUBMISSION AND APPROVAL OF A SITE DEVELOPMENT PLAN WITH THE IMPROVEMENTS SHOWN ON EXHIBIT B IS REQUIRED PRIOR TO THE ISSUANCE OF A GRADING PERMIT.
4. ALL GRADING ACTIVITY MUST AVOID THE AREA ALONG THE WESTERN BOUNDARY ADJACENT TO THE GRAVE SITES ON THE ADJOINING PROPERTIES UNLESS GROUND-PENETRATING RADAR IS CONDUCTED. THE LOD AS SHOWN ON EXHIBIT B WILL NOT REQUIRE GROUND-PENETRATING RADAR.
32. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
33. IF ANY PREVIOUS PRIVATE WELL OR SEPTIC COMPONENTS ARE DISCOVERED IT WILL BE THE RESPONSIBILITY OF THE BUILDERS AND CONTRACTORS INVOLVED TO CONTACT THE HEALTH DEPARTMENT IMMEDIATELY.
34. THIS IS IN-LIEU TO MEET THE MINIMUM REQUIREMENT TO BE MET AT THE BUILDING PERMIT PHASE.
35. THE CHURCH SHALL BE PERMITTED TO USE THE SHARED PORTION OF THE DRIVEWAY UNTIL SUCH TIME THAT THEIR DRIVEWAY APRON IS CONSTRUCTED WITH THE CAPITAL PROJECT.

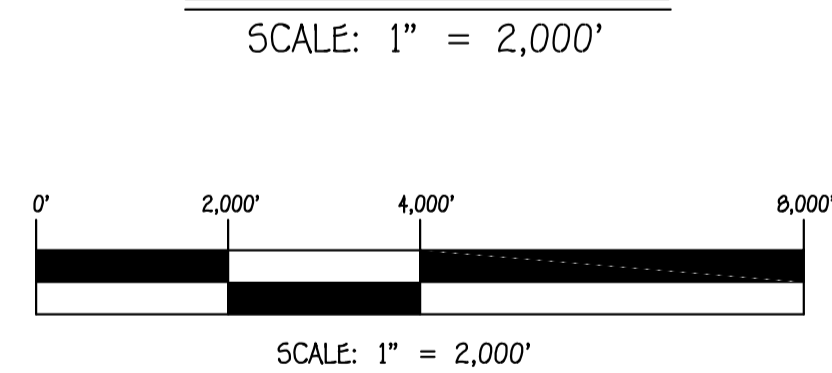


HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 38A4 N 562,977.624 E 1,386,280.139 ELEVATION: 223.379'
HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 0021 N 562,745.797 E 1,386,542.119 ELEVATION: 226.200'
REFER TO HOWARD CO. ADC MAP 35-01

SITE ANALYSIS DATA CHART

- A. TOTAL AREA OF THIS SUBMISSION = 0.91 AC.
B. LIMIT OF DISTURBED AREA = 0.46 AC.
C. PRESENT ZONING DESIGNATION = R-A-15 (PER 10/06/2013 COMPREHENSIVE ZONING PLAN)
D. PROPOSED USE: RESIDENTIAL SINGLE FAMILY DETACHED
E. PREVIOUS HOWARD COUNTY FILES: ECP-22-012, ECP-23-019, SDP-22-024, WP-22-118, AND WP-23-079
F. TOTAL AREA OF FLOODPLAIN LOCATED ON-SITE = 0 AC
G. TOTAL AREA OF SLOPES IN EXCESS OF 25% = 0.89 AC.
H. TOTAL AREA OF WETLANDS (INCLUDING BUFFER) = 0 AC.
I. TOTAL AREA OF STREAM (INCLUDING BUFFER) = 0.00 AC.
J. TOTAL AREA OF EXISTING FOREST = 0.00 AC.
K. TOTAL AREA OF FOREST TO BE RETAINED = 0.00 AC.
L. TOTAL AREA OF LOTS / BUILDABLE PARCELS = 0.84 AC.
M. TOTAL GREEN OPEN AREA (PERVIOUS) = 0.74 AC.
N. TOTAL IMPERVIOUS AREA EXCLUDES EXISTING IMPERVIOUS = 0.10 AC. (WITHIN LOD.
O. TOTAL AREA OF ERODIBLE SOILS = .34 AC.

VICINITY MAP



MODERATE INCOME HOUSING UNITS (MIHU) ALLOCATION EXEMPTIONS TRACKING table with columns for Total Number of Lots/Units Proposed, Number of MIHU Required, Number of MIHU Provided Onsite, and Number of APFO Allocations Required.

STORMWATER MANAGEMENT SUMMARY table with columns AREA ID, ESQV REQUIRED CU.FT., ESQV PROVIDED CU.FT., and REMARKS. Includes calculations for Gross Area, LOD, RCN, and Pe.

STORMWATER MANAGEMENT PRACTICES table with columns AREA ID, LOCATION, ADDRESS, DRAINAGE AREA SF., % IMPERVIOUS, ESQV REQUIRED CU.FT., ESQV PROVIDED CU.FT., DRY WELLS, and NON-ROOFTOP DISCONNECT.

ADDRESS CHART

Address chart table with columns LOT NUMBER and STREET ADDRESS. Shows lot 1 at 7170 MONTGOMERY ROAD.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. Signatures of Linda Eisenberg, Chief, Development Engineering Division and Director - Department of Planning and Zoning, dated 12/28/2023.



PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED UNDER MY SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27020, EXPIRATION DATE: 01/25/24. Paul G. Cavanaugh, 12/20/2023.

OWNER/DEVELOPER

CHETAN MEHTA, 5192 TALBOTS LANDING, ELLICOTT CITY MD 21043, 443-289-9563

Table with columns NO., REVISION, and DATE. Includes a table with columns SUBDIVISION, SECTION/AREA, and PARCEL, showing MEHTA PROPERTY, N/A, and 700.

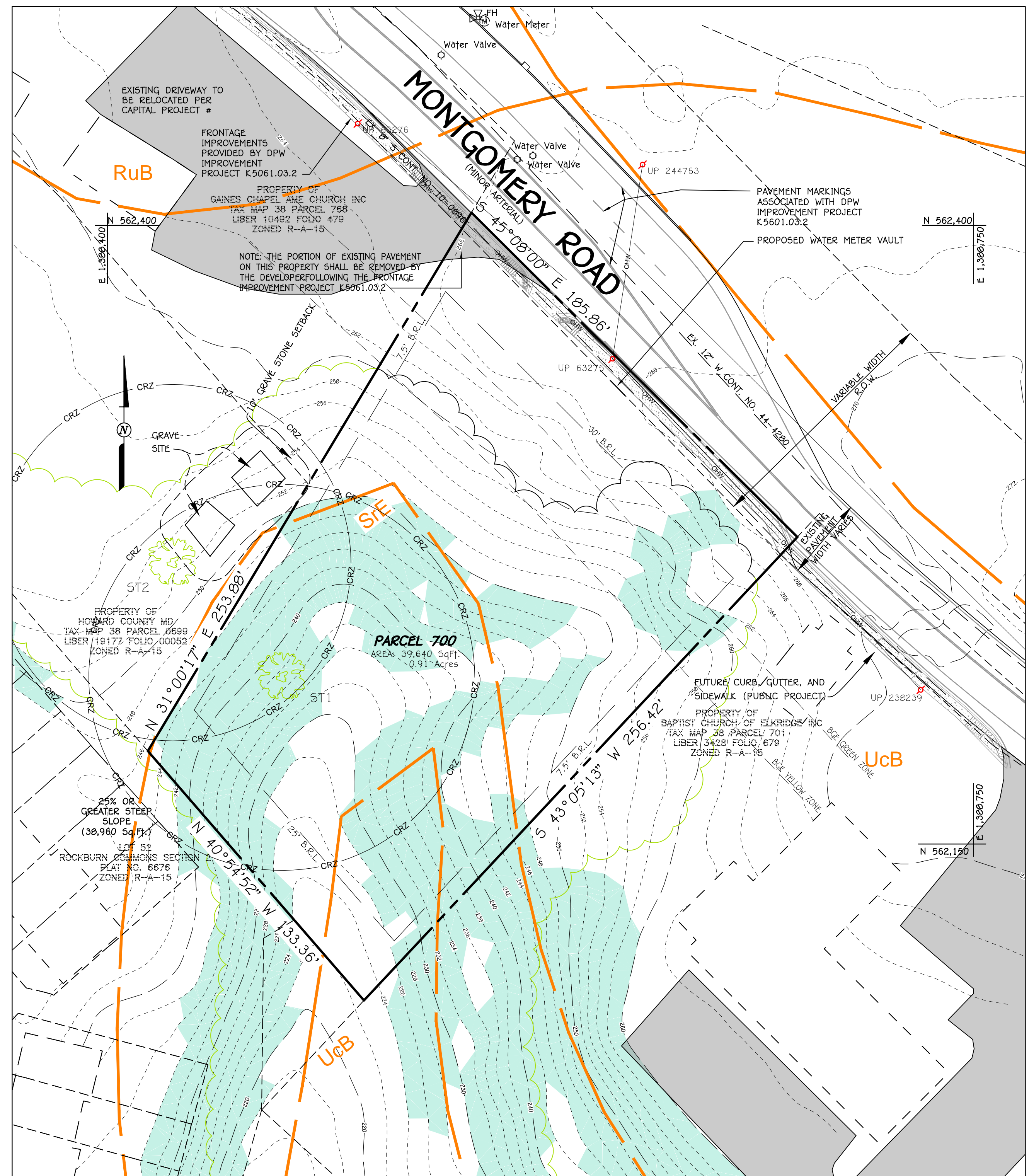
TITLE SHEET

MEHTA PROPERTY, 7170 MONTGOMERY ROAD. ZONED: R-A-15. TAX MAP NO.: 38 GRID NO.: 02 PARCEL 700. FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND. SCALE: AS SHOWN DATE: NOVEMBER, 2023. SHEET 1 OF 6

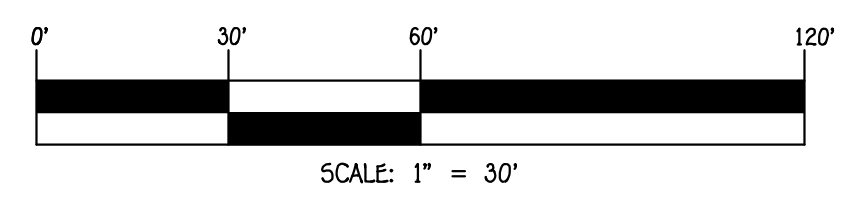
LEGEND	
SYMBOL	DESCRIPTION
	EXISTING CONTOUR 2' INTERVAL
	EXISTING CONTOUR 10' INTERVAL
	PROPOSED CONTOUR 10' INTERVAL
	PROPOSED CONTOUR 2' INTERVAL
	EXISTING FENCE
	SPOT ELEVATION
	EXISTING STORM DRAIN
	EXISTING WATER LINE
	EXISTING SEWER LINE
	EXISTING OVERHEAD WIRE
	EXISTING FENCE LINE
	PROPOSED PAVING
	EXISTING PAVING
	PRIVATE UIC EASEMENT
	PRIVATE DRAINAGE & UTILITY EASEMENT
	PERVIOUS PAVING PARKING BAYS
	LIMIT OF DISTURBANCE
	SUPER SILT FENCE/TREE PROTECTION FENCE
	DIVERSION FENCE/TREE PROTECTION FENCE
	EXISTING TREE LINE
	PROPOSED TREE LINE
	DRAINAGE DIVIDE
	PERMANENT SOIL STABILIZATION CONTROL MATTING
	SOIL LINES AND TYPES
	BIO RETENTION FACILITY (F-6) OR (M-6) AS NOTED
	PROPOSED ROOF LEADER
	DENOTES EXISTING TREES TO BE REMOVED
	DENOTES EXISTING TREES TO REMAIN
	DENOTES PROPOSED TREE
	SPECIMEN TREE
	CRITICAL ROOT ZONE
	GRASS DISCONNECT AREA
	PROPOSED SHADE TREE
	65 dBA UNMITIGATED LINE
	65 dBA MITIGATED LINE
	STEEP SLOPES (>25%)

SPECIMEN TREE TABLE			
SPECIMEN TREE	TREE TYPE	DBH (in)	CRZ (ft)
ST 1	WHITE OAK	52"	78'
ST 2	WHITE OAK	48"	72'

AREA 25% OR GREATER STEEP SLOPE:
TOTAL AREA: 39,640 SQ.FT.
ONSITE AREA BEING DISTURBED: 2,409 SQ.FT.



PROPOSED PLAN VIEW
SCALE: 1" = 30'



SOILS LEGEND			
SOIL	NAME	CLASS	K-VALUE
5rE	Sassafras and Croom soils, 15 to 25 percent slopes	C	.32
UcB	Urban land-Chillum-Bethsville complex, 0 to 5 percent slopes	C	.43

HOWARD COUNTY WEBSOILS SURVEY 09/15/20

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461-2299

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING	
Decolligned by:	12/22/2023
Chief, Division of Land Development	Date
Decolligned by:	12/26/2023
Chief, Development Engineering Division	Date
Decolligned by:	12/28/2023
Director - Department of Planning and Zoning	Date



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED UNDER MY SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27020, EXPIRATION DATE: 01/25/24.
Paul G. Cavanaugh 11/21/2023
PAUL G. CAVANAUGH Date

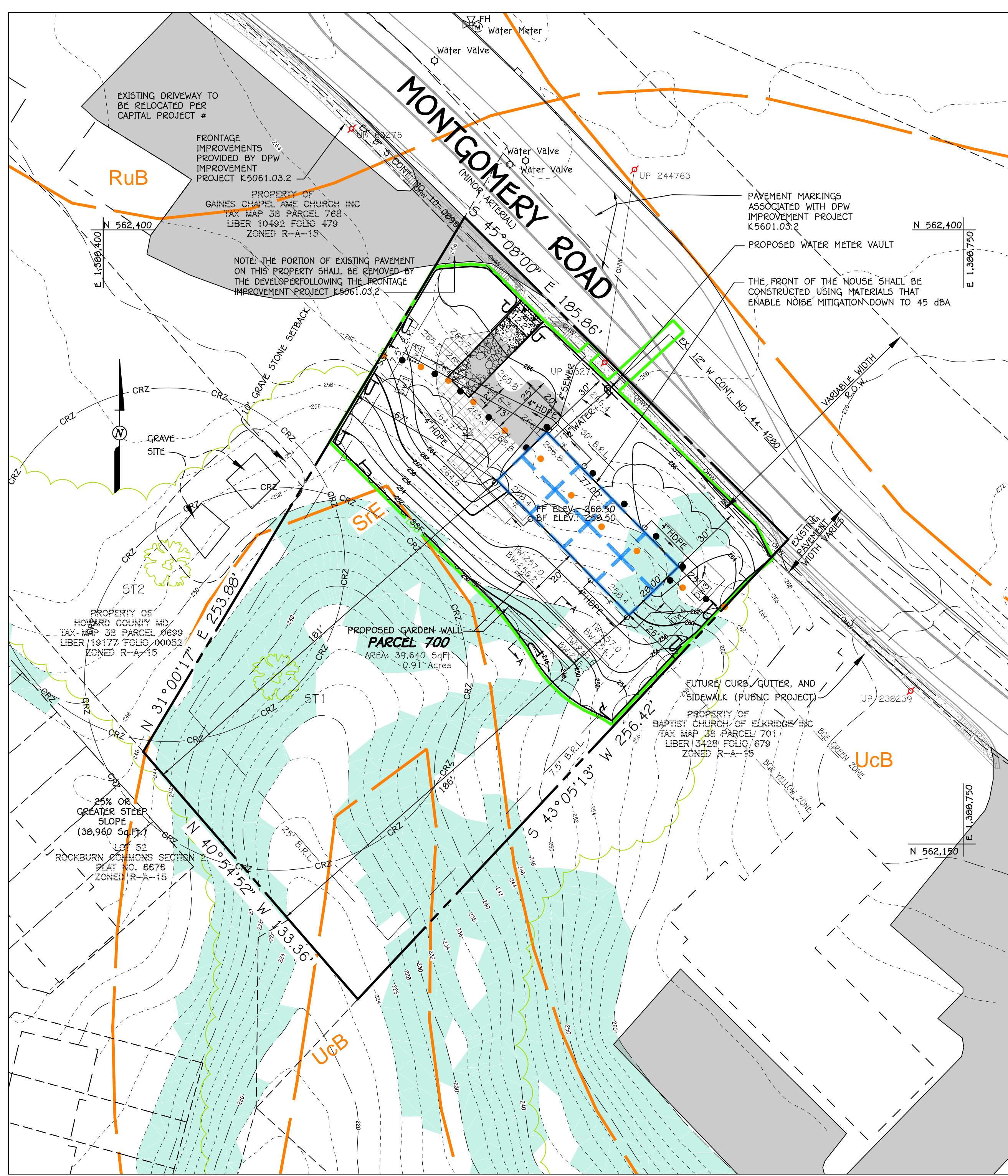
OWNER/DEVELOPER
CHETAN MEHTA
5192 TALBOTS LANDING
ELLCOTT CITY MD 21043
443-289-9563

NO.	REVISION			DATE

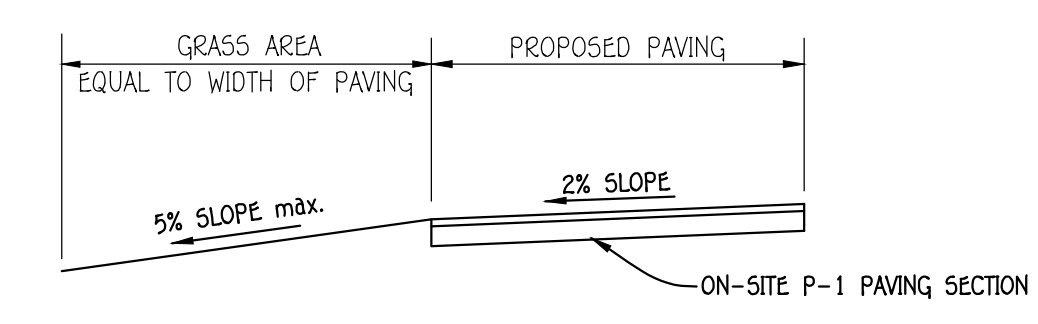
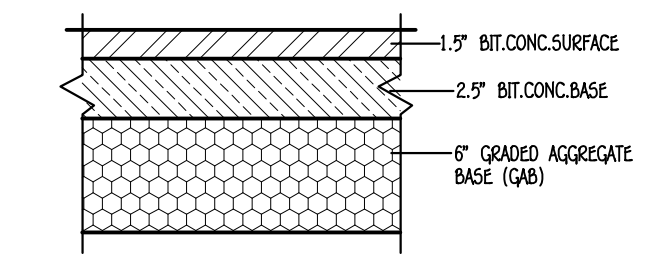
SUBDIVISION	SECTION/AREA	PARCEL
MEHTA PROPERTY	N/A	700
DEED L16923 E.334	BLOCK NO. 2	ZONE R-A-15
	TAX MAP 38	ELEC. DIST. 1
		CENSUS TR. 601101

EXISTING CONDITIONS & DEMO PLAN
MEHTA PROPERTY
7170 MONTGOMERY ROAD
ZONED: R-A-15
TAX MAP NO.: 38 GRID NO.: 02 PARCEL 700
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: NOVEMBER, 2023
SHEET 2 OF 6

LEGEND	
SYMBOL	DESCRIPTION
	EXISTING CONTOUR 2' INTERVAL
	EXISTING CONTOUR 10' INTERVAL
	PROPOSED CONTOUR 10' INTERVAL
	PROPOSED CONTOUR 2' INTERVAL
	EXISTING FENCE
	SPOT ELEVATION
	EXISTING STORM DRAIN
	EXISTING WATER LINE
	EXISTING SEWER LINE
	EXISTING OVERHEAD WIRE
	EXISTING FENCE LINE
	PROPOSED PAVING
	EXISTING PAVING
	PRIVATE UIC EASEMENT
	PRIVATE DRAINAGE & UTILITY EASEMENT
	PREVIOUS PAVING PARKING BAYS
	LIMIT OF DISTURBANCE
	SUPER SILT FENCE/TREE PROTECTION FENCE
	DF/TP DIVERSION FENCE/TREE PROTECTION FENCE
	EXISTING TREE LINE
	PROPOSED TREE LINE
	DRAINAGE DIVIDE
	PERMANENT SOIL STABILIZATION CONTROL MATTING
	SOIL LINES AND TYPES
	BIO RETENTION FACILITY (F-6) OR (M-5) AS NOTED
	PROPOSED ROOF LEADER
	DENOTES EXISTING TREES TO BE REMOVED
	DENOTES EXISTING TREES TO REMAIN
	DENOTES PROPOSED TREE
	ST 3 SPECIMEN TREE
	CRITICAL ROOT ZONE
	GRASS DISCONNECT AREA
	PROPOSED SHADE TREE
	65 dBA UNMITIGATED LINE
	65 dBA MITIGATED LINE
	STEEP SLOPES (>25%)

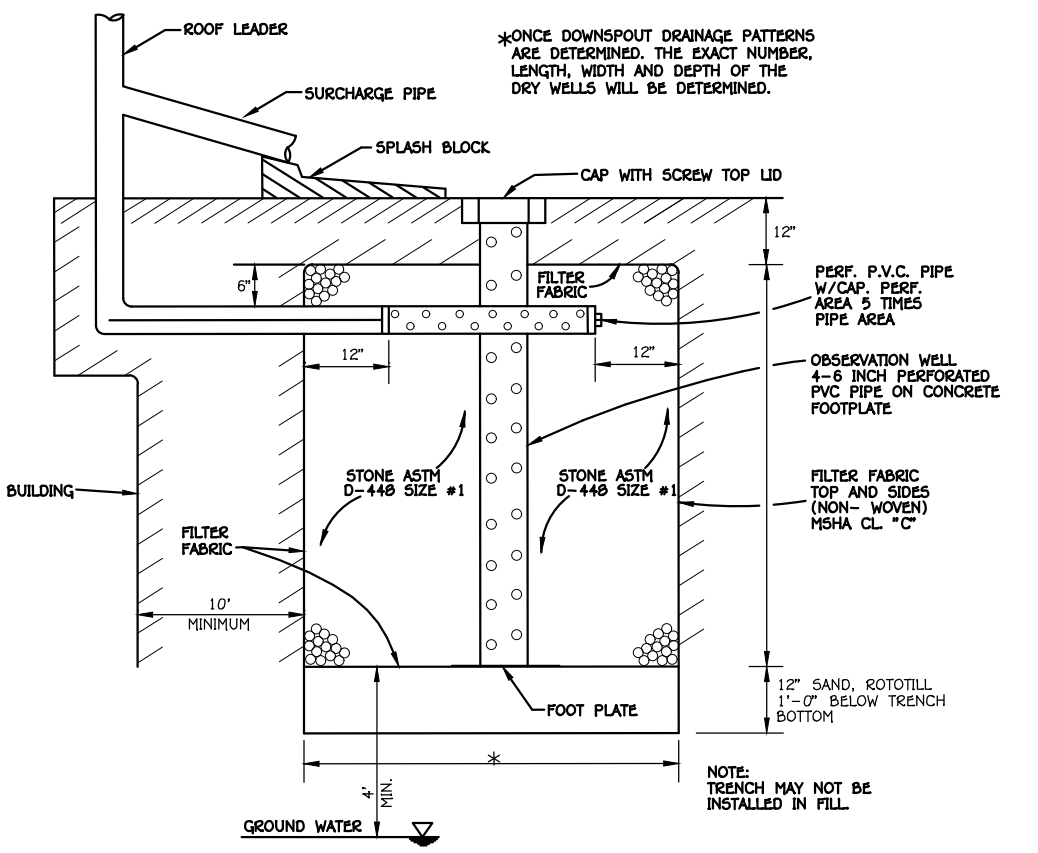


AREA 25% OR GREATER STEEP SLOPE:
TOTAL AREA: 39,640 Sq.Ft.
ONSITE AREA BEING DISTURBED: 2,409 SQ.FT.

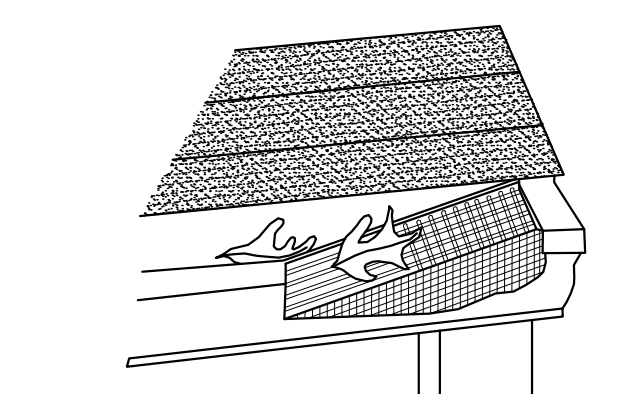
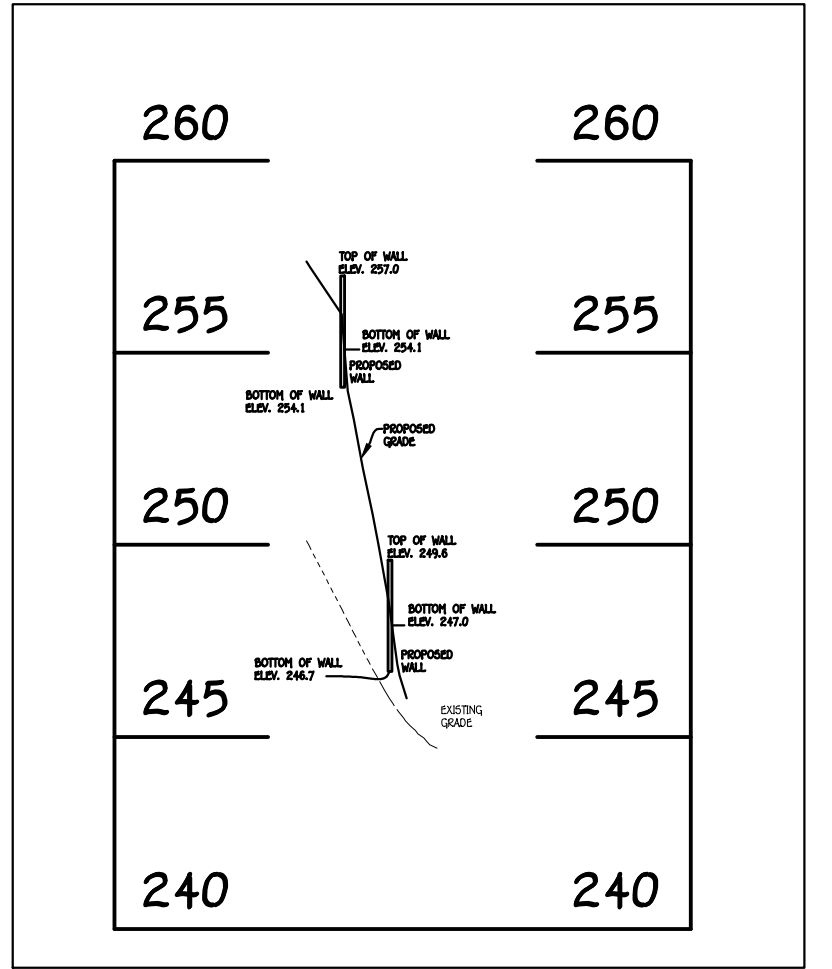


OPERATION & MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED, DISCONNECTION OF NON-ROOFTOP RUNOFF (N-2)

1. MAINTENANCE OF AREAS RECEIVING DISCONNECTION RUNOFF IS GENERALLY NO DIFFERENT THAN THAT REQUIRED FOR OTHER LAWN OR LANDSCAPED AREAS. THE AREAS RECEIVING RUNOFF SHOULD BE PROTECTED FROM FUTURE COMPACTON OR DEVELOPMENT OF IMPERVIOUS AREA IN COMMERCIAL AREAS FOOT TRAFFIC SHOULD BE DISCOURAGED AS WELL.

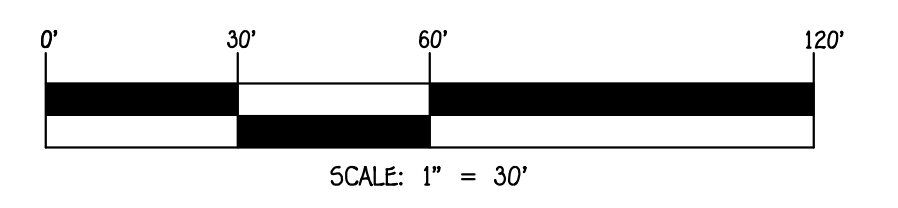


DRY WELL CHART						
PARCEL NO.	AREA OF ROOF PER DOWN SPOUT	VOLUME REQUIRED	VOLUME PROVIDED	AREA OF TREATMENT	NO. OF DRYWELLS	*D L W
700	371 Sq.Ft.	71 C.F.	119 C.F.	100%	1	5.5' x 9' x 6'
700	371 Sq.Ft.	71 C.F.	119 C.F.	100%	1	5.5' x 9' x 6'
700	371 Sq.Ft.	71 C.F.	119 C.F.	100%	1	5.5' x 9' x 6'
700	371 Sq.Ft.	71 C.F.	119 C.F.	100%	1	5.5' x 9' x 6'



OPERATION AND MAINTENANCE SCHEDULE FOR DRYWELLS (M-5)

- A. THE OWNER SHALL INSPECT THE MONITORING WELLS AND STRUCTURES ON A QUARTERLY BASIS AND AFTER EVERY HEAVY STORM EVENT.
- B. THE OWNER SHALL RECORD THE WATER LEVELS AND SEDIMENT BUILD UP IN THE MONITORING WELLS OVER A PERIOD OF SEVERAL DAYS TO INSURE TRENCH DRAINAGE.
- C. THE OWNER SHALL MAINTAIN A LOG BOOK TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.
- D. WHEN THE FACILITY BECOMES CLOGGED SO THAT IT DOES NOT DRAIN DOWN WITHIN A SEVENTY TWO (72) HOUR TIME PERIOD, CORRECTIVE ACTION SHALL BE TAKEN.
- E. THE MAINTENANCE LOG BOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.
- F. ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION FACILITY HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.



SOILS LEGEND			
SOIL	NAME	CLASS	'K' VALUE
GrE	Glassáfrás and Croom soils, 15 to 25 percent slopes	C	.32
UcB	Urban land-Chillum-Beltsville complex, 0 to 5 percent slopes	C	.43

DAILY STABILIZATION NOTE
ALL DISTURBED AREAS NOT DIRECTED TO A SEDIMENT CONTROL DEVICE SHALL BE STABILIZED AT THE END OF EACH WORKDAY. THE CONTRACTOR SHALL NOT DISTURB AN AREA GREATER THAN THAT WHICH CAN BE STABILIZED AT THE END OF EACH WORKDAY

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING	
Decalsigned by:	12/22/2023
Chief, Division of Land Development	Date
Decalsigned by:	12/26/2023
Chief, Development Engineering Division	Date
Decalsigned by:	12/28/2023
Director - Department of Planning and Zoning	Date



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED UNDER MY SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27020, EXPIRATION DATE: 01/25/24.
Paul G. Cavanaugh 11/21/2023
PAUL G. CAVANAUGH Date

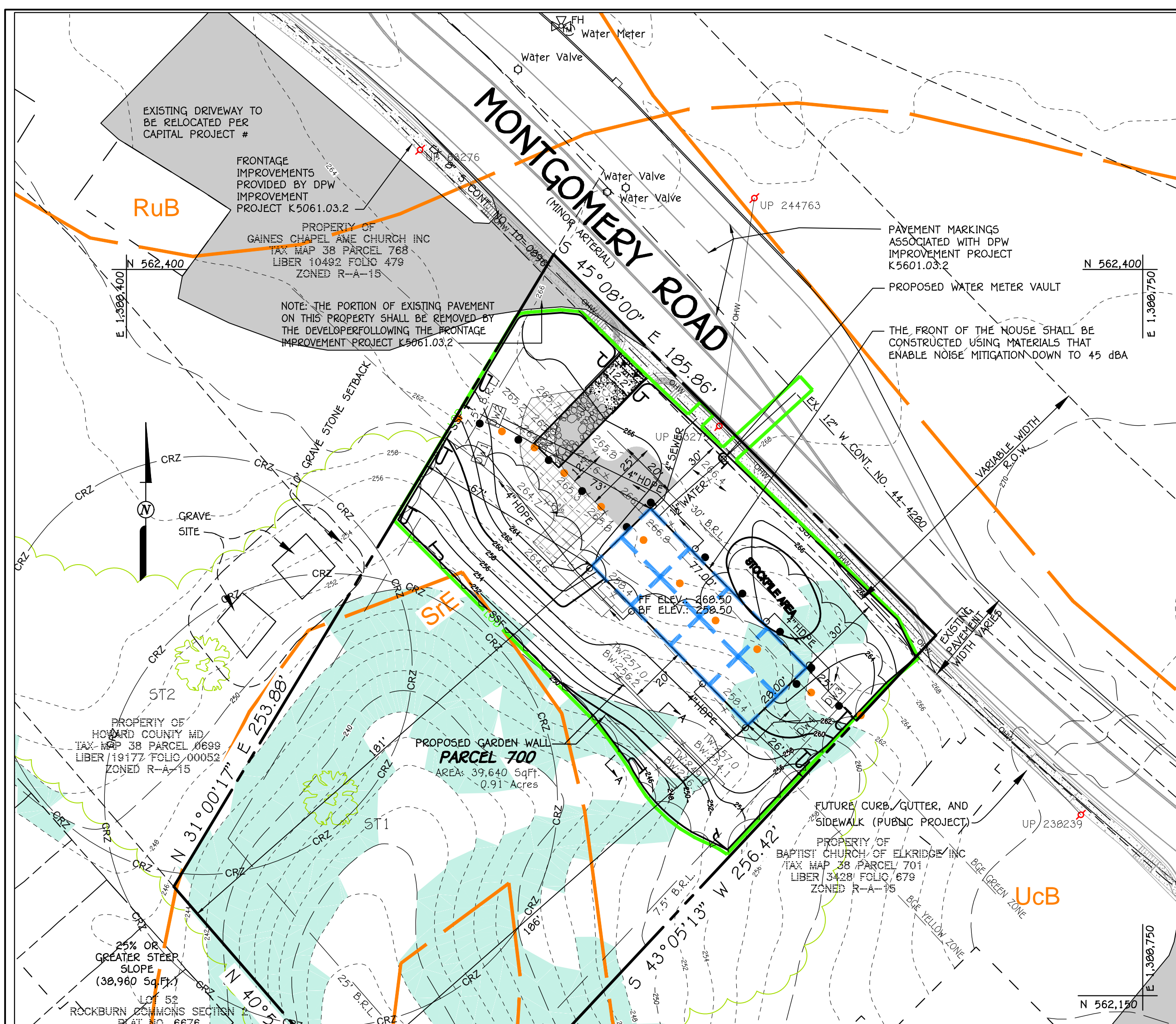
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5192 TALBOTS LANDING
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443-285-9563

NO.	REVISION	DATE

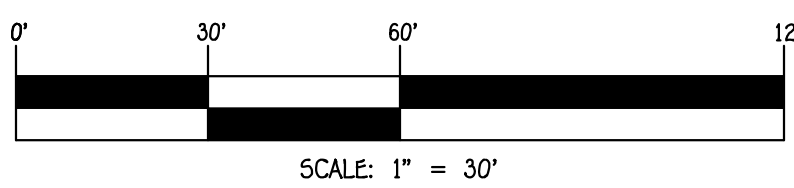
SUBDIVISION	SECTION/AREA	PARCEL
MEHTA PROPERTY	N/A	700

DEED	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
L16923 E.334	2	R-A-15	3B	1	601101

SITE DEVELOPMENT PLAN & GRADING PLAN
MEHTA PROPERTY
7170 MONTGOMERY ROAD
ZONED: R-A-15
TAX MAP NO.: 3B GRID NO.: 02 PARCEL 700
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: NOVEMBER, 2023
SHEET 3 OF 6

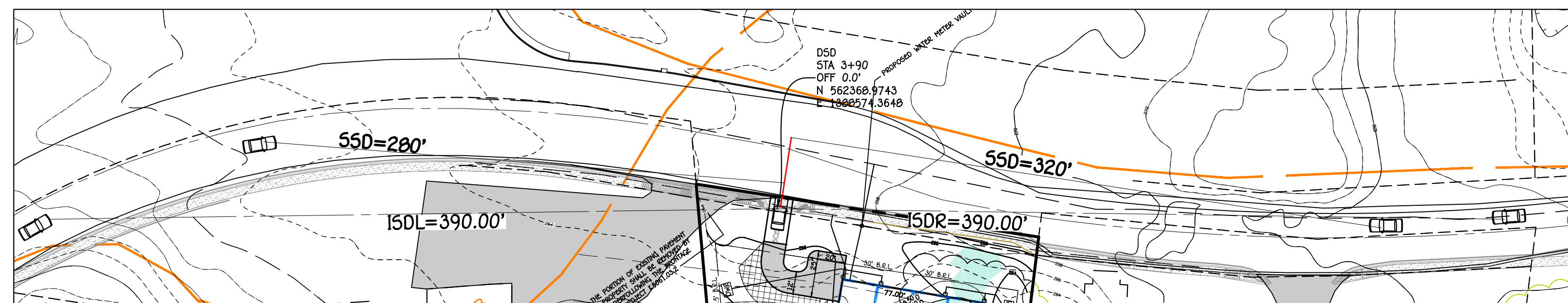
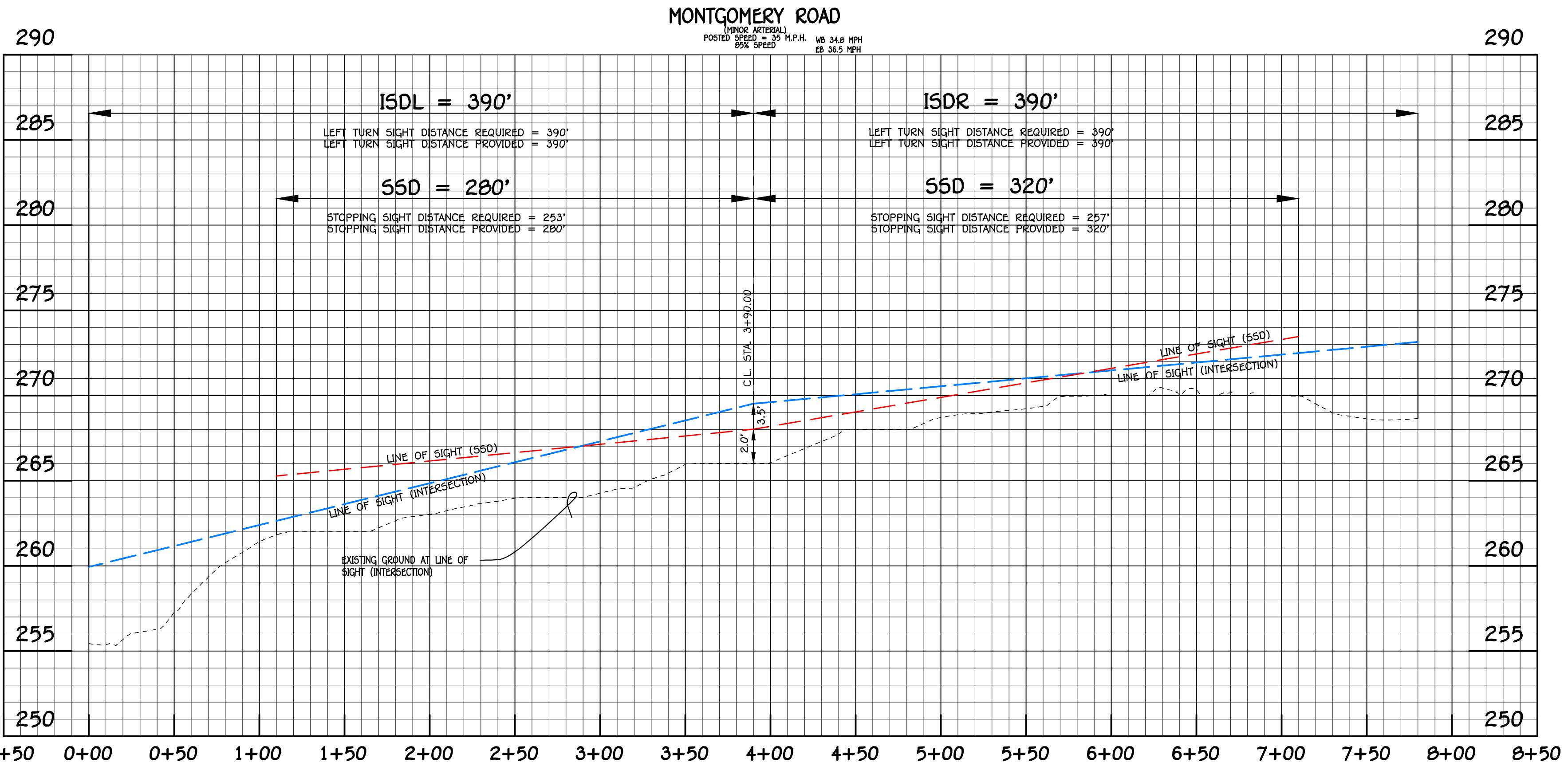


PROPOSED PLAN VIEW
SCALE: 1" = 30'



LEGEND		SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL	▭ (hatched)	BIO RETENTION FACILITY (F-6) OR (M-6) AS NOTED
---	EXISTING CONTOUR 10' INTERVAL	○	PROPOSED ROOF LEADER
---	PROPOSED CONTOUR 10' INTERVAL	✕	DENOTES EXISTING TREES TO BE REMOVED
---	PROPOSED CONTOUR 2' INTERVAL	☀	DENOTES EXISTING TREES TO REMAIN
---	EXISTING FENCE	☀	DENOTES PROPOSED TREE
×	SPOT ELEVATION	ST 3	SPECIMEN TREE
18' 50	EXISTING STORM DRAIN	○	CRITICAL ROOT ZONE
EX. F.H.	EXISTING WATER LINE	▭ (hatched)	GRASS DISCONNECT AREA
8" S.	EXISTING SEWER LINE	☀	PROPOSED SHADE TREE
---	EXISTING OVERHEAD WIRE	○	65 dBA UNMITIGATED LINE
---	EXISTING FENCE LINE	●	65 dBA MITIGATED LINE
---	PROPOSED PAVING	▭ (hatched)	STEEP SLOPES (>25%)
---	EXISTING PAVING	▭ (hatched)	25' BQE YELLOW ZONE
---	PRIVATE EASEMENT	▭ (hatched)	40' BQE GREEN ZONE
---	PRIVATE DRAINAGE & UTILITY EASEMENT	▭ (hatched)	
---	PERVIOUS PAVING PARKING BAYS	▭ (hatched)	
---	LIMIT OF DISTURBANCE	---	
---	SSP/TP	---	
---	DF/TP	---	
---	EXISTING TREE LINE	---	
---	PROPOSED TREE LINE	---	
---	DRAINAGE DIVIDE	---	
---	PERMANENT SOIL STABILIZATION CONTROL MATTING	---	
GhB	SOIL LINES AND TYPES	---	

AREA 25% OR GREATER STEEP SLOPE:
TOTAL AREA: 39,640 SQ.FT.
ONSITE AREA BEING DISTURBED: 2,409 SQ.FT.



SOILS LEGEND			
SOIL	NAME	CLASS	'K' VALUE
SrE	Sassafras and Croom soils, 15 to 25 percent slopes	C	.32
UcB	Urban land-Chillum-Beltville complex, 0 to 5 percent slopes	C	.43

DAILY STABILIZATION NOTE
ALL DISTURBED AREAS NOT DIRECTED TO A SEDIMENT CONTROL DEVICE SHALL BE STABILIZED AT THE END OF EACH WORKDAY. THE CONTRACTOR SHALL NOT DISTURB AN AREA GREATER THAN THAT WHICH CAN BE STABILIZED AT THE END OF EACH WORKDAY.

DESIGN CERTIFICATION
"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
11/21/2023
Paul G. Cavanaugh
DESIGNER'S SIGNATURE DATE
PAUL G. CAVANAUGH MD REGISTRATION No. 27020

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Declassified by: [Signature] 12/22/2023
Chief, Division of Land Development Date
Declassified by: [Signature] 12/26/2023
Chief, Development Engineering Division Date
Declassified by: [Signature] 12/28/2023
Director - Department of Planning and Zoning Date



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED UNDER MY SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27020, EXPIRATION DATE: 01/25/24.
Paul G. Cavanaugh 11/21/2023
PAUL G. CAVANAUGH Date

DEVELOPER'S CERTIFICATE
"I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."
[Signature] 11/16/2023
SIGNATURE OF DEVELOPER DATE
<NAME>

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
Alexander Bratehie 12/22/2023
HOWARD SOIL CONSERVATION DISTRICT DATE

OWNER/DEVELOPER
CHETAN MEHTA
5192 TALBOTS LANDING
ELLICOTT CITY MD 211043
443-289-9563

NO.	REVISION	DATE
1		

SUBDIVISION	SECTION/AREA	PARCEL
MEHTA PROPERTY	N/A	700

DEED	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
L16923 F334	2	R-A-15	3B	1	601101

SEDIMENT EROSION CONTROL PLAN & SITE DISTANCE ANALYSIS

MEHTA PROPERTY
7170 MONTGOMERY ROAD

ZONED: R-A-15
TAX MAP NO.: 3B GRID NO.: 02 PARCEL 700
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: NOVEMBER, 2023
SHEET 4 OF 6

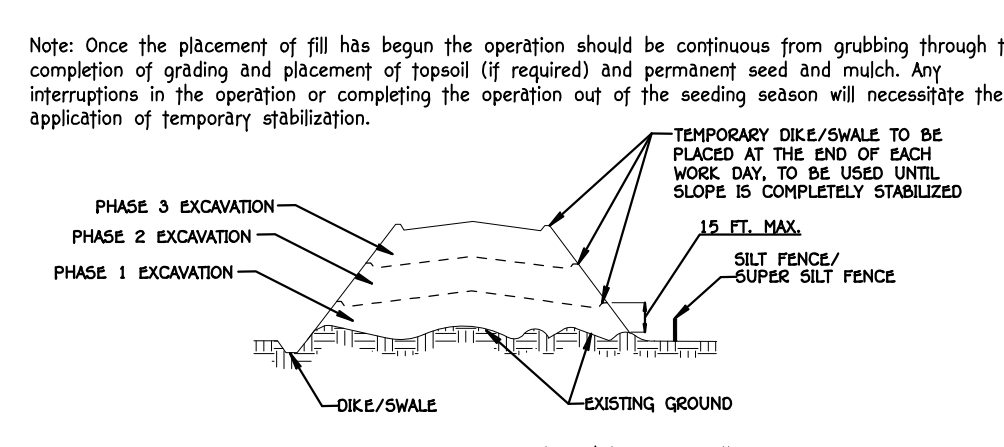


SOIL PREPARATION, TOPSOILING AND SOIL AMENDMENTS (B-4-2)

- A. Soil Preparation
1. Temporary Stabilization
a. Seedbed Preparation
b. Application of Fertilizer and Lime
c. Incorporate lime and fertilizer into the top 3 to 5 inches of soil
2. Permanent Stabilization
a. A soil test is required for any earth disturbance of 5 acres or more
b. Application of amendments or topsoil is required if on-site soils do not meet the above conditions
c. Graded areas must be maintained in a true and even grade
d. Apply soil amendments as specified on the approved plan or as indicated by the results of a soil test
e. Mix soil amendments into the top 3 to 5 inches of soil by disking or other suitable means
f. Topsoiling
1. Topsoil is placed over prepared subsoil prior to establishment of permanent vegetation
2. Topsoil salvaged from an existing site may be used provided it meets the standards as set forth in these specifications
3. Topsoiling is limited to areas having 2:1 or flatter slopes
4. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth
5. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients
6. The original soil to be vegetated contains material toxic to plant growth
7. The soil is so acidic that treatment with limestone is not feasible
8. Areas having slopes steeper than 2:1 require special consideration and design
9. Topsoil Specifications: Soil to be used as topsoil must meet the following criteria:
a. Topsoil must be a loam, sandy loam, clay loam, silt loam, sandy clay loam, or loamy sand
b. Topsoil must be free of noxious plants or plant parts
c. Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist
d. Topsoil Application
1. Erosion and sediment control practices must be maintained when applying topsoil
2. Uniformly distribute topsoil in a 5 to 8 inch layer and lightly compact to a minimum thickness of 4 inches
3. Topsoil must be corrected in order to prevent the formation of depressions or water pockets
4. Topsoil must not be placed if the topsoil or subsoil is in a frozen or muddy condition
5. Topsoil must be placed if the subsoil is excessively wet or otherwise detrimental to proper grading and seedbed preparation

PERMANENT SEEDING NOTES (B-4-5) A. Seed Mixtures

- 1. General Use
a. Select one or more of the species or mixtures listed in Table B.3 for the appropriate Plant Hardness Zone
b. Additional planting specifications for exceptional sites such as shorelines, stream banks, or dunes
c. For areas having disturbed areas over 5 acres, use and show the rates recommended by the soil testing agency
d. For areas receiving low maintenance, apply urea form fertilizer (46-0-0) at 3 1/2 pounds per 1000 square feet
e. Apply fertilizer and lime as prescribed on the plan
2. Turfgrass Mixtures
a. Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites
b. Select one or more of the species or mixtures listed below based on the site conditions or purpose
c. Kentucky Bluegrass/Perennial Ryegrass Full Sun Mixture
d. Kentucky Bluegrass/Perennial Ryegrass/Cultivar Mixture
e. Tall Fescue/Kentucky Bluegrass Full Sun Mixture
f. Kentucky Bluegrass/Fine Fescue Shade Mixture
3. Standards and Specifications for Seeding and Mulching (B-4-3)
a. Seeding
1. Specifications
a. All seed must meet the requirement of the Maryland State Seed Law
b. Incorporate seed into the subsoil at the rates prescribed on Temporary Seeding Table B.1
c. Drill or Cultipacker Seeding
d. Hydroseeding
2. Mulching
a. Mulch Materials
b. Wood Cellulose Fiber Mulch (WCFM)
3. Anchoring
b. Mulching
c. Anchoring
4. Application
a. Dry Seeding
b. Drill or Cultipacker Seeding
c. Hydroseeding
d. Mulching
e. Anchoring
5. Application
a. Dry Seeding
b. Drill or Cultipacker Seeding
c. Hydroseeding
d. Mulching
e. Anchoring



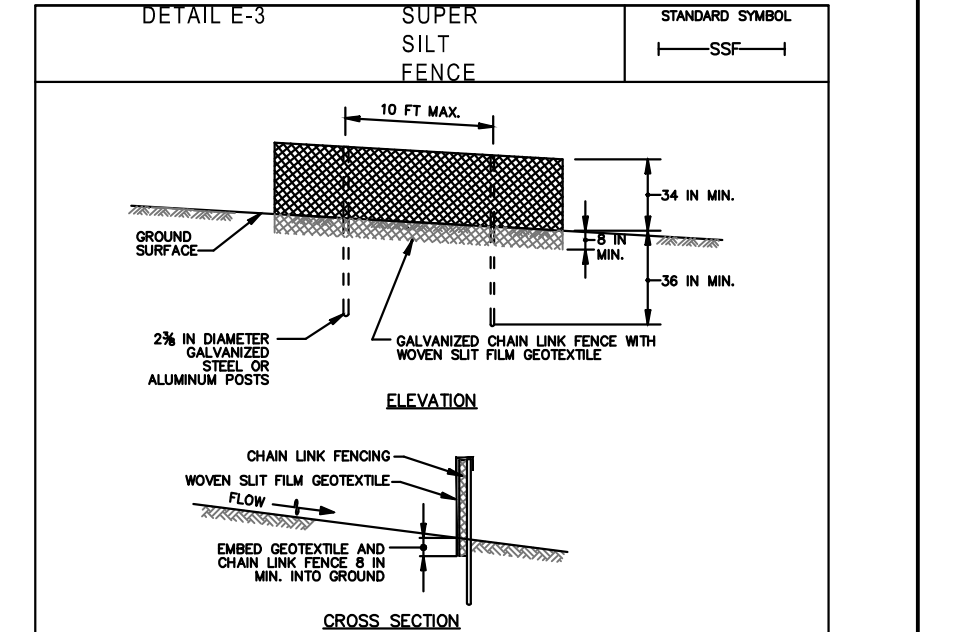
STANDARD STABILIZATION NOTE
FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN:
a. THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND
b. SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.

STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING (B-4-3)
Definition
The application of seed and mulch to establish vegetative cover.
Purpose
To protect disturbed soils from erosion during and at the end of construction.
Criteria
To the surface of all perimeter contours, slopes, and any disturbed area not under active grading.

STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA (B-4-8)

- Definition
The mound or pile of soil protected by appropriately designed erosion and sediment control measures.
Purpose
To provide a designated location for the temporary storage of soil that controls the potential for erosion, sedimentation, and changes to drainage patterns.
Conditions Where Practice Applies
Stockpile areas are utilized when it is necessary to salvage and store soil for later use.
Criteria
1. The stockpile location and all related sediment control practices must be clearly indicated on the erosion and sediment control plan.
2. The footprint of the stockpile must be sized to accommodate the anticipated volume of material and based on a side slope ratio no steeper than 2:1.
3. Runoff from the stockpile area must drain to a suitable sediment control practice.
4. Access the stockpile area from the upgrade side.
5. Clear water runoff into the stockpile area must be minimized by use of a diversion device such as an earth dike, temporary swale or diversion fence.
6. Stockpiles must be stabilized in accordance with the 3/7 day stabilization requirement as well as Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization.
7. If the stockpile is located on an impervious surface, a liner should be provided below the stockpile to facilitate cleanup.
8. Stockpiles containing contaminated material must be covered with impermeable sheeting.
Maintenance
The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment in accordance with Section B-4 Vegetative Stabilization.
Criteria
To the surface of all perimeter contours, slopes, and any disturbed area not under active grading.

- Continued:
7. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
8. Additional sediment control must be provided, if deemed necessary by the CID.
9. Inspection items as required by the General Permit for Stormwater Associated with Construction Activities (HDCS, HDCS-1).
10. Any major changes or revisions to the plan or sequence of construction must be reviewed and approved by the HSCD prior to proceeding with construction.
11. Disturbance shall not occur outside the L.O.D.
12. Topsoil shall be stockpiled and preserved on-site for redistribution on final grade.
13. Wash water from any equipment, vehicles, wheel, pavement, and other sources must be treated in a sediment basin or other approved washwater structure.
14. Topsoil shall be stockpiled and preserved on-site for redistribution on final grade.
15. Stream channels must not be disturbed during the following restricted time periods (including):
a. Use 1 and 1P March 1 - June 15
b. Use 2 June 16 - Sept 30
c. Use 3 Oct 1 - April 30
d. Use 4 March 1 - May 31
16. The HSCD may require the contractor to follow the Maryland Standards and Specifications for Soil Erosion and Sediment Control, and associated permits shall be on-site and available when the site is active.



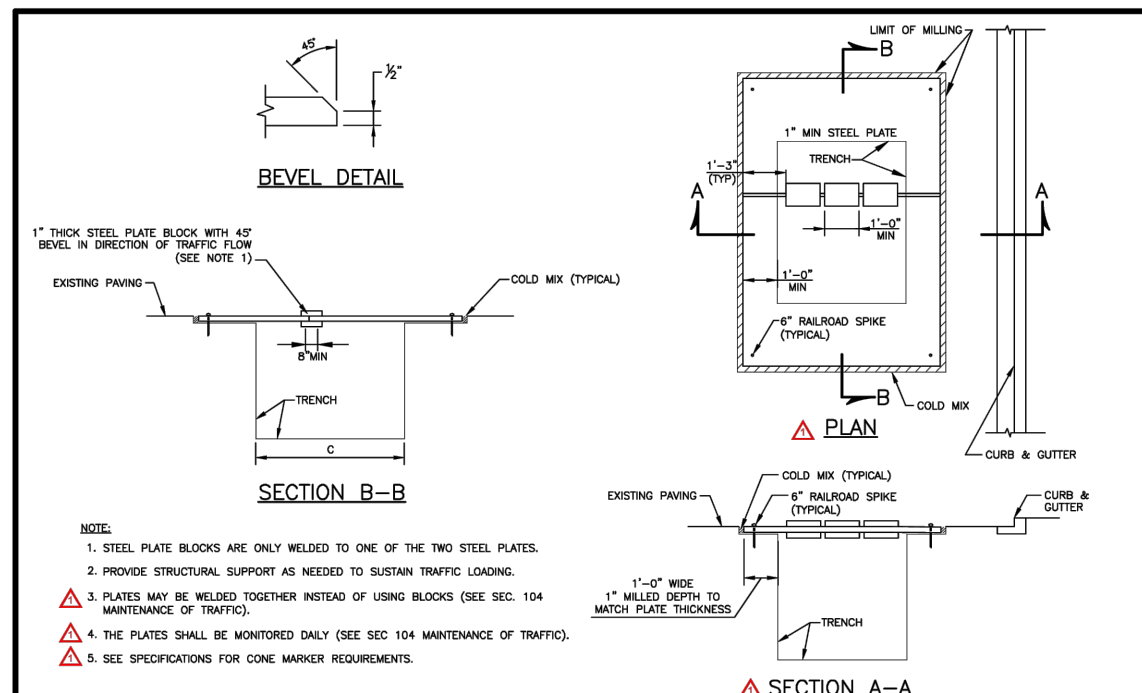
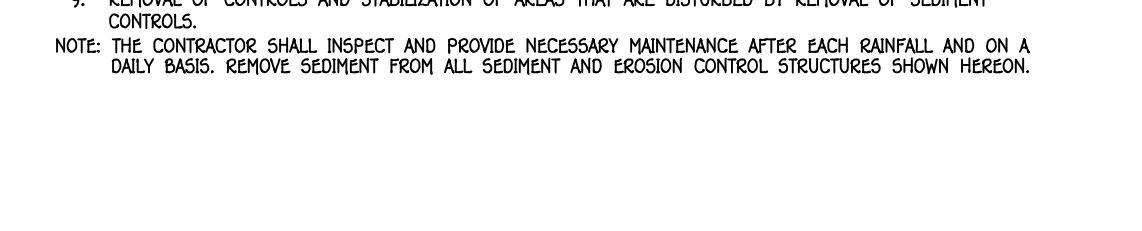
- CONSTRUCTION SPECIFICATIONS
1. INSTALL 24 INCH DIAMETER GALVANIZED STEEL POSTS OF 200S NCH WALL THICKNESS AND SIX FOOT LENGTH SPACING NO FURTHER THAN 10 FEET APART.
2. FASTEN WOVEN SILT FILTER GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SPECIFICALLY TO THE GEOTEXTILE USED WITH THE REQUIREMENTS IN SECTION H-1 MATERIALS.
3. INTERSECT ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEED BY PASS.
4. EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF THE HORIZONTAL FEET UPSTREAM AT THE ENDS OF THE SUPER SILT FENCE.
5. PROVIDE MAINTENANCE TO THE INSPECTION/INSPECTION AUTHORITY OR SHOWING THAT THE SUPER SILT FENCE IS MAINTAINED AND OPERATIONAL.
6. REMOVE ACCUMULATED SEDIMENT AND DEBRIS FROM THE SUPER SILT FENCE AT LEAST ONCE PER MONTH.
7. REMOVE ACCUMULATED SEDIMENT AND DEBRIS FROM THE SUPER SILT FENCE AT LEAST ONCE PER MONTH.
8. REMOVE ACCUMULATED SEDIMENT AND DEBRIS FROM THE SUPER SILT FENCE AT LEAST ONCE PER MONTH.
9. REMOVE ACCUMULATED SEDIMENT AND DEBRIS FROM THE SUPER SILT FENCE AT LEAST ONCE PER MONTH.
10. REMOVE ACCUMULATED SEDIMENT AND DEBRIS FROM THE SUPER SILT FENCE AT LEAST ONCE PER MONTH.

BEST MANAGEMENT PRACTICES FOR WORKING IN NONTIDAL WETLANDS, WETLAND BUFFERS, WATERWAYS, AND 100-YEAR FLOODPLAINS

- 1) No excess fill, construction material, or debris shall be accumulated or stored in nontidal wetlands, nontidal wetland buffers, waterways, or the 100-year floodplain.
2) Place materials in a location and manner which does not adversely impact surface or subsurface water flow into or out of nontidal wetland buffers, waterways, or the 100-year floodplain.
3) Do not use the excavated material as backfill if it contains waste materials, unsightly debris, toxic materials or any other deleterious substance.
4) Place heavy equipment on mats or subsoil to prevent damage to nontidal wetlands, nontidal wetland buffers, or waterways, or 100-year floodplain.
5) All stabilization in the nontidal wetland and nontidal wetland buffer shall consist of the following species: Annual Ryegrass (Lolium multiflorum), Pigeon Pea (Cajanus cajan), Barley (Hordeum sp.), and/or Rice (Oryza sativa).
6) Any other species used for stabilization of the site shall also be approved by the voluntary vegetation of nontidal wetlands.
7) After construction has been completed, make post-construction grade and elevations the same as the original grades and elevations in temporarily impacted areas.
8) To protect aquatic species, in-stream work is prohibited as determined by the classification of the stream:
a. Use 1: in-stream work shall not be conducted during the period March 1 through May 31, inclusive, during any year.
b. Use 2: in-stream work shall not be conducted during the period October 1 through April 30, inclusive, during any year.
c. Use 3: in-stream work shall not be conducted during the period March 1 through May 31, inclusive, during any year.
9) Stormwater runoff from impervious surfaces shall be controlled to prevent the washing of 1/10 cuverts shall be constructed and any riprap placed so as not to obstruct the movement of debris into the waterway, adjacent to the purpose of the activity is to impound water.

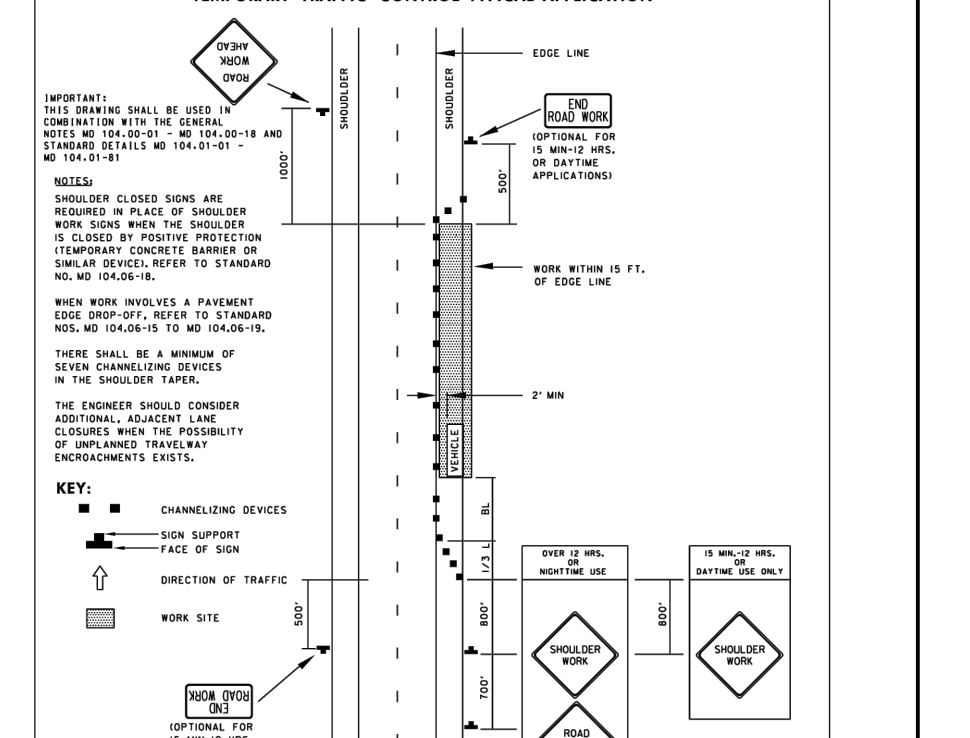
SEQUENCE OF CONSTRUCTION

- 1. OBTAIN A GRADING PERMIT (1-2 WEEKS)
2. OBTAIN A PERMIT TO EXCAVATE AND SUPER SILT FENCE (1 WEEK)
3. CONSTRUCTION ENTRANCE AND SUPER SILT FENCE (1 WEEK)
4. COMMENCE GRADING, INCLUDING CONSTRUCTION OF GARDEN WALLS, HOUSE, UTILITY TRENDS, AND IMPERVIOUS AREAS (16 MONTHS)
5. ONCE CONTRIBUTING DRAINAGE AREAS ARE STABILIZED, INSTALL M-5 DOWHELS AND N-2 DISCONNECTION OF NON-ROOFTOP RUNOFF.
6. OBTAIN APPROVAL OF SEDIMENT CONTROL INSPECTOR PRIOR TO REMOVAL OF SEDIMENT CONTROLS. (3 DAYS)
7. REMOVAL OF CONTROLS AND STABILIZATION OF AREAS THAT ARE DISTURBED BY REMOVAL OF SEDIMENT CONTROLS.
NOTE: THE CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE AFTER EACH RAINFALL AND ON A DAILY BASIS, REMOVE SEDIMENT FROM ALL SEDIMENT AND EROSION CONTROL STRUCTURES SHOWN HEREON.

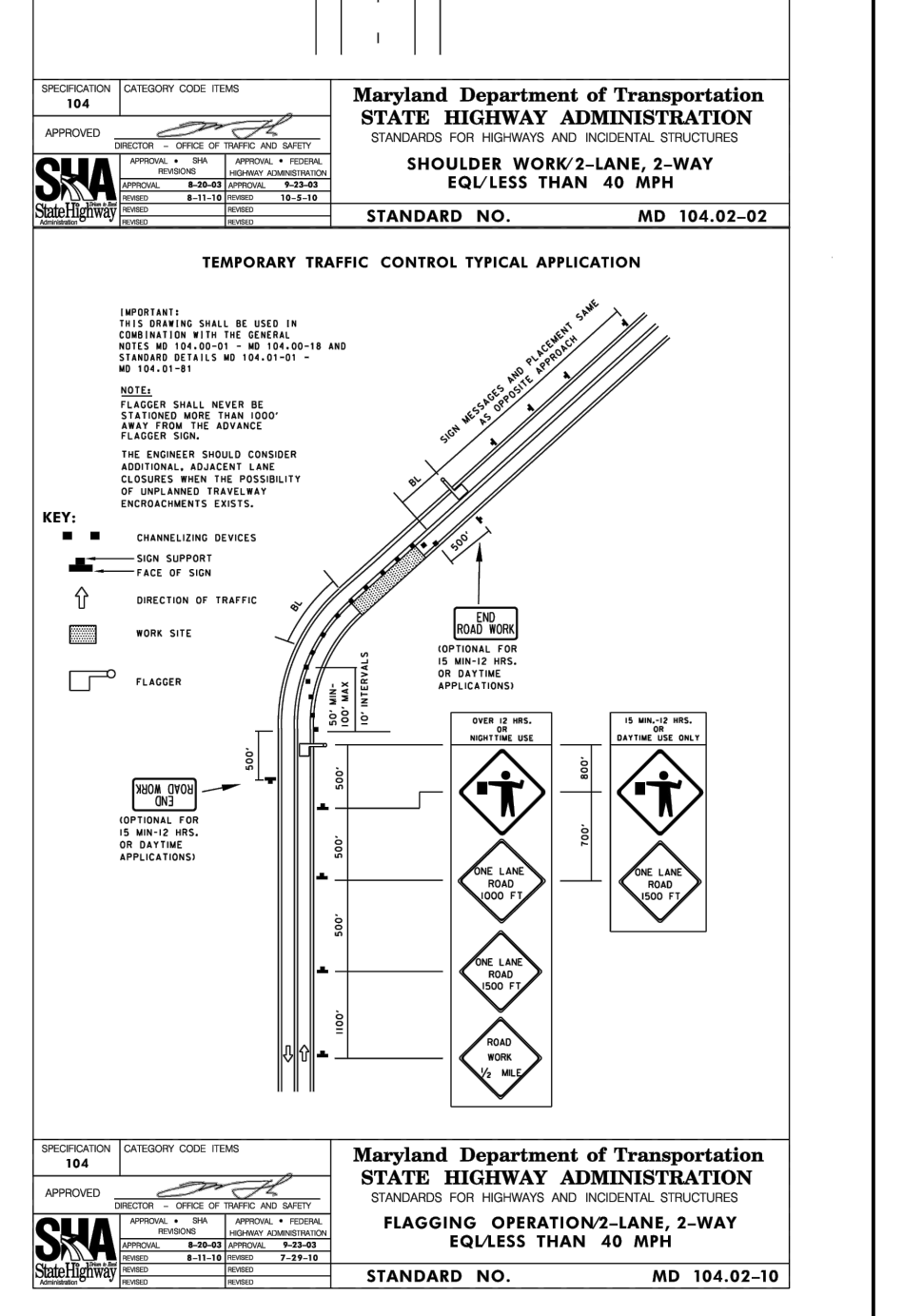


HOWARD COUNTY, MARYLAND Department of Public Works UTILITY TRENCH ROADWAY REPAIRING Steel Pipes Detail G-4.02

TEMPORARY TRAFFIC CONTROL TYPICAL APPLICATION



TEMPORARY TRAFFIC CONTROL TYPICAL APPLICATION



TEMPORARY SEEDING NOTES (B-4-4)

- 1. To stabilize disturbed soils with vegetation for up to 6 months.
Purpose
To use fast growing vegetation that provides cover on disturbed soils.
Criteria
1. Select one or more of the species or seed mixtures listed in Table B.1 for the appropriate Plant Hardness Zone
2. For sites having soil tests performed, use and show the recommended rates by the testing agency
3. When stabilization is required outside of a seeding season, apply seed and mulch or straw mulch alone as prescribed in Section B-4.3.A.1.b and maintain until the next seeding season.

PERMANENT SEEDING SUMMARY

Table with columns: No., Species, Application Rate (lb/ac), Seeding Dates, Seeding Depths, N (lb/ac), P2O5 (lb/ac), K2O (lb/ac), Lime Rate (tons/ac). Rows include TALL FESCUE, MILLET FOXTAL, N/A SOD, SWITCH GRASS, BUSH CLOVER.

B-4-1 STANDARDS AND SPECIFICATIONS FOR INCREMENTAL STABILIZATION

- Definition
Establishment of vegetative cover on cut and fill slopes.
Purpose
To provide timely vegetative cover on cut and fill slopes as work progresses.
Criteria
1. Excavate and stabilize cut slopes in increments not to exceed 15 feet in height.
2. Construction sequence example (Refer to Figure B.1):
a. Construct and stabilize all temporary swales or dikes that will be used to convey runoff around the excavation.
b. Perform Phase 1 excavation, prepare seedbed, and stabilize.
c. Perform Phase 2 excavation, prepare seedbed, and stabilize.
d. Perform final phase excavation, prepare seedbed, and stabilize.
3. Anchoring
4. Application
5. Application
a. Dry Seeding
b. Drill or Cultipacker Seeding
c. Hydroseeding
d. Mulching
e. Anchoring

TEMPORARY SEEDING NOTES (B-4-4)

Table with columns: Hardness Zone, Species, Application Rate (lb/ac), Seeding Dates, Seeding Depths, N (lb/ac), P2O5 (lb/ac), K2O (lb/ac), Lime Rate (tons/ac). Rows include BARLEY, OATS, RYE, FOXTAL MILLET.

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED UNDER MY SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27020, EXPIRATION DATE: 01/25/24. 11/21/2023
PAUL G. CAVANAGH
PAUL G. CAVANAGH
DEVELOPER'S CERTIFICATE
I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD COUNTY CONSERVATION DISTRICT AND/OR MDE.

PROFESSIONAL CERTIFICATION

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.
ALEXANDER BRATCHEV
ALEXANDER BRATCHEV
OWNER/DEVELOPER
CHETAN MEHTA
5192 TALBOTS LANDING
ELLIOTT CITY MD 21043
443-295-9563

SEDIMENT EROSION CONTROL PLAN

Table with columns: NO., REVISION, DATE. Rows include MEHTA PROPERTY, DEED L16923 F.334, BLOCK NO. 2, ZONE R-A-15, TAX MAP 3B, ELEC. DIST. 1, CENSUS TR. 601101.

SEDIMENT EROSION CONTROL PLAN

MEHTA PROPERTY
7170 MONTGOMERY ROAD
ZONED: R-A-15
TAX MAP NO.: 3B QRD NO.: 02 PARCEL 700
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: NOVEMBER, 2023
SHEET 5 OF 6

Certificate Of Completion

Envelope Id: 814CB5793A1246568F6ED7222D03ACD8	Status: Completed
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Source Envelope:	
Document Pages: 6	Signatures: 20
Certificate Pages: 5	Initials: 0
AutoNav: Enabled	Envelope Originator:
Envelopeld Stamping: Enabled	Anthony Cataldo
Time Zone: (UTC-05:00) Eastern Time (US & Canada)	Ellicott City, MD 21043
	acataldo@howardcountymd.gov
	IP Address: 73.133.203.162

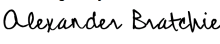
Record Tracking

Status: Original	Holder: Anthony Cataldo	Location: DocuSign
12/22/2023 12:05:41 PM	acataldo@howardcountymd.gov	

Signer Events

Alexander Bratchie
 abratchie@howardcountymd.gov
 Security Level: Email, Account Authentication (None)

Signature

DocuSigned by:

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 Signed using mobile

Timestamp

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Electronic Record and Signature Disclosure:
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Anthony Cataldo
 acataldo@howardcountymd.gov
 Division Chief
 Howard County Government
 Security Level: Email, Account Authentication (None)

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 Not Offered via DocuSign

CHAD Edmondson
 cedmondson@howardcountymd.gov
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Lynda Eisenberg
 leisenberg@howardcountymd.gov
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Electronic Record and Signature Disclosure:
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In Person Signer Events

Signature

Timestamp

Editor Delivery Events	Status	Timestamp
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Agent Delivery Events	Status	Timestamp
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Intermediary Delivery Events	Status	Timestamp
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Certified Delivery Events	Status	Timestamp
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Carbon Copy Events	Status	Timestamp
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Lisa Kenney lkenney@howardcountymd.gov Planning Support Tech II Howard County government Security Level: Email, Account Authentication (None) Electronic Record and Signature Disclosure: Not Offered via DocuSign	<div style="border: 2px solid blue; padding: 5px; display: inline-block;">COPIED</div>	Sent: 12/28/2023 9:47:41 AM Viewed: 12/28/2023 9:53:34 AM
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Witness Events	Signature	Timestamp
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Notary Events	Signature	Timestamp
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Envelope Summary Events	Status	Timestamps
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Signing Complete	Security Checked	12/28/2023 9:47:35 AM
Completed	Security Checked	12/28/2023 9:47:41 AM

Payment Events	Status	Timestamps
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Electronic Record and Signature Disclosure

CONSUMER DISCLOSURE

From time to time, Howard County Government (we, us or Company) may be required by law to provide to you certain written notices or disclosures. Described below are the terms and conditions for providing to you such notices and disclosures electronically through the DocuSign, Inc. (DocuSign) electronic signing system. Please read the information below carefully and thoroughly, and if you can access this information electronically to your satisfaction and agree to these terms and conditions, please confirm your agreement by clicking the 'I agree' button at the bottom of this document.

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Withdrawing your consent

If you decide to receive notices and disclosures from us electronically, you may at any time change your mind and tell us that thereafter you want to receive required notices and disclosures only in paper format. How you must inform us of your decision to receive future notices and disclosure in paper format and withdraw your consent to receive notices and disclosures electronically is described below.

Consequences of changing your mind

If you elect to receive required notices and disclosures only in paper format, it will slow the speed at which we can complete certain steps in transactions with you and delivering services to you because we will need first to send the required notices or disclosures to you in paper format, and then wait until we receive back from you your acknowledgment of your receipt of such paper notices or disclosures. To indicate to us that you are changing your mind, you must withdraw your consent using the DocuSign 'Withdraw Consent' form on the signing page of a DocuSign envelope instead of signing it. This will indicate to us that you have withdrawn your consent to receive required notices and disclosures electronically from us and you will no longer be able to use the DocuSign system to receive required notices and consents electronically from us or to sign electronically documents from us.

All notices and disclosures will be sent to you electronically

Unless you tell us otherwise in accordance with the procedures described herein, we will provide electronically to you through the DocuSign system all required notices, disclosures, authorizations, acknowledgements, and other documents that are required to be provided or made available to you during the course of our relationship with you. To reduce the chance of you inadvertently not receiving any notice or disclosure, we prefer to provide all of the required notices and disclosures to you by the same method and to the same address that you have given us. Thus, you can receive all the disclosures and notices electronically or in paper format through the paper mail delivery system. If you do not agree with this process, please let us know as described below. Please also see the paragraph immediately above that describes the consequences of your electing not to receive delivery of the notices and disclosures

electronically from us.

How to contact Howard County Government:

You may contact us to let us know of your changes as to how we may contact you electronically, to request paper copies of certain information from us, and to withdraw your prior consent to receive notices and disclosures electronically as follows:

To contact us by email send messages to: glovelace@howardcountymd.gov

To advise Howard County Government of your new e-mail address

To let us know of a change in your e-mail address where we should send notices and disclosures electronically to you, you must send an email message to us at glovelace@howardcountymd.gov and in the body of such request you must state: your previous e-mail address, your new e-mail address. We do not require any other information from you to change your email address..

In addition, you must notify DocuSign, Inc. to arrange for your new email address to be reflected in your DocuSign account by following the process for changing e-mail in the DocuSign system.

To request paper copies from Howard County Government

To request delivery from us of paper copies of the notices and disclosures previously provided by us to you electronically, you must send us an e-mail to glovelace@howardcountymd.gov and in the body of such request you must state your e-mail address, full name, US Postal address, and telephone number. We will bill you for any fees at that time, if any.

To withdraw your consent with Howard County Government

To inform us that you no longer want to receive future notices and disclosures in electronic format you may:

- i. decline to sign a document from within your DocuSign session, and on the subsequent page, select the check-box indicating you wish to withdraw your consent, or you may;
- ii. send us an e-mail to glovelace@howardcountymd.gov and in the body of such request you must state your e-mail, full name, US Postal Address, and telephone number. We do not need any other information from you to withdraw consent.. The consequences of your withdrawing consent for online documents will be that transactions may take a longer time to process..

Required hardware and software

Operating Systems:	Windows® 2000, Windows® XP, Windows Vista®; Mac OS® X
Browsers:	Final release versions of Internet Explorer® 6.0 or above (Windows only); Mozilla Firefox 2.0 or above (Windows and Mac); Safari™ 3.0 or above (Mac only)
PDF Reader:	Acrobat® or similar software may be required to view and print PDF files
Screen Resolution:	800 x 600 minimum
Enabled Security Settings:	Allow per session cookies

** These minimum requirements are subject to change. If these requirements change, you will be asked to re-accept the disclosure. Pre-release (e.g. beta) versions of operating systems and browsers are not supported.

Acknowledging your access and consent to receive materials electronically

To confirm to us that you can access this information electronically, which will be similar to other electronic notices and disclosures that we will provide to you, please verify that you were able to read this electronic disclosure and that you also were able to print on paper or electronically save this page for your future reference and access or that you were able to e-mail this disclosure and consent to an address where you will be able to print on paper or save it for your future reference and access. Further, if you consent to receiving notices and disclosures exclusively in electronic format on the terms and conditions described above, please let us know by clicking the 'I agree' button below.

By checking the 'I agree' box, I confirm that:

- I can access and read this Electronic CONSENT TO ELECTRONIC RECEIPT OF ELECTRONIC CONSUMER DISCLOSURES document; and
- I can print on paper the disclosure or save or send the disclosure to a place where I can print it, for future reference and access; and
- Until or unless I notify Howard County Government as described above, I consent to receive from exclusively through electronic means all notices, disclosures, authorizations, acknowledgements, and other documents that are required to be provided or made available to me by Howard County Government during the course of my relationship with you.