

GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS FOR APPLICABLE UNLESS OTHERWISE APPROVED.
2. THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK...

WATER NOTE

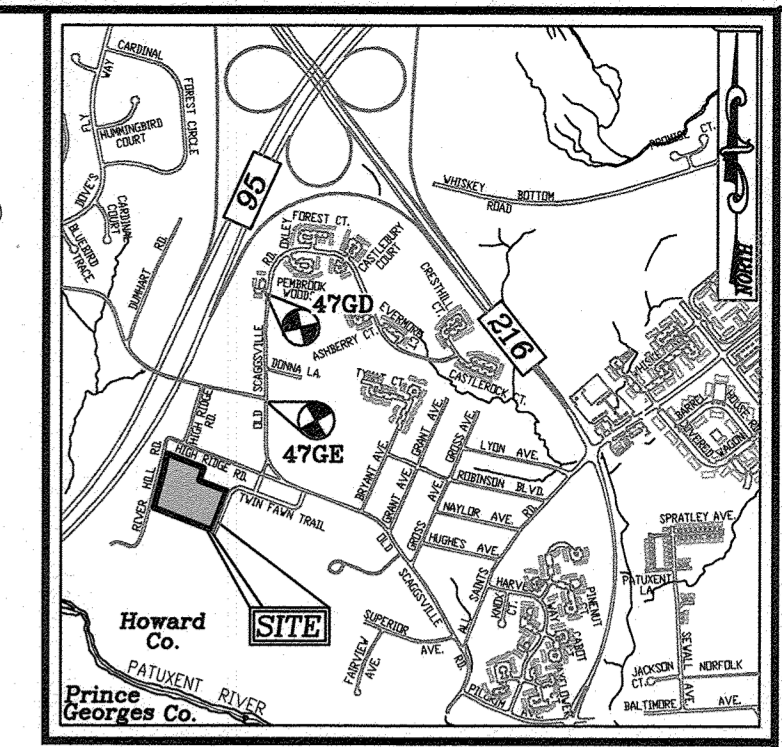
ALL WATER CONNECTIONS SHALL BE 1-1/2" WITH 1" OUTSIDE METER SETTINGS UNLESS OTHERWISE NOTED. REFER TO HOWARD COUNTY DETAILS W-3-28 OUTSIDE METER SETTINGS.

SITE DEVELOPMENT PLAN BEECHWOOD MANOR LOTS 1-31 SFD AND SFA RESIDENTIAL HOWARD COUNTY, MARYLAND

COORDINATE TABLE with columns: Point #, Northing, Easting. Contains 6 points with coordinates.

BENCHMARKS

HOWARD COUNTY BENCHMARK 47GE (CONC. MON.) N 529044.94 E 1350855.03 ELEV. 335.74 LOCATION: BY #9160 OLD SCAGSVILLE ROAD

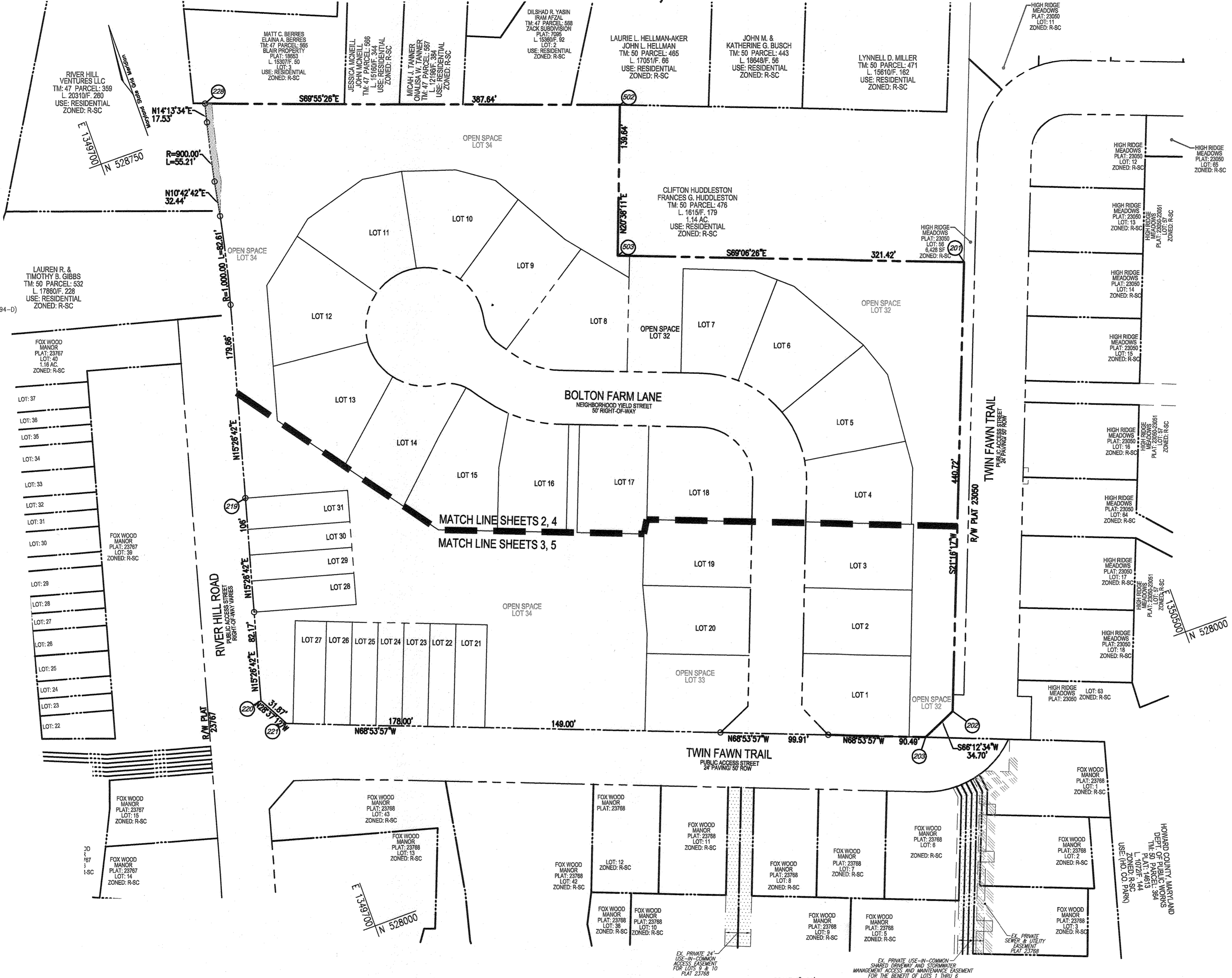


SHEET INDEX table with columns: DESCRIPTION, SHEET NO. Lists various sheets like COVER SHEET, LAYOUT PLAN, GRADING, etc.

NOTE: THE EXISTING GRADES SHOWN HEREON WILL BE ESTABLISHED UNDER THE FINAL ROAD AND STORM DRAIN CONSTRUCTION PLANS FOR BEECHWOOD MANOR F-23-018.

MODERATE INCOME HOUSING UNITS (MIHU) ALLOCATION EXEMPTIONS TRACKING table with columns: TOTAL NUMBER OF LOTS/UNITS PROPOSED, NUMBER OF MIHU REQUIRED, etc.

MIHU AGREEMENT: THE PROJECT WILL PROVIDE 1 MODERATE INCOME HOUSING UNIT (MIHU) AND 1 LOW INCOME HOUSING UNIT (LIHU)...



LOCATION AND KEYMAP SCALE: 1"=60'

PARKING TABULATION table with columns: TOTAL PROJECT AREA, AREA OF PLAN SUBMISSION, etc.

SITE DATA:

- A. TOTAL PROJECT AREA: 7.96 AC
B. AREA OF PLAN SUBMISSION: 7.96 AC = AREA OF BUILDABLE LOTS
C. LIMIT OF DISTURBANCE: 6.50 AC
D. PROPOSED USES FOR SITE AND STRUCTURES: RESIDENTIAL SINGLE FAMILY ATTACHED (SFA) RESIDENTIAL SINGLE FAMILY DETACHED (SFD)

- 1. OFF-STREET PARKING REQUIRED: 2 SPACES PER UNIT = 31 x 2 = 62 PARKING SPACES PROVIDED: 20 SFA = 2 GARAGE / 2 DRIVEWAY 2 SPACES IN GARAGE = 22 SPACES (FOR 11 UNITS) 2 SPACES ON DRIVEWAY = 22 SPACES (FOR 11 UNITS) SFD = 2 GARAGE / 2 DRIVEWAY 2 SPACES IN GARAGE = 40 SPACES (FOR 20 UNITS) 2 SPACES ON DRIVEWAY = 40 SPACES (FOR 20 UNITS)

PERMIT INFORMATION CHART table with columns: SUBDIVISION NAME, SECTION/AREA, LOTS/PARCEL #, etc.

SUMMARY OF FINDINGS FOR APFO TRAFFIC ANALYSIS:

- A. DATE OF REPORT: JANUARY 19, 2018, UPDATE JUNE 26, 2023
B. DATE OF COUNTY(S) DECEMBER 7, 2017
C. REPORT SUBMITTED AS PART OF PLAN NUMBER: S-18-002, UPDATE F-23-018
D. PROVIDE STATEMENT THAT SCHOOLS WERE IN SESSION ON DATE: []

Address and Stormwater Management Information Chart table with columns: Lot #, Street Address, Facility Name & Number, ESD Practice Type, Public/Private, HOA Maintains.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. Chief, Development Engineering Division: Paul Marino, DATE: 3/22/2024. Chief, Division of Planning and Zoning: Lynda Eisner, DATE: 3/22/2024. Director: []

OWNER: BEECHWOOD MANOR, LLC. DEVELOPER: TRINITY HOMES MARYLAND, LLC.

REVISE THE HOUSE TYPE AND GRADING ON LOTS 14, 16 AND 29, AND ADD ELEVATION 7-1-24. H FOR THE HADLEY MODEL TO THE HOUSE TYPES SHEET.

SITE DEVELOPMENT PLAN COVER SHEET BEECHWOOD MANOR LOTS 1-31 SFD AND SFA RESIDENTIAL

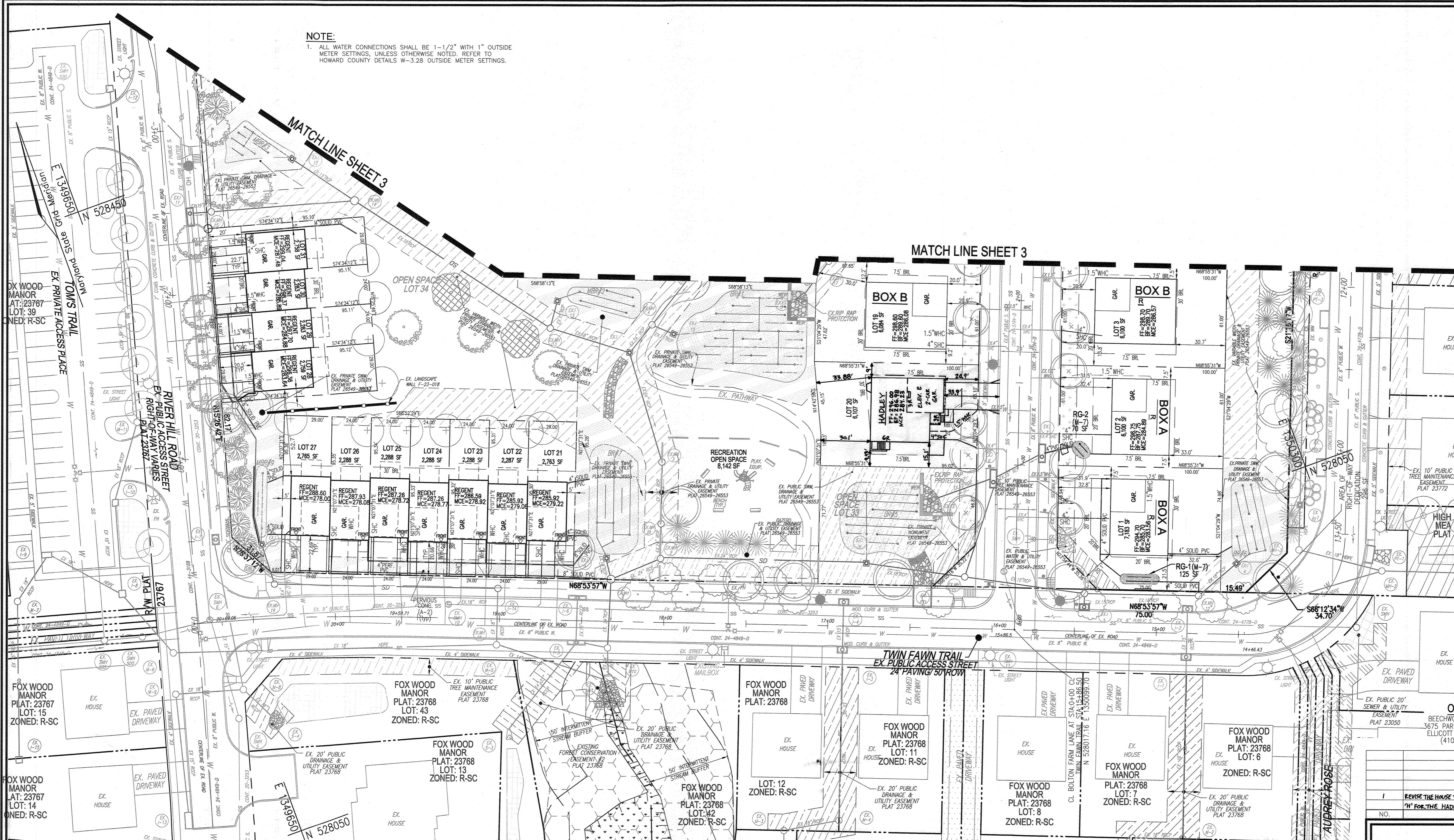
VOGEL ENGINEERING TIMMONS GROUP 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043

DESIGN BY: EDS. DRAWN BY: ONB. CHECKED BY: RNV. DATE: SEPTEMBER 2023. SCALE: AS SHOWN. W.O. NO.: 17-28. 1 SHEET OF 9.

NOTE:
 1. ALL WATER CONNECTIONS SHALL BE 1-1/2" WITH 1" OUTSIDE METER SETTINGS, UNLESS OTHERWISE NOTED, REFER TO HOWARD COUNTY DETAILS W-3.28 OUTSIDE METER SETTINGS.

LEGEND:

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJACENT PROPERTY LINE
	EXISTING EDGE OF PAVING
	EXISTING TREELINE
	PROPOSED TREELINE
	EXISTING SPECIMEN TREES
	EXISTING WOOD FENCE
	EXISTING METAL FENCE
	STORM DRAIN
	RAIN GARDEN STRUCTURE (M-7)
	EXISTING MICRO-BIORETENTION FACILITY (M-6) F-23-018
	EXISTING PUBLIC DRAINAGE & UTILITY EASEMENT (PLAT 23768)
	EXISTING PUBLIC TREE MAINTENANCE EASEMENT (PLATS 14613, 23050-23051, 23768 AND 26549-26553)
	EXISTING FOREST CONSERVATION EASEMENT (PLAT 26549-26553)
	EXISTING PRIVATE USE-IN-COMMON ACCESS EASEMENT (PLAT 23768)
	EXISTING PUBLIC WATER & UTILITY EASEMENT (PLAT 23768)
	EXISTING PRIVATE SEWER & UTILITY EASEMENT (PLAT 23768)
	EXISTING PUBLIC SEWER & UTILITY EASEMENT (PLAT 23768)
	EXISTING PUBLIC WATER & UTILITY EASEMENT (PLAT 26549-26553)
	EXISTING VARIABLE WIDTH PRIVATE DRAINAGE & UTILITY EASEMENT (PLAT 26549-26553)
	EXISTING PRIVATE SWM DRAINAGE & UTILITY EASEMENT (PLAT 26549-26553)
	EXISTING PUBLIC SWM DRAINAGE & UTILITY EASEMENT (PLAT 26549-26553)
	EXISTING PRIVATE MONUMENT EASEMENT (PLAT 26549-26553)
	EXISTING 10' PUBLIC TREE MAINTENANCE EASEMENT (PLAT 23772)
	EXISTING 10' PUBLIC TREE MAINTENANCE EASEMENT (PLAT 26549-26553)
	EXISTING PUBLIC DRAINAGE & UTILITY EASEMENT (PLAT 26549-26553)
	GENERIC HOUSE BOX



LAYOUT PLAN
 SCALE: 1"=30'

- NOTES:**
- GENERIC HOUSE BOXES ARE SHOWN IN ACCORDANCE WITH HOWARD COUNTY GUIDELINES AND DO NOT LIMIT MODEL TYPES AND OPTIONS THAT MAY FIT ON ANY INDIVIDUAL LOT.
 - TYPICAL DRIVEWAY WIDTH SHOWN HEREON IS 18 FEET WIDE FOR THE PROPOSED 2 CAR GARAGE. DRIVEWAY SUBJECT TO CHANGE WITH BUILDER RESITE.
 - DRIVEWAYS: THE SHOWN DRIVEWAY LOCATION CANNOT CHANGE UNLESS NOTED ON THIS SDP CONFIRMING THAT THE GRADING AND DRIVEWAY SLOPES WILL REMAIN THE SAME WHETHER THE DRIVEWAY IS ON THE RIGHT OR LEFT SIDE OF THE HOUSE. ONLY ONE DRIVEWAY ORIENTATION CAN BE SHOWN FOR CORNER LOTS.
 - FOR LOT 21-31 PERMEABLE SURFACE DRIVEWAY DETAILING, REFER TO SHEET 7 & 8.

OWNER
 BEECHWOOD MANOR, LLC
 3675 PARK AVE., SUITE 301
 ELLICOTT CITY, MD 21043
 (410) 480-0023

DEVELOPER
 TRINITY HOMES MARY LAND, LLC
 3675 PARK AVE., SUITE 301
 ELLICOTT CITY, MD 21043
 (410) 480-0023

1. REVISE THE HOUSE TYPE AND GRADING ON LOTS 14-16 AND 29, AND ADD ELEVATION 1'-1-2/4"		
NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
LAYOUT PLAN
BEECHWOOD MANOR
 LOTS 1-31
 SFD AND SFA RESIDENTIAL

L 1271 / F. 186
 TAX MAP: 50 GRID: 1
 5TH ELECTION DISTRICT
 SPZ REFERENCE: SEE SITE DATA

VOGEL ENGINEERING

TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024

DESIGN BY: EDS
 DRAWN BY: ONB
 CHECKED BY: RHV
 DATE: SEPTEMBER 2023
 SCALE: AS SHOWN
 W.O. NO.: 17-26

2 SHEET OF 9

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

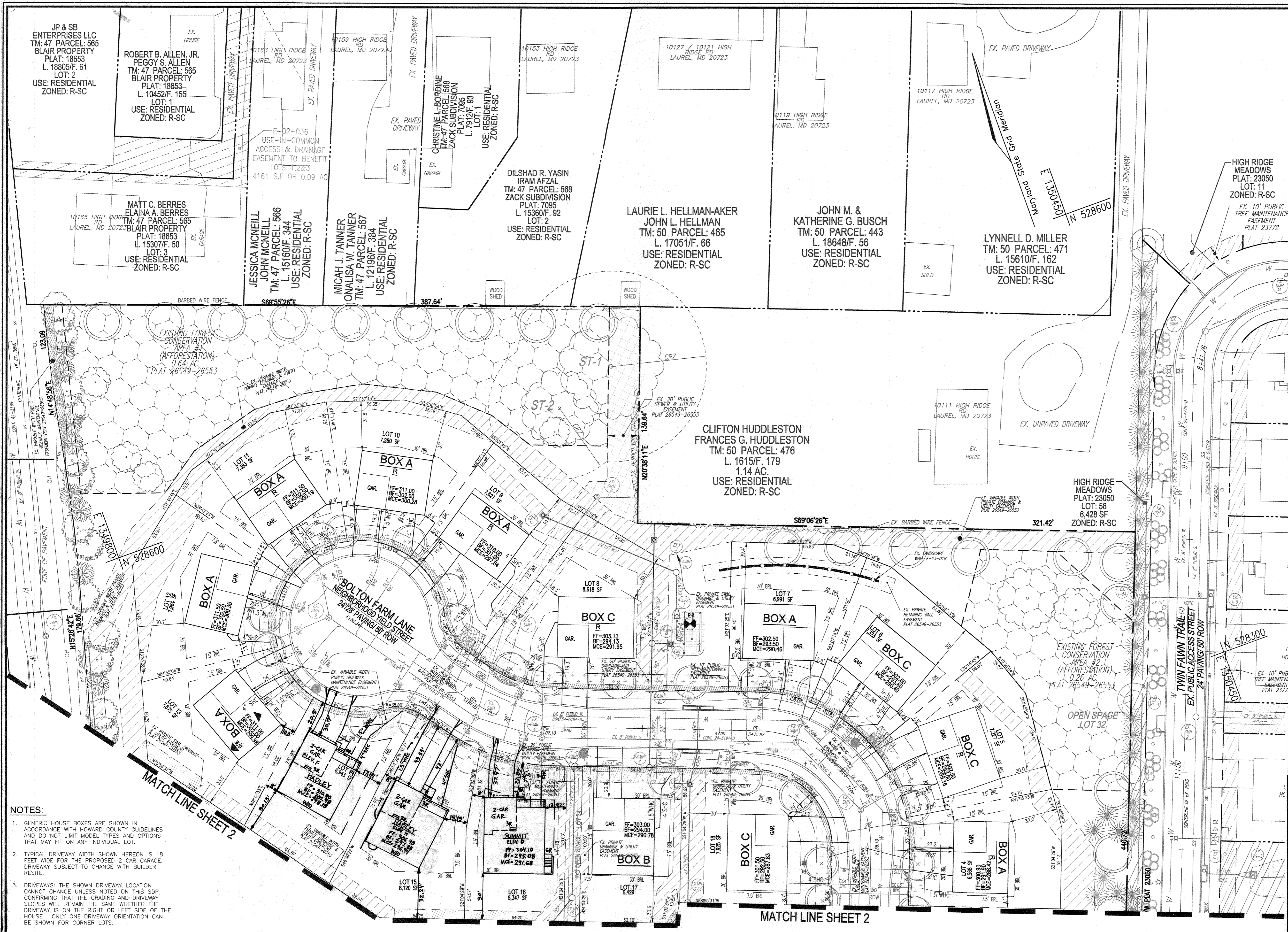
DocuSigned by:
 Paul DiMarco 3/22/2024

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 3/22/2024

CHIEF, DIVISION OF LAND DEVELOPMENT DATE 3/22/2024

DIRECTOR DATE

Robert H. Vogel
 ROBERT H. VOGEL, PE No. 16193



LEGEND:

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJACENT PROPERTY LINE
	EXISTING EDGE OF PAVING
	EXISTING TREELINE
	PROPOSED TREELINE
	EXISTING SPECIMEN TREES
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	EXISTING PUBLIC WATER & UTILITY EASEMENT (PLAT 23768)
	EXISTING PRIVATE SEWER & UTILITY EASEMENT (PLATS 23768)
	EXISTING PUBLIC SEWER & UTILITY EASEMENT (PLATS 23050-23051)
	EXISTING PUBLIC WATER & UTILITY EASEMENT (PLAT 26549-26553)
	EXISTING VARIABLE WIDTH PRIVATE DRAINAGE & UTILITY EASEMENT (PLAT 26549-26553)
	EXISTING PRIVATE SWM DRAINAGE & UTILITY EASEMENT (PLAT 26549-26553)
	EXISTING VARIABLE WIDTH PUBLIC SIDEWALK MAINTENANCE EASEMENT (PLAT 26549-26553)
	EXISTING 10' PUBLIC TREE MAINTENANCE EASEMENT (PLAT 26549-26553)
	EXISTING FOREST CONSERVATION EASEMENT (PLATS 14613, 23050-23051, 23768 AND 26549-26553)
	GENERIC HOUSE BOX

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DEVELOPER
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ELLICOTT CITY, MD 21043
(410) 480-0023

NO.	REVISION	DATE
1	REVISE THE HOUSE TYPE AND GRADING ON LOTS 14-16 AND 20 AND ADD ELEVATION 7'-1-24 'H' FOR THE HADLEY MODEL TO THE HOUSE TYPES SHEET	

SITE DEVELOPMENT PLAN
LAYOUT PLAN
BEECHWOOD MANOR
LOTS 1-31
SFD AND SFA RESIDENTIAL

PARCEL: 001
ZONED: R-SC
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

DESIGN BY: EDS
DRAWN BY: ONB
CHECKED BY: RHV
DATE: SEPTEMBER 2023
SCALE: AS SHOWN
W.O. NO.: 17-26

HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2024

3 SHEET OF **9**

- NOTES:**
- GENERIC HOUSE BOXES ARE SHOWN IN ACCORDANCE WITH HOWARD COUNTY GUIDELINES AND DO NOT LIMIT MODEL TYPES AND OPTIONS THAT MAY FIT ON ANY INDIVIDUAL LOT.
 - TYPICAL DRIVEWAY WIDTH SHOWN HEREON IS 18 FEET WIDE FOR THE PROPOSED 2 CAR GARAGE. DRIVEWAY SUBJECT TO CHANGE WITH BUILDER RESISTE.
 - DRIVEWAYS: THE SHOWN DRIVEWAY LOCATION CANNOT CHANGE UNLESS NOTED ON THIS S/DP CONFIRMING THAT THE GRADING AND DRIVEWAY SLOPES WILL REMAIN THE SAME WHETHER THE DRIVEWAY IS ON THE RIGHT OR LEFT SIDE OF THE HOUSE. ONLY ONE DRIVEWAY ORIENTATION CAN BE SHOWN FOR CORNER LOTS.
 - FOR LOT 21-31 PURMEABLE SURFACE DRIVEWAY DETAILING, REFER TO SHEET 7-1-24

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul Dimarco 3/22/2024
CHIEF, DEVELOPMENT ENGINEERING DIVISION

DATE: 3/22/2024

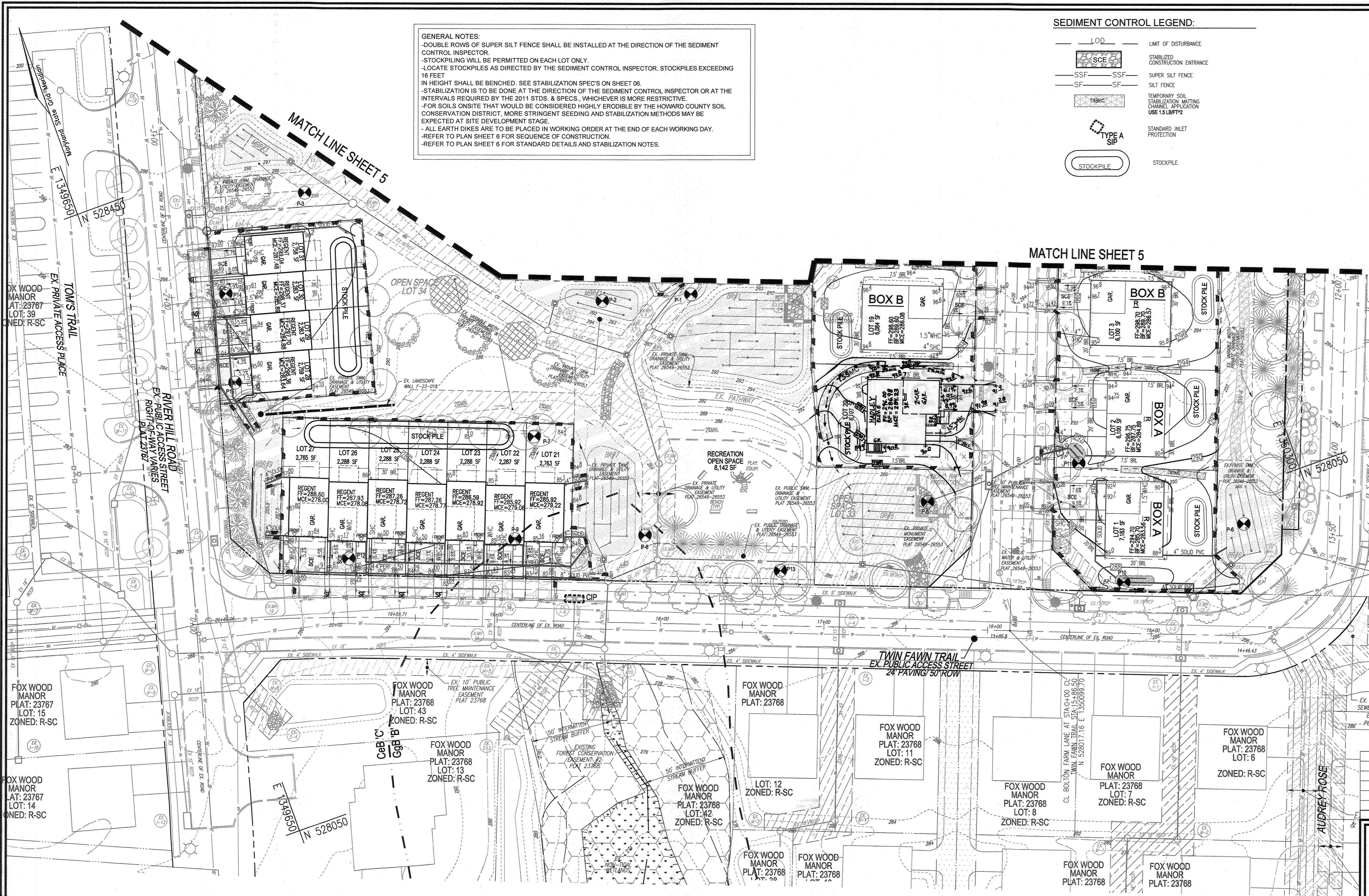
DocuSigned by:
Linda Esenberg 3/22/2024
CHIEF, DIVISION OF LAND DEVELOPMENT

DATE: 3/22/2024

DIRECTOR

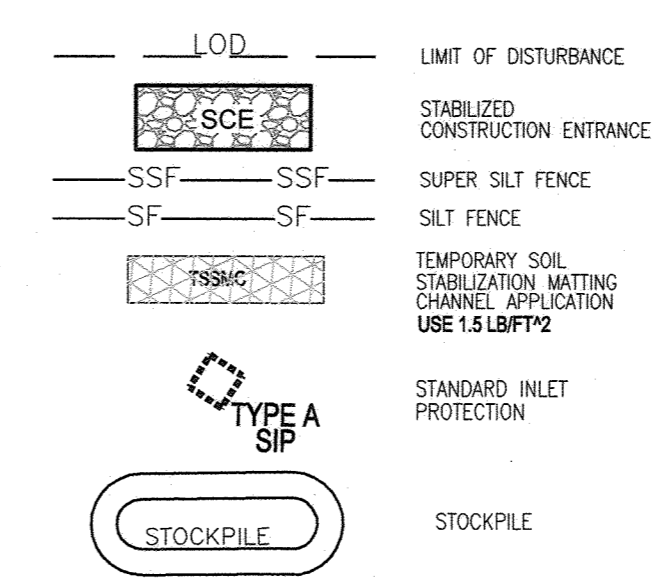
LAYOUT PLAN
SCALE: 1" = 30'
SCALE 1"=30'

NOTE:
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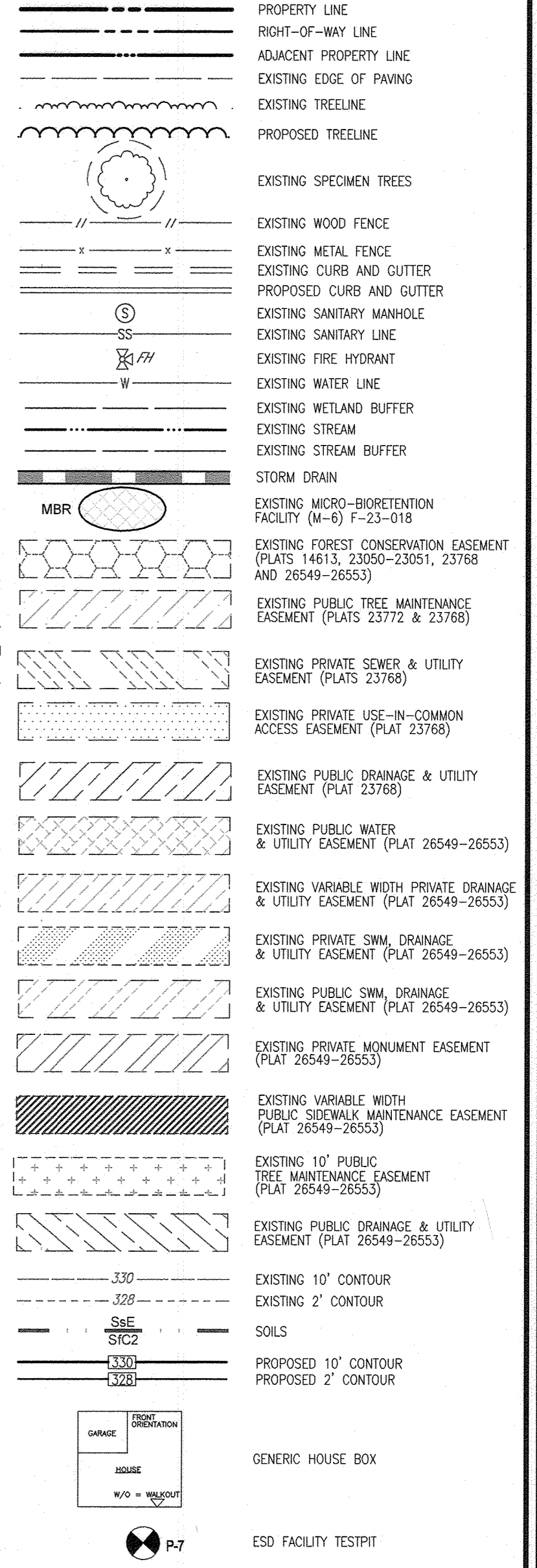


GENERAL NOTES:
 -DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
 -STOCKPILING WILL BE PERMITTED ON EACH LOT ONLY.
 -LOCATE STOCKPILES AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. STOCKPILES EXCEEDING 16 FEET IN HEIGHT SHALL BE BENCHED. SEE STABILIZATION SPEC'S ON SHEET 06.
 -STABILIZATION IS TO BE DONE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR AT THE INTERVALS REQUIRED BY THE 2011 STD.S. & SPECS., WHICHEVER IS MORE RESTRICTIVE.
 -FOR SOILS ON-SITE THAT WOULD BE CONSIDERED HIGHLY ERODIBLE BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT, MORE STRINGENT SEEDING AND STABILIZATION METHODS MAY BE EXPECTED AT SITE DEVELOPMENT STAGE.
 -ALL EARTH DIKES ARE TO BE PLACED IN WORKING ORDER AT THE END OF EACH WORKING DAY.
 -REFER TO PLAN SHEET 6 FOR SEQUENCE OF CONSTRUCTION.
 -REFER TO PLAN SHEET 6 FOR STANDARD DETAILS AND STABILIZATION NOTES.

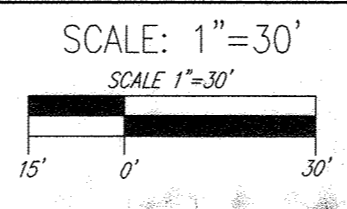
SEDIMENT CONTROL LEGEND:



LEGEND:



GRADING, SOIL EROSION AND SEDIMENT CONTROL PLAN



OWNER
 BEECHWOOD MANOR, LLC
 3675 PARK AVE., SUITE 301
 ELLICOTT CITY, MD 21043
 (410) 480-0023

DEVELOPER
 TRINITY HOMES MARY LAND, LLC
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 (410) 480-0023

NO.	REVISION	DATE
1	REVISE THE HOUSE TYPE AND GRADING ON LOTS 14-16 AND 29, AND ADD ELEVATION 7'-1-24" FOR THE HADLEY MODEL TO THE HOUSE TYPES SHEET	

**SITE DEVELOPMENT PLAN
 GRADING, SOIL EROSION
 AND SEDIMENT CONTROL PLAN**
BEECHWOOD MANOR
 LOTS 1-31
 SFD AND SFA RESIDENTIAL

L: 1271 / E: 186
 TAX MAP: 50 GRID: 1
 6TH ELECTION DISTRICT
 DPZ REFERENCE: SEE SITE DATA

PARCEL: 001
 ZONED: R-SC
 HOWARD COUNTY, MARYLAND

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 +
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PROFESSIONAL CERTIFICATE

DESIGN BY: EDS
 DRAWN BY: ONB
 CHECKED BY: RNV
 DATE: SEPTEMBER 2023
 SCALE: AS SHOWN
 W.D. NO.: 17-26

STATE OF MARYLAND
 ROBERT H. VOGEL
 PROFESSIONAL ENGINEER

HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2024

4 SHEET OF 9

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
 Paul Marco
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 3/22/2024

DocuSigned by:
 Michael Pfau
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 3/22/2024

DocuSigned by:
 Michael Pfau
 DIRECTOR
 DATE: 3/22/2024

OWNER/DEVELOPER CERTIFICATION:
 I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-WAY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

DocuSigned by:
 Michael Pfau
 OWNER/DEVELOPER SIGNATURE
 DATE: 3/5/2024

Michael Pfau
 PRINTED NAME & TITLE

DESIGN CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DocuSigned by:
 Robert H. Vogel
 DESIGNER'S SIGNATURE
 DATE: 3/5/2024

Robert H. Vogel
 PRINTED NAME

MD REGISTRATION NO. 16193
 R.L.S. OR R.L.A. (circle one)

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DocuSigned by:
 Alexander Brathie
 DATE: 3/20/2024

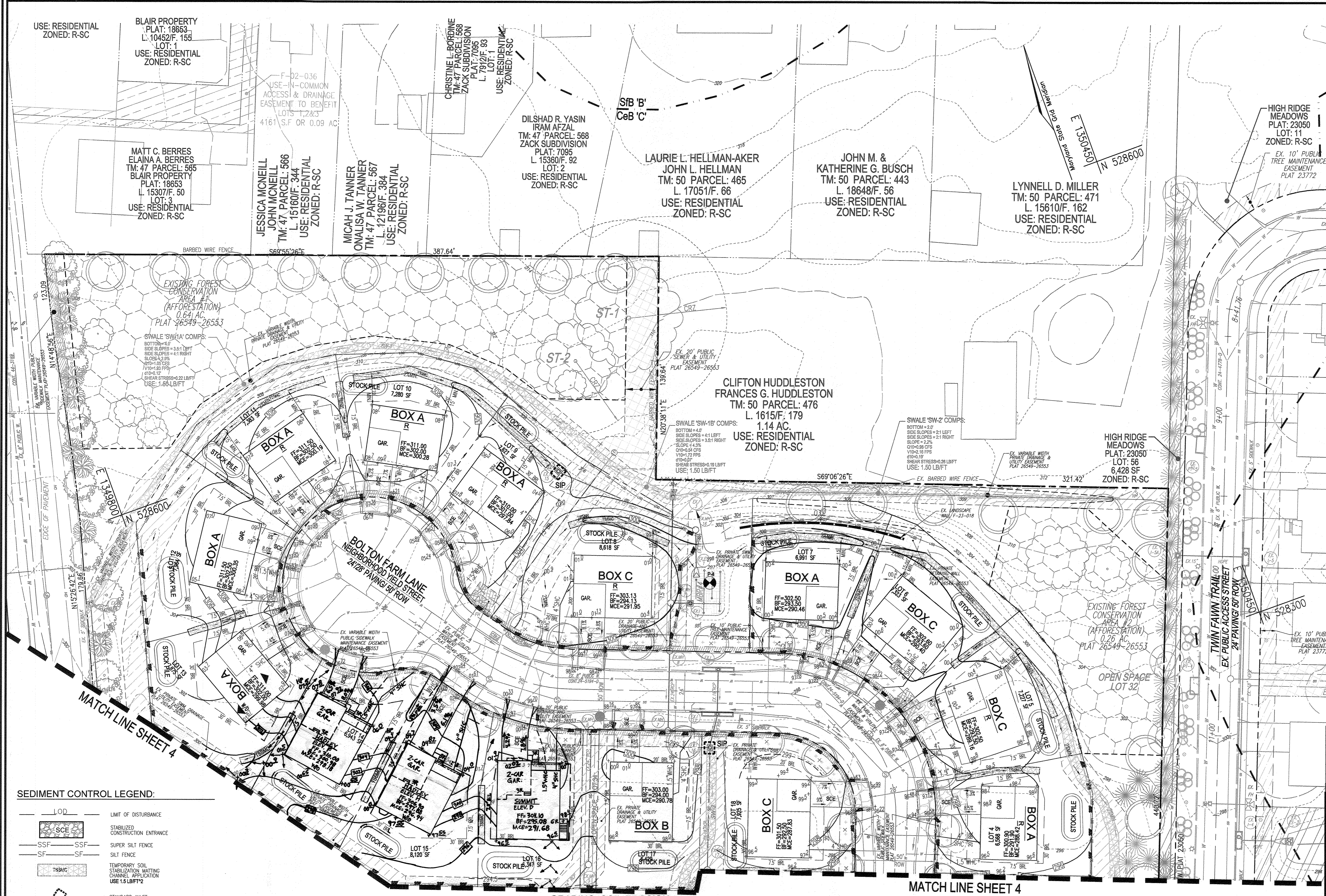
Alexander Brathie
 PRINTED NAME

HOWARD S.C.D. DATE

SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	GROUP	ERODIBLE
C6B	CHILLUM LOAM, 2 TO 5 PERCENT SLOPES	C	NO
G6B	GLENGLE LOAM, 3 TO 8 PERCENT SLOPES	B	NO

NOTE:
 -SOILS INFORMATION FROM USDA WEB SOIL SURVEY WEBSITE DECEMBER 2022.
 -HOWARD COUNTY SOILS MAP NUMBER 28 - LAUREL NW
 NOTE:
 HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT



- LEGEND:**
- PROPERTY LINE
 - RIGHT-OF-WAY LINE
 - ADJACENT PROPERTY LINE
 - EXISTING EDGE OF PAVING
 - EXISTING TREE LINE
 - PROPOSED TREE LINE
 - EXISTING SPECIMEN TREES
 - EXISTING WOOD FENCE
 - EXISTING METAL FENCE
 - EXISTING CURB AND GUTTER
 - PROPOSED CURB AND GUTTER
 - EXISTING SANITARY MANHOLE
 - EXISTING SANITARY LINE
 - EXISTING FIRE HYDRANT
 - EXISTING WATER LINE
 - EXISTING WETLAND BUFFER
 - EXISTING STREAM
 - EXISTING STREAM BUFFER
 - STORM DRAIN
 - EXISTING FOREST CONSERVATION EASEMENT (PLATS 14613, 23050-23051, 23768 AND 26549-26553)
 - EXISTING PUBLIC TREE MAINTENANCE EASEMENT (PLATS 23772 & 23768)
 - EXISTING PRIVATE SEWER & UTILITY EASEMENT (PLATS 23768)
 - EXISTING PRIVATE USE-IN-COMMON ACCESS EASEMENT (PLAT 23768)
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 - EXISTING VARIABLE WIDTH PUBLIC SIDEWALK MAINTENANCE EASEMENT (PLAT 26549-26553)
 - EXISTING 10' PUBLIC TREE MAINTENANCE EASEMENT (PLAT 26549-26553)
 - EXISTING 10' CONTOUR
 - EXISTING 2' CONTOUR
 - PROPOSED 10' CONTOUR
 - PROPOSED 2' CONTOUR
 - LIMIT OF DISTURBANCE
 - STABILIZED CONSTRUCTION ENTRANCE
 - SUPER SILT FENCE
 - SILT FENCE
 - TEMPORARY SOIL STABILIZATION MATTING CHANNEL APPLICATION (USE 1.50 LB/FT)
 - STANDARD INLET PROTECTION
 - STOCKPILE
 - GENERIC HOUSE BOX
 - ESD FACILITY TEST PIT

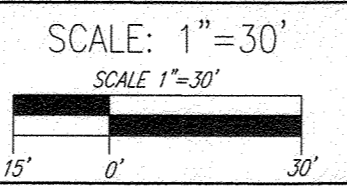
OWNER
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NO.	REVISION	DATE
1	REVISE THE HOUSE TYPE AND GRADING ON LOTS 14-16 AND 20, AND ADD ELEVATION 7-1-24 FOR THE HADLEY MODEL TO THE HOUSE TYPES SHEET	

- SEDIMENT CONTROL LEGEND:**
- LIMIT OF DISTURBANCE
 - STABILIZED CONSTRUCTION ENTRANCE
 - SUPER SILT FENCE
 - SILT FENCE
 - TEMPORARY SOIL STABILIZATION MATTING CHANNEL APPLICATION (USE 1.50 LB/FT)
 - STANDARD INLET PROTECTION
 - STOCKPILE

GRADING, SOIL EROSION AND SEDIMENT CONTROL PLAN



SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	GROUP	PERCENT ERODIBLE	ERODIBLE
CdB	CHILLUM LOAM, 2 TO 5 PERCENT SLOPES	C	.24	NO
CdB	GLENGLE LOAM, 3 TO 8 PERCENT SLOPES	B	.24	NO

-SOILS INFORMATION FROM USDA WEB SOIL SURVEY WEBSITE DECEMBER 2022. -HOWARD COUNTY SOILS MAP NUMBER 28 - LAUREL NW

GENERAL NOTES:

- DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
- STOCKPILING WILL BE PERMITTED ON EACH LOT ONLY.
- LOCATE STOCKPILES AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. STOCKPILES EXCEEDING 16 FEET IN HEIGHT SHALL BE BENCHED. SEE STABILIZATION SPECS ON SHEET 06.
- STABILIZATION IS TO BE DONE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR AT THE INTERVALS REQUIRED BY THE 2011 STDS. & SPECS., WHICHEVER IS MORE RESTRICTIVE.
- FOR SOILS ON-SITE THAT WOULD BE CONSIDERED HIGHLY ERODIBLE BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT, MORE STRINGENT SEEDING AND STABILIZATION METHODS MAY BE EXPECTED AT SITE DEVELOPMENT STAGE.
- ALL EARTH DIKES ARE TO BE PLACED IN WORKING ORDER AT THE END OF EACH WORKING DAY.
- REFER TO PLAN SHEET 6 FOR SEQUENCE OF CONSTRUCTION.
- REFER TO PLAN SHEET 6 FOR STANDARD DETAILS AND STABILIZATION NOTES.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Designated by: Paul Marco 3/22/2024
CHIEF, DEVELOPMENT ENGINEERING DIVISION

Designated by: Michael Pfau 3/22/2024
CHIEF, DIVISION OF LAND DEVELOPMENT

Designated by: Lynnda Crawley 3/22/2024
DIRECTOR

OWNER/DEVELOPER CERTIFICATION:
I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (UDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024.

Designated by: Michael Pfau 3/5/2024
OWNER/DEVELOPER SIGNATURE DATE

Printed Name & Title: Michael Pfau

DESIGN CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Designated by: Robert H. Vogel 3/5/2024
DESIGNER'S SIGNATURE DATE

Printed Name: ROBERT H. VOGEL NO. REGISTRATION NO. 16193
HOWARD S.C.D. (Circle one)

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Designated by: Alexander Bratchik 3/20/2024
HOWARD S.C.D. DATE

**SITE DEVELOPMENT PLAN
GRADING, SOIL EROSION
AND SEDIMENT CONTROL PLAN**

BEECHWOOD MANOR
LOTS 1-31
SFD AND SFA RESIDENTIAL

Parcel: 001
Zoned: R-SC
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLCOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

DESIGN BY: EDS
DRAWN BY: ONB
CHECKED BY: RHV
DATE: SEPTEMBER 2023
SCALE: AS SHOWN
W.O. NO.: 17-26

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024.

Robert H. Vogel, PE No. 16193

5 SHEET OF 9

HOWARD SOIL CONSERVATION DISTRICT (HSCD) STANDARD SEDIMENT CONTROL NOTES

- 1. A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID), 410-313-1855 AFTER THE FUTURE LOG AND PROTECTED AREAS ARE MARKED CLEARLY IN THE FIELD. A MINIMUM OF 48 HOUR NOTICES TO CID MUST BE GIVEN AT THE FOLLOWING STAGES: A. PRIOR TO THE START OF EARTH DISTURBANCE... B. PRIOR TO THE START OF PERMETER EROSION AND SEDIMENT CONTROLS... C. PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR OPENING OF ANOTHER GRADING UNIT... D. PRIOR TO THE REMOVAL OR MOOIFICATION OF SEDIMENT CONTROL MEASURES...

R-4-2 STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING AND SOIL AMENDMENTS

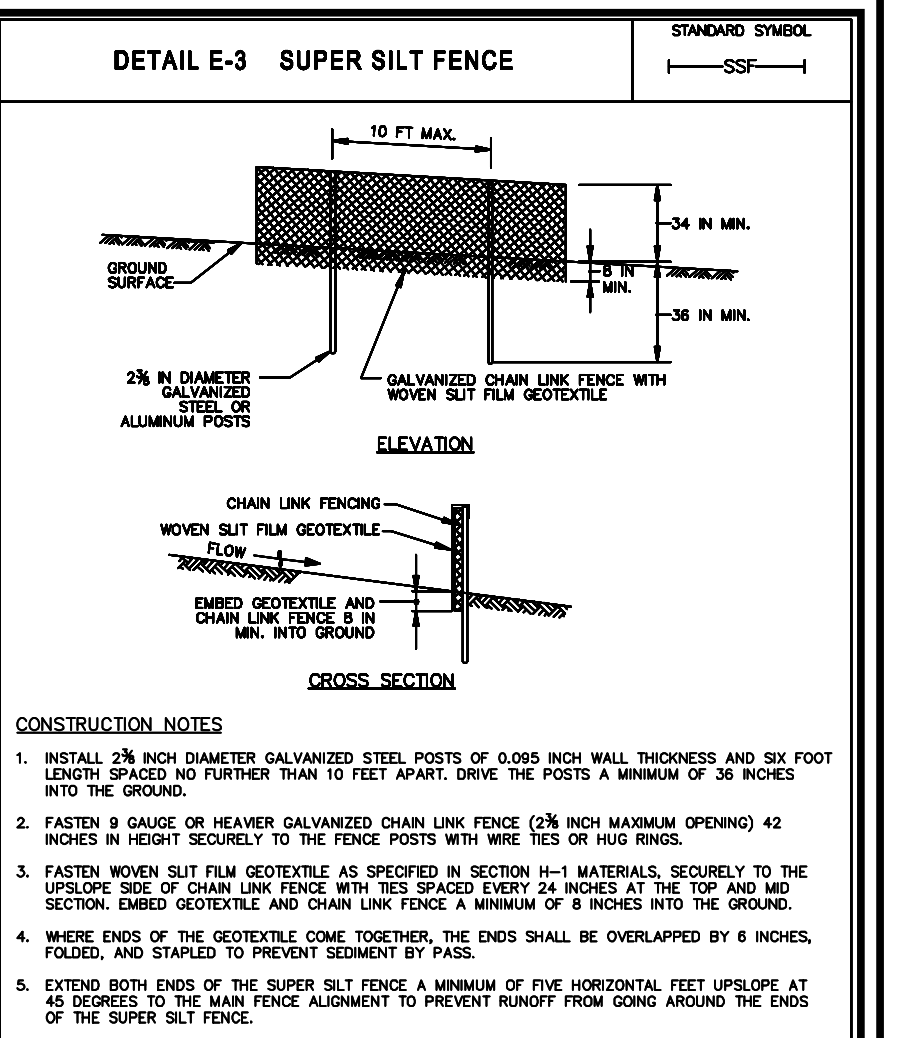
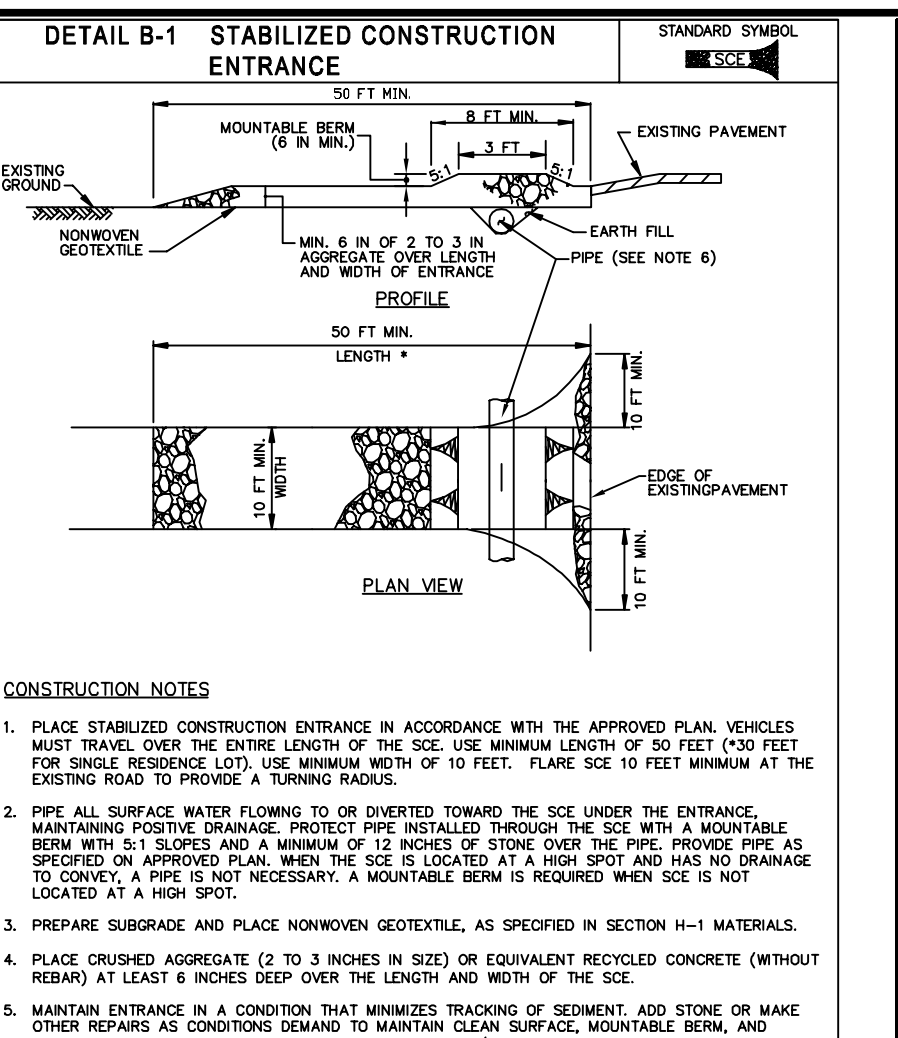
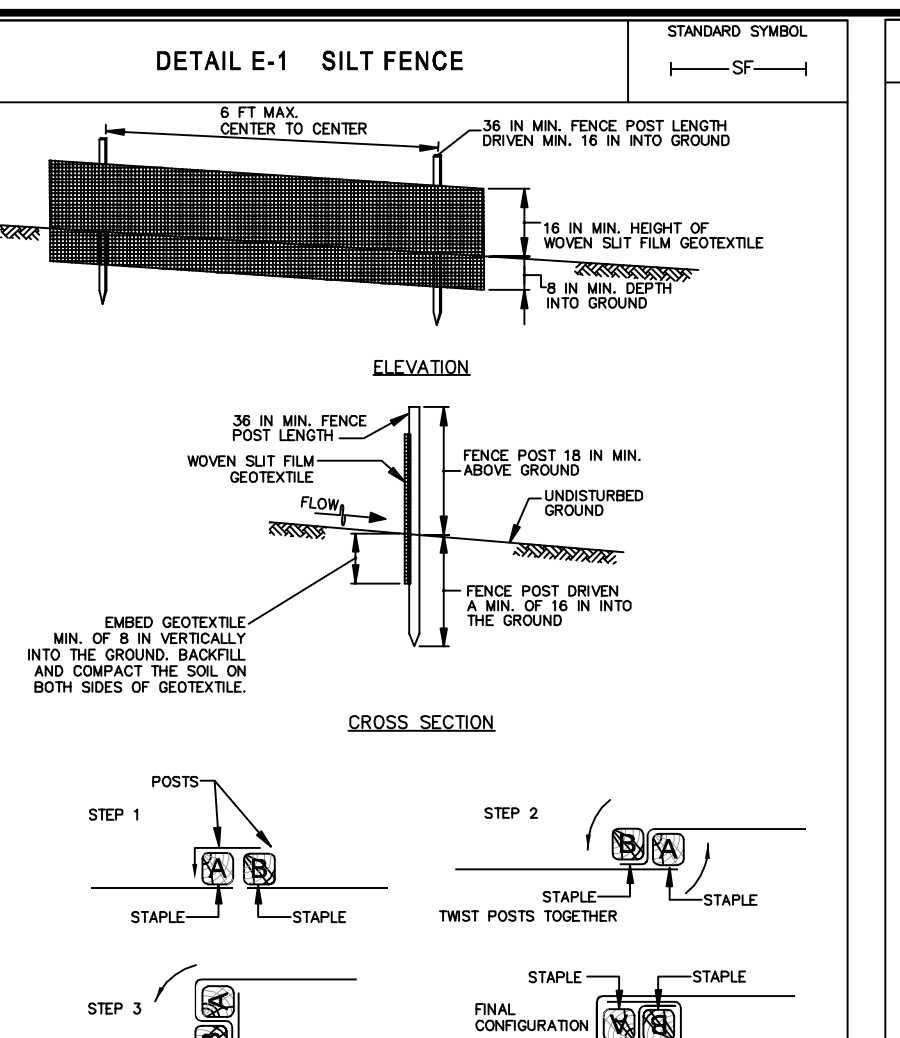
- 1. THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION... PURPOSE: TO PREPARE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH... CRITERIA: A. SEEDING MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW... B. SEEDING MUST BE TESTED BY THE TESTING AGENCY... C. SEEDING MUST BE TESTED BY THE TESTING AGENCY... D. SEEDING MUST BE TESTED BY THE TESTING AGENCY...

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

- 1. SEEDING: ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW... 2. MULCHING: MULCH MATERIALS (IN ORDER OF PREFERENCE): A. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, WHEAT, OAT, OR BARLEY... B. BROWN WOOD CHIP MULCH... C. BROWN WOOD CHIP MULCH... D. BROWN WOOD CHIP MULCH...

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

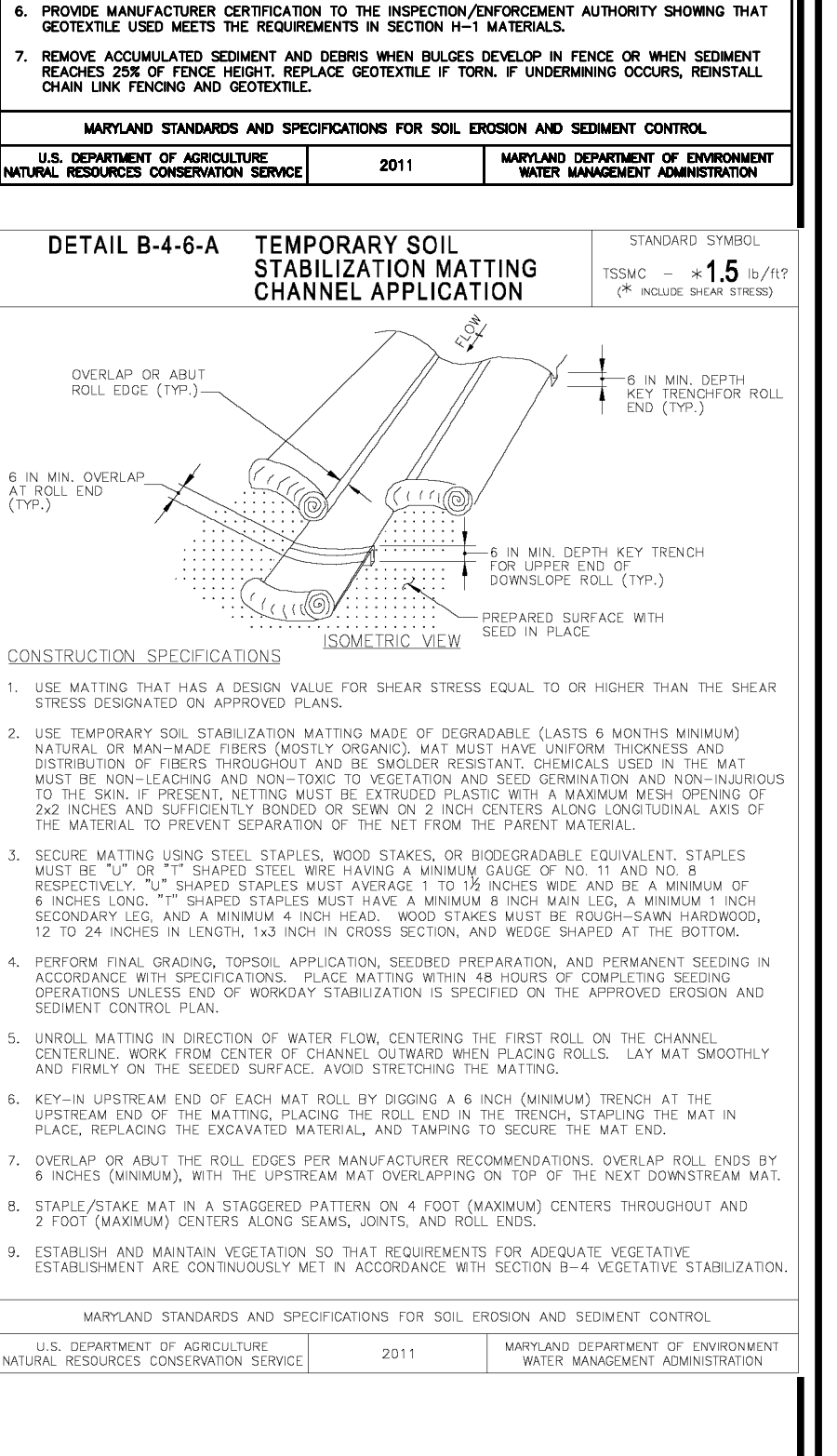
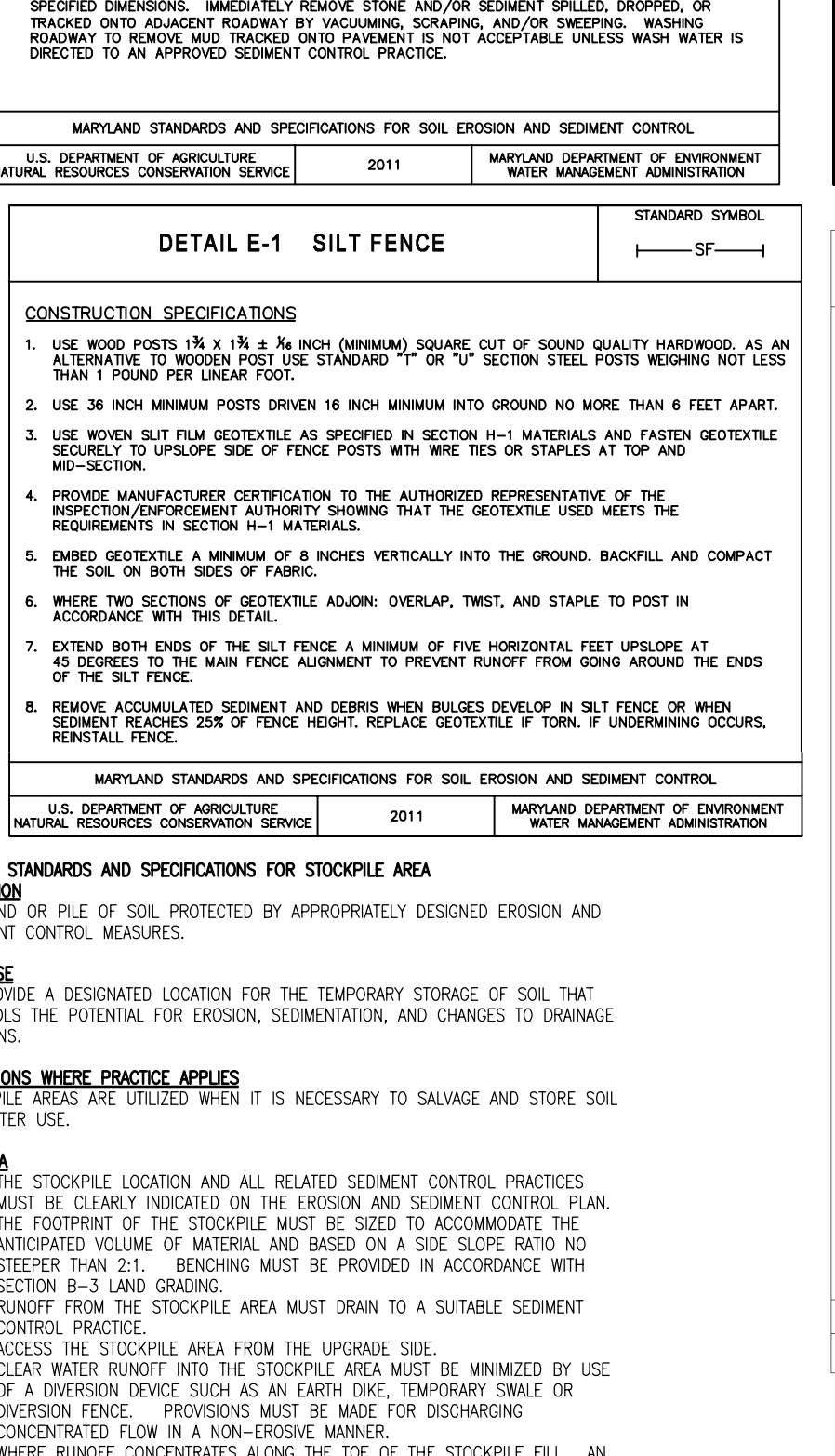
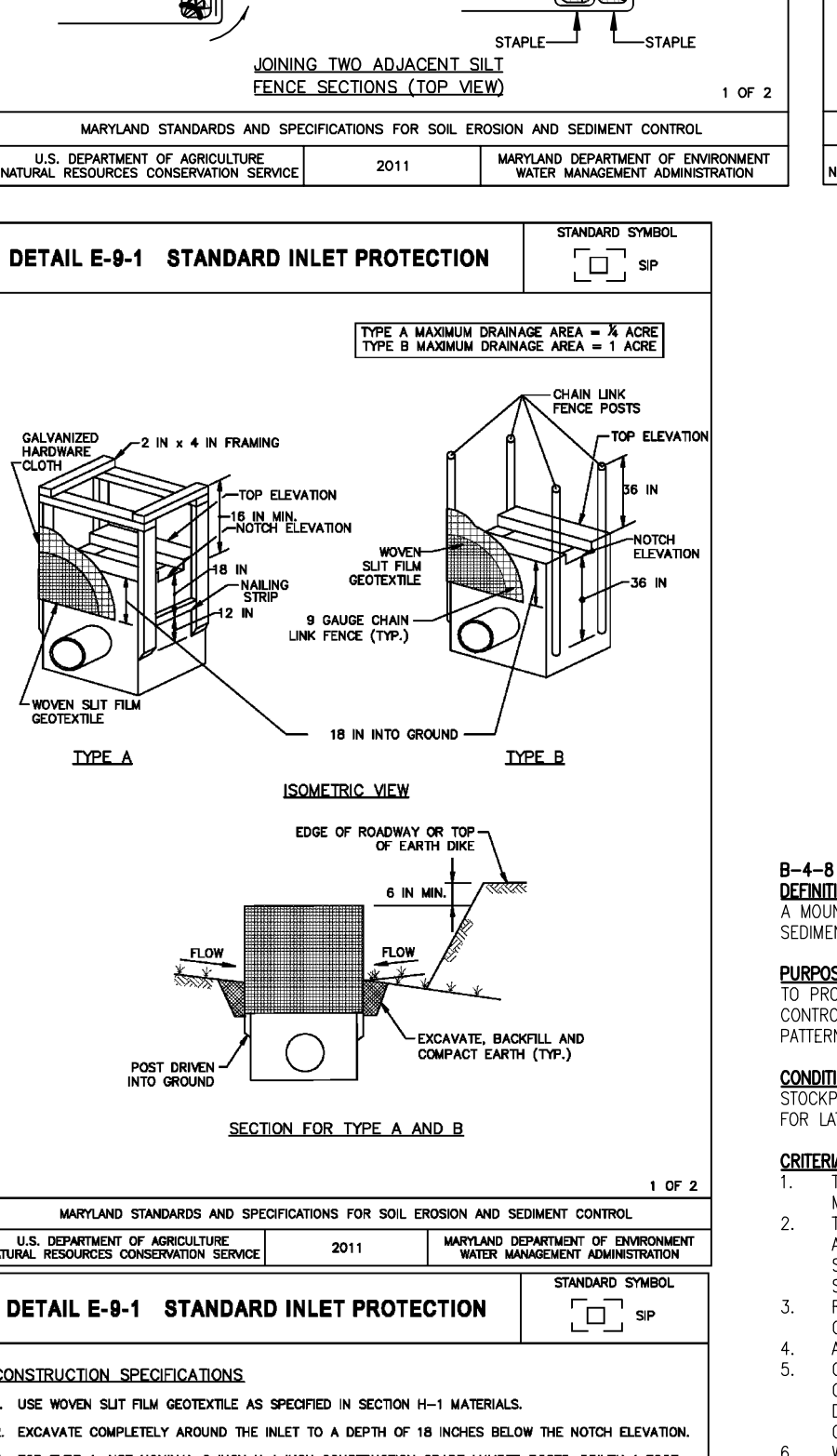
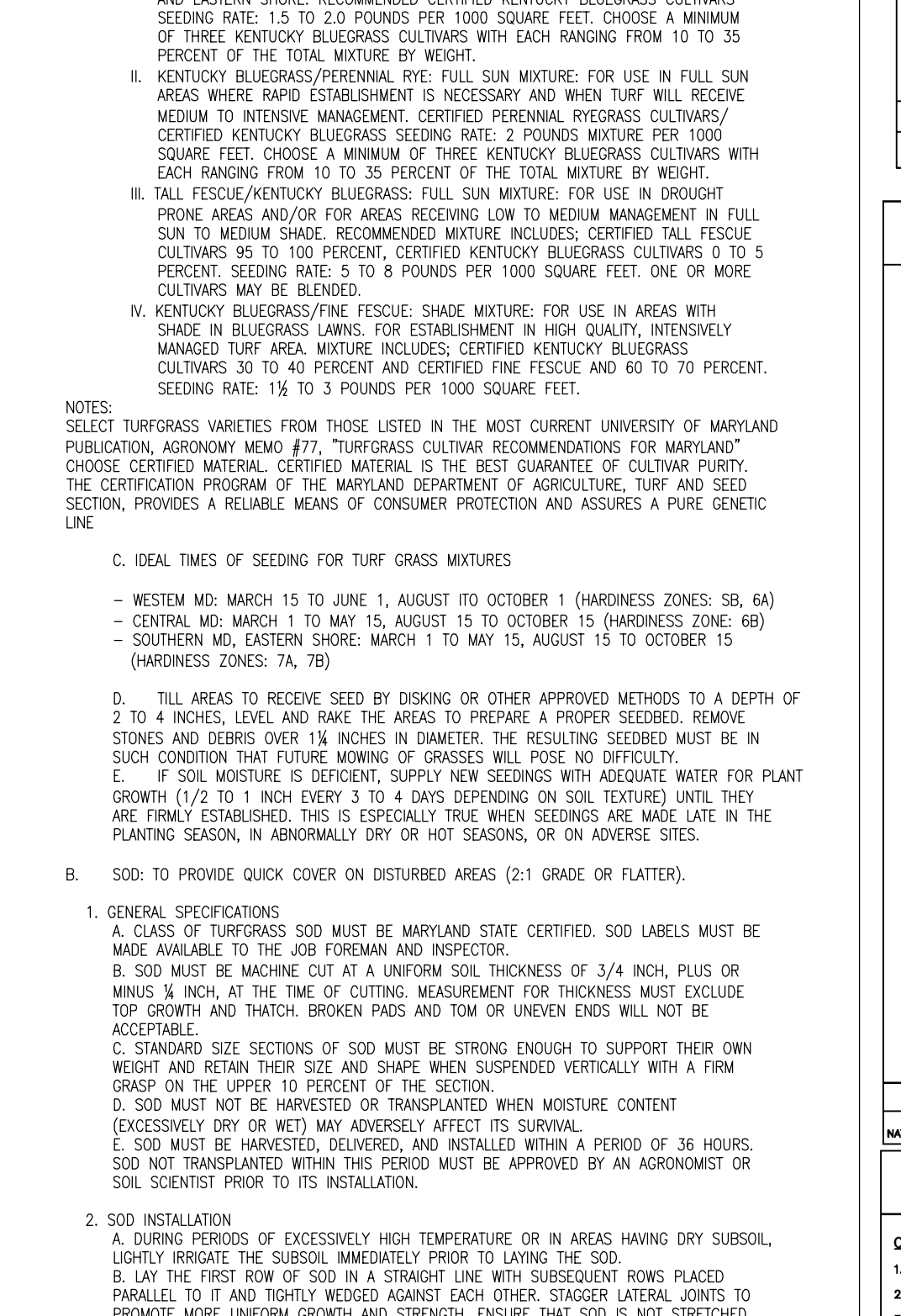
- 1. GENERAL SPECIFICATIONS: TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION... 2. SOIL PREPARATION: TO PREPARE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH... 3. SEEDING: ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW... 4. MULCHING: MULCH MATERIALS (IN ORDER OF PREFERENCE)...



- 1. REFER TO ITEM 11 BELOW. 2. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITIES FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISRUPTION... 3. ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED IF DEEMED NECESSARY BY THE CID... 4. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS... 5. DISTURBANCE SHALL NOT OCCUR OUTSIDE THE L.O.D. A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGON ON ONE GRADING UNIT... 6. WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS, PAVEMENT, AND OTHER SURFACES MUST BE TREATED IN A SEDIMENT BASIN OR OTHER APPROVED WASHOUT STRUCTURE...

- 1. TOPSOILING: TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION... 2. MULCHING: MULCH MATERIALS (IN ORDER OF PREFERENCE): A. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, WHEAT, OAT, OR BARLEY... B. BROWN WOOD CHIP MULCH... C. BROWN WOOD CHIP MULCH... D. BROWN WOOD CHIP MULCH...

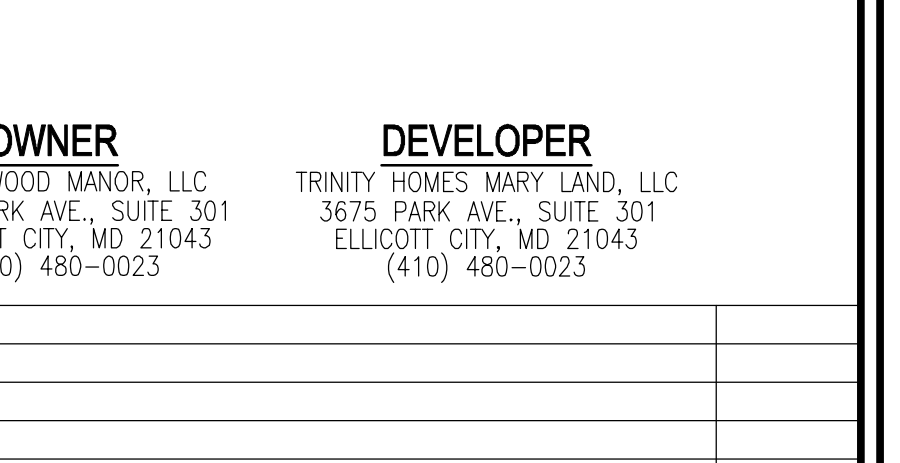
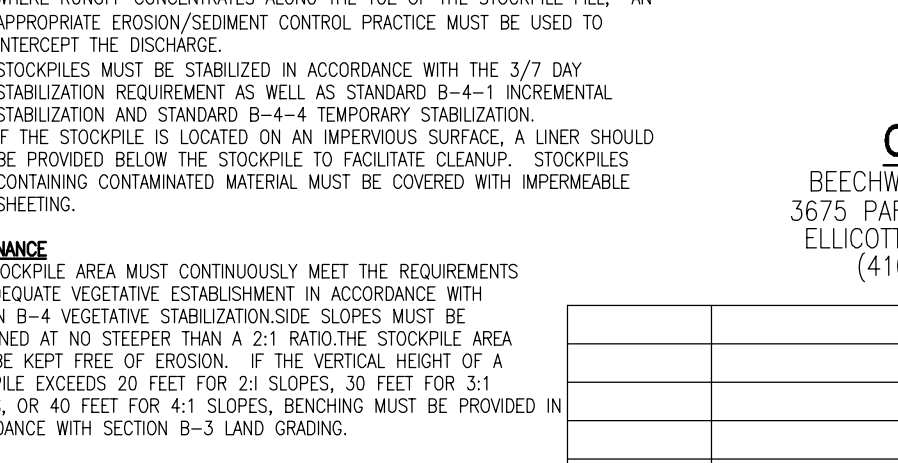
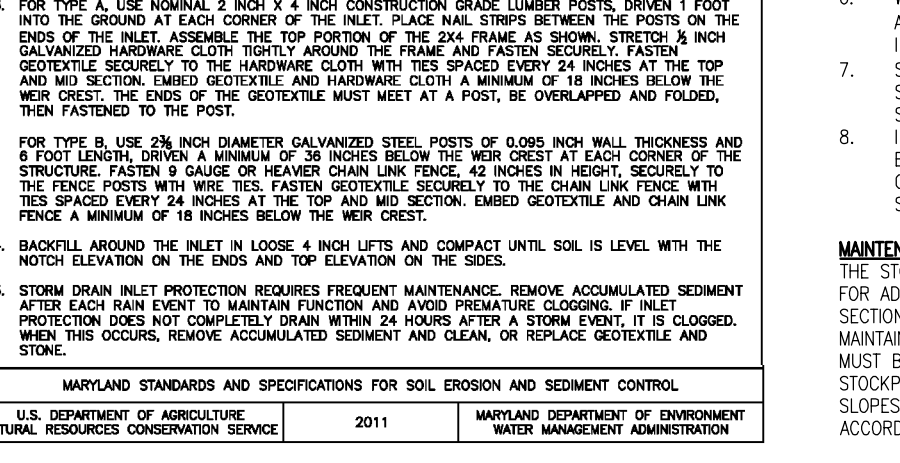
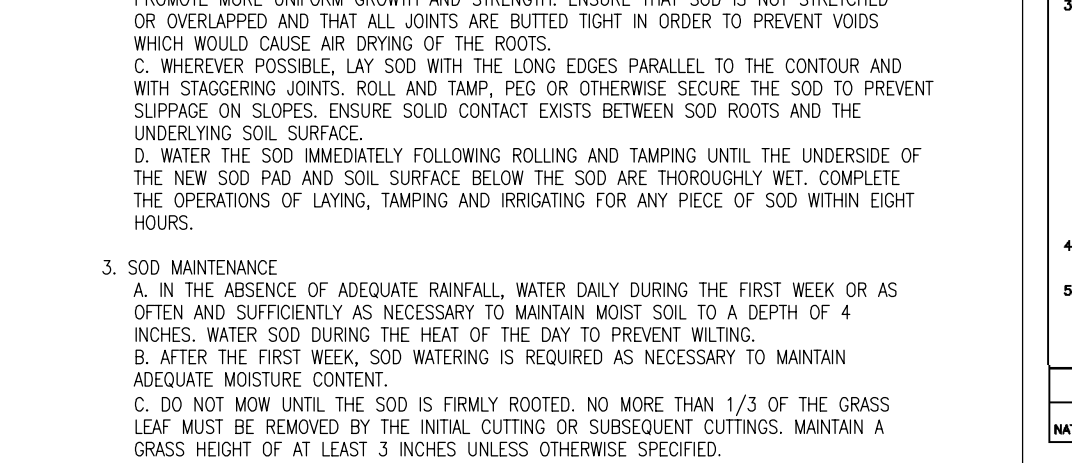
- 1. GENERAL SPECIFICATIONS: TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION... 2. SOIL PREPARATION: TO PREPARE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH... 3. SEEDING: ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW... 4. MULCHING: MULCH MATERIALS (IN ORDER OF PREFERENCE)...



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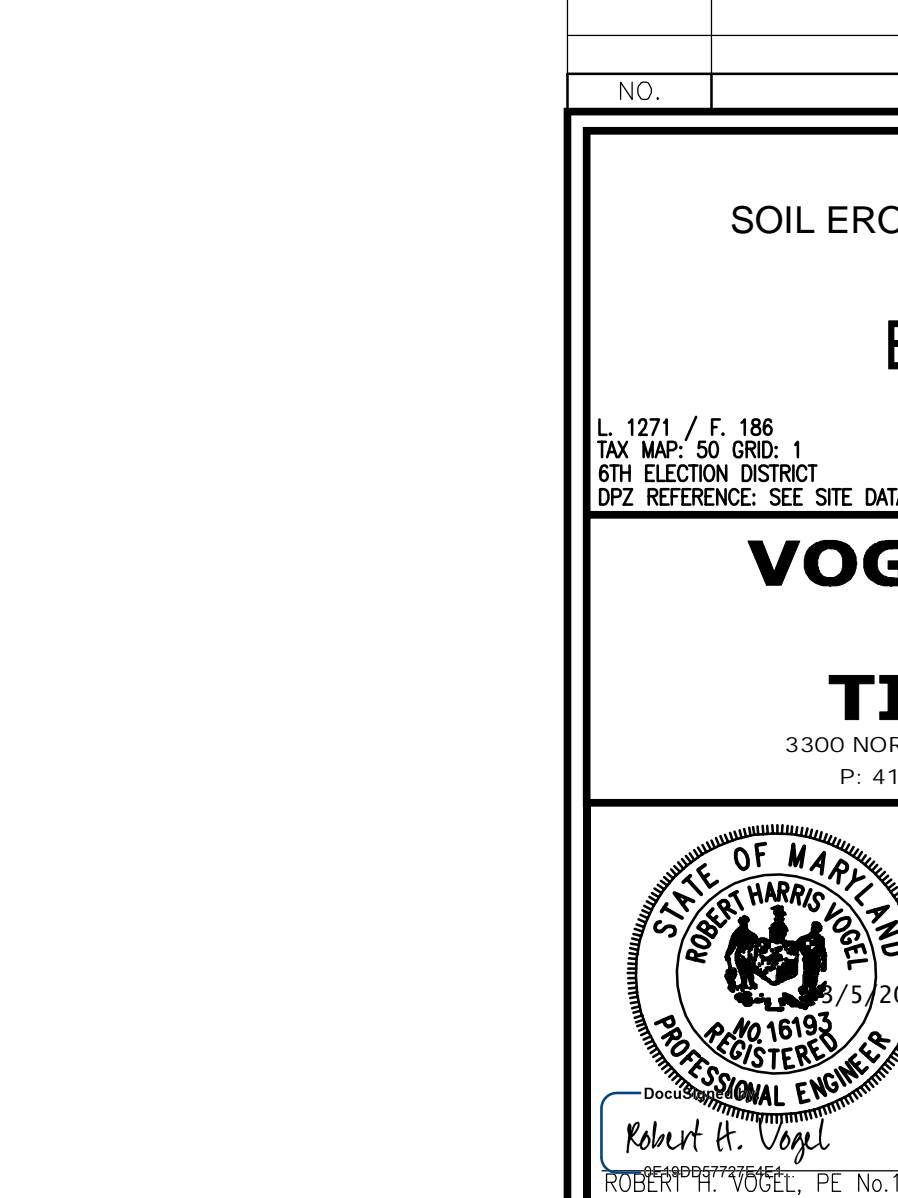
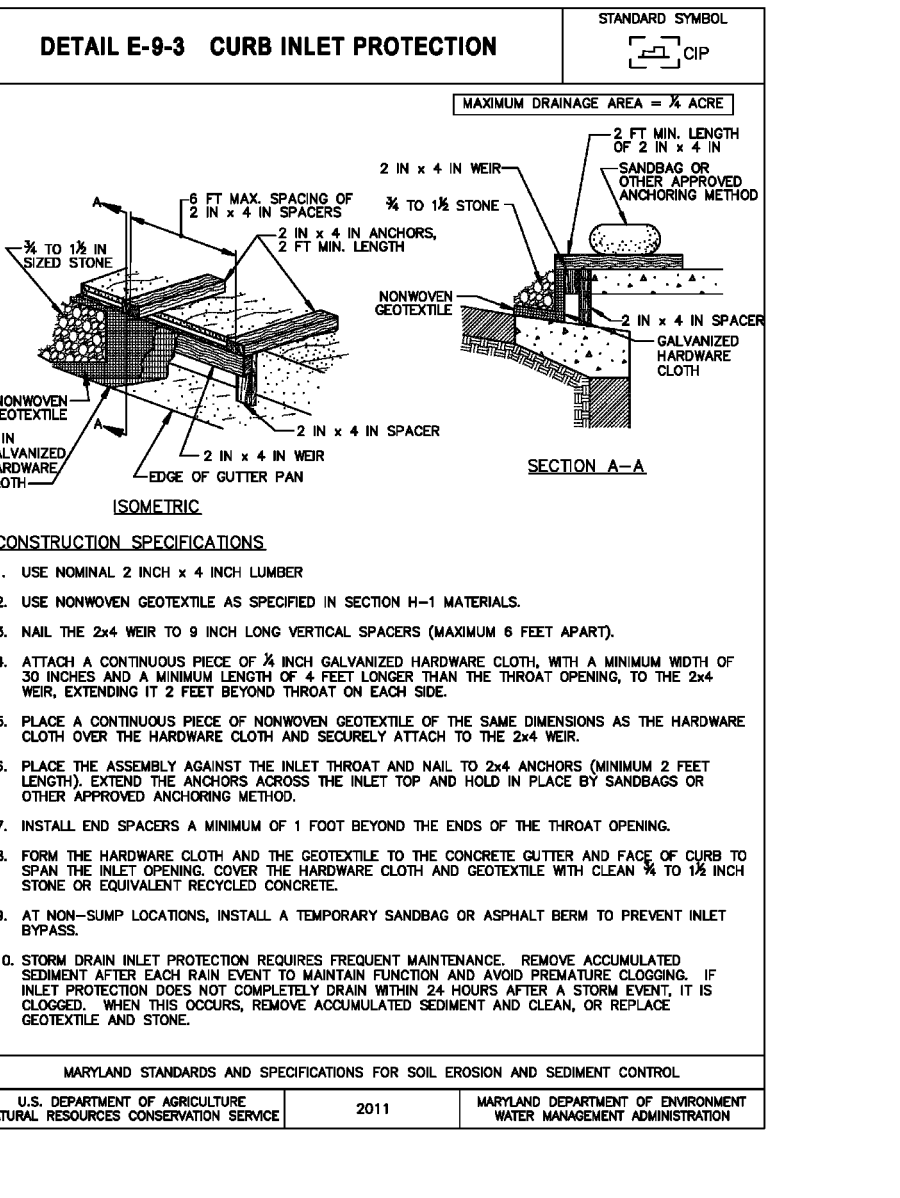
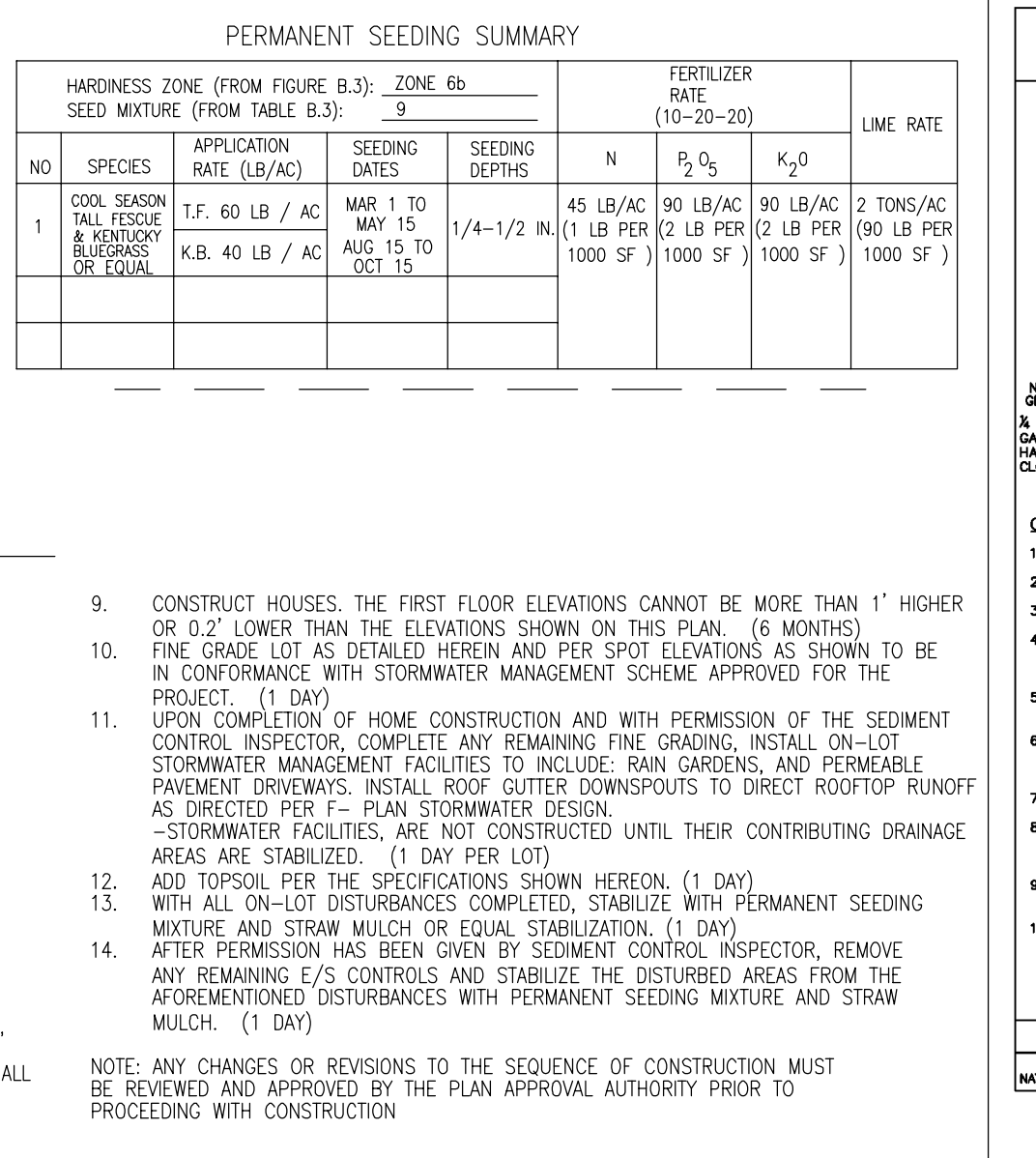
- 1. GENERAL SPECIFICATIONS: TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION... 2. SOIL PREPARATION: TO PREPARE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH... 3. SEEDING: ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW... 4. MULCHING: MULCH MATERIALS (IN ORDER OF PREFERENCE)...



OWNER/DEVELOPER CERTIFICATION: I HEREBY CERTIFY THAT ANY GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN... DESIGNER'S SIGNATURE: Robert H. Vogel, DATE: 3/5/2024... CHIEF, DIVISION OF ENGINEERING AND ZONING: Paul Marco, DATE: 3/22/2024... CHIEF, DIVISION OF PLANNING AND ZONING: Lynda Eschmayer, DATE: 3/22/2024... DIRECTOR: Alexander Bratovic, DATE: 3/20/2024

TEMPORARY SEEDING SUMMARY table with columns for SPECIES, APPLICATION RATE (LB/AC), SEEDING DATES, SEEDING DEPTHS, and FERTILIZER LIME RATE. Includes rows for Annual Cool Season and Warm Season Fertilizer.

PERMANENT SEEDING SUMMARY table with columns for HARDNESS ZONE, APPLICATION RATE (LB/AC), SEEDING DATES, SEEDING DEPTHS, and FERTILIZER LIME RATE. Includes rows for Zone 6b and Zone 9.



SITE DEVELOPMENT PLAN SOIL EROSION AND SEDIMENT CONTROL PLAN NOTES. BEECHWOOD MANOR LOTS 1-31 SFD AND SFA RESIDENTIAL. VOGEL ENGINEERING TIMMONS GROUP. 3300 NORTH RIDGE ROAD, SUITE 4110, ELLICOTT CITY, MD 21043. P: 410-462-7666. F: 410-461-8961. www.timmons.com

Approved: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

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APPENDIX B.4.C SPECIFICATIONS FOR MICRO-BIORETENTION, RAIN GARDEN, LANDSCAPE INFILTRATION & INFILTRATION BERMS

1. MATERIAL SPECIFICATIONS
THE ALLOWABLE MATERIALS TO BE USED IN THESE PRACTICES ARE DETAILED IN TABLE B.4.1.

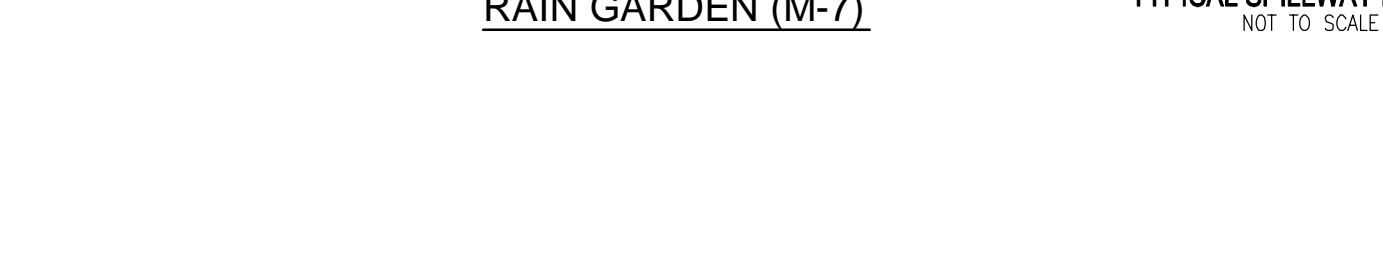
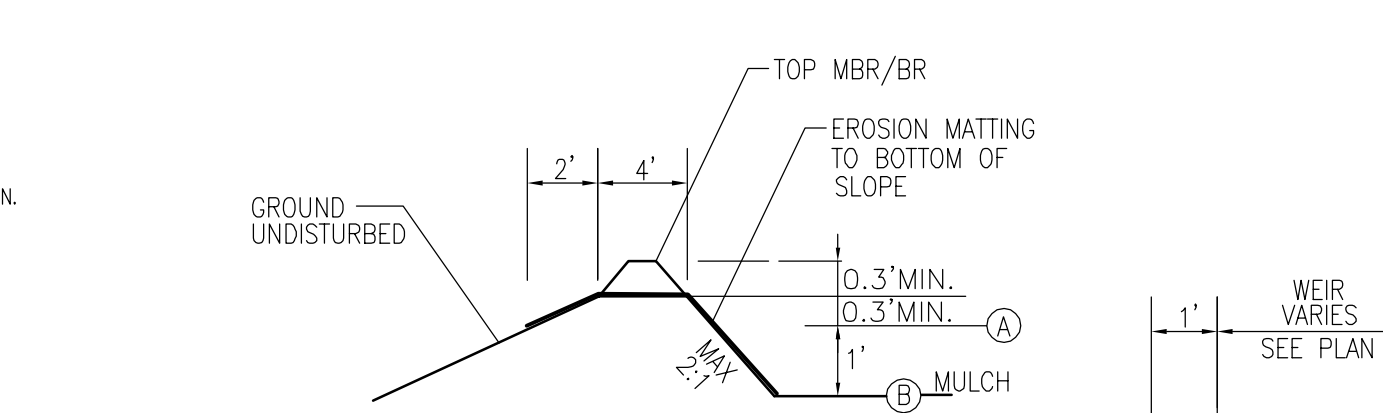
Appendix B.4. Construction Specifications for Environmental Site Design Practices

Table B.4.1 Materials Specifications for Micro-Bioretention, Rain Gardens & Landscape Infiltration. Columns: Material, Specification, Size, Notes.

2. FILTERING MEDIA OR PLANTING SOIL
THE SOIL SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES.

3. COMPACTION
IT IS VERY IMPORTANT TO MINIMIZE COMPACTION OF BOTH THE BASE OF BIORETENTION PRACTICES AND THE REQUIRED BACKFILL.

4. PLANT MATERIAL
RECOMMENDED PLANT MATERIAL FOR MICRO-BIORETENTION PRACTICES CAN BE FOUND IN APPENDIX A, SECTION A.2.3.



A-2. PERMEABLE PAVEMENTS
CONSTRUCTION CRITERIA:

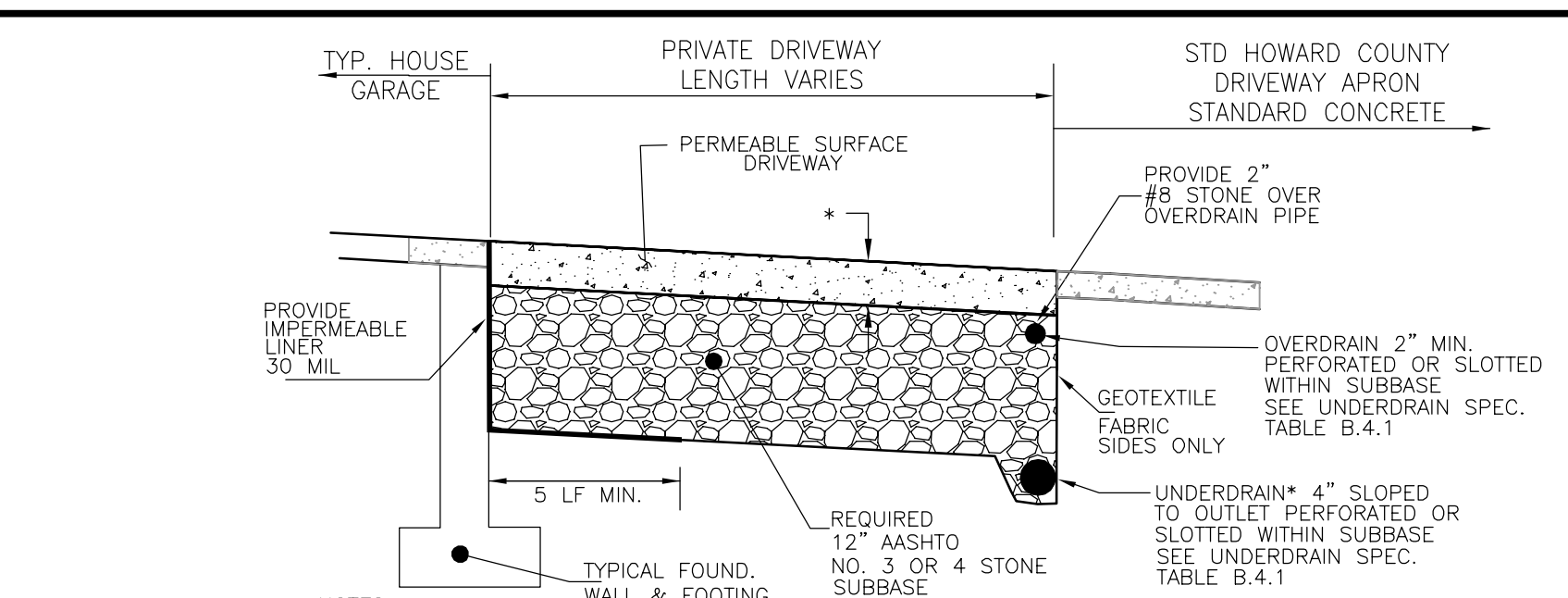
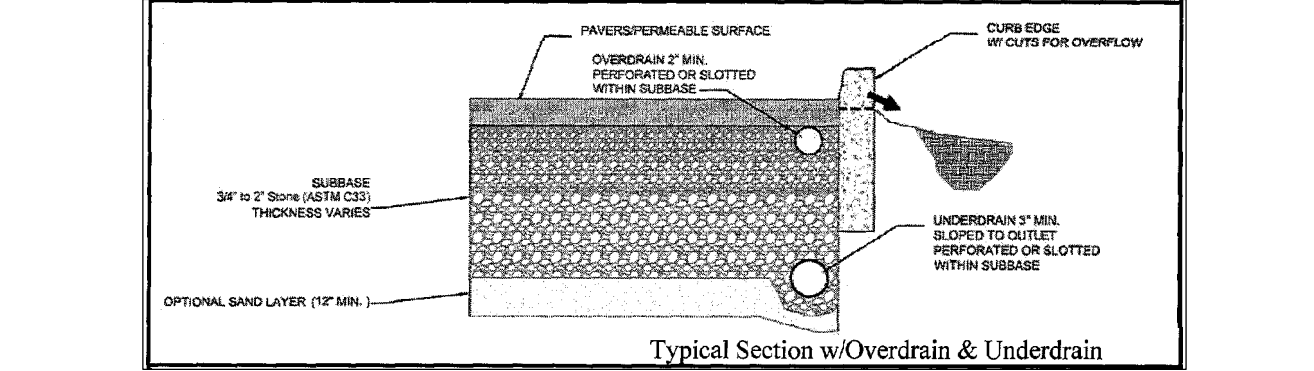
- THE FOLLOWING ITEMS SHOULD BE ADDRESSED DURING CONSTRUCTION OF PROJECTS WITH PERMEABLE PAVEMENT:
- EROSION AND SEDIMENT CONTROL: FINAL GRADING FOR INSTALLATION SHOULD NOT TAKE PLACE UNTIL THE SURROUNDING SITE IS STABILIZED...

INSPECTION:
REGULAR INSPECTIONS SHALL BE MADE DURING THE FOLLOWING STAGES OF CONSTRUCTION:

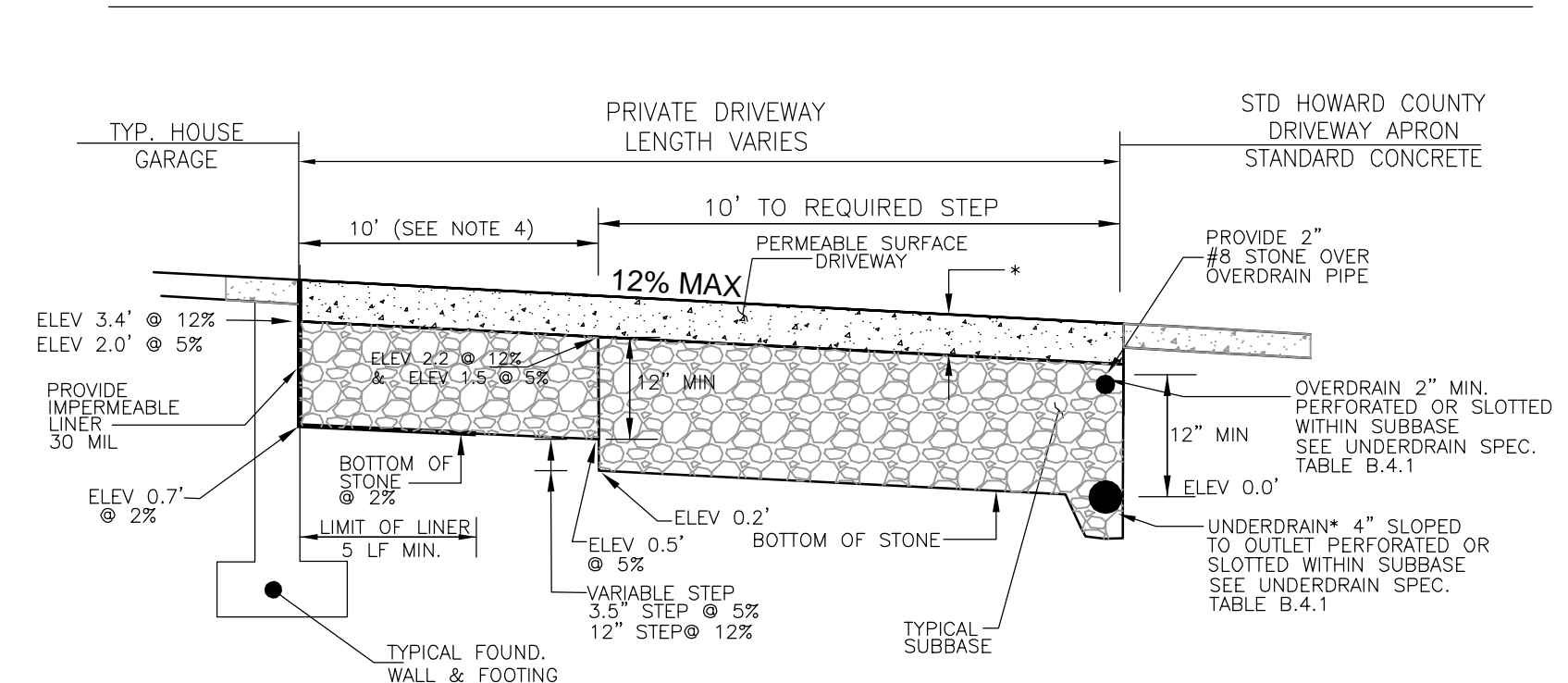
- DURING EXCAVATION TO SUB GRADE.
- DURING PLACEMENT AND BACKFILL OF ANY DRAINAGE OR DISTRIBUTION SYSTEM(S).
- DURING PLACEMENT OF THE CRUSHED STONE SUBBASE MATERIAL.

PRIVATELY OWNED AND MAINTAINED PERMEABLE PAVEMENT (A-2)

- A. THE INDIVIDUAL LOT OWNER SHALL PERIODICALLY SWEEP (OR VACUUM POROUS CONCRETE PAVEMENT) THE PAVEMENT SURFACES TO REDUCE SEDIMENT ACCUMULATION AND ENSURE CONTINUED SURFACE POROSITY.
B. THE INDIVIDUAL LOT OWNER SHALL PERIODICALLY CLEAN DRAINAGE PIPES, INLETS, STONE EDGE DRAINS AND OTHER STRUCTURES WITHIN OR DRAINING TO THE SUBBASE.



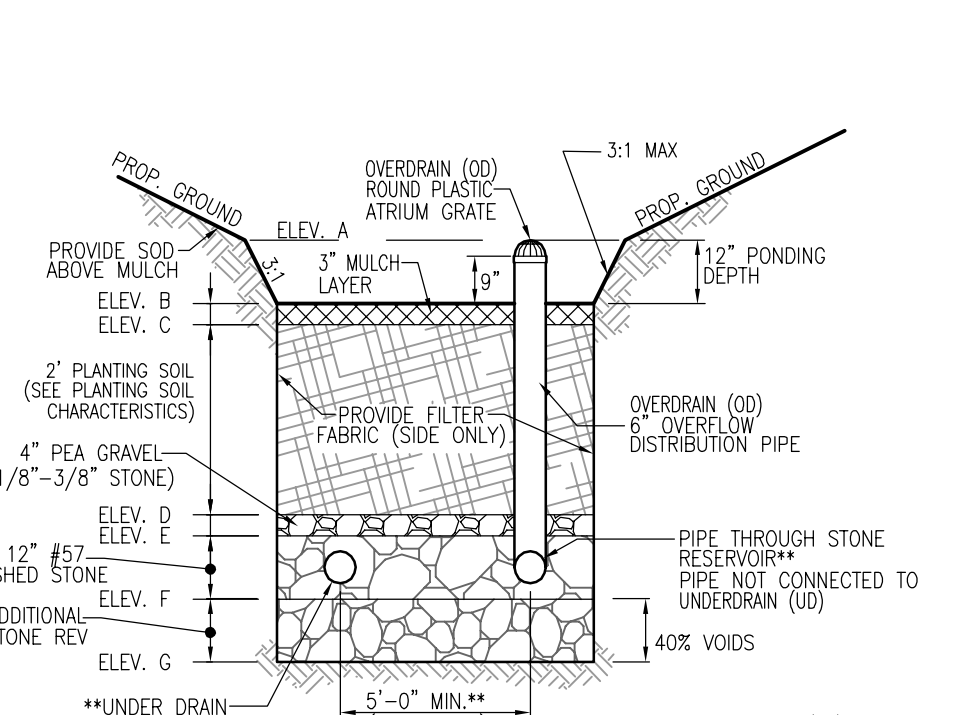
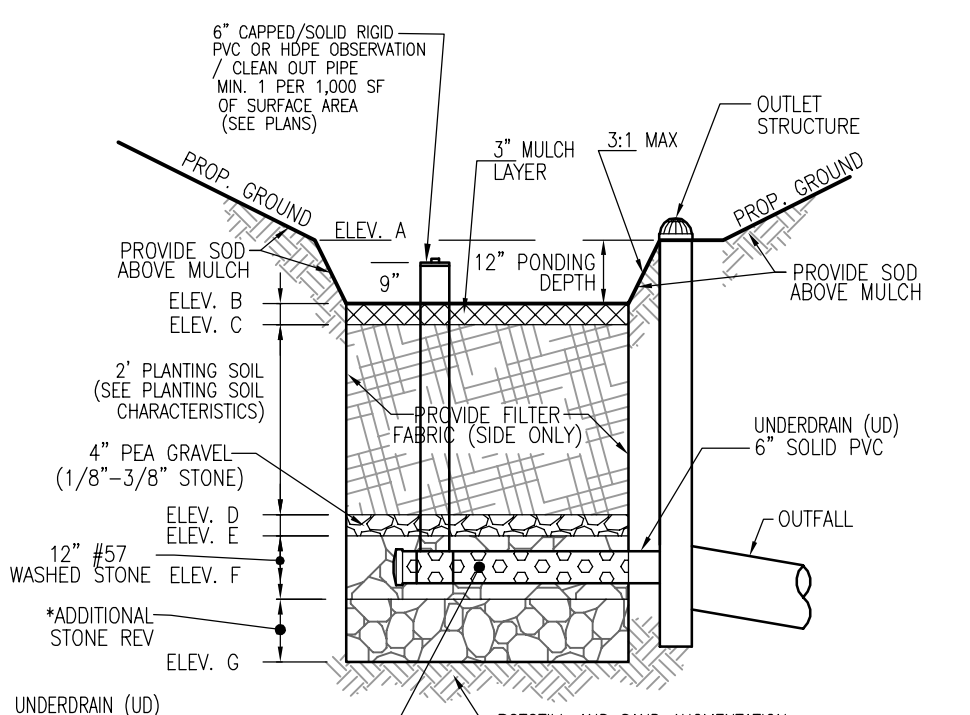
- NOTES:
1. PAVEMENT CROSS SECTION/THICKNESS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER.
2. UNDERDRAIN SHALL BE LOCATED SUCH THAT IT CAN DAYLIGHT OR CONNECT TO STORM DRAIN SYSTEM.



- NOTES:
1. PAVEMENT CROSS SECTION/THICKNESS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER.
2. UNDERDRAIN SHALL BE LOCATED SUCH THAT IT CAN DAYLIGHT OR CONNECT TO STORM DRAIN SYSTEM.

OPERATION AND MAINTENANCE SCHEDULE FOR LANDSCAPE INFILTRATION (M-3), MICRO-BIORETENTION (M-6), RAIN GARDENS (M-7), BIORETENTION SWALE (M-8), BIO-RETENTION (F-6) AND ENHANCED FILTERS (M-9)

- 1. THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER ANNUALLY.
2. THE OWNER SHALL PERFORM A PLANT IN THE SPRING AND IN THE FALL OF EACH YEAR.
3. THE OWNER SHALL INSPECT THE MULCH EACH SPRING. THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS.



NOTES:
1. ONLY THE SIDES OF THE BIORETENTION, MICROBIORETENTION OR RAIN GARDEN ARE TO BE WRAPPED IN FILTER FABRIC...

NOTES:
1. ONLY THE SIDES OF THE BIORETENTION, MICROBIORETENTION OR RAIN GARDEN ARE TO BE WRAPPED IN FILTER FABRIC...

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. Table with columns for Name, Title, Date.

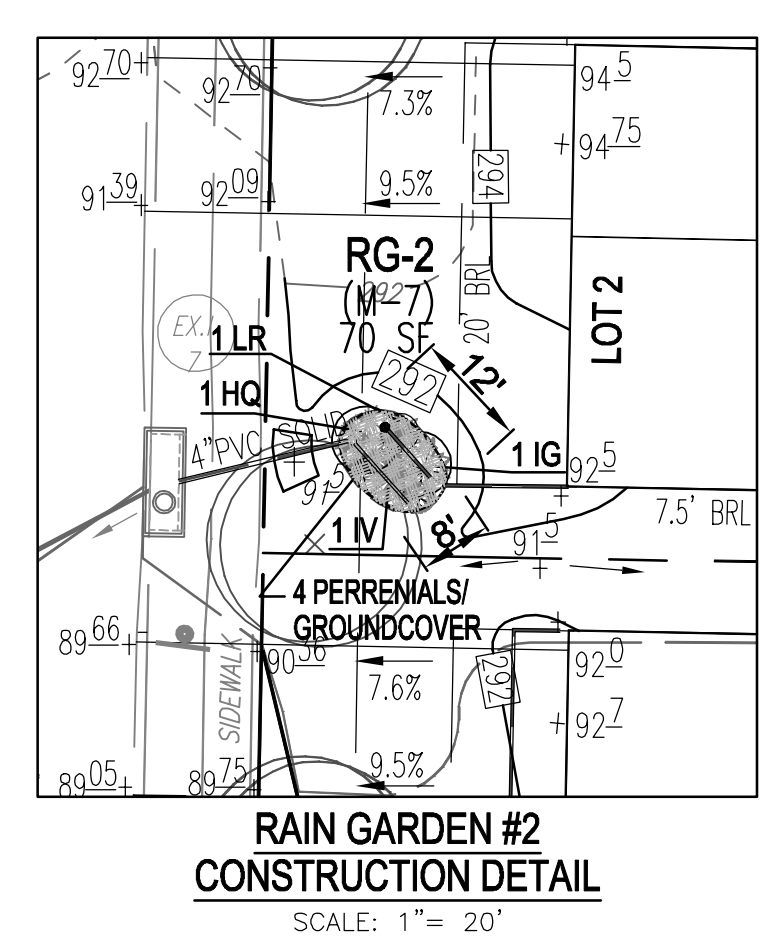
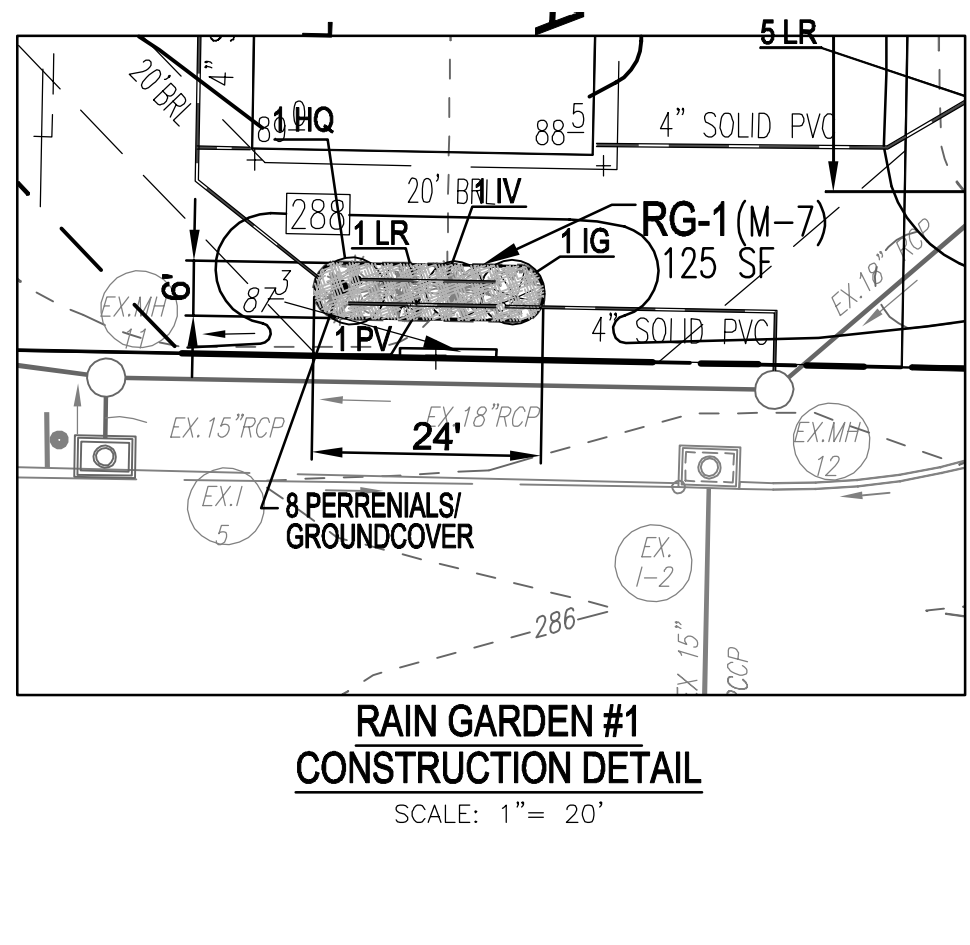
OWNER: BEECHWOOD MANOR, LLC. DEVELOPER: TRINITY HOMES MARY LAND, LLC. Address and contact information.

Table with columns for NO., REVISION, DATE.

SITE DEVELOPMENT PLAN
ESD - STORMWATER MANAGEMENT
NOTES AND DETAILS
BEECHWOOD MANOR
LOTS 1-31
SFD AND SFA RESIDENTIAL

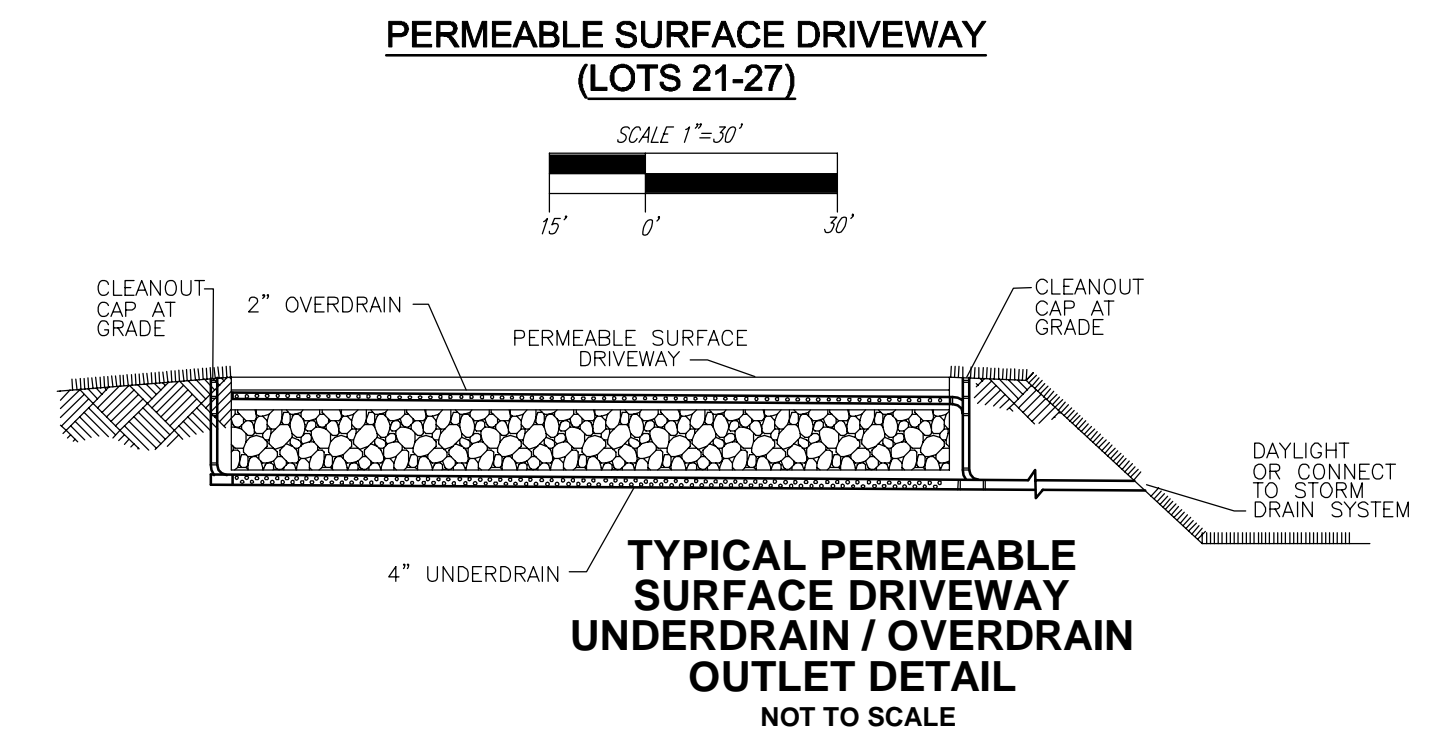
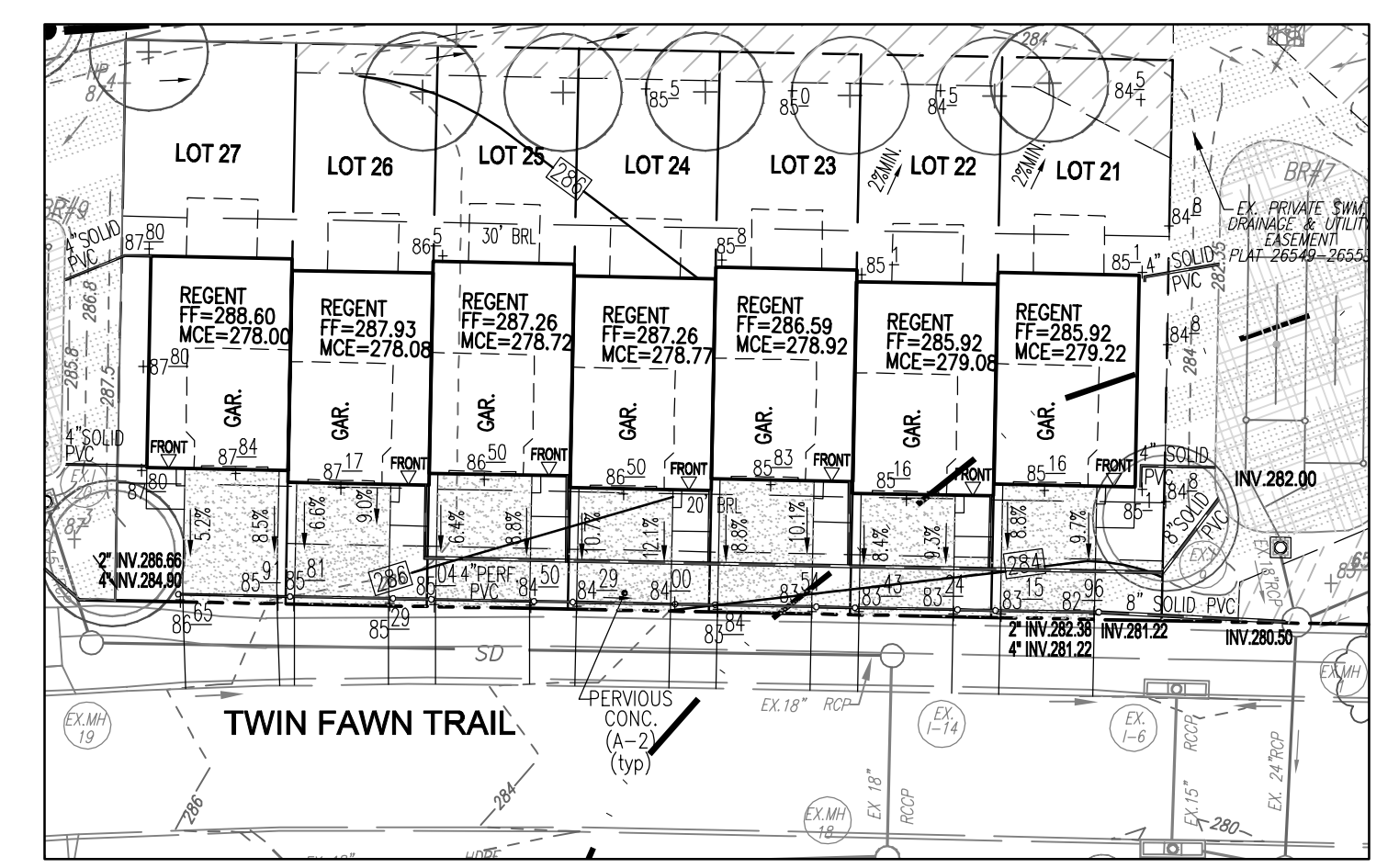
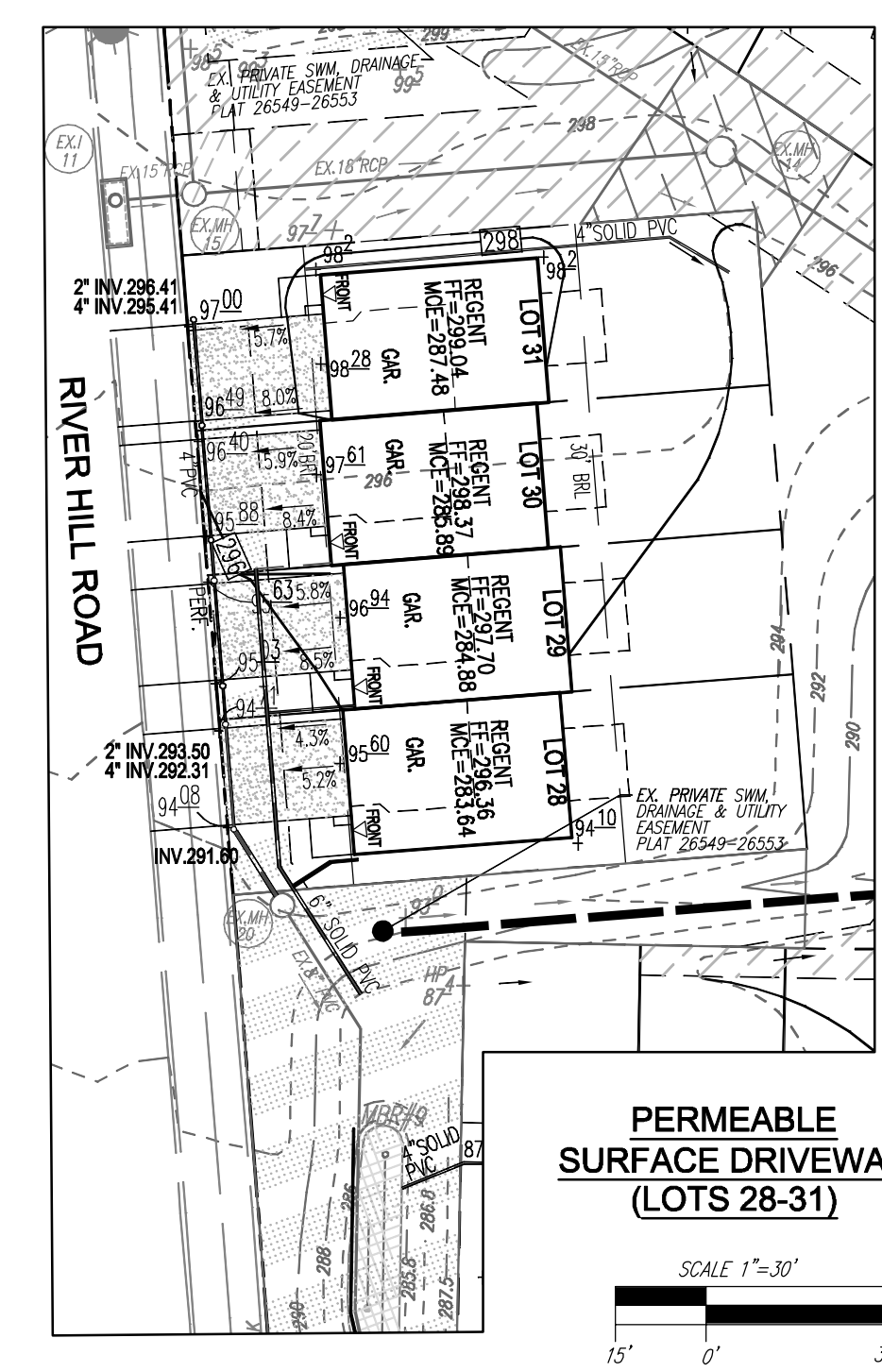
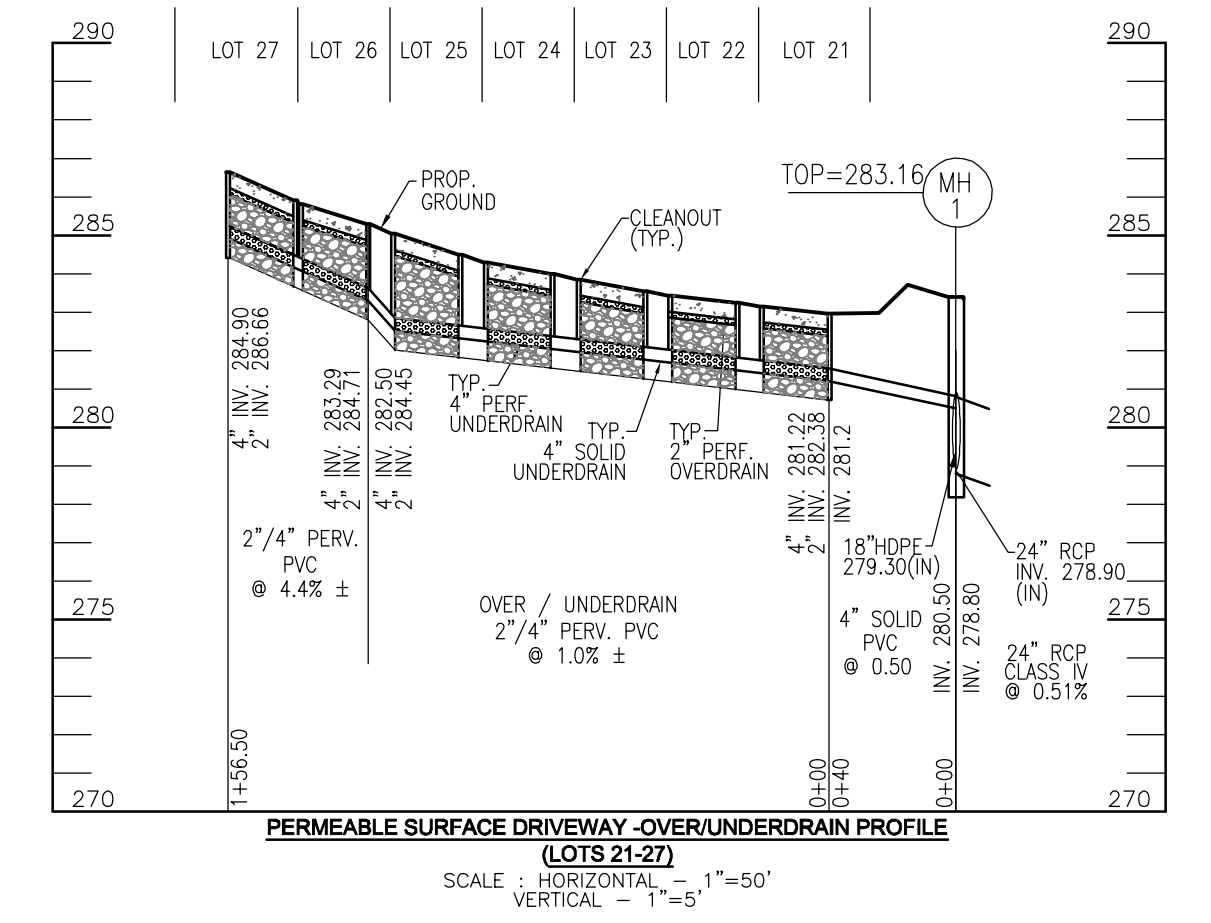
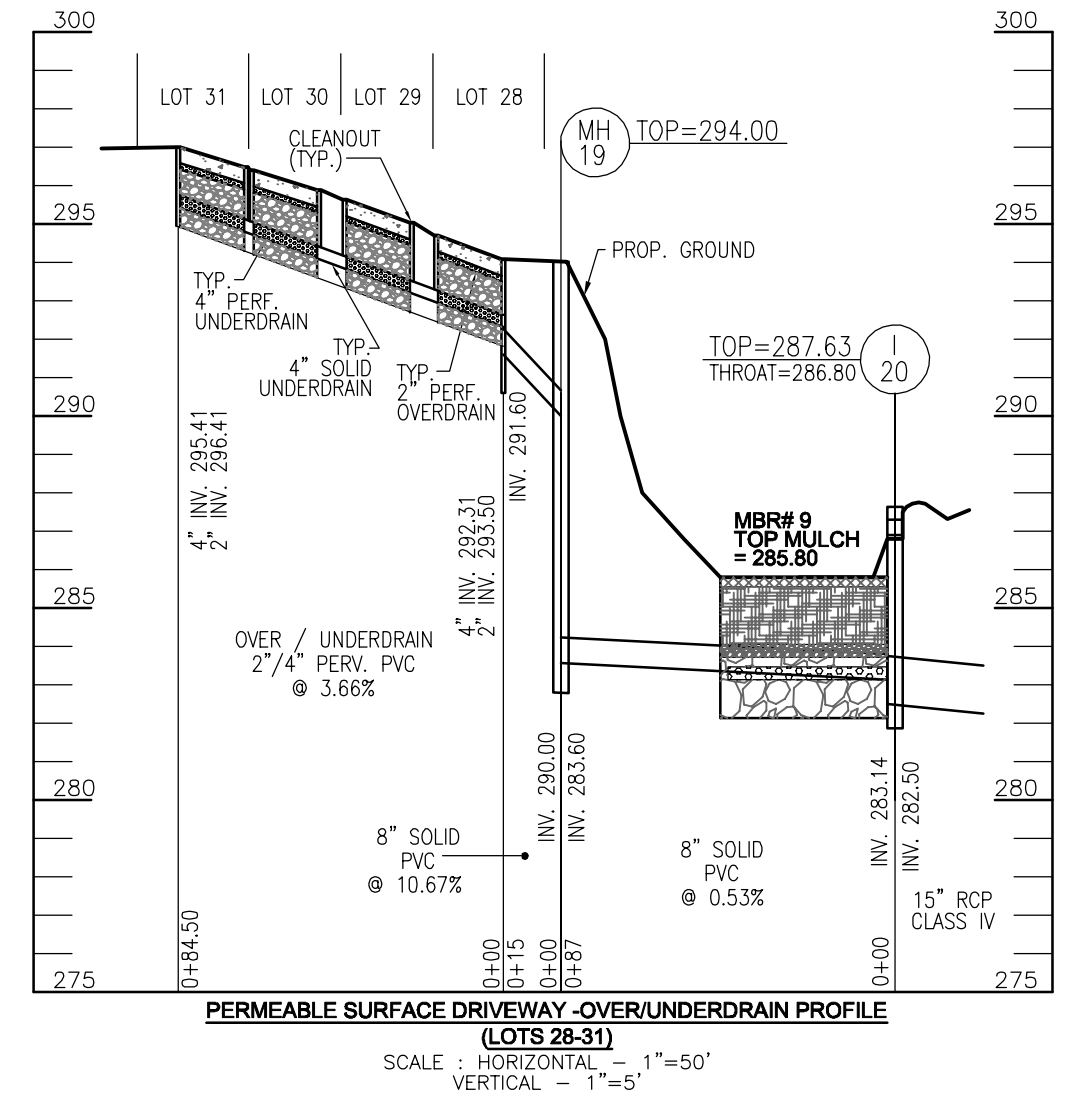
VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043

Professional Certificate section for Robert H. Vogel, PE No. 16193, including design and drawing information.



TEST PIT DATA							
BORING #	APPROX EXIST GROUND ELEV	APPROX PROP GROUND ELEV	INVERT FACILITY / PRACTICE	MIN. DEPTH TO GROUNDWATER	BOTTOM PIT	REQ PIT DEPTH*	CONDITION
TEST PITS							
P-1	290.00	292.00	288.00	4.00	284.00	6.00	
P-2	290.50	292.00	288.00	4.00	284.00	6.50	
P-3	298.20	298.00	294.00	4.00	290.00	8.20	
P-4	301.20	297.00	293.00	4.00	289.00	12.20	
P-5	289.20	285.00	281.00	4.00	277.00	12.20	
P-6	287.90	286.00	282.00	4.00	278.00	9.90	
P-7	286.00	282.50	278.50	4.00	274.50	11.50	
P-8	283.00	282.00	278.00	4.00	274.00	9.00	
P-9	283.50	282.00	278.00	4.00	274.00	9.50	
P-10	287.00	286.00	282.00	4.00	278.00	9.00	
P-11	290.20	290.00	286.00	4.00	282.00	8.20	
P-12	290.00	286.00	284.50	4.00	280.50	9.50	PERM SURFACE
P-13	285.00	285.80	284.30	4.00	280.30	4.70	PERM SURFACE
P-14	285.00	286.20	284.70	4.00	280.70	4.30	PERM SURFACE
P-15	282.00	284.20	282.70	4.00	288.70	3.30	PERM SURFACE

* REQUIRED DEPTH OR UNTIL REFUSAL
** PLEASE NOTE DEPTH OF GROUNDWATER, IF ENCOUNTERED



Appendix A. Landscaping Guidance for Stormwater BMPs.....Specific Landscaping Criteria

Table A.4 Community Used Species for Bioretention Areas		
Trees	Shrubs	Herbaceous Species
<i>Acer rubrum</i>	<i>Arsenalia parviflora</i>	<i>Andropogon virginicus</i>
Red Maple	Bottlebrush Buckeye	Broomsage
<i>Rhus glabra</i>	<i>Cephaelis occidentalis</i>	<i>Eupatorium purpureum</i>
Black Gum	Bursera	Joe Pye Weed
<i>Juniperus virginiana</i>	<i>Hemlock virginiana</i>	<i>Scirpus pungens</i>
Eastern Red Cedar	Witch Hazel	Three Square Bulrush
<i>Clintonia virginica</i>	<i>Vaccinium corymbosum</i>	<i>Iris versicolor</i>
Trientalis	Highbush Blueberry	Blue Flag
<i>Nyssa sylvatica</i>	<i>Ilex glabra</i>	<i>Lobelia cardinalis</i>
Black Oak	Laburnum	Cardinal Flower
<i>Diospyros virginiana</i>	<i>Ilex verticillata</i>	<i>Panicum virgatum</i>
Persimmon	Winterberry	Switchgrass
<i>Platanus occidentalis</i>	<i>Viburnum dentatum</i>	<i>Dichanthium scoparium</i>
Sycamore	Aitwood	Broom Panic Grass
<i>Quercus rubra</i>	<i>Lindera benzoin</i>	<i>Rudbeckia laciniata</i>
Pink Oak	Spicebush	Tall Coneflower
<i>Quercus phellos</i>	<i>Myrica pennsylvanica</i>	<i>Scirpus oparatus</i>
Willow Oak	Bayberry	Woolgrass
<i>Saxifraga</i>	<i>Veronica noveboracensis</i>	New York Ironweed
Black Willow		

Note 1: For most options on plant selection for bioretention, consult Bioretention Manual (ETAB, 1999) or the Design of Stormwater Filtering Systems (Clayton and Schuler, 1997).

BIORETENTION PLANTING SCHEDULE (SHRUB/ORNAMENTAL GRASSES)				
LEGEND KEY	QTY	BOTANICAL NAME/Common Name	SIZE	SPACING
IG	2	ILEX GLABRA "SHAMROCK" INKBERY HOLLY	1 GALLON	18" O.C.
IV	2	ITEA VIRGINICA VIRGINIA SWEETSPICE	1 GALLON	18" O.C.
HQ	2	HYDRANGEA QUERCIFOLIA "RUBY SLIPPERS" OAKLEAF HYDRANGEA	1 GALLON	30" O.C.
LR	2	LEUCOTHEO RACEMOSA FETTERBUSH	1 GALLON	30" O.C.
PV	2	PANICUM VIRGATUM "PRAIRIE SKY" SWITCH GRASS	1 GALLON	36" O.C.

PERENNIALS/GROUNDCOVER PLANTING SCHEDULE				
LEGEND	QTY	BOTANICAL NAME/Common Name	SIZE	REMARKS
6	6	BAPTISIA AUSTRALIS FALSE INDIGO	4" POT	12" - 15" O.C. FOR SIDES AND BOTTOM OF MBR. MIX ALL VARIETIES IN A NATURALIZED RANDOM PATTERN THROUGHOUT. PLANT IN GROUPS OF NO LESS THAN 9 PLANTS PER CLUMP.
6	6	ACORUS GRAMINEUS "OGON" GOLDEN VARIATED SWEET FLAG	1 QT.	

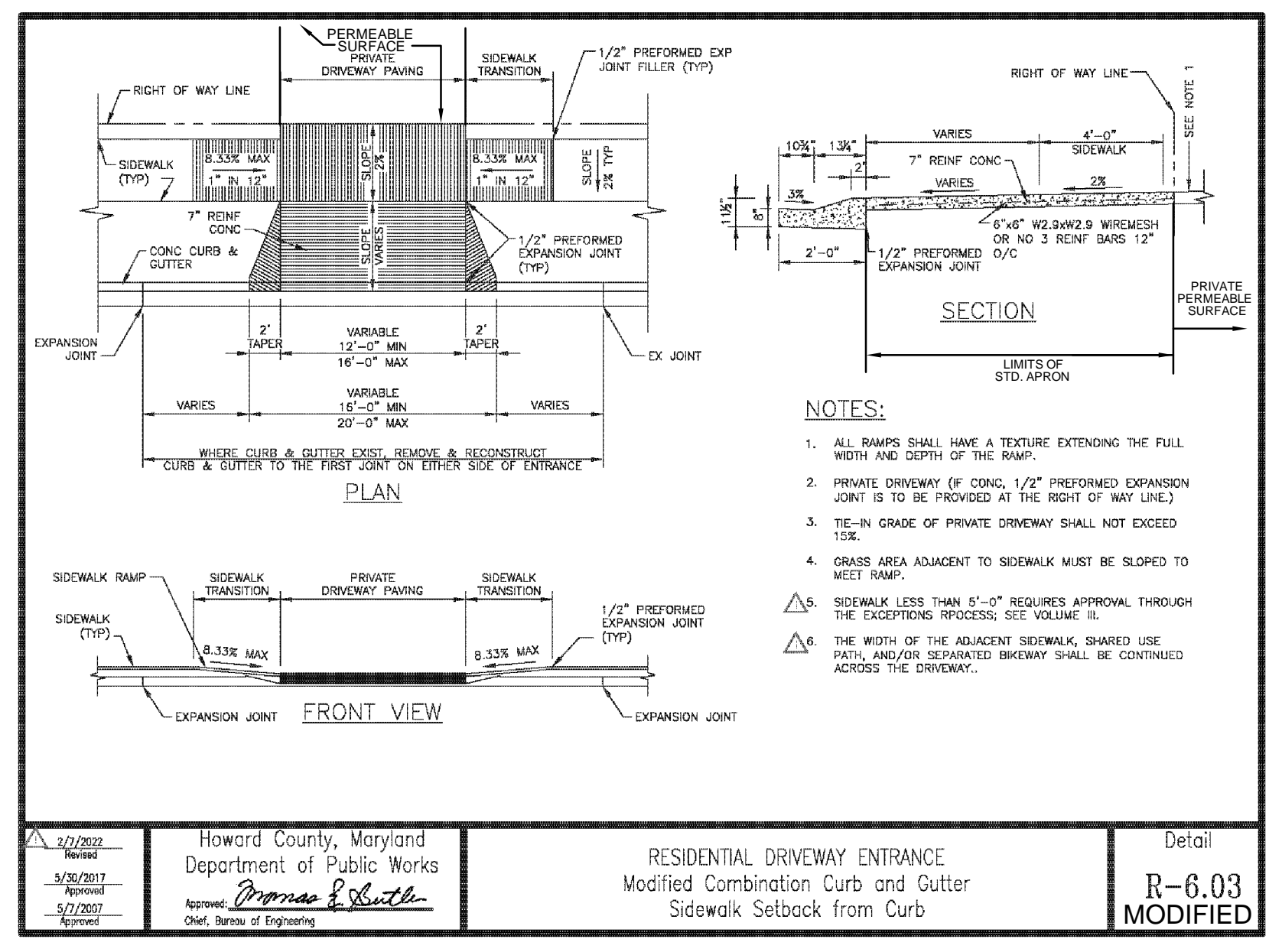
MICRO-BIORETENTION PLANTING REQUIREMENTS					PLANTINGS PROVIDED					PERENNIALS/GROUNDCOVER PROVIDED		
MBR #	LF	AREA	STEMS REQUIRED (0.0229)	STEMS PROVIDED	IG	IV	HQ	LR	PV	BA	AG	TOTAL
RG #1	55	125	3	5	1	1	1	1	1	4	4	8
RG #2	33	70	2	5	1	1	1	1	1	2	2	4
TOTALS:	88	195	5	10	2	2	2	2	2	6	6	12

BIORETENTION / MICRO-BIORETENTION / RAINGARDEN FACILITY - DESIGN ELEVATION CHART												
FACILITY #	FACILITY TYPE	ESD WSEL A	TOP MULCH B	TOP PLANT SOIL C	BOTTOM PLANT SOIL D	BOTTOM PEAGRAVEL PIPE (1) E	INV STONE F	INV G	SURFACE AREA SF	APPROX DIM	OWNER PRIVATE/PUBLIC	MAINTENANCE PRIVATE/PUBLIC/JOINT
RG-1	M-7	287.00	286.00	285.75	284.25	283.92	283.34	282.34	125	SEE PLAN	PRIVATE	PRIVATE ON-LOT
RG-2	M-7	291.50	290.50	290.25	288.75	288.42	287.84	286.84	70	SEE PLAN	PRIVATE	PRIVATE ON-LOT

(1) UNDERDRAIN PIPE AND OVERFLOW DISTRIBUTION PIPE

- TABLE A.4 IS TAKEN FROM THE "2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME II - APPENDIX A.
- CONTRACTOR SHALL BE FAMILIAR WITH APPENDIX B.4.C. CONSTRUCTION SPECIFICATIONS AND TABLE B.4.1 MATERIAL SPECIFICATIONS. IN ADDITION THE "2000 MARYLAND STORMWATER DESIGN MANUAL - VOLUME II - APPENDIX A OFFERS ADDITIONAL HELPFUL INFORMATION.
- NO TREES SHALL BE PLANTED WITHIN A MICRO-BIORETENTION FACILITY. USE ONLY SHRUB OR HERBACEOUS SPECIES.
- ABOVE TABLE A.4. IS FOR INFORMATIONAL PURPOSES ONLY. LANDSCAPE CONTRACTOR SHALL INSTALL PLANTINGS SPECIFIED OR USE APPROVED EQUAL SPECIES WHICH ARE TOLERANT TO FLUCTUATING WATER LEVELS.
- PLANTINGS SHOWN HEREON ARE THE RESPONSIBILITY OF THE DEVELOPER TO INSTALL DURING THE CONSTRUCTION OF THIS FINAL PLAN.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Discussed by: Paul D'Amico 3/22/2024
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE 3/22/2024
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE 3/22/2024
 DIRECTOR Lynnda Eisenberg DATE



NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
RAIN GARDEN & PERMEABLE DRIVEWAY CONSTRUCTION DETAILS
BEECHWOOD MANOR
 LOTS 1-31
 SFD AND SFA RESIDENTIAL

L 1271 / F. 186
 TAN MAP 50 GRID 1
 6TH ELECTION DISTRICT
 DPZ REFERENCE: SEE SITE DATA

PARCEL: 001
 ZONED: R-3C
 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

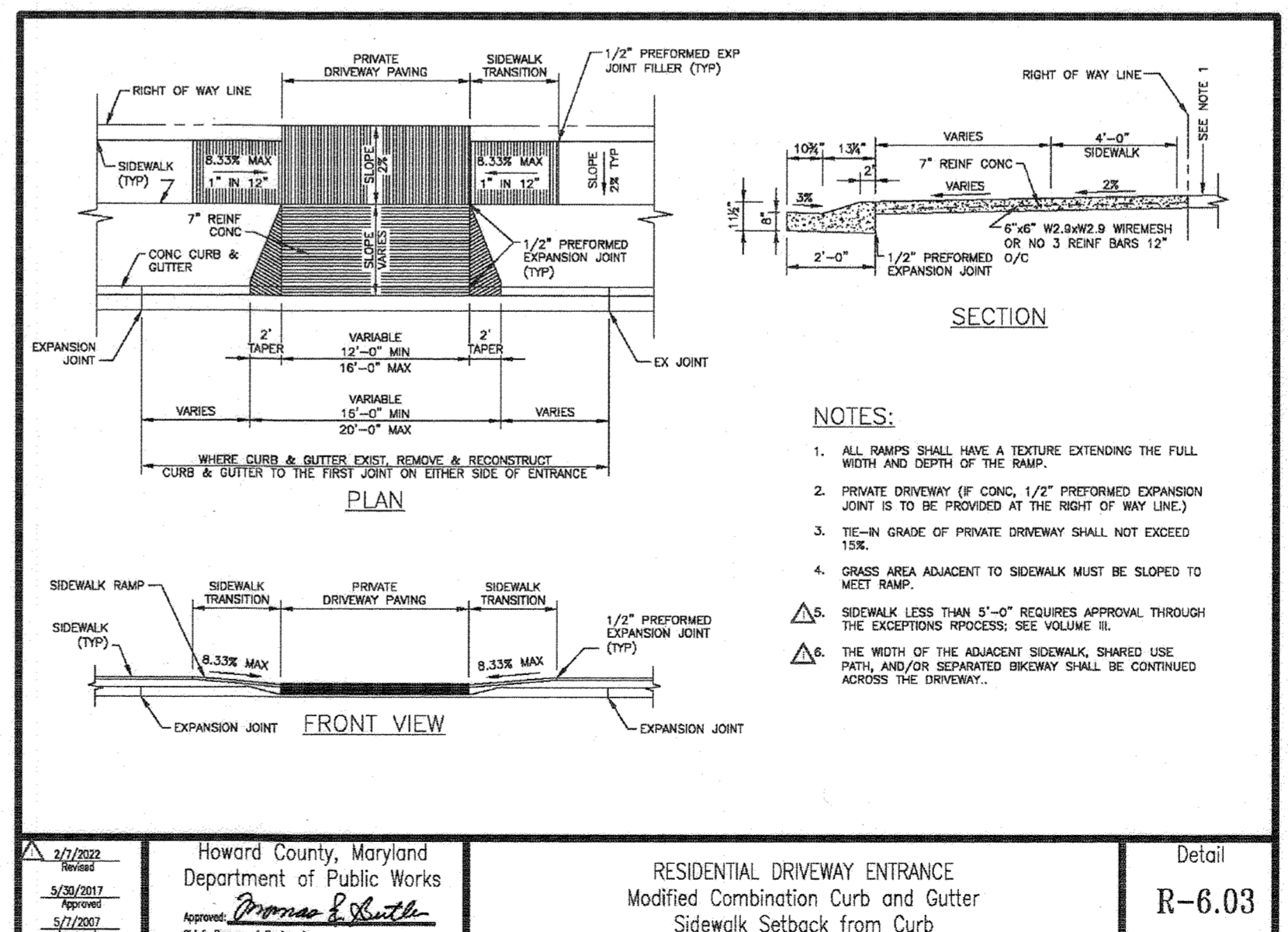
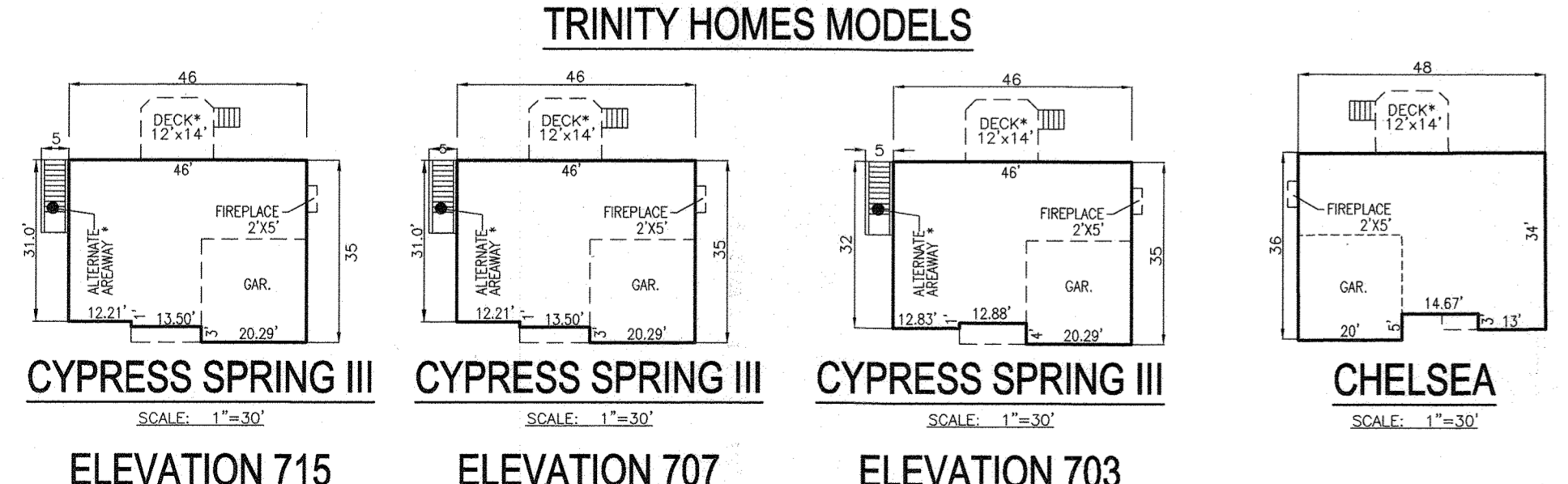
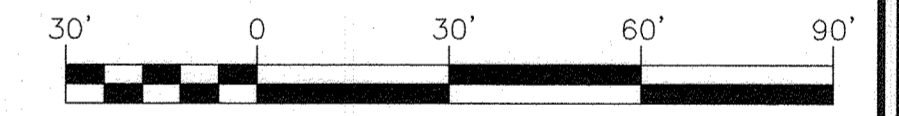
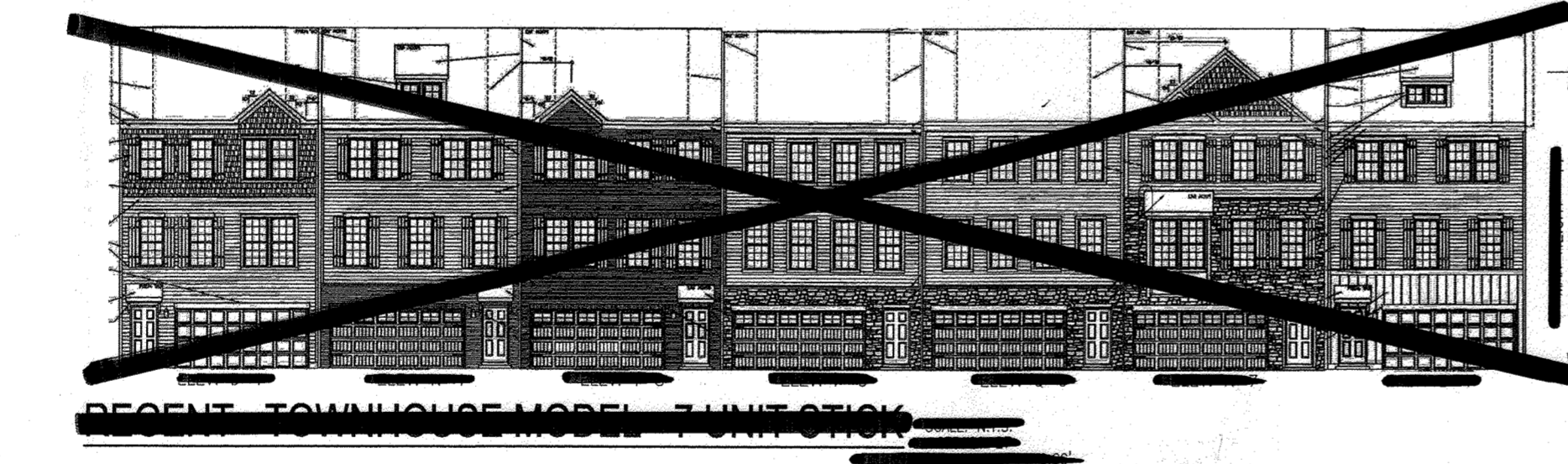
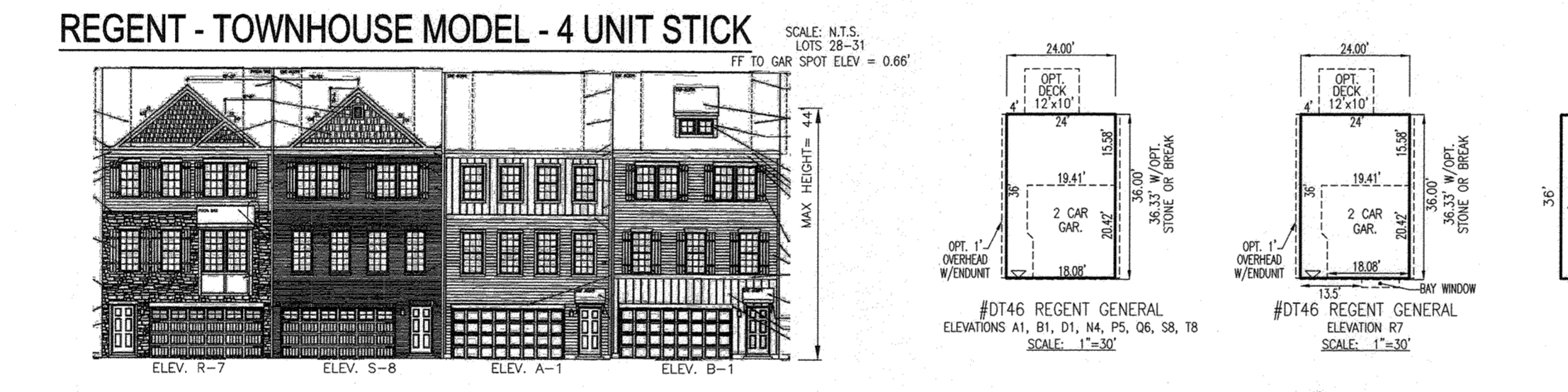
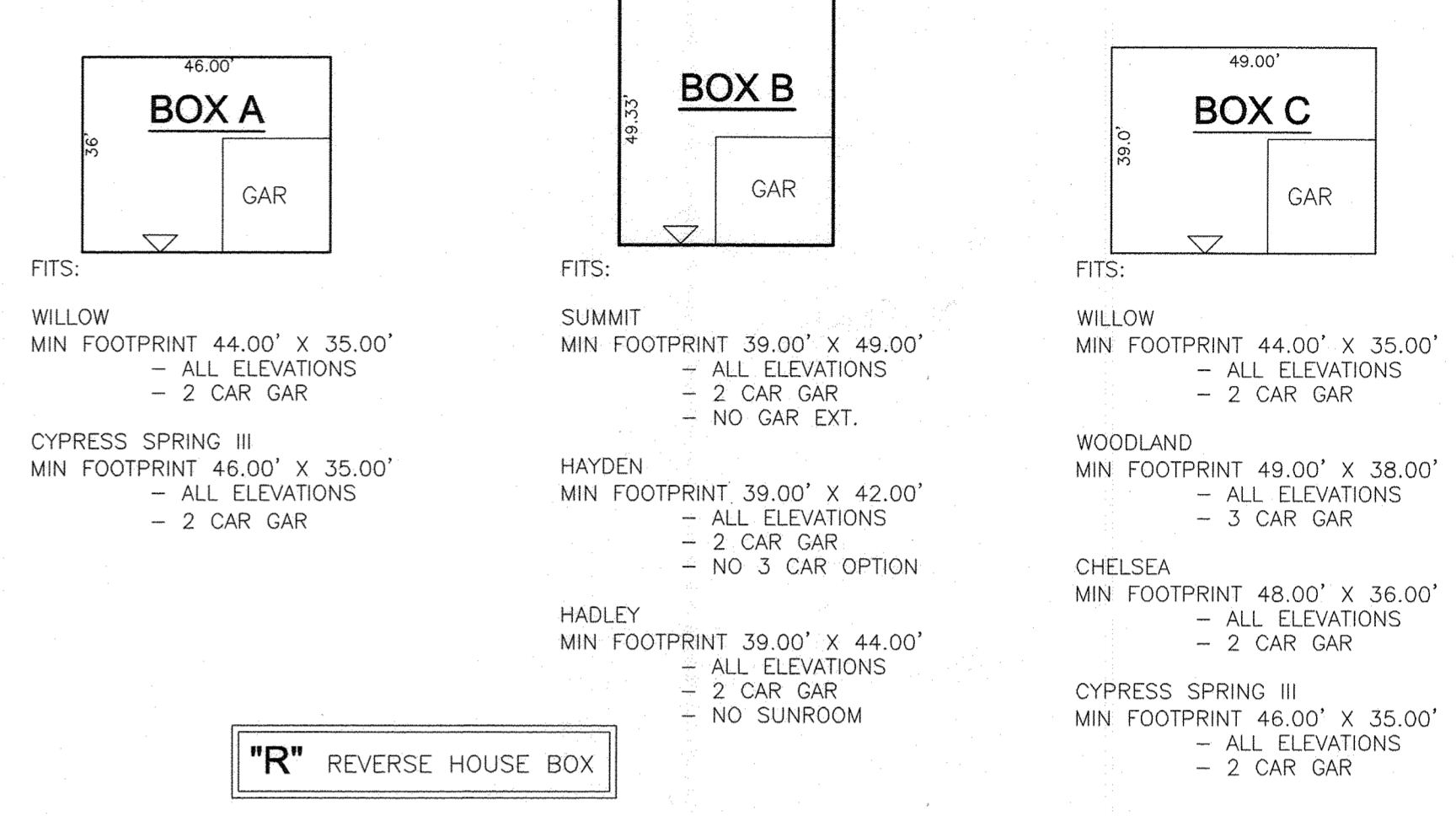
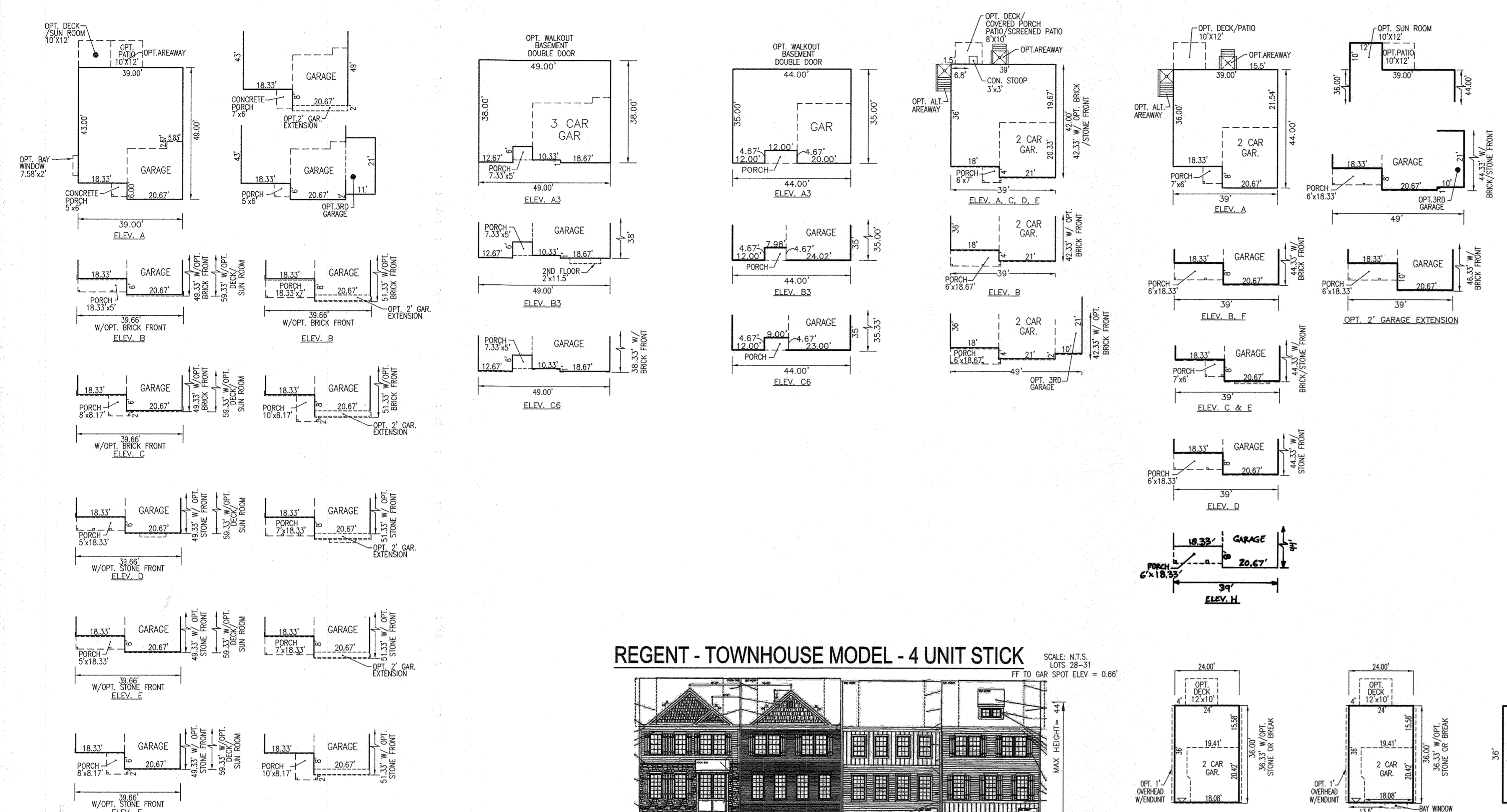
PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2024

DESIGN BY: EDS
 DRAWN BY: ONB
 CHECKED BY: RHV
 DATE: SEPTEMBER 2023
 SCALE: AS SHOWN
 W.C. NO.: 17-26

8 SHEET OF 9



NOTE:
 GENERIC HOUSE BOXES ARE SHOWN IN ACCORDANCE WITH HOWARD COUNTY GUIDELINES AND DO NOT LIMIT MODEL TYPES AND OPTIONS THAT MAY FIT ON ANY INDIVIDUAL LOT.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division: Paul Marco, 3/22/2024
 Chief, Division of Land Development: Lydia Country, 3/22/2024
 Director: [Signature], [Date]

- NOTES:
- ADDITIONAL HOUSE TYPES AND OPTIONS MAY FIT ON ANY GIVEN LOT.
 - THE STAKING OF FOUNDATIONS PRIOR TO CONSTRUCTION TO ENSURE COMPLIANCE WITH REGULATORY BUILDING RESTRICTION LINES IS RECOMMENDED.
 - A MINIMUM OF 10 FEET SHALL BE PROVIDED BETWEEN THE CHOSEN HOME MODEL AND AN ON-LOT DRYPWELL.
 - MODEL ELEVATION SHALL NOT EXCEED 34' MAX HEIGHT AS ALLOWED BY R-SC ZONE.
 - IN ACCORDANCE WITH SECTION 128.0.A OF THE HOWARD COUNTY ZONING REGULATIONS:
 - MAX ENCROACHMENT INTO SETBACK FOR CORNICES, EAVES AND CANTILEVERED BUILDING FEATURES WHICH DO NOT CONTAIN ANY FLOOR AREA OR EXTENSION OF INTERIOR LIVING SPACE IS: 3 FEET INTO ANY SETBACK.
 - MAX ENCROACHMENT INTO SETBACK FOR BAY WINDOWS, WINDOW WELLS, ORIELS, VESTIBULES, BALCONIES AND CHIMNEYS IS: 4 FEET INTO ANY SETBACK OR A REQUIRED DISTANCE BETWEEN BUILDINGS, PROVIDED THE FEATURE HAS A MAXIMUM WIDTH OF 16 FEET AS MEASURED HORIZONTALLY ALONG THE WALL FROM WHICH THE FEATURE EXTENDS.
 - MAX ENCROACHMENT INTO SETBACK FOR EXTERIOR STAIRWAYS OR RAMPS, ABOVE OR BELOW GROUND LEVEL EXCLUDING THOSE ATTACHED TO A PORCH OR DECK (SEE E) IS: 10 FEET INTO A FRONT SETBACK OR A SETBACK FROM A PROJECT BOUNDARY OR DIFFERENT ZONING DISTRICT; 16 FEET INTO A REAR SETBACK; 4 FEET INTO A SIDE SETBACK OR A REQUIRED DISTANCE BETWEEN BUILDINGS.
 - MAX ENCROACHMENT INTO SETBACK FOR OPEN OR ENCLOSED PORCHES AND DECKS, AND THE STAIRWAYS OR RAMPS ATTACHED THERETO IS: 10 FEET INTO A FRONT OR REAR SETBACK, A SETBACK FROM A PROJECT BOUNDARY, A SETBACK FROM A DIFFERENT ZONING DISTRICT, OR A REQUIRED DISTANCE BETWEEN BUILDINGS.

OWNER	DEVELOPER	
BEECHWOOD MANOR, LLC 3675 PARK AVE., SUITE 301 ELLCOTT CITY, MD 21043 (410) 480-0023	TRINITY HOMES MARYLAND, LLC 3675 PARK AVE., SUITE 301 ELLCOTT CITY, MD 21043 (410) 480-0023	
NO.	REVISION	DATE
1	REVISE THE HOUSE TYPE AND GRADING ON LOTS 14-16 AND 20, AND ADD ELEVATION 7-1-2-Y 'H' FOR THE HADLEY MODEL TO THE HOUSE TYPES SHEET	

SITE DEVELOPMENT PLAN
HOUSE TYPES & HOUSE BOX MATRIX PLAN
BEECHWOOD MANOR
 LOTS 1-31
 SFD AND SFA RESIDENTIAL

L. 1271 / F. 186
 TAX MAP: 50 GRID: 1
 6TH ELECTION DISTRICT
 DPZ REFERENCE: SEE SITE DATA

PARCEL: 001
 ZONED: R-SC
 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
 +
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 3300 NORTH RIDGE ROAD, SUITE 110, ELLCOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

RESIDENTIAL DRIVEWAY ENTRANCE
 Modified Combination Curb and Gutter
 Sidewalk Setback from Curb

Detail R-6.03

PROFESSIONAL CERTIFICATE

DESIGN BY: EDS
 DRAWN BY: ONB
 CHECKED BY: RHV
 DATE: SEPTEMBER 2023
 SCALE: AS SHOWN
 W.O. NO.: 17-26

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2026

9 SHEET OF 9