

SITE DEVELOPMENT PLAN LEGEND

- 366 --- EXISTING CONTOUR
- 300 --- PROPOSED 2 FT. CONTOUR LINE (EVEN)
- + 63.41 PROPOSED SPOT ELEVATION
- M.E.X. MATCH EXISTING
- EX. 15" SD --- EXISTING STORM DRAIN
- PROPOSED STORMWATER PIPE & STRUCTURES ---
 MH - MANHOLE STRUCTURE
 I - INLET STRUCTURE
 SC - STORMCEPTOR
 C/O - CLEANOUT
- EX. 8" S --- EXISTING SANITARY SEWER
- 8" S (priv.) --- PROPOSED SANITARY SEWER (PRIVATE)
- WHC --- WHC (Water House Connection, private)
- NEW PUBLIC WATERLINE & EASEMENT AREA (solid shading)
- FIRE HYDRANT (PUBLIC)
- EXISTING UTILITY EASEMENT AREA (cross hatch)
- NEW UTILITY EASEMENT AREA (solid shading)
- EXISTING CURB & GUTTER TO REMAIN
- HANDICAPPED PARKING DESIGNATION ---
 CONCRETE CURB & GUTTER (see Sheet-3
 Parking Definition for additional information)
- FT/PC --- FLUTTER PAN
- FACE OF CURB --- FACE OF CURB
- PAPER CURB --- PAPER CURB
- FLUSH CURB --- FLUSH CURB
- HANDICAP SIGNS (Per details on Sheet-5)
- NUMBER OF PARKING SPACES --- NUMBER OF PARKING SPACES
- HANDICAP 8'x18', STANDARD 9'x18' & COMPACT 9'x16' (designated with a 'C')
- PROPOSED BIKE RACK PAD LOCATION (see sheet 15a16)
- CONCRETE SIDEWALK PER HO. CO. DET. R-3.05, SEE SHEET 3 FOR MORE INFO.
- DETECTABLE WARNING TRUNCATED DOMES PER HO. CO. DETAIL R-4.07
- HANDICAP RAMP
- PROPOSED ROOF LEADER (to downspout, DS)
- PROPOSED DRYWELL (M-5), see sheet 10 and HO.CO. DET. DPW D-9.01
- EXISTING TREE (TO REMAIN)
- EXISTING LIGHT FIXTURES & POLE (TO REMAIN)
- LPB --- PROPOSED PARKING LIGHT POLE BASE LOCATION
- Y --- PROPOSED BGE TRANSFORMER PAD
- EGP --- PROPOSED ELECTRIC GENERATOR PAD
- ADA ACCESSIBLE DOOR
- NON-ADA ACCESSIBLE DOOR (EGRESS ONLY)
- 65U --- 65dBA TRAFFIC NOISE CONTOUR (unmitigated)
- 65M --- 65dBA TRAFFIC NOISE CONTOUR (mitigated)

- NOTES:**
1. UNLESS NOTED OTHERWISE, PROPOSED SPOT ELEVATIONS ALONG THE CONCRETE CURB & GUTTER ARE TO THE FLOW LINE (BOTTOM OF CURB) AT THE PC'S/PT'S, CORNERS AND TERMINUSES.
 2. ALL ON-SITE PAVING AND ROADWAYS ARE PRIVATE.
 3. ALL ON-SITE STORM DRAIN ARE PRIVATE AND SHALL BE PRIVATELY MAINTAINED, EXCEPT THE PORTION OF THE 8" W. AND FIRE HYDRANTS THAT ARE WITHIN THE "PUBLIC WATER & UTILITY EASEMENT". THE REMAINDER OF THE ON-SITE WATER IS PRIVATELY OWNED & MAINTAINED, EXCEPT THE PORTION WITHIN THE "PUBLIC SEWER & UTILITY EASEMENT". THE REMAINDER OF THE ON-SITE SEWER LINES AND STRUCTURES ARE PRIVATELY OWNED & MAINTAINED.
 4. FOR INFORMATION ON THE PUBLIC PORTION OF THE WATER AND SEWER, SEE DPW CONTRACT No. 24-5230-D.
 5. UNLESS NOTED OTHERWISE, ALL PLAN DIMENSIONS ARE TO THE FACE OF STRUCTURE (BUILDING, CURB, ETC.). DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL BETWEEN ITEMS.
 6. THE BUILDINGS ARE EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM AND THE WATER METER IS LOCATED INSIDE THE BUILDINGS.
 7. KNOX BOXES ARE REQUIRED TO BE PLACED ON BUILDINGS. THE KNOX BOXES SHALL BE LOCATED WITHIN 6' TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4'-5' IN HEIGHT. THE BOXES SHALL BE ELECTRONICALLY SUPERVISED (INTEGRATED WITH THE FIRE ALARM SYSTEM) TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
 8. PROPOSED LED PARKING LOT LIGHTING: SEE ARCH. PLAN SET FOR THE MAKE/MODEL SELECTED FOR THE PARKING LOT LIGHTING AND OTHER DECORATIVE LIGHTING. ALL OUTDOOR LIGHTING SHALL COMPLY WITH ZONING CODE SECTION 134.
 9. WHEELED CONTAINERS ARE LOCATED INSIDE THE "TRASH ROOM" FOR THE COLLECTION OF TRASH AND RECYCLABLES. ON TRASH DAYS, THESE CONTAINERS ARE ROLLED OUT BY PROPERTY MANAGEMENT TO THE CONCRETE REGULAR (NON-ADA) PARKING SPACES FOR PICK-UP. IMMEDIATELY AFTERWARD, THE EMPTIED CONTAINERS ARE RETURNED TO THE TRASH ROOM.
 10. LOADING WILL TAKE PLACE WITHIN THE PARKING LOT DRIVE AISLES OR TEMPORARILY RESERVED PARKING SPACES. LONGER LOADING OPERATIONS, SUCH AS MOVE IN AND MOVE OUT, WILL BE COORDINATED BY THE BUILDING MANAGEMENT AND SCHEDULED AT OFF-PEAK HOURS.

APPROVED
PLANNING BOARD OF HOWARD COUNTY
 DATE: April 18, 2024

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 9/19/2024
 Director: *Linda Eisenberg*
 Date: 9/19/2024
 Chief, Division of Land Development: *Chad Edmondson*
 Date: 9/17/2024
 Chief, Development Engineering Division

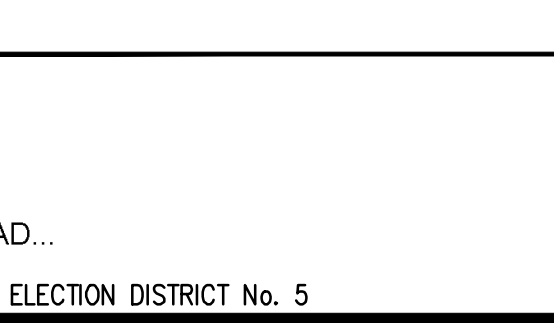
GLW
 PLANNING | ENGINEERING | SURVEYING
 3909 NATIONAL DRIVE | SUITE 250 | BURTONTVILLE, MD 20896 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-890-1820 | DC/VA: 301-985-2524 | FAX: 301-421-4198



DESIGNED BY:	mbt	DATE:	
DRAWN BY:	kip	DATE:	
CHECKED BY:	ckg	DATE:	
REVISION	BY	APPR.	

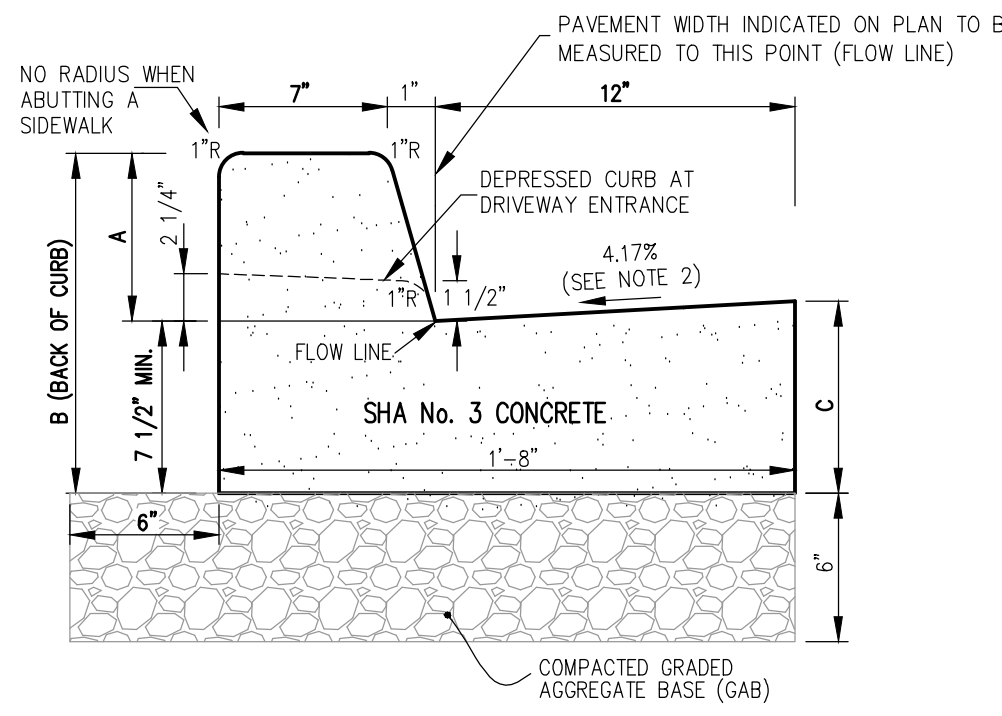
PREPARED FOR:
Enterprise
 Enterprise Community Homes Housing LLC (Owner)
 Enterprise Community Development, Inc. (Developer)
 875 Hollin Street, Suite 202, Baltimore, MD 21201
 410-332-7400

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 54290
 EXPIRATION DATE: MAY 15, 2025 08/13/24



SITE DEVELOPMENT PLAN
Waverly Winds Apartments
 Lot 3A, Section 3, Area 4
 Village of Harper's Choice
 Plat No. 26412 and 26667
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1" = 25'	NT	22017
DATE	TAX MAP - GRID	SHEET
AUG. 2024	29-23	2 OF 24



CURB TYPE	A	B	C
6" (R-9.01)	6"	1'-1 1/2"	7"
7" (R-3.01)	7 3/16"	1'-2 11/16"	8"

THIS DETAIL IS FOR REFERENCE ONLY. SEE HOWARD COUNTY DPW DETAILS R-3.01 AND R-9.01 FOR MORE INFORMATION

STANDARD COMBINATION CURB AND GUTTER

- NOTES:**
- A REVERSE GUTTER PAN SHALL HAVE A GUTTER SLOPE OF 4.17% AWAY FROM THE FLOW LINE, AND SHALL NOT BE USED WHERE THIS CREATES A HAZARDOUS CONDITION.
 - GUTTER PAN AT THE MEDIAN EDGE OF INTERMEDIATE ARTERIALS OR THE HIGH SIDE OF SUPERELEVATED SECTIONS SHALL BE SLOPED AT THE SAME RATE AND IN THE SAME DIRECTION AS THE PAVEMENT. MATCH PAVEMENT CROSS SLOPE WHEN CURB IS LOCATED ON THE LOW SIDE OF SUPERELEVATED SECTION AND THE RATE OF SUPERELEVATION IS GREATER THAN 3% FOR MODIFIED CURB AND GUTTER.
 - A MINIMUM OF TWO (2) FEET OF COMPACTED STABILIZED EARTH, OR EQUIVALENT, SHALL SUPPORT THE ENTIRE BACK OF CURB.
 - POSITIVE DRAINAGE SHALL BE PROVIDED BOTH BEHIND THE CURB AND ALONG THE GUTTER AND FLOW LINE.
 - 50' MAX. BETWEEN EXPANSION JOINTS & 10' MAX. BETWEEN CONTROL JOINTS.
 - UNLESS NOTED OTHERWISE, ALL ON-SITE CURB & GUTTER IS 6" HIGH. ALL CURB & GUTTER IN THE PUBLIC RIGHT-OF-WAY SHALL BE 7" HIGH.

1 CONCRETE CURB AND GUTTER NO SCALE

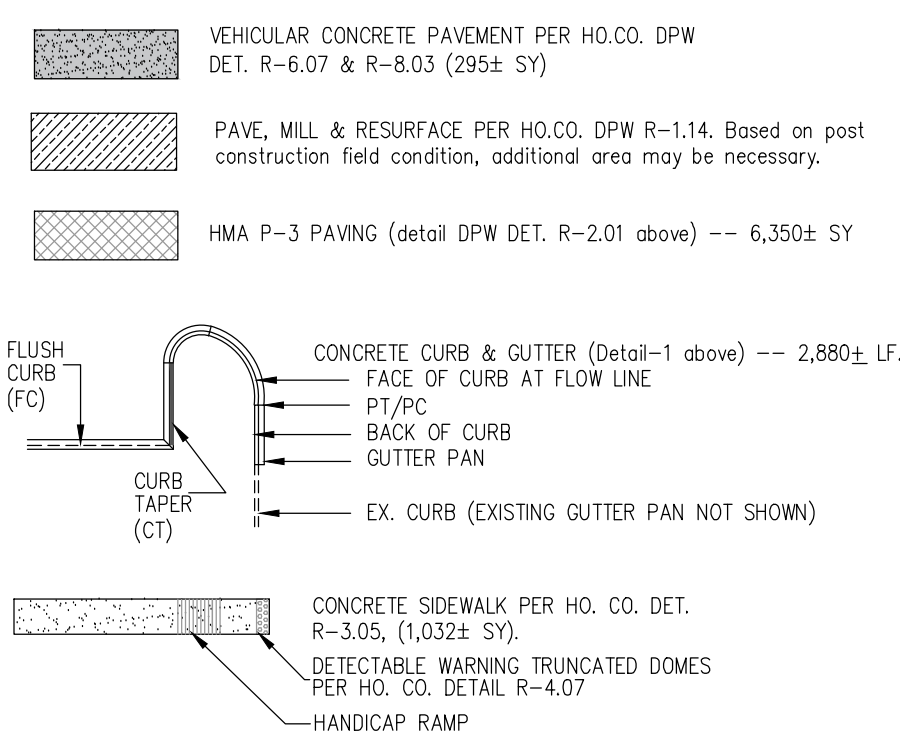
SECTION NUMBER	ROAD AND STREET CLASSIFICATION / TYPE	CALIFORNIA BEARING RATIO (CBR)	3 TO <5		5 TO <7		≥ 7	
			MIN. SUPERPAVE ASPHALT MIX WITH GAB	SUPERPAVE ASPHALT MIX WITH CONSTANT GAB	MIN. SUPERPAVE ASPHALT MIX WITH GAB	SUPERPAVE ASPHALT MIX WITH CONSTANT GAB	MIN. SUPERPAVE ASPHALT MIX WITH GAB	SUPERPAVE ASPHALT MIX WITH CONSTANT GAB
P-1	NEW STREET TYPE	RETROFIT PROJECTS ONLY	PAVEMENT MATERIAL (INCHES)					
			SUPERPAVE ASPHALT MIX FINAL SURFACE					
			SUPERPAVE ASPHALT MIX INTERMEDIATE SURFACE (NA)					
			SUPERPAVE ASPHALT MIX BASE					
P-2	ALLEY	NEIGHBORHOOD YIELD STREET	PAVEMENT MATERIAL (INCHES)					
			SUPERPAVE ASPHALT MIX FINAL SURFACE					
			SUPERPAVE ASPHALT MIX INTERMEDIATE SURFACE					
			SUPERPAVE ASPHALT MIX BASE					
P-3	RURAL DEVELOPMENT STREET	NEIGHBORHOOD YIELD STREET	PAVEMENT MATERIAL (INCHES)					
			SUPERPAVE ASPHALT MIX FINAL SURFACE					
			SUPERPAVE ASPHALT MIX INTERMEDIATE SURFACE					
			SUPERPAVE ASPHALT MIX BASE					
P-4	NEIGHBORHOOD STREET 1	INDUSTRIAL STREET	PAVEMENT MATERIAL (INCHES)					
			SUPERPAVE ASPHALT MIX FINAL SURFACE					
			SUPERPAVE ASPHALT MIX INTERMEDIATE SURFACE					
			SUPERPAVE ASPHALT MIX BASE					

- NOTES:**
- HEAVY TRUCKS ARE DEFINED AS THOSE WITH SIX (6) WHEELS OR MORE INCLUDING GARBAGE TRUCKS.
 - SUPERPAVE ASPHALT MIX LAYERS SHALL BE PLACED IN APPROPRIATE COMPACTED LIFT THICKNESS: 19.0 MM BASE (2.0" MIN. TO 4.0" MAX.), 12.5 MM SURFACE (1.5" MIN. TO 3.0" MAX.), AND 9.5 MM SURFACE (1.0" MIN. TO 2.0" MAX.).
 - GRADED AGGREGATE BASE (GAB) TO BE PLACED AND COMPACTED IN 6" MAX. COMPACTED THICKNESS LAYERS.
 - THE INTERMEDIATE SURFACE COURSE LAYER MUST BE PLACED WITHIN 2 WEEKS OF PLACEMENT OF BASE COURSE, AND IS REQUIRED PRIOR TO SUBSTANTIAL COMPLETION INSPECTION AND BOND REDUCTION.
 - IN LIEU OF PLACING THE INTERMEDIATE SURFACE COURSE LAYER FOR COMMERCIAL/INDUSTRIAL ENTRANCE APRONS WITHIN THE COUNTY RIGHT-OF-WAY WHERE AUXILIARY LANES ARE NOT REQUIRED, THE THICKNESS OF THE INTERMEDIATE PAVEMENT LAYER CAN BE ADDED TO THE REQUIRED THICKNESS OF THE BASE ASPHALT LAYER.
 - THE CONSTRUCTION DRAWINGS SHALL SHOW THE PAVING SECTION, ROAD CLASSIFICATION AND CBR VALUE FOR EACH ROADWAY.

Howards County, Maryland
Department of Public Works
PAVING SECTIONS P-1 to P-4
Detail R-2.01

NOTE: USE THE P-3 PAVING SECTION WITH THE CBR RATIO OF 3 TO < 5; UNLESS APPROVED OTHERWISE BY THE GEOTECH ENGINEER, CDA AND THE OWNER.

PAVING DELINEATION LEGEND



APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: April 18, 2024

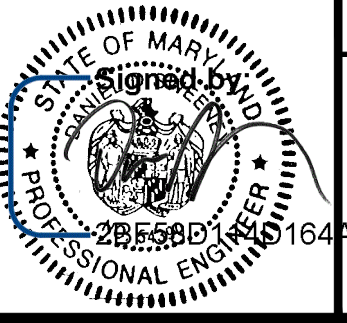
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: *Linda Eisenberg* 9/19/2024
Chief, Division of Land Development: *Charles Edmondson* 9/17/2024

GLW
PLANNING | ENGINEERING | SURVEYING
3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20896 | GLWPA.COM
PHONE: 301-421-4024 | BALT: 410-890-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4198

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION	BY	APPR.
mbt	kip	ckg				

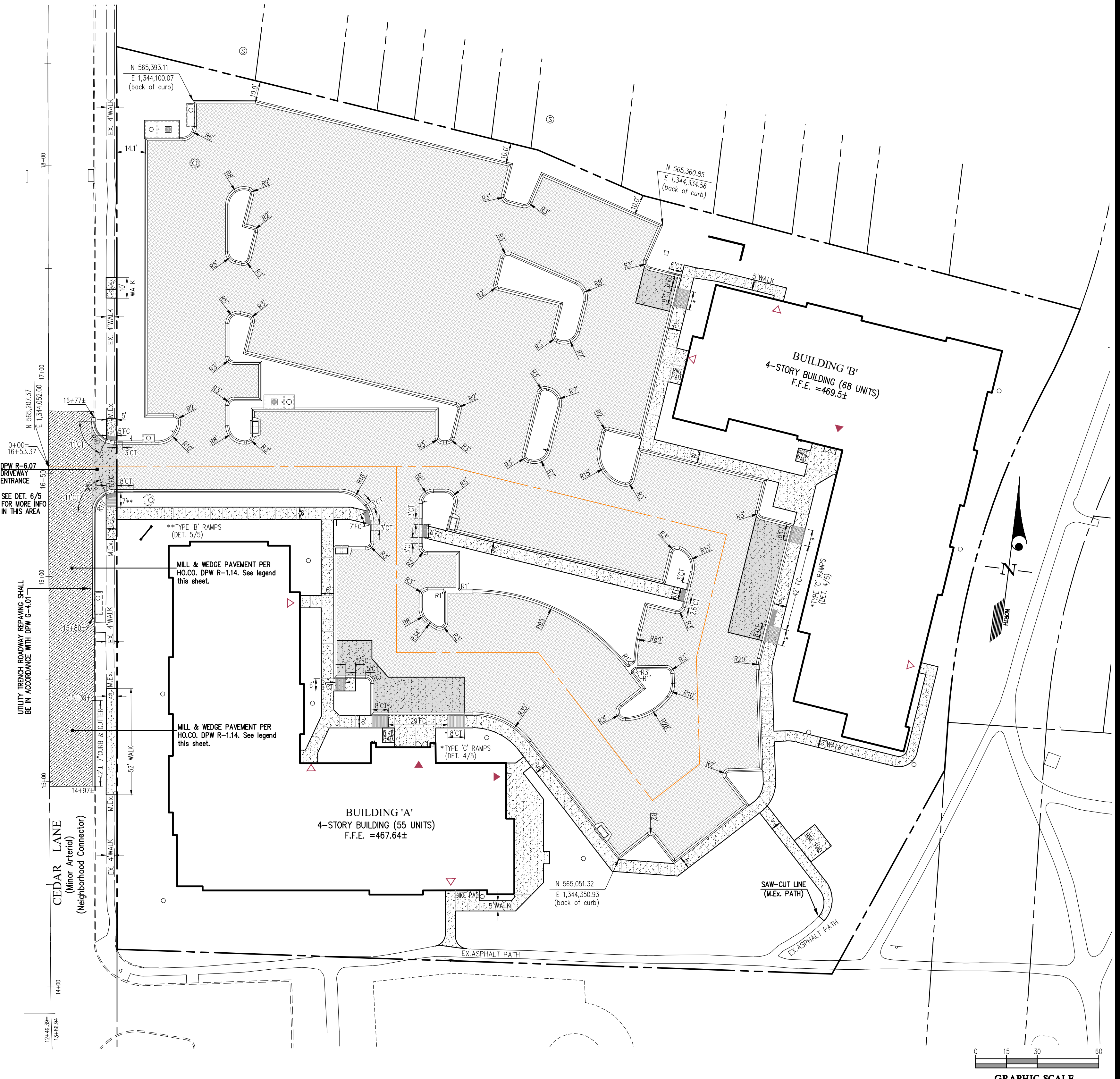
PREPARED FOR:
Enterprise
Enterprise Community Homes Housing LLC (Owner)
Enterprise Community Development, Inc. (Developer)
875 Hollin Street, Suite 202, Baltimore, MD 21201
410-332-7400

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 54290
EXPIRATION DATE: MAY 15, 2025 08/13/24



CURB AND PAVING DELINEATION PLAN
Waverly Winds Apartments
Lot 3A, Section 3, Area 4
Village of Harper's Choice
Plat No. 26412 and 26667
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1" = 30'	NT	22017
DATE	TAX MAP - GRID	SHEET
AUG. 2024	29-23	3 OF 24



GRAPHIC SCALE

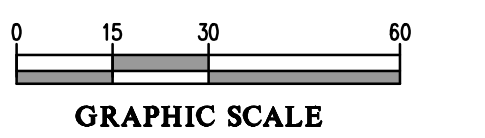


DEMOLITION PLAN LEGEND

- EX. CURB TO REMAIN
- EX. CURB TO BE REMOVED
- TBR TO REMAIN
- (TR) TO REMAIN
- LOD --- LIMIT OF DISTURBANCE (GRADING)
- LOW --- LIMIT OF WORK (NO GRADING)
- TPF --- TREE PROTECTION FENCE
- EXISTING TREELINE
- PROPOSED TREELINE
- EXISTING TREES TO REMAIN
- EXISTING TREES TO BE REMOVED
- EXISTING GAS LINE
- EXISTING TRANSFORMER
- EX. S --- EXISTING SANITARY SEWER TO REMAIN
- EX. S. TBR --- EXISTING SANITARY SEWER TO BE REMOVED
- EX. W --- EXISTING WATERLINE TO REMAIN
- EX. W. TBR --- EXISTING WATERLINE TO BE REMOVED
- EX. SD (TR) --- EXISTING STORM DRAIN TO REMAIN
- EX. SD TBR --- EXISTING STORM DRAIN TO BE REMOVED
- UNLESS NOTED OTHERWISE, ALL EXISTING BUILDINGS & PAVEMENTS, UTILITY PADS & IMPROVEMENTS ON-SITE TO BE RAZED.
- PORTION OF EXISTING PUBLIC UTILITY EASEMENT TO BE ABANDONED PER PLAT 26667

DEMOLITION NOTES:

- OBTAIN UTILITY DISCONNECTION LETTERS/DOCUMENTATION FROM ALL UTILITY COMPANIES TO APPLY A FOR DEMOLITION PERMIT. VERIFY THAT ALL ON-SITE DRY UTILITIES HAVE BEEN DISCONNECTED IN ORDER TO PROCEED WITH THEIR DEMOLISHED. DRY UTILITIES ON THIS SITE THAT ALSO SERVES ADJOINING PROPERTIES MUST BE RELOCATED BY THE APPROPRIATE UTILITY COMPANIES. THE EX. PUBLIC WATER AND SEWER MAIN AND APPURTENANCES SHALL BE ABANDONED IN ACCORDANCE WITH HOWARD CO. DMV.2 Sec.5.6.D.3.
- REMOVE ALL DEBRIS FROM THE SITE HAUL IT TO A RECYCLE FACILITY AND/OR A LEGAL LAND FILL.
- ADDITIONAL CURB OR SIDEWALK MAY HAVE TO BE REPLACED IN THE FIELD.
- THIS DOCUMENT INCLUDES INFORMATION AND DEPICTIONS OF BALTIMORE GAS AND ELECTRIC COMPANY'S ("BGE") ELECTRIC AND/OR GAS UTILITIES LOCATED WITHIN THE PROJECT AREA (THE "BGE UTILITY INFORMATION"). LOCATIONS, DIMENSIONS, DEPTHS AND OTHER DETAILS OF ANY SUCH UTILITIES MAY NOT BE AS-BUILT, AND THE INFORMATION SHALL NOT BE RELIED UPON WITHOUT FIELD VERIFICATION. EXCAVATORS MUST EMPLOY SAFE DIGGING BEST PRACTICES WHEN APPROACHING BGE ELECTRIC AND GAS UTILITIES AND COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, INCLUDING, BUT NOT LIMITED TO, THE "MISS UTILITY LAW." NO REPRESENTATIONS, GUARANTEES, OR WARRANTIES, EXPRESS OR IMPLIED, ARE MADE BY BGE AS TO THE QUALITY, COMPLETENESS, OR ACCURACY OF THE BGE UTILITY INFORMATION, AND IN ACCEPTING THIS DOCUMENT, THE RECIPIENT EXPRESSLY ACKNOWLEDGES AND AGREES THAT IT IS NOT RELYING ON THE ACCURACY OF THE SAME.



APPROVED
PLANNING BOARD OF HOWARD COUNTY
 DATE: April 18, 2024

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Linda Blumberg* 9/19/2024
 Chief, Division of Land Development: *Carol Edmondson* 9/17/2024

GLW
 PLANNING | ENGINEERING | SURVEYING

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
 PHONE: 301-421-0024 | BALT: 410-880-1820 | DC&VA: 301-988-2524 | FAX: 301-421-4186

DESIGNED BY				
DRAWN BY				
CHECKED BY				
DATE		REVISION		BY APPR.

PREPARED FOR:
Enterprise
 Enterprise Community Homes Housing LLC (Owner)
 Enterprise Community Development, Inc. (Developer)
 875 Hollin Street, Suite 202, Baltimore, MD 21201
 410-332-7400

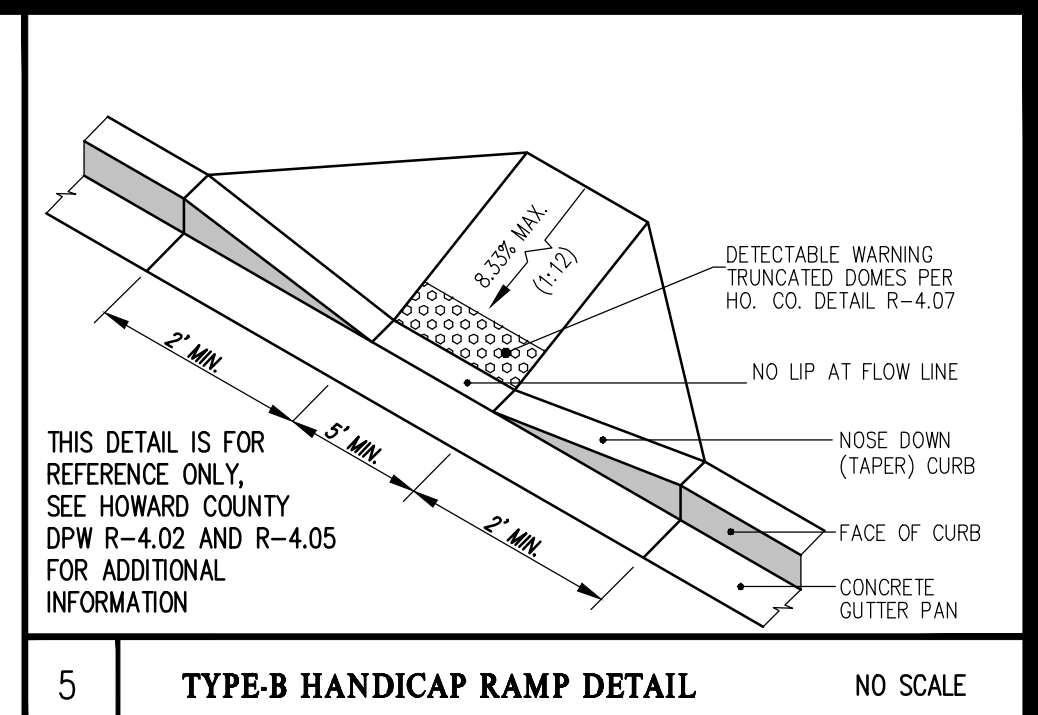
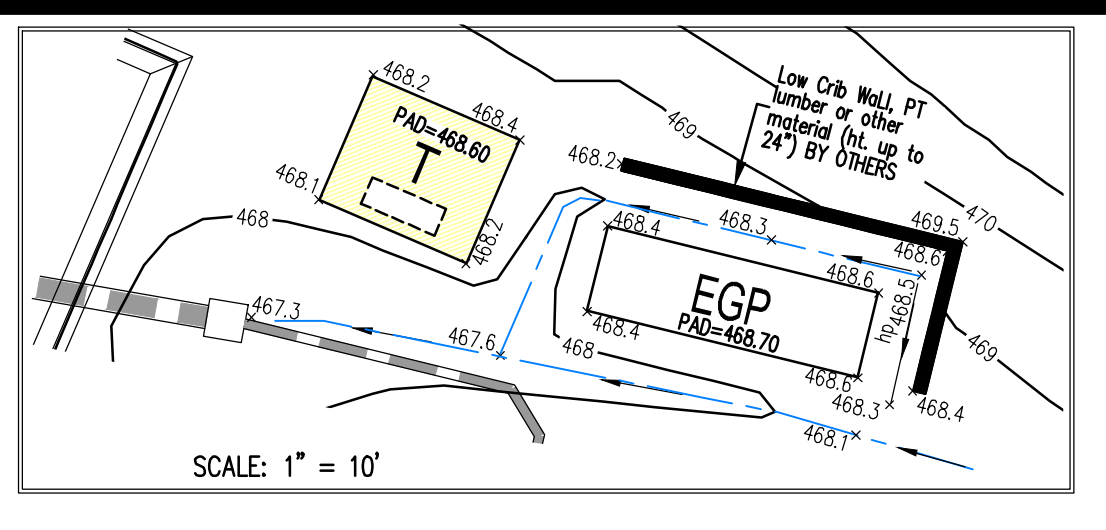
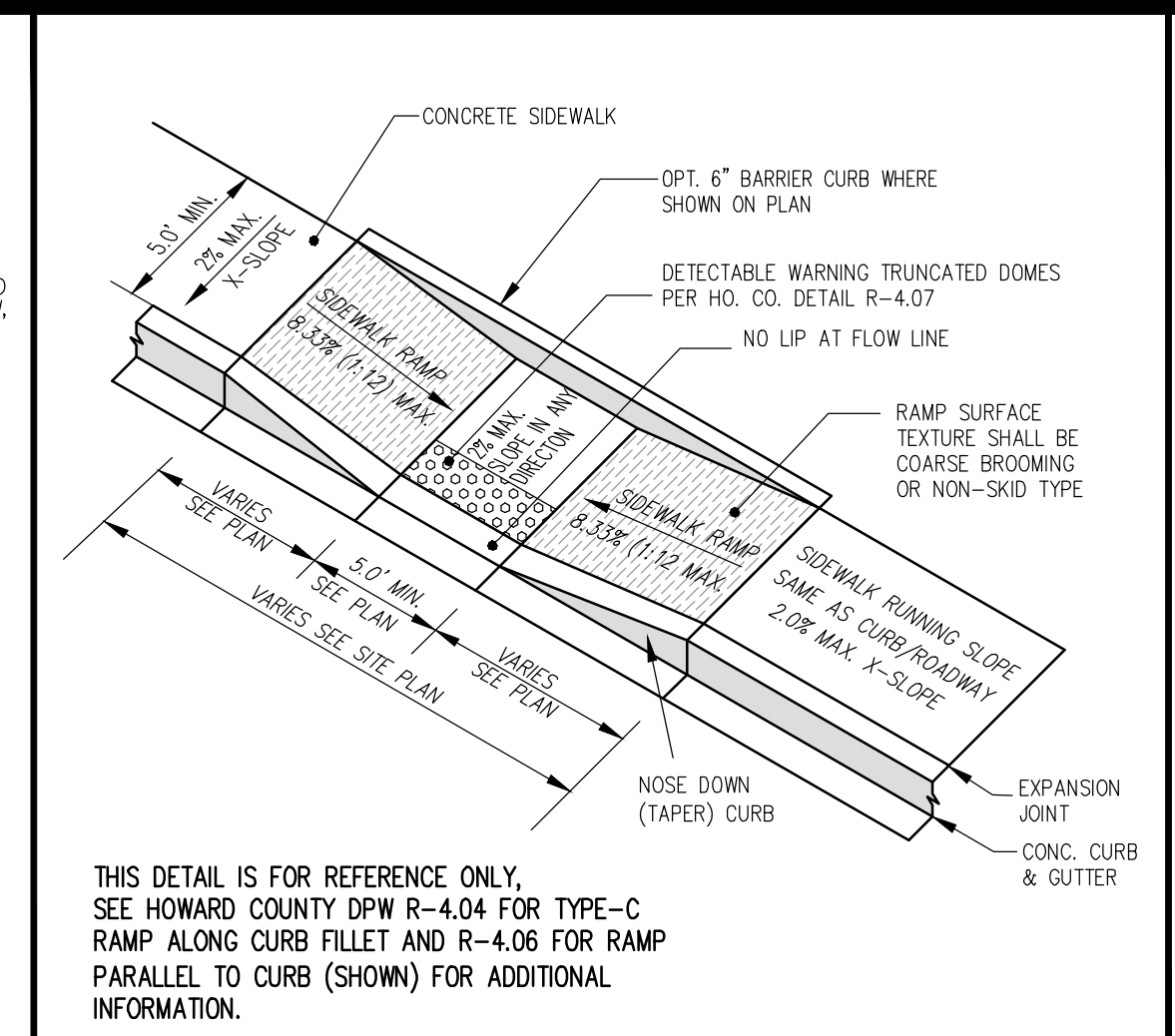
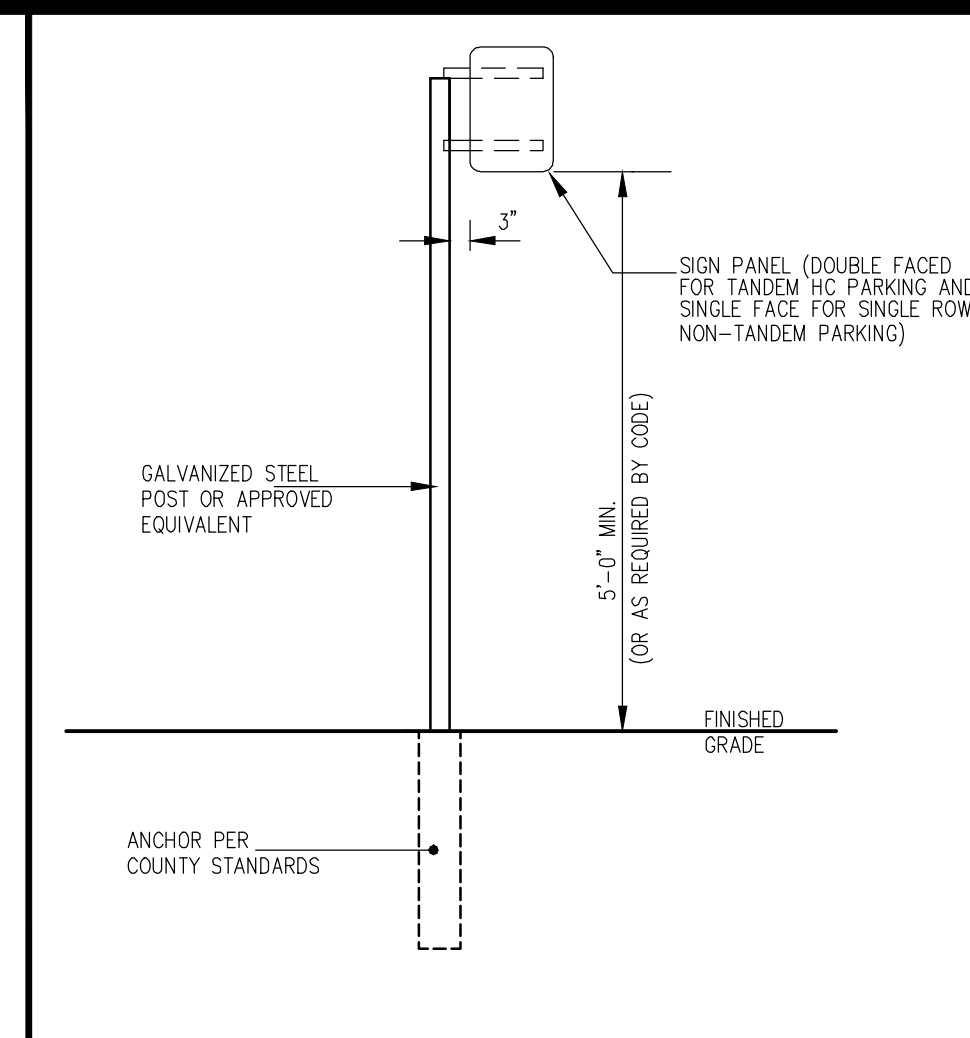
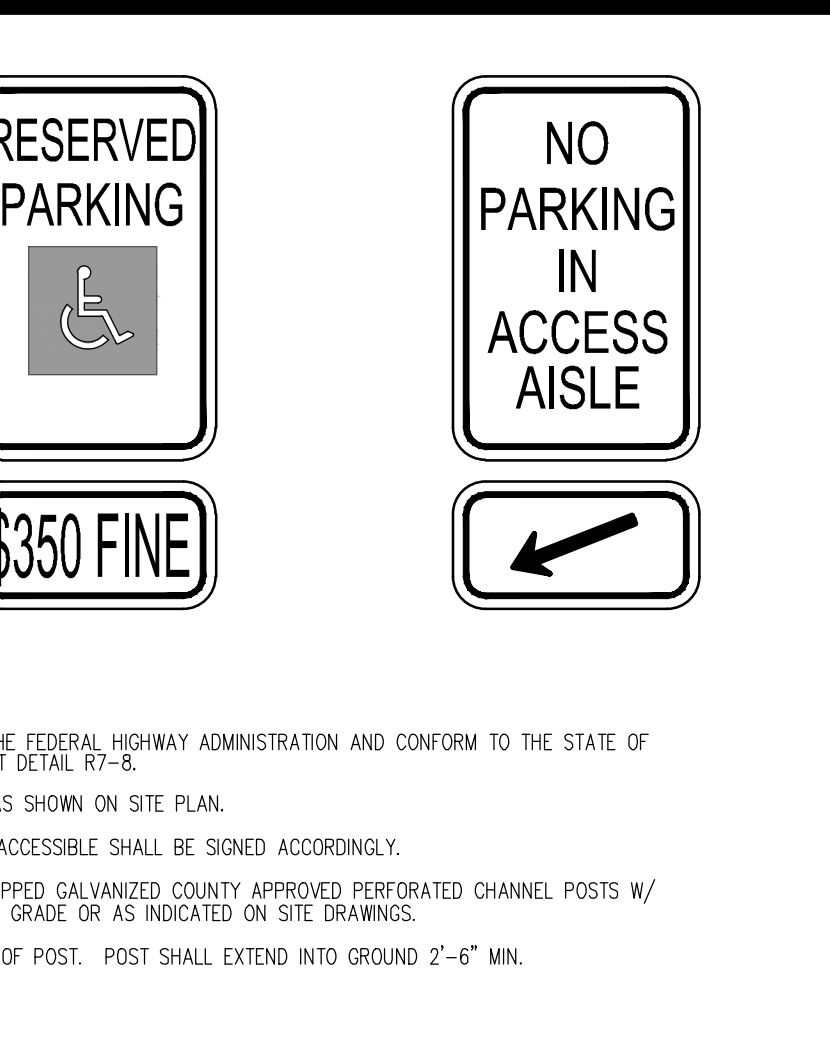
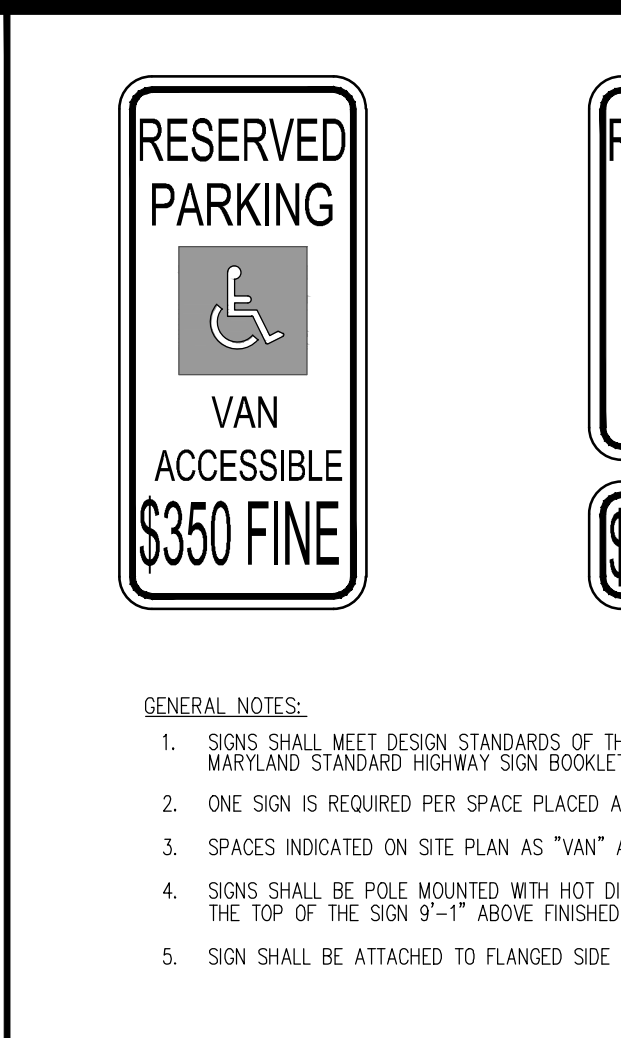
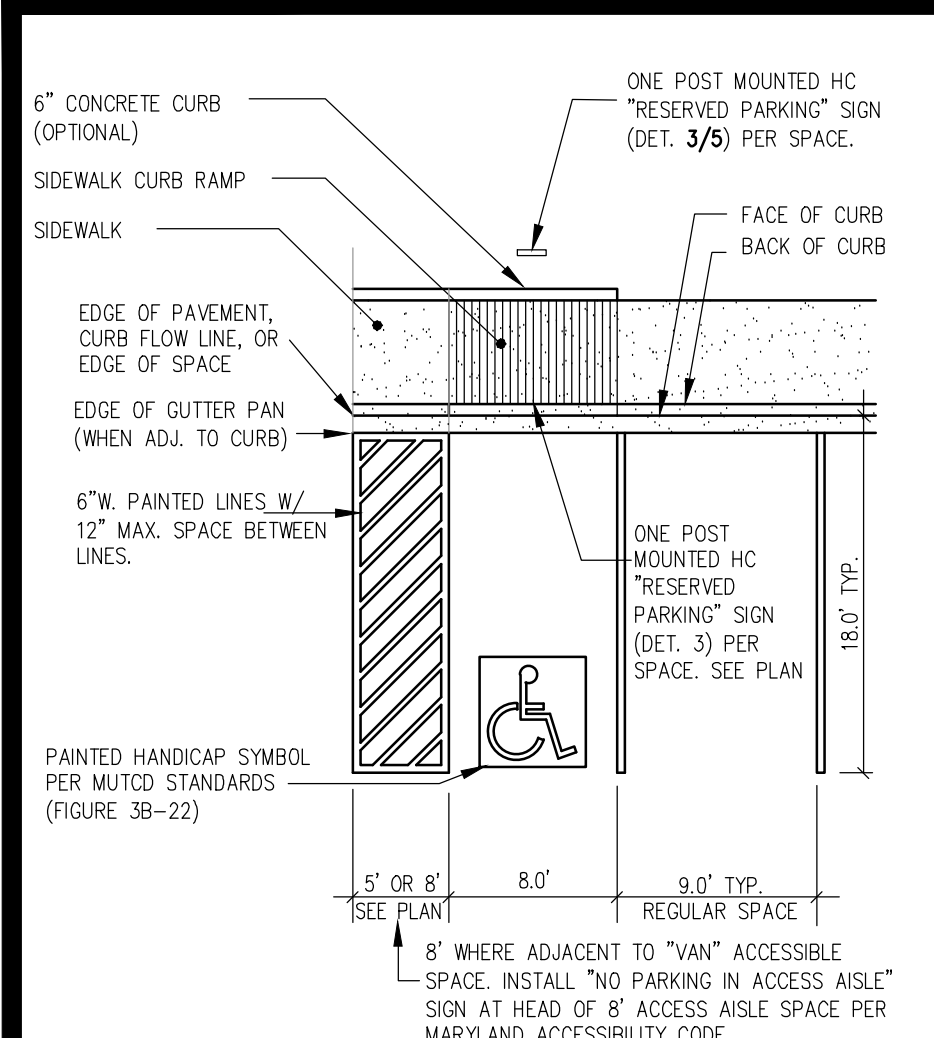
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 54380.
 EXPIRATION DATE: MAY 14, 2025
 08/13/24



DEMOLITION PLAN
Waverly Winds Apartments
 Lot 3A, Section 3, Area 4
 Village of Harper's Choice
 Plat No. 26412 and 26667

HOWARD COUNTY, MARYLAND
 ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	NT	22017
DATE	TAX MAP - GRID	SHEET
AUG. 2024	29-23	4 OF 24



- GENERAL NOTES:**
1. SIGNS SHALL MEET DESIGN STANDARDS OF THE FEDERAL HIGHWAY ADMINISTRATION AND CONFORM TO THE STATE OF MARYLAND STANDARD HIGHWAY SIGN BOOKLET DETAIL R7-8.
 2. ONE SIGN IS REQUIRED PER SPACE PLANNED AS SHOWN ON SITE PLAN.
 3. SPACES INDICATED ON SITE PLAN AS "VAN ACCESSIBLE" SHALL BE SIGNED ACCORDINGLY.
 4. SIGNS SHALL BE POLE MOUNTED WITH HOT DIPPED GALVANIZED COUNTY APPROVED PERFORATED CHANNEL POSTS W/ THE TOP OF THE SIGN 4'-1" ABOVE FINISHED GRADE OR AS INDICATED ON SITE DRAWINGS.
 5. SIGN SHALL BE ATTACHED TO FLANGED SIDE OF POST. POST SHALL EXTEND INTO GROUND 2'-6" MIN.

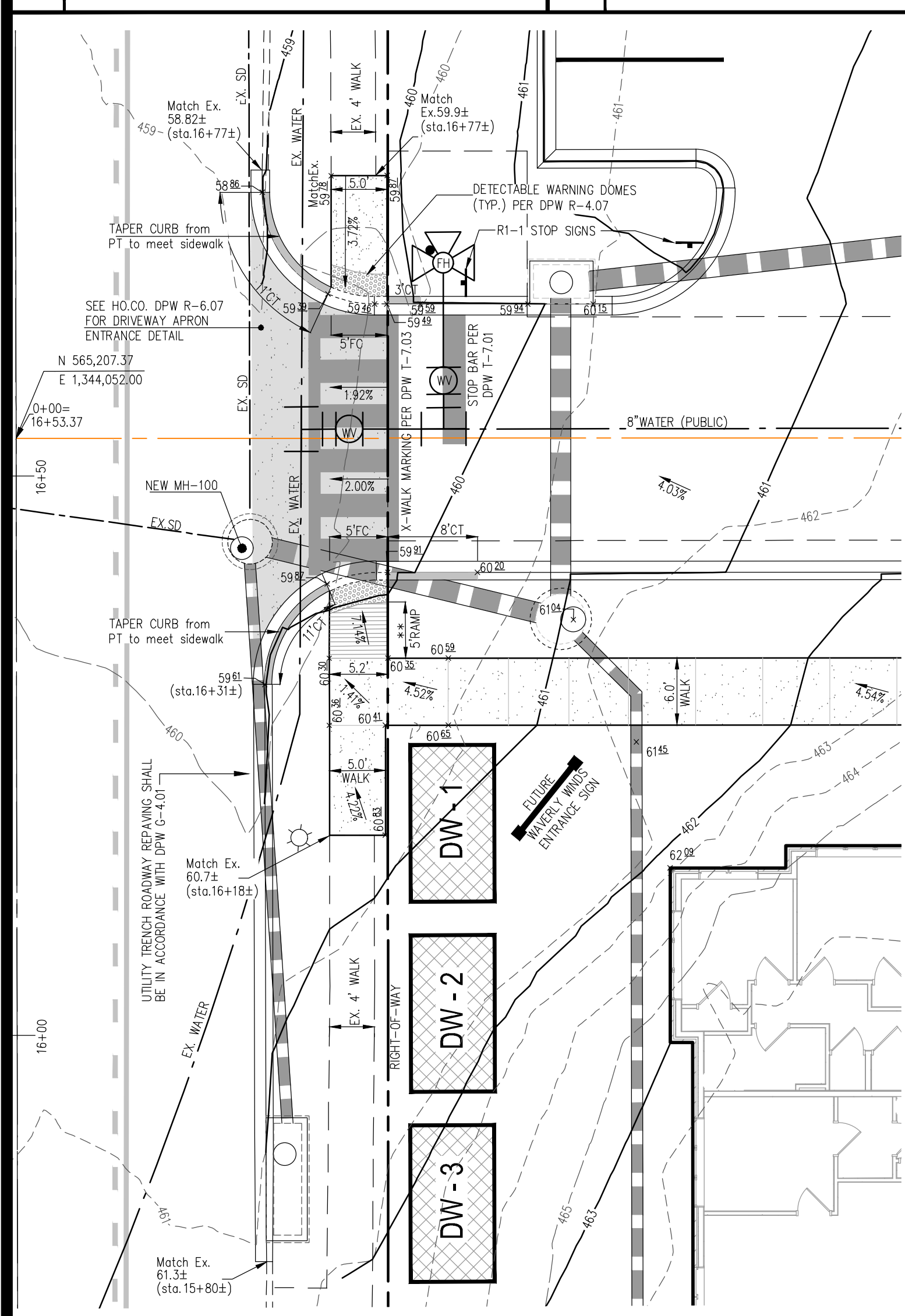
1 **PARKING SPACE LAYOUT** NO SCALE

2 **HANDICAP PARKING SIGNS DETAIL** NO SCALE

3 **POST & SIGN DETAIL FOR PARKING RESTRICTION SIGN** NO SCALE

4 **TYPE-C SIDEWALK RAMP** NO SCALE

5 **TYPE-B HANDICAP RAMP DETAIL** NO SCALE



6 **HARDSCAPE GRADING DETAIL FOR ENTRANCE** SCALE: 1" = 10'

APPROVED PLANNING BOARD OF HOWARD COUNTY
DATE: April 18, 2024

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
9/19/2024

Director: *Linda Eisenberg*
Date: 9/19/2024

Chief, Division of Land Development: *Chad Edmondson*
Date: 9/17/2024

LEGEND
CT = CURB TAPER
FC = FACE OF CURB
PT = POINT OF TRANSITION
* TYPE 'C' RAMPS (DET. 4/5)
** TYPE 'B' RAMPS (DET. 5/5)
B.R.P. = BIKE RACK PAD, see sheet 15&16 for more info.

GRAPHIC SCALE
0 5 10 20

7 **HARDSCAPE GRADING DETAIL** SCALE: 1" = 20'

GLW
PLANNING | ENGINEERING | SURVEYING

3909 NATIONAL DRIVE | SUITE 250 | BURTNSVILLE, MD 20896 | GLWPA.COM
PHONE: 301-421-4024 | BALT: 410-890-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4198

DESIGNED BY:	DATE:	REVISION:	BY:	APPR.:

PREPARED FOR:
Enterprise
Enterprise Community Homes Housing LLC (Owner)
Enterprise Community Development, Inc. (Developer)
875 Hollin Street, Suite 202, Baltimore, MD 21201
410-332-7400

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 54290, EXPIRATION DATE: MAY 14, 2025 08/13/24

SITE DETAILS
Waverly Winds Apartments
Lot 3A, Section 3, Area 4
Village of Harper's Choice
Plat No. 26412 and 26667

SCALE: AS SHOWN
ZONING: NT
DATE: AUG. 2024
TAX MAP - GRID: 29-23
SHEET: 5 OF 24

HOWARD COUNTY, MARYLAND
ELECTION DISTRICT No. 5

SCALE:	ZONING:	G. L. W. FILE NO.:
AS SHOWN	NT	22017
DATE:	TAX MAP - GRID:	SHEET:
AUG. 2024	29-23	5 OF 24

SEDIMENT CONTROL LEGEND

- 600 --- EXISTING CONTOUR
- 600 — PROPOSED CONTOUR
- ===== EXISTING CURB & GUTTER TO REMAIN
- L.O.D. — LIMIT OF DISTURBANCE (grading)
- LOW — LIMIT OF WORK (no grading, see Demolition Plan Sheet #4)
- SSF — PROPOSED SUPER SILT FENCE
- DF — PROPOSED DIVERSION FENCE
- [SCE] PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- [SIP (a/b)] STANDARD INLET PROTECTION letter in parenthesis either Type A or B
- [COP] COMBINATION INLET PROTECTION
- [GIP] GABION INLET PROTECTION
- [XXXXXX] PERMANENT SOIL STABILIZATION MATING
- [TABD] TEMPORARY ASPHALT BERM DIVERSION
- GfB — SOIL DELINEATION LINE
- SOIL TYPE (SEE INFO BELOW)

PHASE 1 DEMOLITION LEGEND

- EXISTING CURB TO BE REMOVED
- [5678] UNLESS NOTED OTHERWISE, ALL EXISTING BUILDINGS & PAVEMENTS, UTILITY PADS & IMPROVEMENTS ON-SITE TO BE RAZED. SEE SEQUENCE OF CONSTRUCTION.
- [X] EXISTING TREES: A BOLD "X" INDICATES TREE TO BE REMOVED. -TPF- INDICATES TREE PROTECTION FENCE.

SOILS LEGEND

SOIL	NAME	CLASS	"K" FACTOR
GhB	Gladstone-Urban Land Complex, 0 to 8 percent slopes	B	0.32

NO HIGHLY ERODABLE SOILS ON-SITE (highly erodible soils are those soils with a slope > 15% or those with a soil erodibility k-factor > 0.35 and a slope > 5%)

SEQUENCE OF CONSTRUCTION

NOTE: Building demolition work that DOES NOT involve grading may be done anytime following the issuance of demolition permit(s).

PHASE-1: INITIAL SITE DEMOLITION WORK

- APPLY FOR A GRADING PERMIT, A DEMOLITION PERMIT AND OTHER APPLICABLE PERMITS (BUILDING, UTILITY, ETC.).
- SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE COUNTY SEDIMENT CONTROL INSPECTOR (CSCI). OBTAIN GRADING PERMIT FROM THE CSCI AT THE MEETING. Duration: 1/2 day.
- INSTALL THE SUPER SILT FENCE (-SSF-), INSTALL A TEMPORARY ASPHALT BERM DIVERSION (TABD) ACROSS THE EXISTING PARKING LOT (between Unit Nos. 5501 & 5627), AND INSTALL INLET PROTECTION (SIP & COP) AT THE 4 EXISTING ON-SITE INLETS (A-D). INSTALL A SCE AT THE EXISTING ENTRANCE. Duration: 1-2 days.
- RAZE ANY REMAINING BUILDING COMPONENTS (slab, foundation, etc.) AND IMPROVEMENTS EXCEPT THE FOLLOWINGS:
 - DELAY DEMOLISHING THE EXISTING ON-SITE STORM DRAIN SYSTEM (serving existing inlets A, B, C and D).
 - DELAY DEMOLISHING PART OF THE EXISTING PARKING LOT NEEDED FOR CONSTRUCTION STAGING.

NOTE: HAUL ALL DEMOLITION DEBRIS TO A RECYCLING FACILITY AND/OR AN APPROVED LANDFILL. SEE CONTRACT No 24-5230-D FOR THE DEMOLITION AND REMOVAL OF THE EXISTING ON-SITE PUBLIC WATER AND SEWER SYSTEMS. FOR S.O.C CONTINUATION TO PHASE-2, SEE SHEET-7 (next page).

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DocuSigned by:
Alexander Bratchie 9/17/2024
HOWARD S.C.D. 85648C5D8A984C1 DATE

ENGINEER'S CERTIFICATE

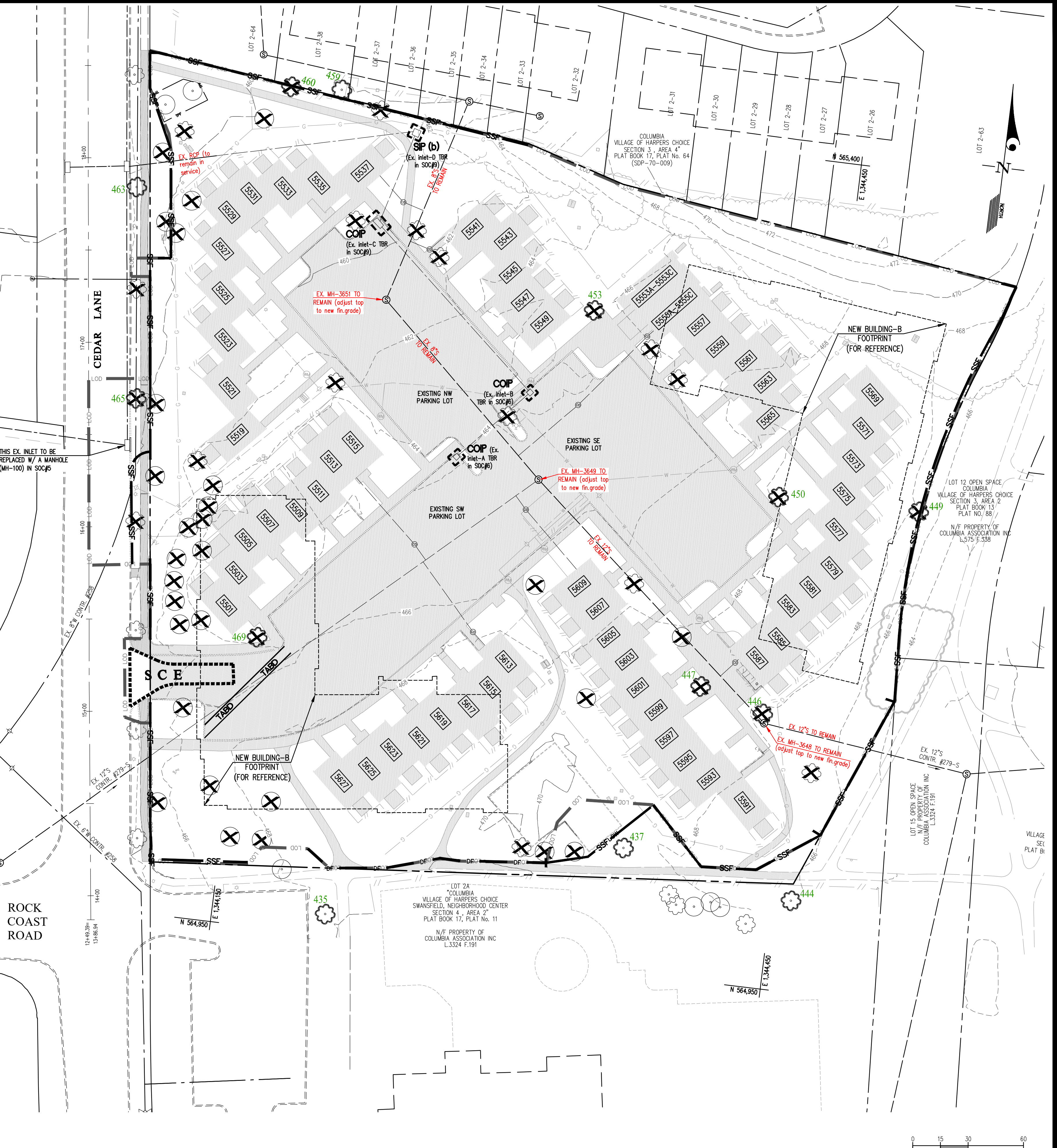
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE DESIGN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signed by:
[Signature] 08/13/24
DESIGNER'S SIGNATURE DATE
DANIEL SWENEY 2BF58D114D164AD... 54390
PRINTED NAME MD REGISTRATION No.

OWNER'S/DEVELOPER'S/BUILDER'S CERTIFICATION

I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

Signed by:
Stacie Birenbach 08/14/24
OWNER'S/DEVELOPER'S/BUILDER'S SIGNATURE DATE
STACIE BIRENBACH, VICE PRESIDENT, REAL ESTATE DEVELOPMENT
PRINTED NAME & TITLE



THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

APPROVED PLANNING BOARD OF HOWARD COUNTY
DATE: April 18, 2024

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
9/19/2024
Director: *Linda Blumberg*
Chief, Division of Land Development: *Will Edmondson*

DESIGNED BY:	mbt		
DRAWN BY:	mbt		
CHECKED BY:	ckg		
DATE	REVISION	BY	APPR.

PREPARED FOR:
Enterprise
Enterprise Community Homes Housing LLC (Owner)
Enterprise Community Development, Inc. (Developer)
875 Hollin Street, Suite 202, Baltimore, MD 21201
410-332-7400

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 54390
EXPIRATION DATE: MAY 15, 2025

08/13/24

SEDIMENT CONTROL PLAN - Phase 1

Waverly Winds Apartments
Lot 3A, Section 3, Area 4
Village of Harper's Choice
Plat No. 26412 and 26667

ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	NT	22017
DATE	TAX MAP - GRID	SHEET
AUG. 2024	29-23	6 OF 24

HOWARD COUNTY, MARYLAND

SEDIMENT CONTROL LEGEND

- 600 --- EXISTING CONTOUR
- 600 — PROPOSED CONTOUR
- ===== EXISTING CURB & GUTTER TO REMAIN
- L.O.D. — LIMIT OF DISTURBANCE (grading)
- LOW — LIMIT OF WORK (no grading, see Demolition Plan Sheet #4)
- SSF — PROPOSED SUPER SILT FENCE
- DF — PROPOSED DIVERSION FENCE
- [SCE] PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- [SIP(a/b)] STANDARD INLET PROTECTION
letter in parenthesis indicates either Type A or B
- [COIP] COMBINATION INLET PROTECTION
- [GIP] GABION INLET PROTECTION
- [XXXXXX] PERMANENT SOIL STABILIZATION MATING
- [TABD] TEMPORARY ASPHALT BERM DIVERSION
- GfB — SOIL DELINEATION LINE
SOIL TYPE (SEE INFO BELOW)

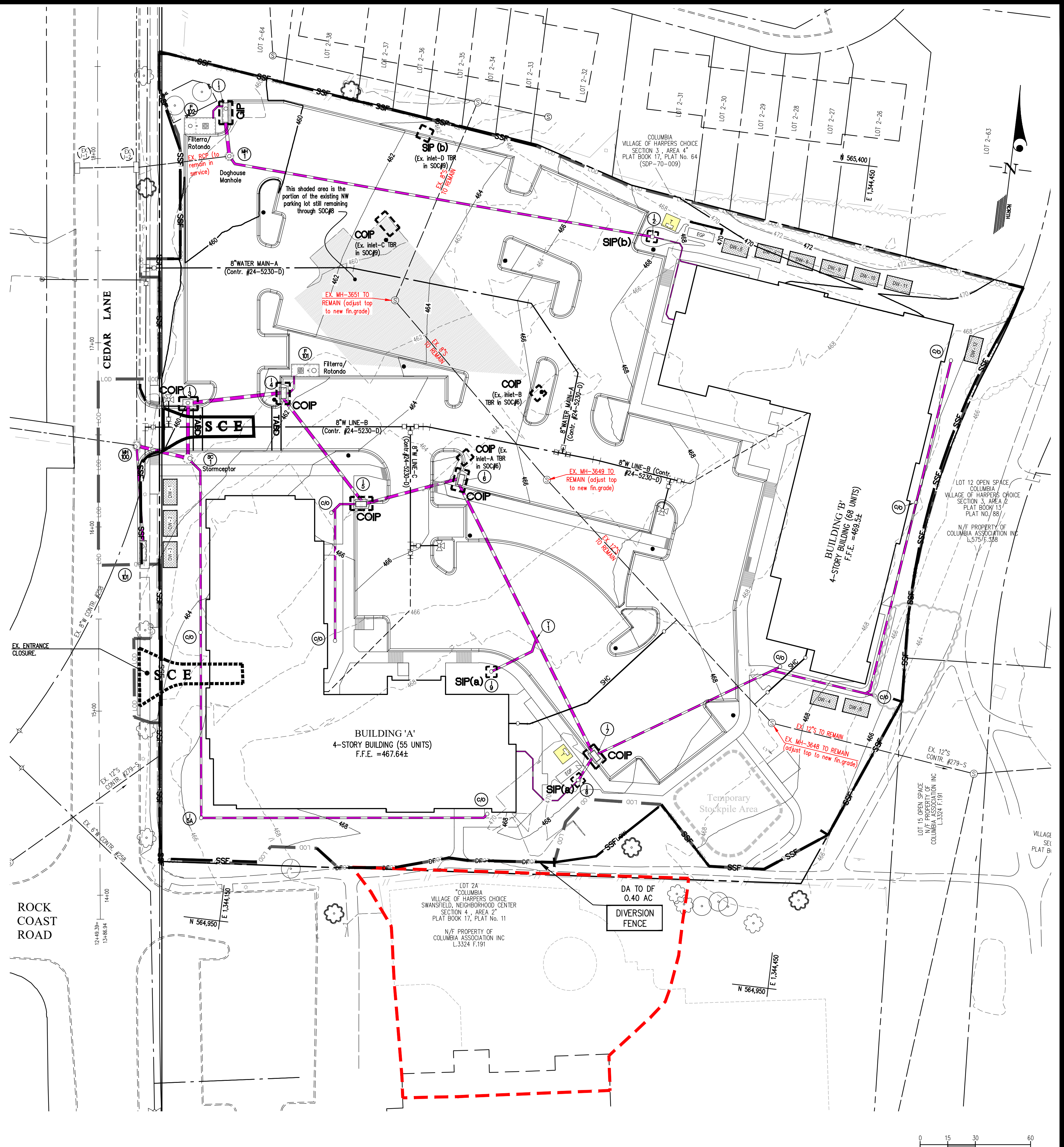
SEQUENCE OF CONSTRUCTION (continuation)

PHASE-2: CONSTRUCTION OF NEW IMPROVEMENTS

5. BEGIN UTILITY AND BUILDING CONSTRUCTION. RELOCATE THE SCE FROM THE EXISTING TO THE NEW ENTRANCE PRIOR TO BUILDING-A EXCAVATION. Duration: 12-18 months building construction.
 - PROVIDE INLET PROTECTION IMMEDIATELY FOLLOWING THE INSTALLATION OF AN ON-SITE INLET.
 - INSTALL THE STORM DRAIN RUN FROM MH-100 TO INLET 1-100, SC-1, F-101, F-102, DRYWELLS 1-12, INLET 1-3 AND PART OF WATER MAIN-B PRIOR TO RELOCATING THE SCE. TEMPORARY BLOCK THE HOLE FOR THE 12" PIPE IN THE STORMCEPTOR (SC-1). TEMPORARY BLOCK THE THROAT TO F-101 AND F-102 UNTIL THE DRAINAGE AREAS TO THESE TWO SMM DEVICES ARE STABILIZED.
 - EXTEND THE STORM DRAIN RUN UP TO INLET 1-6 PRIOR TO RAZING EX. INLETS A & B.
 - THE EARTH DISTURBANCE GENERATED BY REMOVAL OF THE EXISTING PLAYGROUND WILL BE STABILIZED THE SAME DAY.
6. DEMOLISH THE REMAINDER OF THE PAVEMENT AND UTILITIES IN THE EXISTING SW & SE PARKING AND GRADE THE AREA TO AN APPROPRIATE SUBGRADE AND EXTEND THE STORM DRAIN TO TO 1-8 AND 10-1. Duration: 7-10 days.
7. COMPLETE ALL REMAINING UTILITY CONSTRUCTION. THIS CAN BE CONCURRENT WITH SOC#6. Duration: 10-14 weeks.
8. INSTALL CURB AND BASE PAVE THE SOUTH PARKING LOT AND THE ENTRANCE DRIVE TO CEDAR LANE. PROVIDE THE TABDs AND INSTALL SIDEWALK. Duration: 5-7 days.
9. DEMOLISH THE REMAINDER OF THE PAVEMENT AND UTILITIES IN THE EXISTING NW PARKING LOT AND GRADE THE NEW NORTH PARKING LOT AREA TO AN APPROPRIATE SUBGRADE. THIS CAN BE CONCURRENT WITH SOC #8.
10. INSTALL THE REMAINDER OF CURB, BASE PAVING AND SIDEWALK IN THE NORTH PARKING LOT. Duration: 3-5 days.
11. INSTALL LANDSCAPING, PERMANENT SEEDING OR SOODING. Duration: 3-5 days.
12. OBTAIN PERMISSION FROM THE INSPECTOR TO REMOVE ANY REMAINING SEDIMENT CONTROL DEVICES. Duration: 1 day.
13. INSTALL SURFACE COURSE PAVING AND PAVEMENT MARKING (Parking space stripping, ADA stenciled symbols, etc). Duration: 2-3 days.
14. FLUSH THE STORM DRAIN SYSTEM AND REMOVED ALL SEDIMENT AND DEBRIS INSIDE THE STORMCEPTOR. UNBLOCK F-101 AND F-102. Duration: 1-2 days.

NOTES:

1. SOC #5 CAN BE CONCURRENT WITH SOC#4.
2. TRENCHES FOR THE CONSTRUCTION OF UTILITIES ARE LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN AND SHALL BE BACKFILLED BY THE END OF EACH WORKDAY, WHICHEVER IS SHORTER.
3. SEE SHEET-14 FOR MOT WHEN DOING CONSTRUCTION WORK IN CEDAR LANE.
4. FILTERRA/ROTONDO OPENINGS SHALL REMAIN BLOCKED OR OTHERWISE PROTECTED FROM CONTAMINATION DURING CONSTRUCTION.



APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: April 18, 2024

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
9/19/2024
Director: Lynda Blumberg
Chief, Division of Land Development: Chad Edmondson

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DocuSigned by:
Alexander Bratich 9/17/2024
HOWARD S.C.D. DATE

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE SOLUTION TO THE PROBLEMS OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signed by:
Daniel Sweny 08/13/24
DESIGNER'S SIGNATURE: 2BF58D114D164AD... DATE: 08/13/24
PRINTED NAME: DANIEL SWENY
MD REGISTRATION NO.: 54390

OWNER'S/DEVELOPER'S/BUILDER'S CERTIFICATION
I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

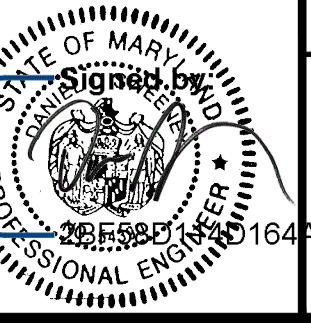
Signed by:
Stacie Birenbach 08/14/24
OWNER'S/DEVELOPER'S/BUILDER'S SIGNATURE: 919FB0F2BB449... DATE: 08/14/24
PRINTED NAME & TITLE: STACIE BIRENBACH, VICE PRESIDENT, REAL ESTATE DEVELOPMENT

GLW
PLANNING | ENGINEERING | SURVEYING
3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20896 | GLWPA.COM
PHONE: 301-421-4024 | BALT: 410-890-1820 | DC&VA: 301-985-2524 | FAX: 301-421-4186

DESIGNED BY:	DATE	REVISION	BY	APPR.
mbt				
DRAWN BY:				
mbt				
CHECKED BY:				
ckg				

PREPARED FOR:
Enterprise
Enterprise Community Homes Housing LLC (Owner)
Enterprise Community Development, Inc. (Developer)
875 Hollin Street, Suite 202, Baltimore, MD 21201
410-332-7400

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 54390
EXPIRATION DATE: MAY 15, 2025
08/13/24



SEDIMENT CONTROL PLAN - Phase 2
Waverly Winds Apartments
Lot 3A, Section 3, Area 4
Village of Harper's Choice
Plat No. 26412 and 26667

THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE NO.
1" = 30'	NT	22017
DATE	TAX MAP - GRID	SHEET
AUG. 2024	29-23	7 OF 24

HOWARD COUNTY, MARYLAND

STORMWATER MANAGEMENT REQUIREMENT

STUDY AREA (LIMIT OF DISTURBANCE): 3.68 Ac.
 EXISTING IMPERVIOUS AREA: 1.88 Ac.
 PROPOSED IMPERVIOUS AREA: 2.37 Ac.
 NET NEW IMPERVIOUS AREA: +0.49 Ac.

ESDv REQUIRED:
 1" OVER 50% OF THE EXISTING IMPERVIOUS AREA
 EXISTING IMPERVIOUS AREA = 82,003 s.f. = 1.88 Ac.
 50% OF EXISTING IMPERVIOUS AREA = 41,002 s.f. = 0.94 Ac.
 $R_v = 0.05 + (0.009)(100) = 0.95$
 $ESD_v = (A)(R_v)(P_a)/12$
 $ESD_v \text{ REQUIRED} = [(41,002 \times 0.95 \times 1.07)/12] = 3,246 \text{ c.f.}$

2.6" OVER THE NET NEW IMPERVIOUS AREA
 NET NEW IMPERVIOUS AREA = 21,416 s.f. = 0.49 Ac.
 $R_v = 0.05 + (0.009)(100) = 0.95$
 $ESD_v = (A)(R_v)(P_a)/12$
 $ESD_v \text{ REQUIRED} = [(21,416 \times 0.95 \times 2.6)/12] = 4,408 \text{ c.f.}$

TOTAL ESDv REQUIRED = 3,246 c.f. + 4,408 c.f. = 7,654 c.f.

MINIMUM TREATMENT AREA REQUIRED:
 MIN. AREA = 50% EX. IMP. AREA + NET NEW IMP. AREA
 MIN. AREA = 0.5 x 1.88 Ac. + 0.49
 MIN. TREATMENT AREA = 1.43 Ac.

AREA TREATED:

F-101:	11,830 s.f.	0.27 Ac.
F-102:	15,671 s.f.	0.36 Ac.
SC-1:	40,998 s.f.	0.94 Ac. **
DW-1 thru DW-12:	12,000 s.f.	0.28 Ac.
TOTAL AREA TREATED:	80,499 s.f.	1.84 Ac.

STORMWATER MANAGEMENT RECHARGE

TOTAL REV. REQUIRED:
 NET NEW IMP. AREA = 21,416 s.f.
 $REV = (S)(R_v)(A)$
 $REV = (0.26 \times 0.95 \times 21,416)/12$
REV. REQUIRED = 0.05 Ac. FL = 441 c.f.

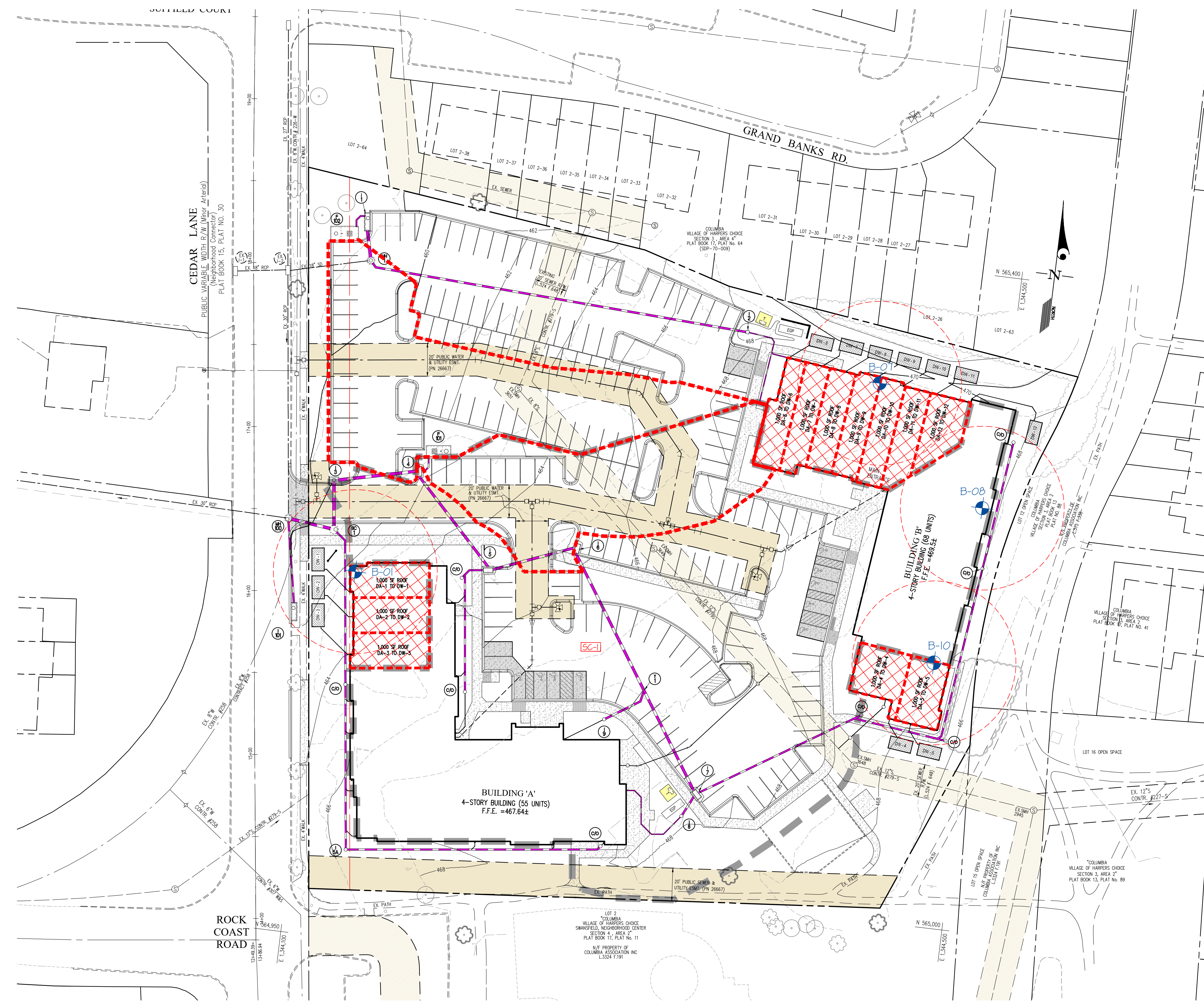
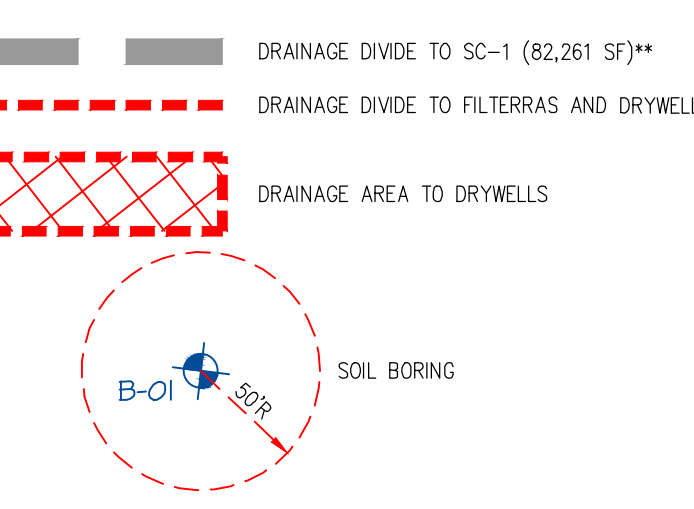
SWM DRAINAGE AREA SUMMARY TABLE

AREA NO.	AREA (SF)	IMP. AREA (SF)	ESDv (CF) PROVIDED	P _e PROVIDED	REV PROVIDED
DA SC-1	40,998 **	40,998 **	3,241 **	1.0"	0
DA F-101	11,830	10,182	813	1.0"	0
DA F-102	15,671	14,417	1,147	1.0"	0
DA DW-1 BLDG A	1,000	1,000	206	2.6"	206
DA DW-2 BLDG A	1,000	1,000	206	2.6"	206
DA DW-3 BLDG A	1,000	1,000	206	2.6"	206
DA DW-4 BLDG B	1,000	1,000	206	2.6"	206
DA DW-5 BLDG B	1,000	1,000	206	2.6"	206
DA DW-6 BLDG B	1,000	1,000	206	2.6"	206
DA DW-7 BLDG B	1,000	1,000	206	2.6"	206
DA DW-8 BLDG B	1,000	1,000	206	2.6"	206
DA DW-9 BLDG B	1,000	1,000	206	2.6"	206
DA DW-10 BLDG B	1,000	1,000	206	2.6"	206
DA DW-11 BLDG B	1,000	1,000	206	2.6"	206
DA DW-12 BLDG B	1,000	1,000	206	2.6"	206
TOTAL (Provided)	80,499	77,597	7,677		2,472

TOTAL ESDv REQUIRED = 7,654 c.f. TOTAL ESDv PROVIDED = 7,677 c.f.
 TOTAL REV. REQUIRED = 441 c.f. TOTAL REV. PROVIDED = 2,472 c.f.

* EACH DRYWELL WILL HAVE A MAXIMUM DRAINAGE AREA OF 1,000 SF. ROOF RUNOFF TO THE DRYWELLS WILL BE PROVIDED BY ROOFDRAINS (RD).

** THE MAXIMUM ESD CREDIT FOR A STORMCEPTOR IS EQUIVALENT TO 2" OVER THE EXISTING IMPERVIOUS AREA. ACTUAL DRAINAGE AREA AND TREATMENT IS LARGER. SEE COMPS FOR ADDITIONAL INFORMATION.



APPROVED PLANNING BOARD OF HOWARD COUNTY
 DATE: April 18, 2024

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Linda Eisenberg* Date: 9/19/2024
 Chief, Division of Land Development: *Chad Edmondson* Date: 9/17/2024

DESIGNED BY:	DATE	REVISION	BY	APPR.
LDD				
LDD				
DS/MT				

PREPARED FOR:
Enterprise
 Enterprise Community Homes Housing LLC (Owner)
 Enterprise Community Development, Inc. (Developer)
 875 Hollin Street, Suite 202, Baltimore, MD 21201
 410-332-7400

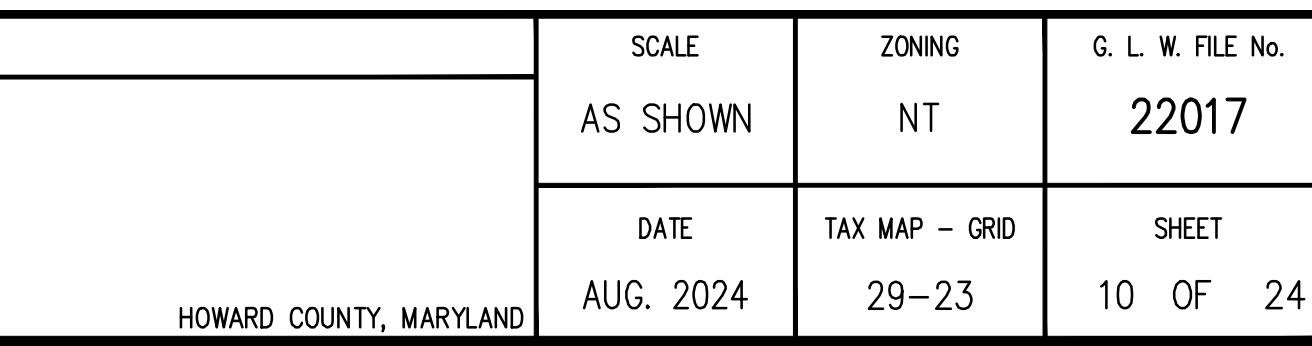
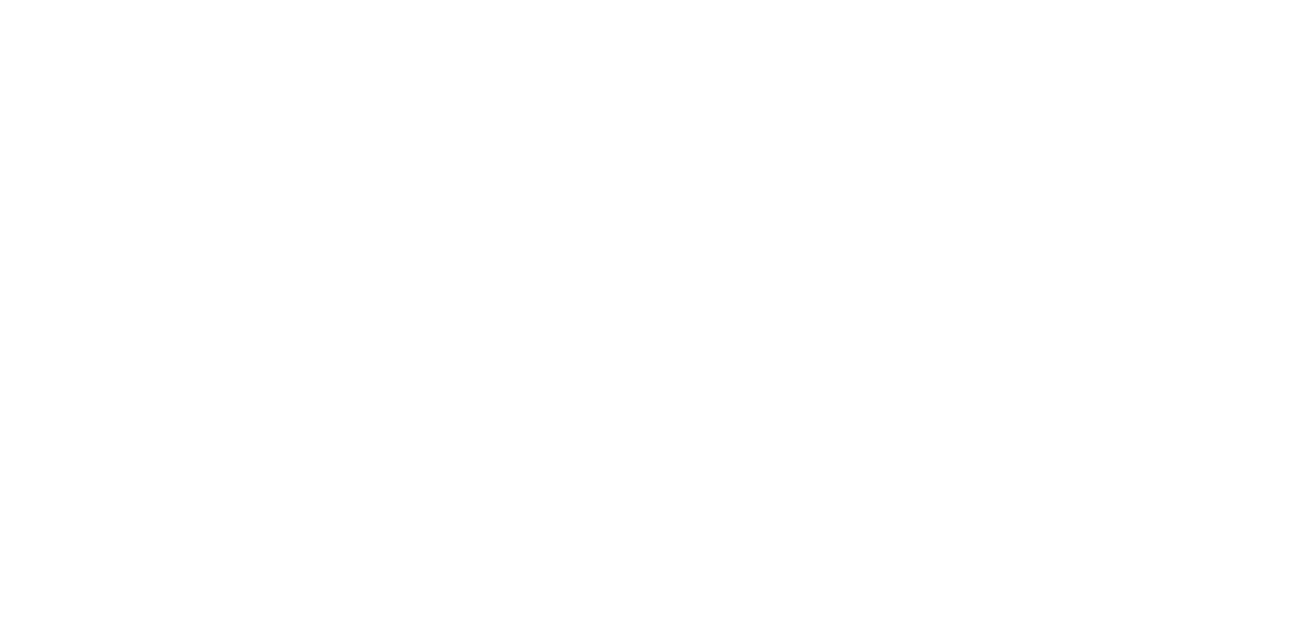
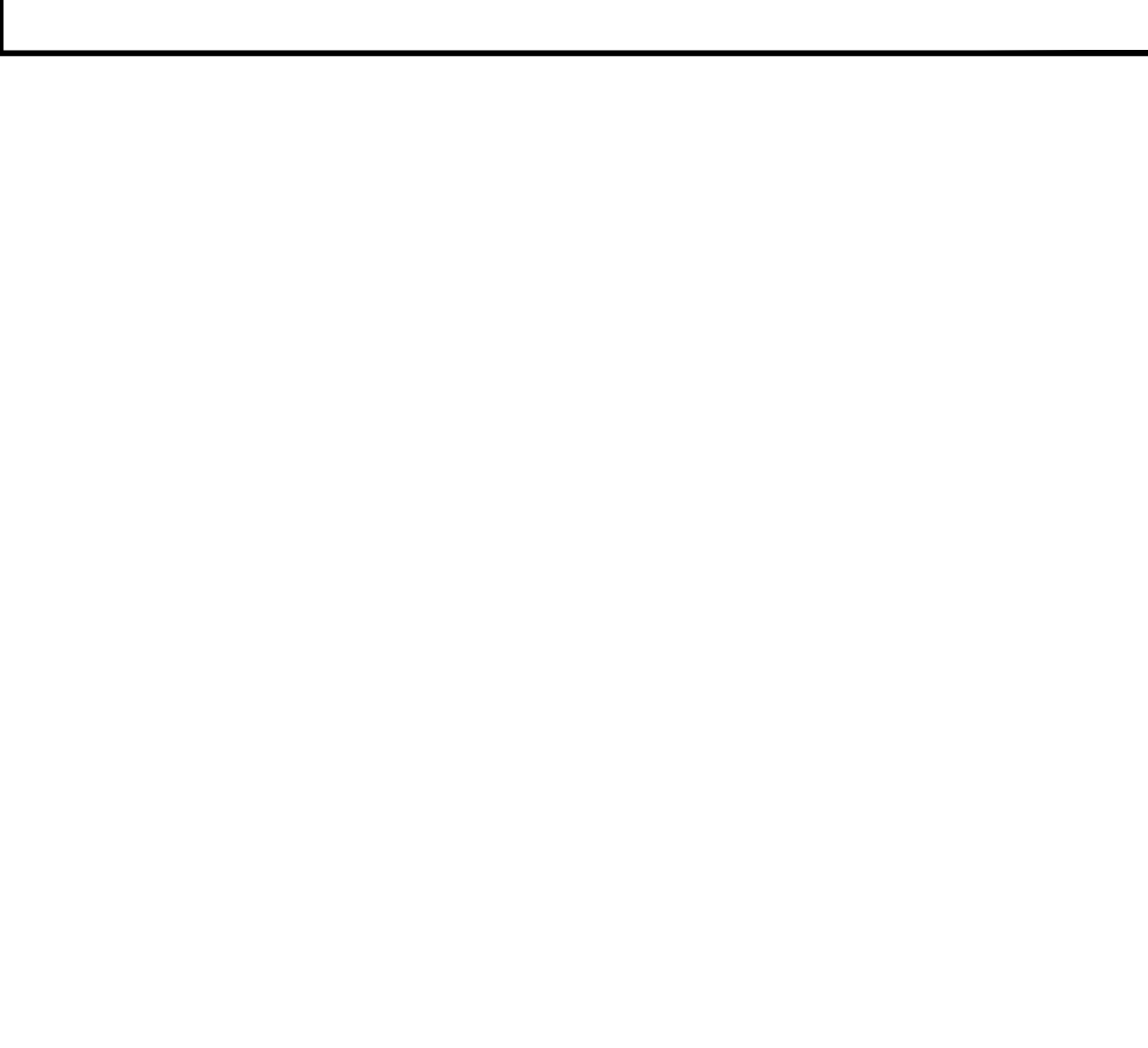
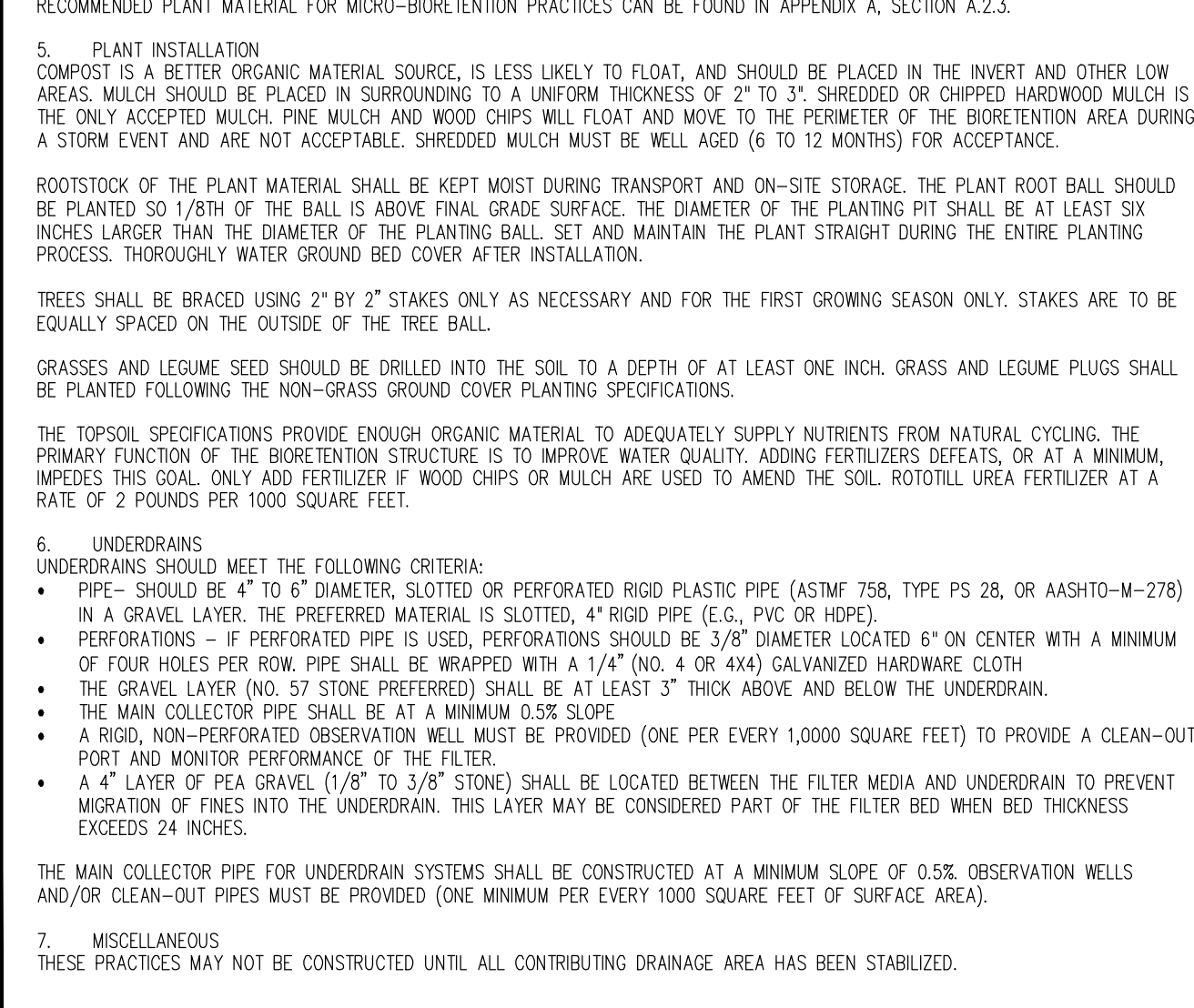
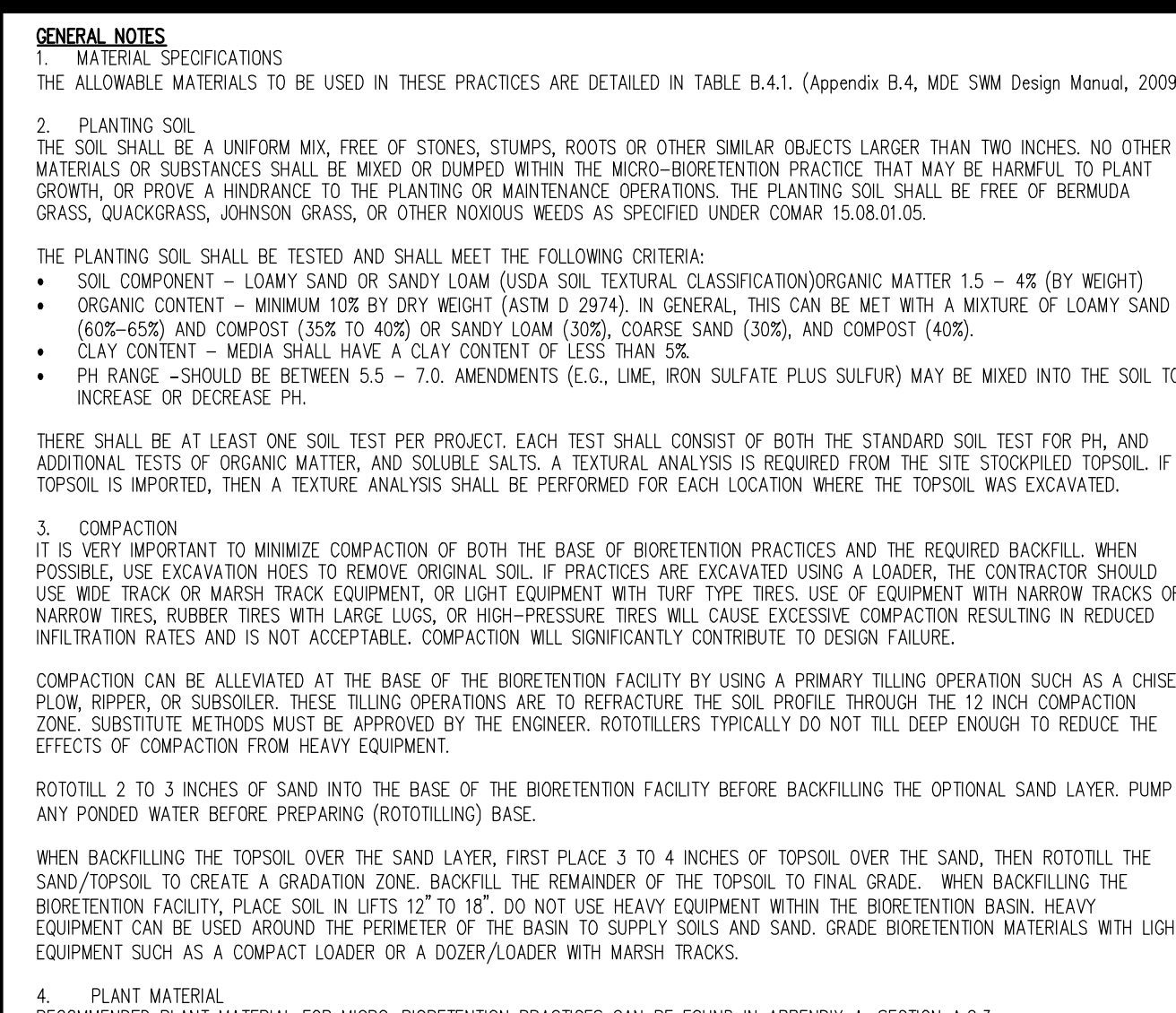
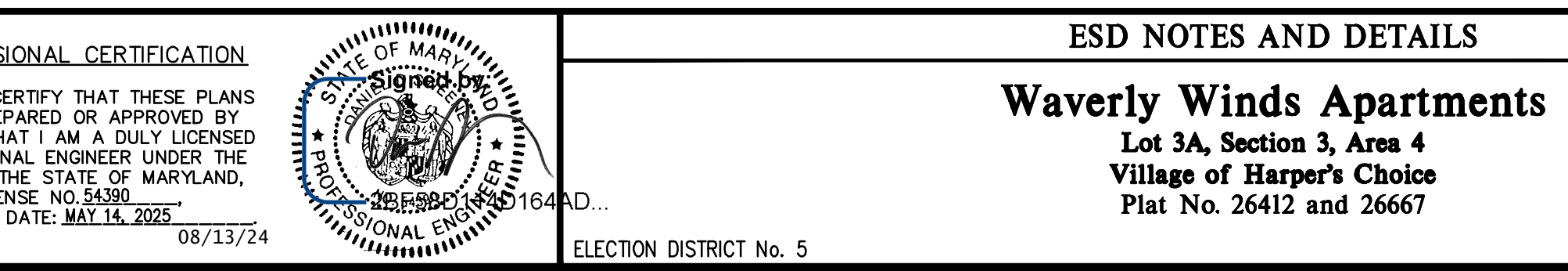
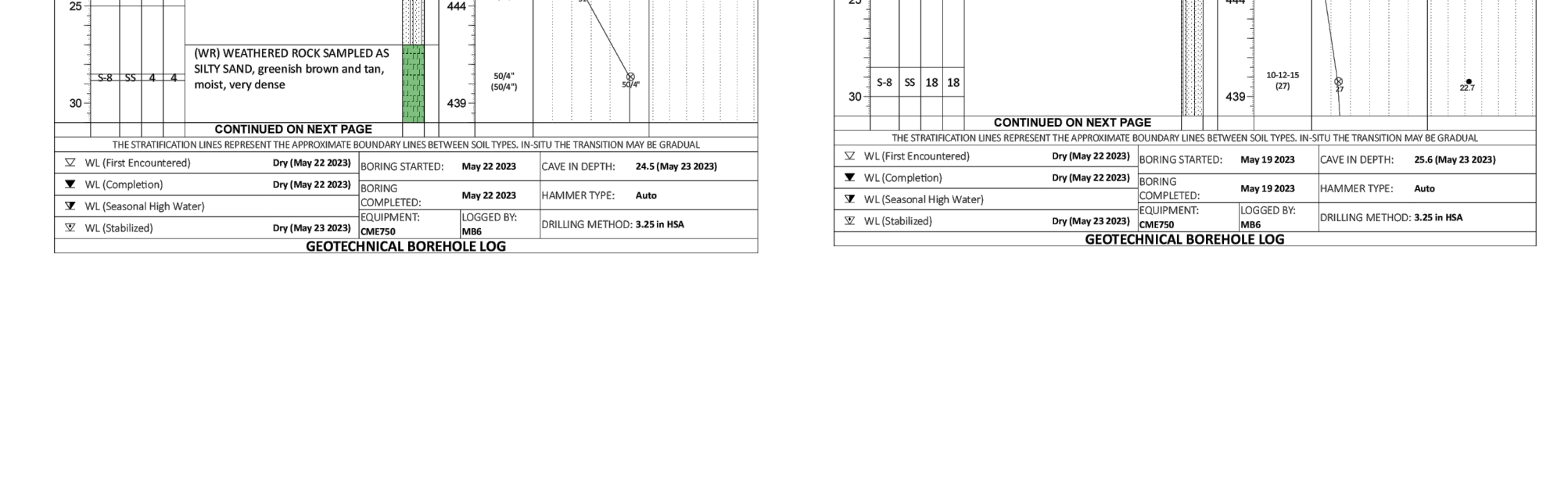
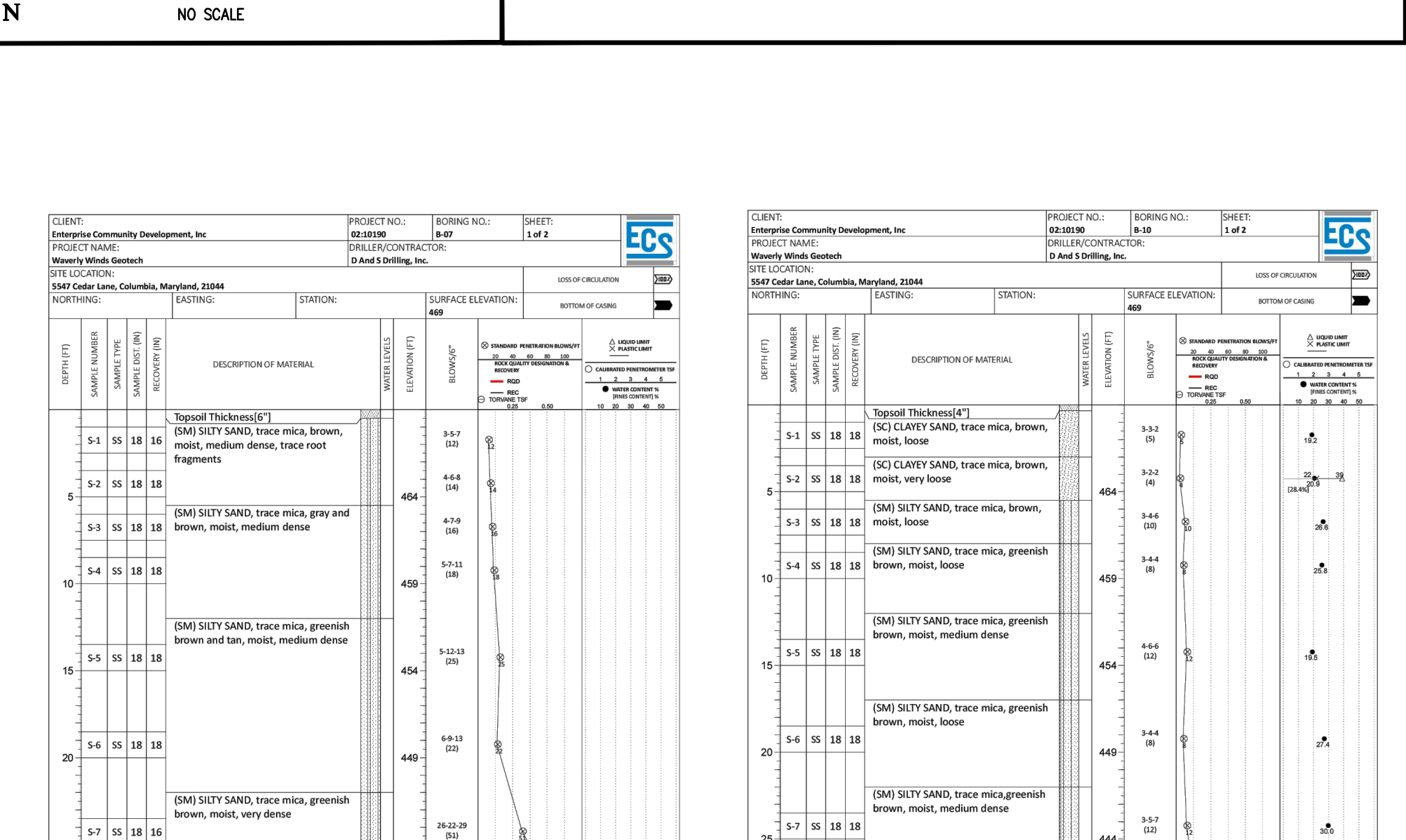
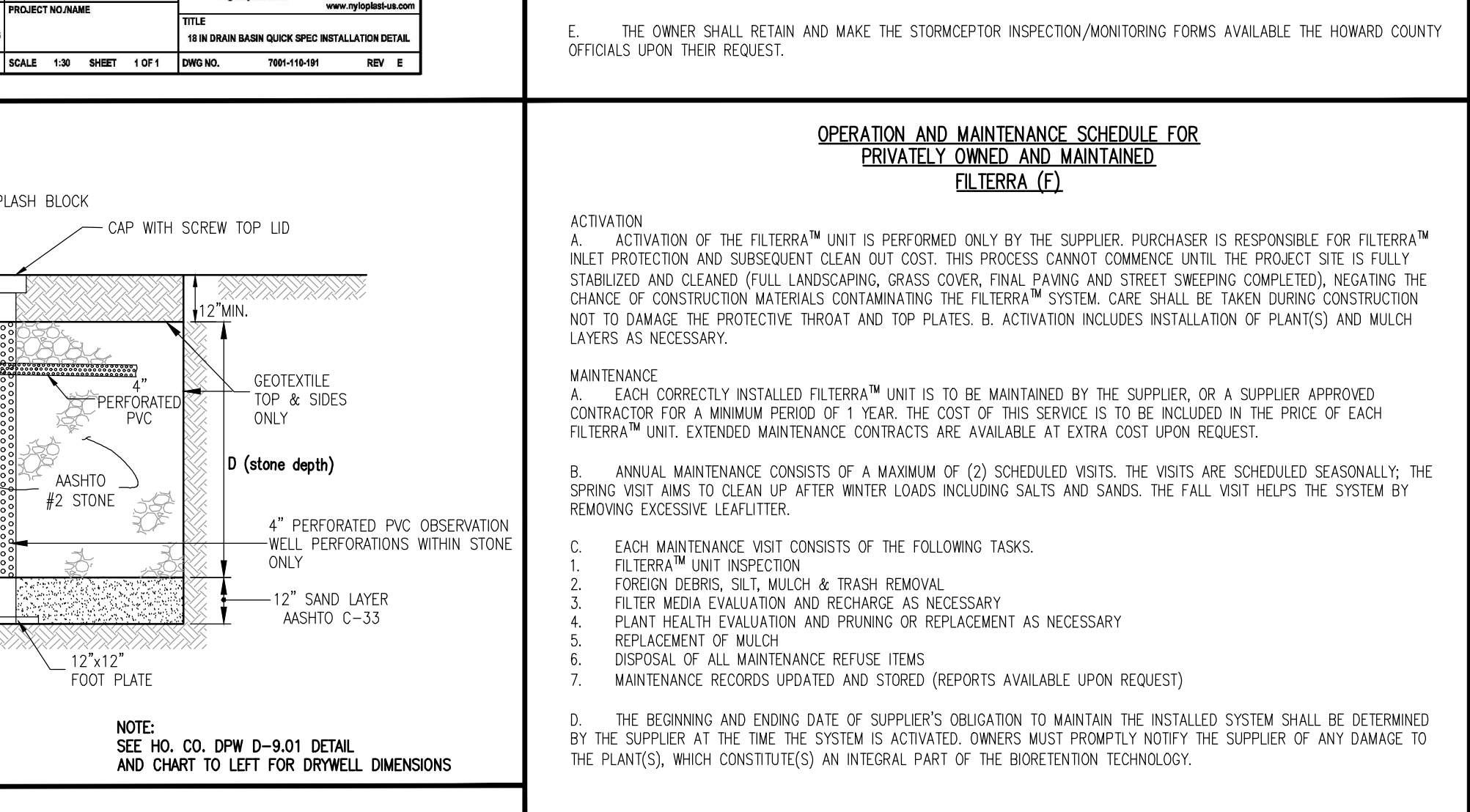
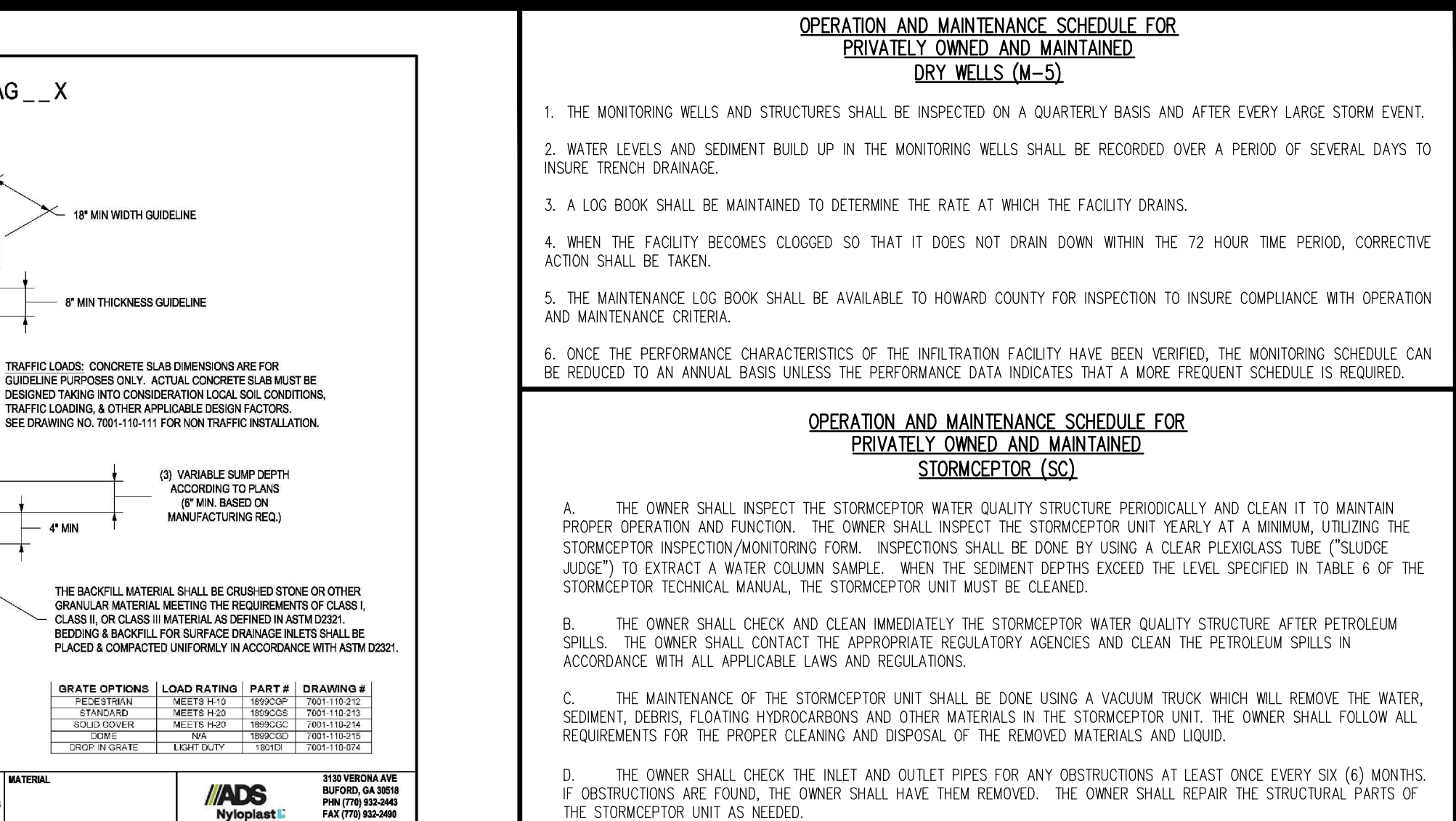
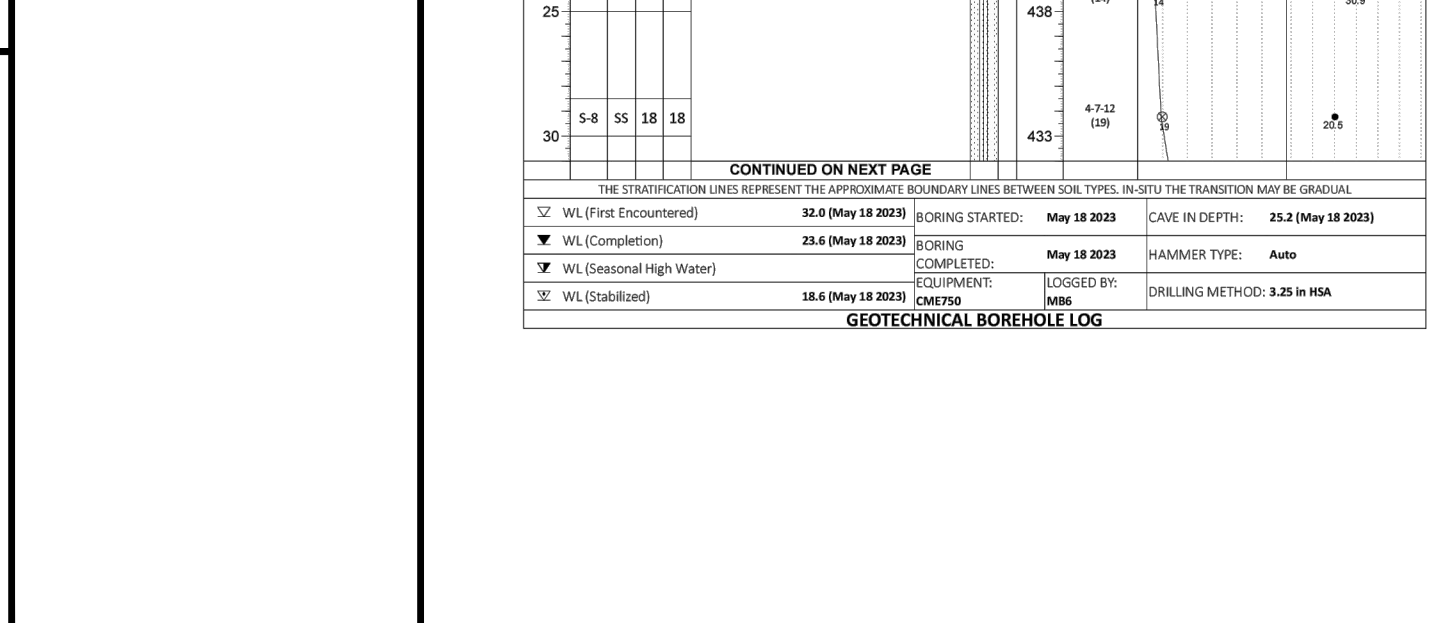
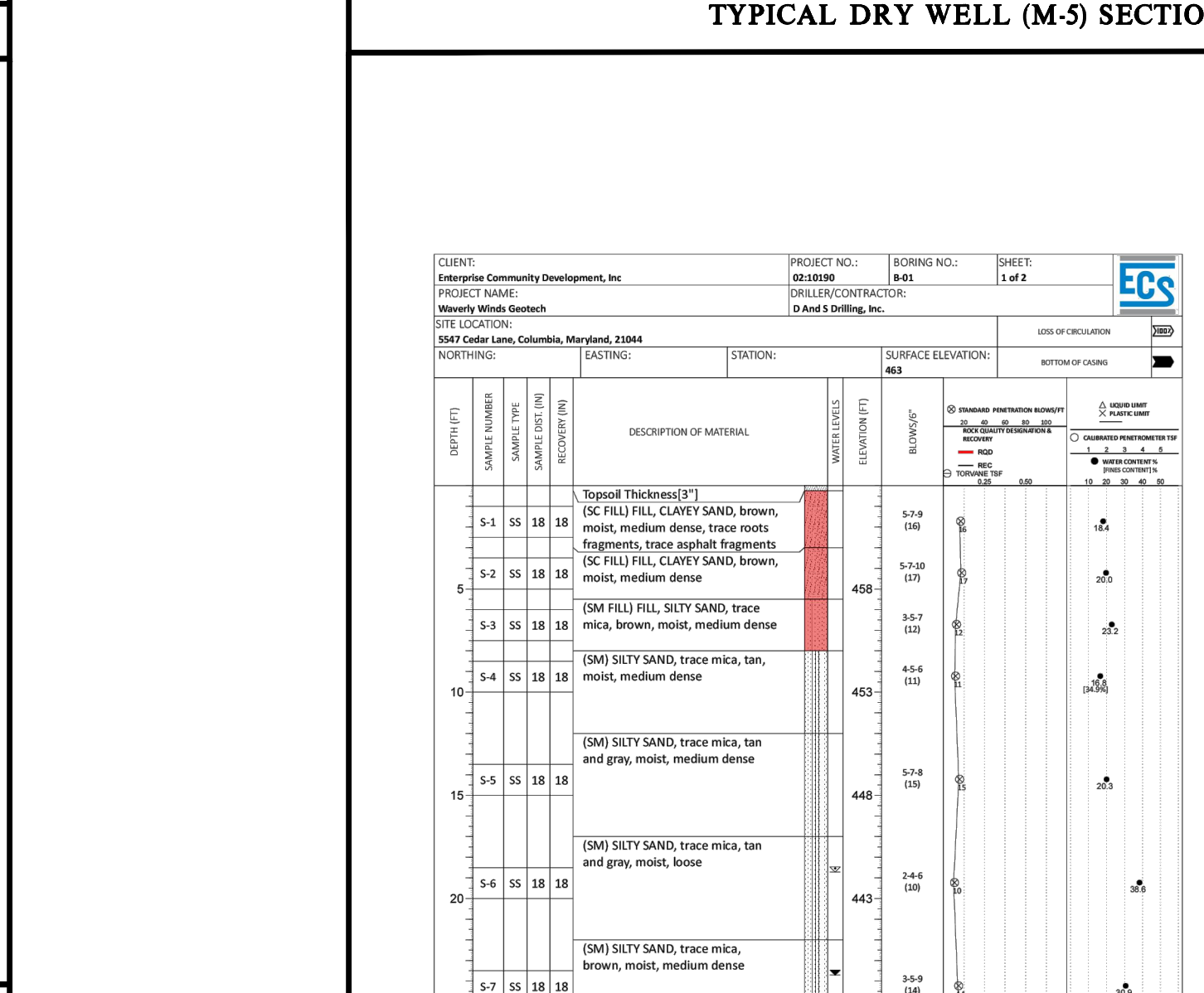
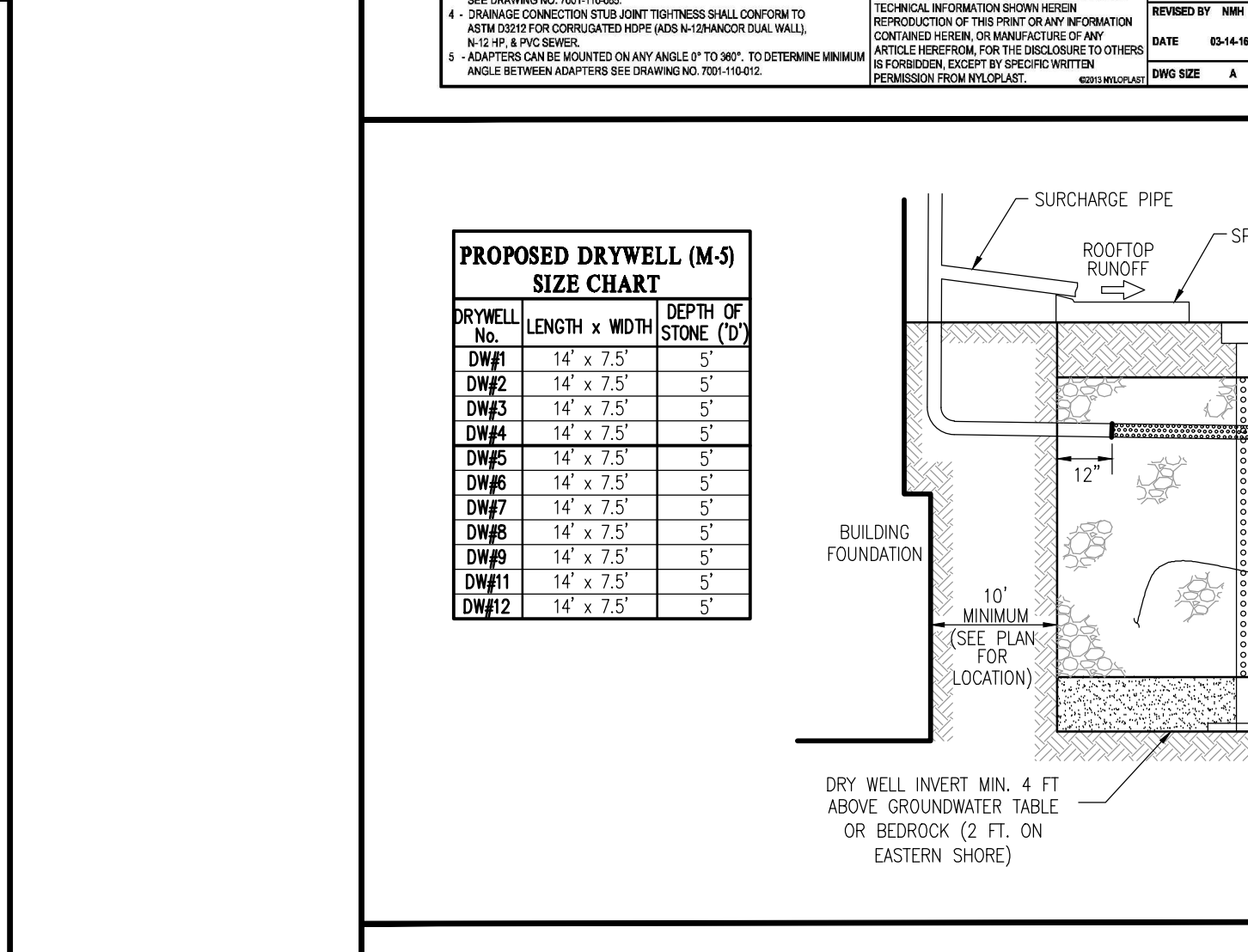
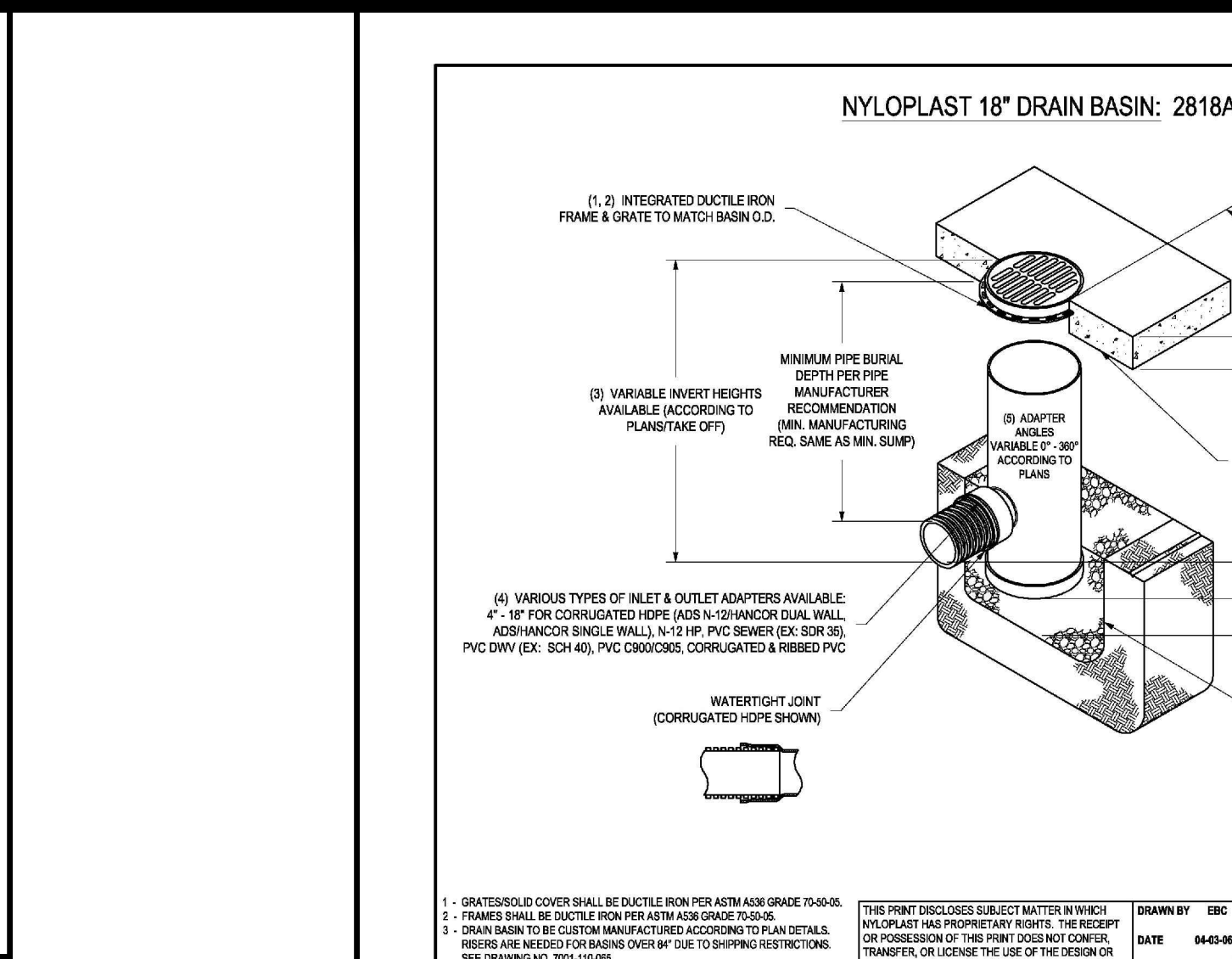
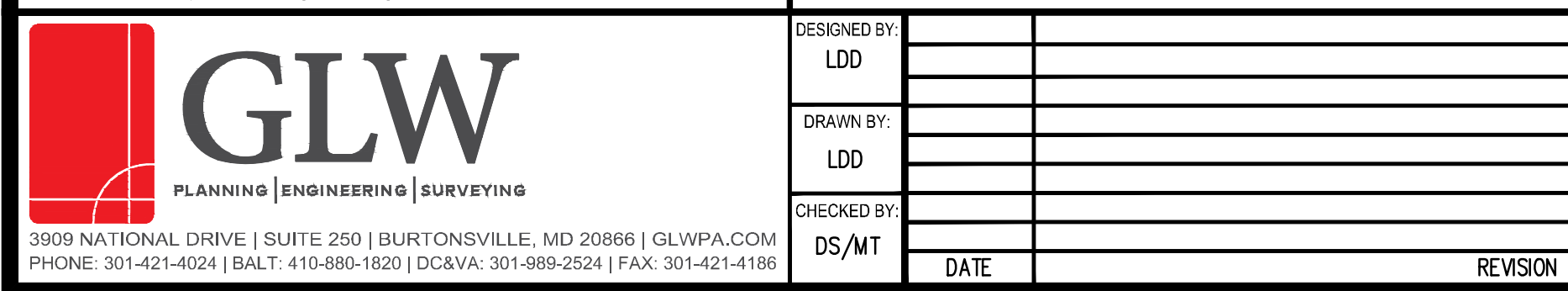
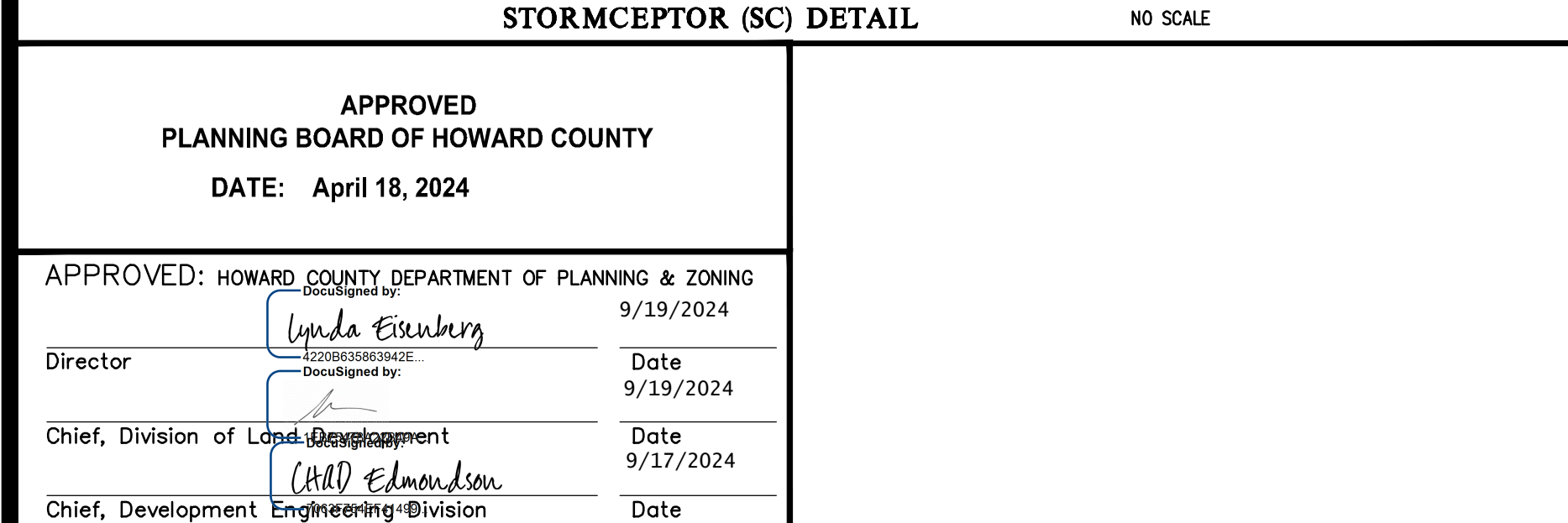
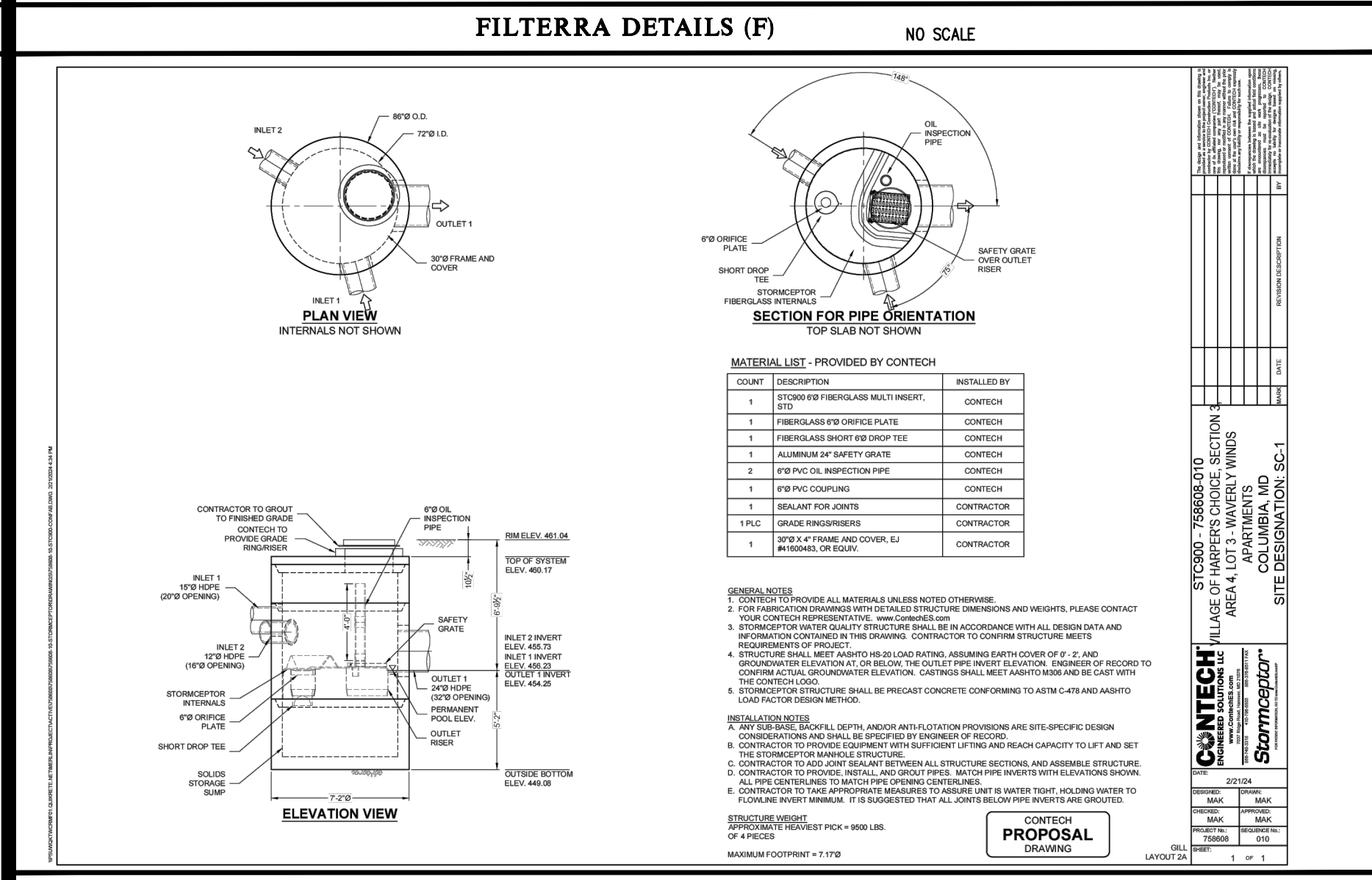
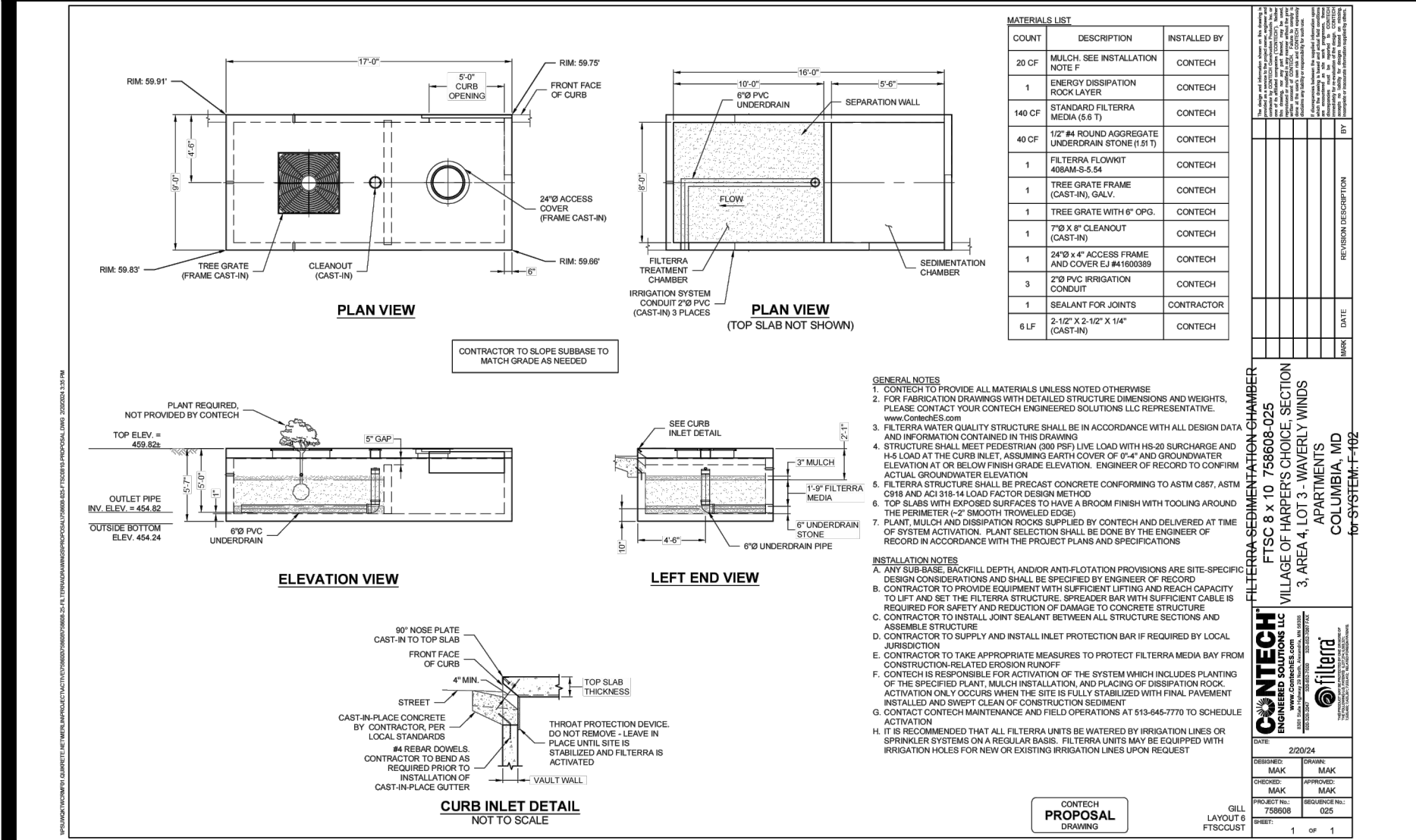
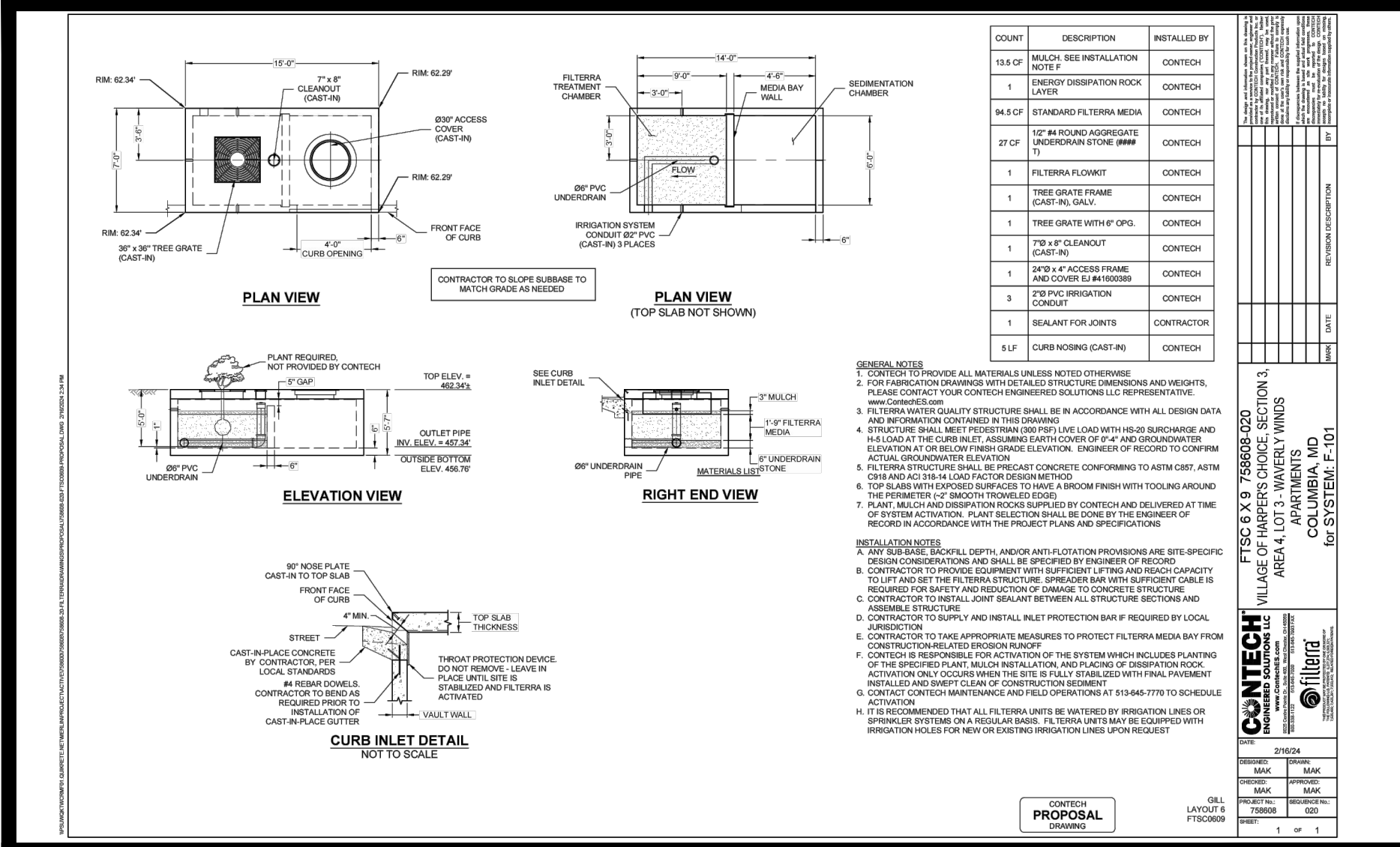
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 54290
 EXPIRATION DATE: MAY 15, 2025

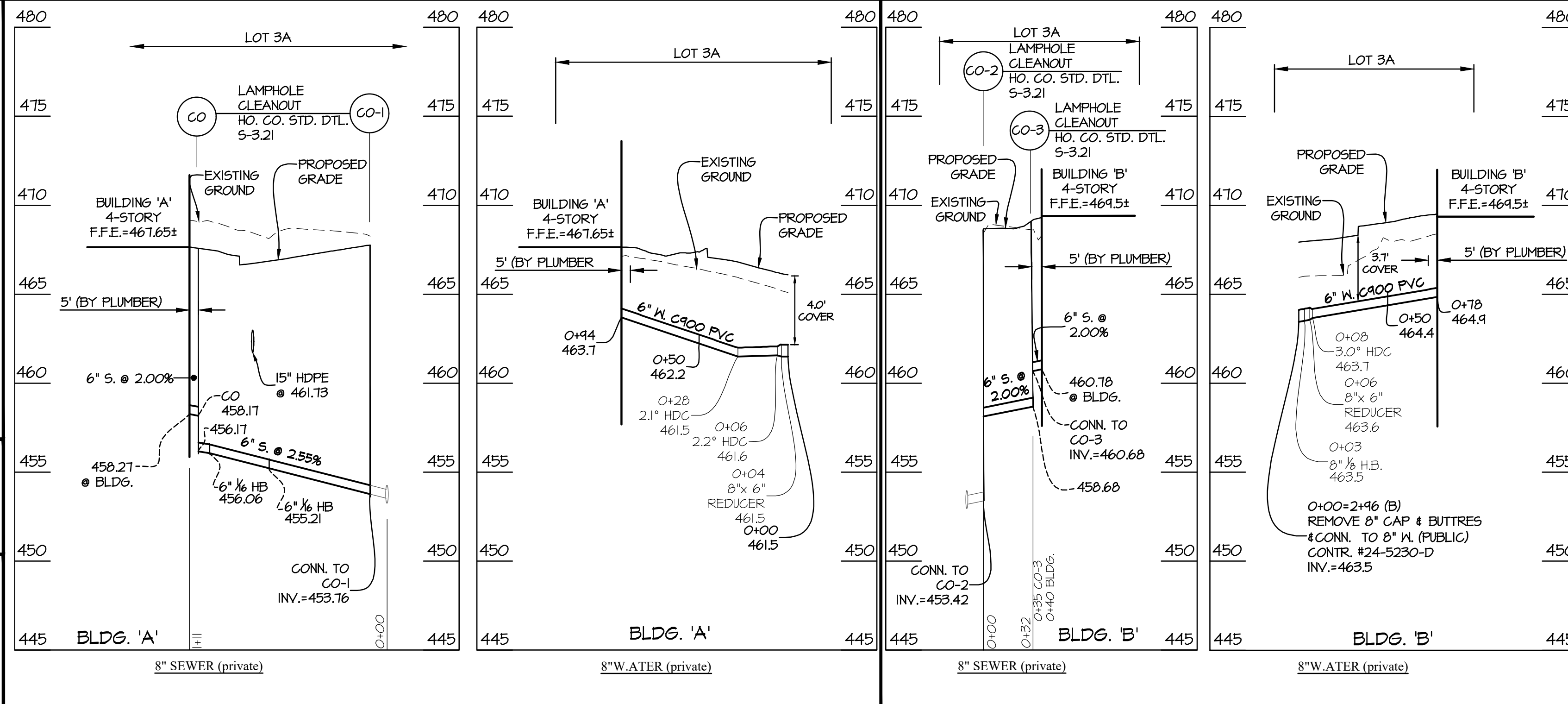
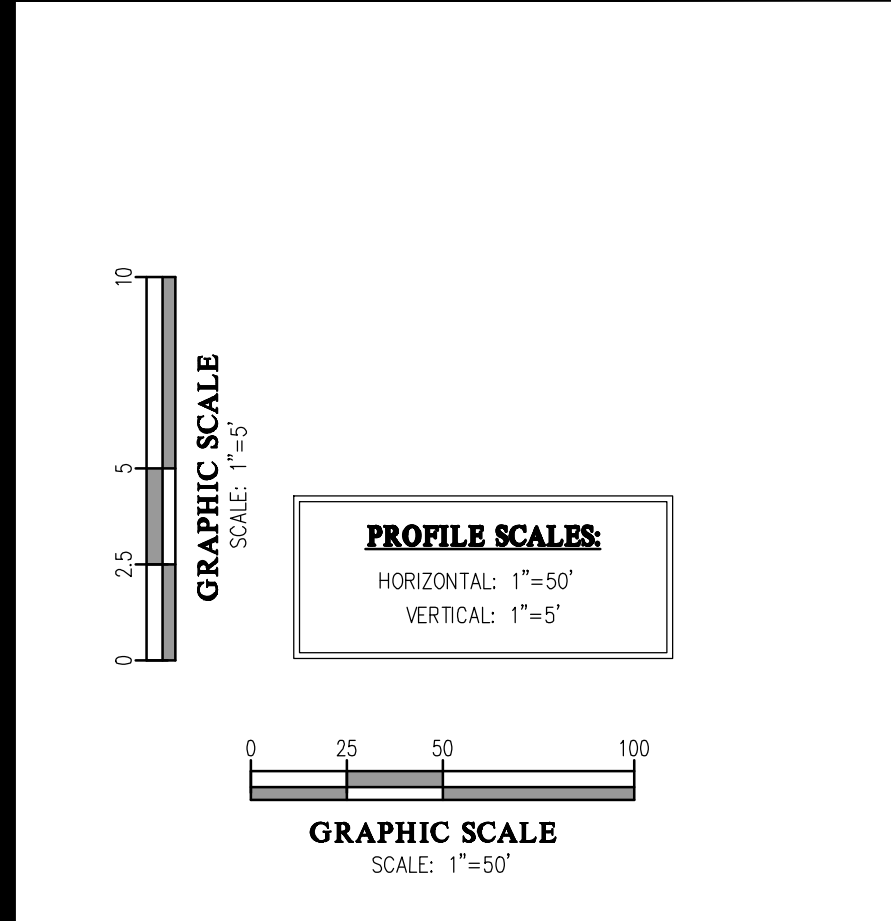
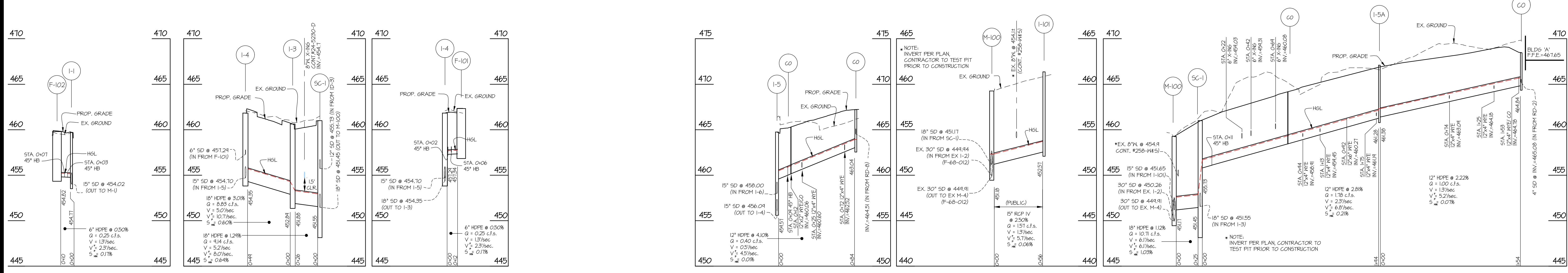
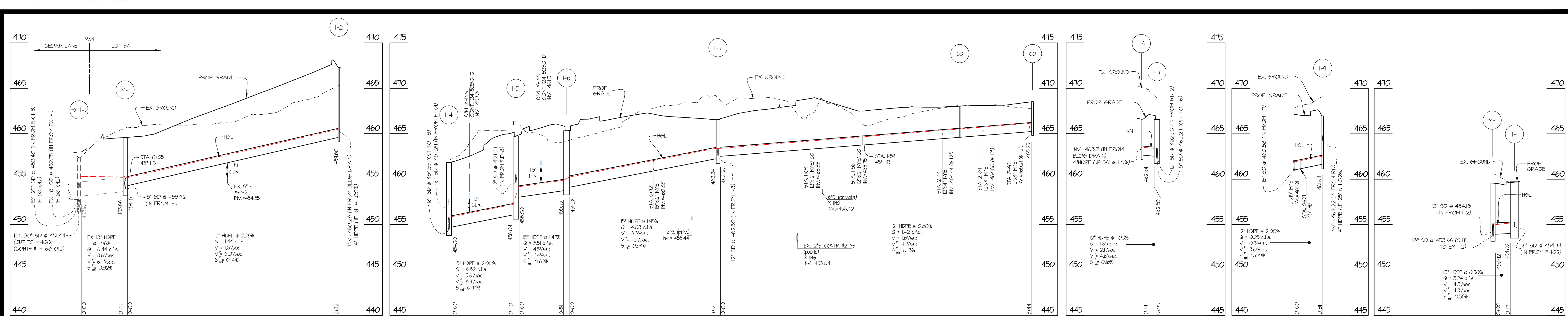
DRAINAGE AREA DELINEATION AND STORMWATER MANAGEMENT

Waverly Winds Apartments
 Lot 3A, Section 3, Area 4
 Village of Harper's Choice
 Plat No. 26412 and 26667

SCALE: 1" = 30'
 ZONING: NT
 DATE: AUG. 2024
 TAX MAP - GRID: 29-23
 SHEET: 9 OF 24

ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND





ITEM	QUANTITY	TYPE
12" X 4" WYE	8	ADS N-12
12" X 12" WYE	1	ADS N-12
12" 45° HB	5	ADS N-12

ITEM	QUANTITY	TYPE
6" WHC	172 LF.	C-900 PVC
6" SHC	143 LF.	PVC

SIZE	TYPE	QUANTITY (L.F.)	REMARKS
15"	RCP	56	CLASS IV
12"	HDPE	22	N-12 DUAL WALL
12"	HDPE	1,053	N-12 DUAL WALL
15"	HDPE	300	N-12 DUAL WALL
18"	HDPE	100	N-12 DUAL WALL

NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT		STD. DETAIL	LOCATIONS	REMARKS
			UPPER	LOWER	UPPER	LOWER			
F-101	FILTERRA	---	462.34	462.29	---	457.34	SEE SHEET 10	N 56253.7 E 1344159.7	
F-102	FILTERRA	---	459.91	459.75	---	454.82	SEE SHEET 10	N 565377.3 E 1344087.6	
I-1	A-10 INLET	2'-6"	459.76	459.52	454.77	454.02	HO. CO. D-4-03	N 565386.0 E 1344099.7	
I-2	18" NYLOPLAST BASIN	1'-6"	467.29	---	460.28	459.60	NYLOPLAST 18" DRAIN W/ GRATE OR EQUIV.	N 565347.4 E 1344337.9	
I-3	A-5 INLET	2'-6"	460.73	460.51	452.89	451.88	HO. CO. D-4-02	N 565227.1 E 1344098.7	
I-4	DOUBLE "WR" INLET	2'-6"	462.31	---	457.29	454.35	HO. CO. D-4-31	N 565238.9 E 1344149.3	
I-5	DOUBLE "WR" INLET	2'-6"	463.33	465.04	459.57	456.09	HO. CO. D-4-31	N 565184.1 E 1344198.7	
I-5A	18" NYLOPLAST BASIN	1'-6"	466.49	---	461.38	461.28	NYLOPLAST 18" DRAIN W/ GRATE OR EQUIV.	N 565004.4 E 1344133.2	
I-6	DOUBLE "WR" INLET	2'-6"	465.86	465.80	459.09	458.75	HO. CO. D-4-31	N 565203.8 E 1344251.0	
I-7	DOUBLE "WR" INLET	2'-6"	467.04	466.98	462.50	462.24	HO. CO. D-4-31	N 565084.1 E 1344341.6	
I-8	18" NYLOPLAST BASIN	1'-6"	466.60	---	463.30	462.64	NYLOPLAST 18" DRAIN W/ GRATE OR EQUIV.	N 565049.6 E 1344333.9	
I-9	18" NYLOPLAST BASIN	1'-6"	466.96	---	464.22	461.64	NYLOPLAST 18" DRAIN W/ GRATE OR EQUIV.	N 565102.4 E 1344279.9	
I-101	A-10 INLET	2'-6"	461.77	461.42	---	452.57	HO. CO. D-4-03	N 565144.0 E 1344083.6	
M-1	STANDARD MANHOLE	4'-0"	459.56	---	454.18	453.66	HO. CO. G-5-12	N 565362.9 E 1344104.7	
M-100	STANDARD MANHOLE	4'-0"	459.40	---	451.18	449.91	HO. CO. G-5-12	N 565200.8 E 1344073.9	
SC-1	STORMCEPTOR	---	461.04	---	455.73	451.45	SEE SHEET 10	N 565197.3 E 1344102.3	

HDPE INDICATES HIGH DENSITY POLYETHYLENE PIPE, SUCH AS N-12 BY ADS, OR HI-Q BY HANCOR OR AN APPROVED EQUAL. TRENCH BEDDING TO BE PROVIDED PER HOWARD COUNTY DETAIL G 2.01, "TRENCH FOR P.V.C. PIPE AND H.O.P.E."

COORDINATE POINT GIVEN IS TO THE CENTERLINE OF THE STRUCTURE AT THE FACE OF CURB FOR INLETS AND TO THE CENTER OF STRUCTURE FOR MANHOLES AND END SECTIONS.

SEE SHEET 10 FOR NYLOPLAST DETAILS.

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: April 18, 2024

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
9/19/2024
Director: *Linda Eisinger*
Date: 9/19/2024
Chief, Division of Land Development: *Chad Edmondson*
Date: 9/17/2024

GLW
PLANNING | ENGINEERING | SURVEYING
3909 NATIONAL DRIVE | SUITE 250 | BURTNSVILLE, MD 20896 | GLWPA.COM
PHONE: 301-421-4024 | BALT: 410-890-1820 | DC&VA: 301-985-2524 | FAX: 301-421-4198

DESIGNED BY	DATE	REVISION	BY	APPR.
LDD				
DRAWN BY				
LDD				
CHECKED BY				
DS				

PREPARED FOR:
Enterprise
Enterprise Community Homes Housing LLC (Owner)
Enterprise Community Development, Inc. (Developer)
875 Hollin Street, Suite 202, Baltimore, MD 21201
410-332-7400

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 54390
EXPIRATION DATE: MAY 16, 2025
09/11/24

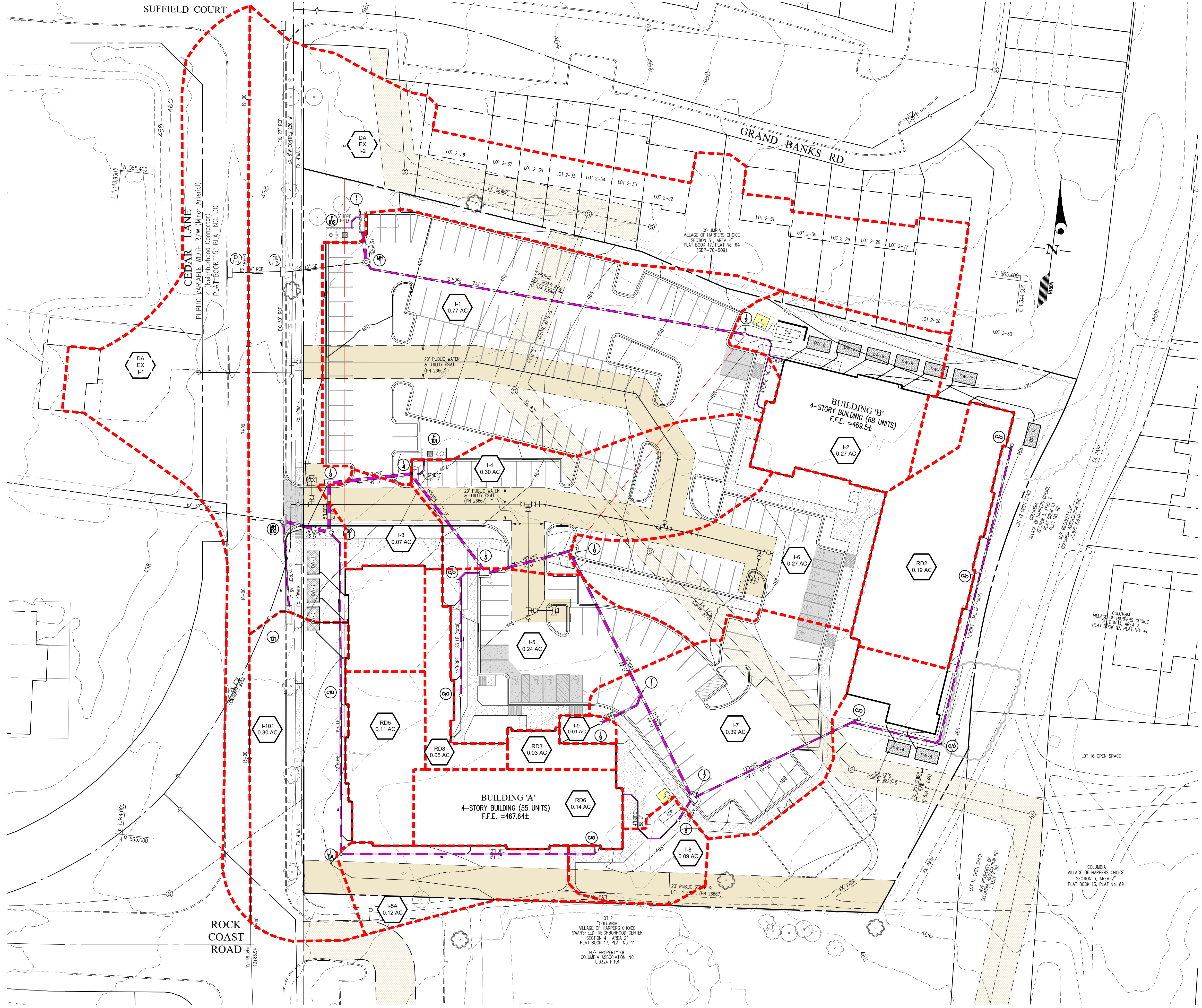
ELECTION DISTRICT No. 5

UTILITY PROFILES
Waverly Winds Apartments
Lot 3A, Section 3, Area 4
Village of Harper's Choice
Plat No. 26412 and 26667

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	NT	22017
DATE	TAX MAP - GRID	SHEET
AUG. 2024	29-23	11 OF 24

HOWARD COUNTY, MARYLAND

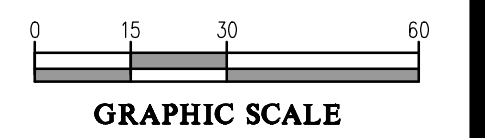
"C" FACTOR COMPUTATIONS			
STRUCTURE	AREA (AC)	"C"	IMPERVIOUS
EX I-1	0.46	0.43	39%
EX I-2	1.02	0.43	39%
I-1	0.77	0.79	90%
I-2	0.25	0.55	55%
I-3	0.07	0.61	64%
I-4	0.30	0.82	94%
I-5	0.24	0.52	51%
I-5A	0.12	0.16	0%
I-6	0.27	0.65	70%
I-7	0.35	0.72	80%
I-8	0.08	0.23	10%
I-9	0.01	0.16	0%
I-101	0.27	0.62	65%
RD-2	0.19	0.86	100%
RD-3	0.03	0.86	100%
RD-5	0.11	0.86	100%
RD-6	0.14	0.86	100%
RD-8	0.05	0.86	100%



LEGEND	
	DRAINAGE DIVIDE
	STRUCTURE NUMBER

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: April 18, 2024

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
9/19/2024
Director: *Linda Eisenberg*
Date: 9/19/2024
Chief, Division of Land Development: *Chad Edmondson*
Date: 9/17/2024
Chief, Development Engineering Division

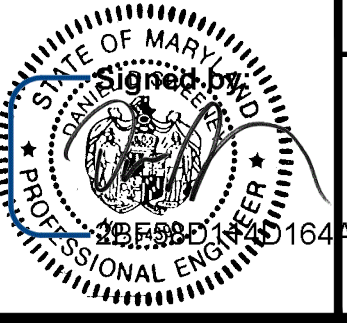


GLW
PLANNING | ENGINEERING | SURVEYING
3909 NATIONAL DRIVE | SUITE 250 | BURTONTSVILLE, MD 20886 | GLWPA.COM
PHONE: 301-421-4024 | BALT: 410-890-1820 | DC&VA: 301-985-2524 | FAX: 301-421-4198

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION	BY	APPR.
LDD	LDD	DS/MT				

PREPARED FOR:
Enterprise
Enterprise Community Homes Housing LLC (Owner)
Enterprise Community Development, Inc. (Developer)
875 Hollin Street, Suite 202, Baltimore, MD 21201
410-332-7400

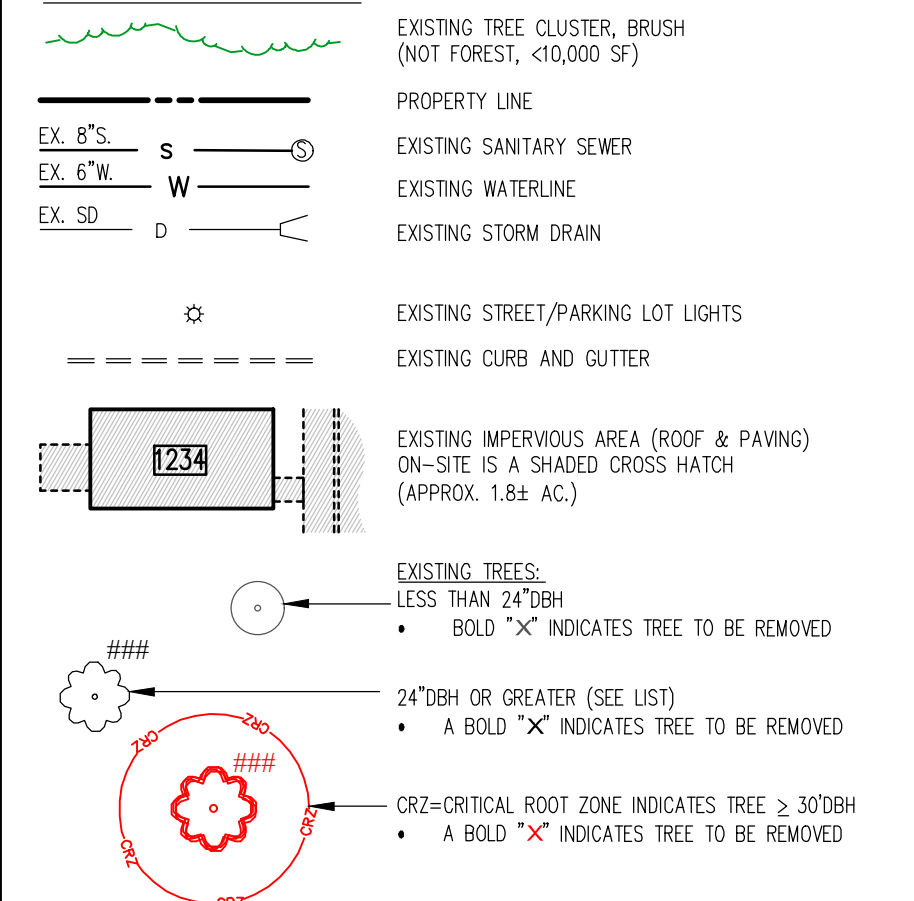
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 54290
EXPIRATION DATE: MAY 15, 2025 08/13/24



STORMDRAIN DRAINAGE AREA DELINEATION
Waverly Winds Apartments
Lot 3A, Section 3, Area 4
Village of Harper's Choice
Plat No. 26412 and 26667
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1" = 30'	NT	22017
DATE	TAX MAP - GRID	SHEET
AUG. 2024	29-23	12 OF 24

PLAN LEGEND



THE 12 DIGIT DNR WATERSHED CODE FOR THIS PROPERTY IS: 021311050955 AND 021311060959

NARRATIVE
LOT 3A IS AN APARTMENT COMMUNITY BUILT IN THE EARLY 1970 UNDER SDP-68-006. CURRENTLY OVER 50% OF THE SITE IS IMPERVIOUS (roof & pavement surfaces).

BECAUSE NO FOREST OR ENVIRONMENTAL AREAS EXIST ON THIS PROPERTY WHICH IS ALSO LOCATED IN A 'PRIORITY FUNDING AREA', THIS PLAN EXAMINES THE FOREST CONSERVATION REQUIREMENTS FOR THIS PROPERTY IN A SIMPLIFIED MANNER.



5-YEAR LOOK BACK (to April 2017) AERIAL IMAGE SOURCE -- https://data.howardcountymd.gov/DataExplorer/PictometryConnect.aspx

SOILS LEGEND table with columns: SOIL, NAME, CLASS, K FACTOR. Includes GdB and GbH soil types.

State Champion Tree Type Information table with columns: Name -- common (botanical), BT-ID, circum., Diameter, 75% Dia. Lists various tree species and their characteristics.

Redevelopment Area Forest Conservation Obligation Analysis table with columns: Project Name, DPZ File No., and rows for Input Information, Deductions & Adjustments, and Forest Conservation Obligation.

FOREST CONSERVATION WORKSHEET FOR DPZ file SDP-23-045 table with columns for Net Tract Area, Land Use Category, Existing Forest Cover, Break Even Point, Proposed Forest Clearing, and various metrics (A-M, N-V, W-Z).

Preliminary Tree Table (Page 1 of 3) with columns: Tree #, DBH, Common Name, Botanical Name, Condition Rating, and Condition Notes. Lists trees 433 through 449.

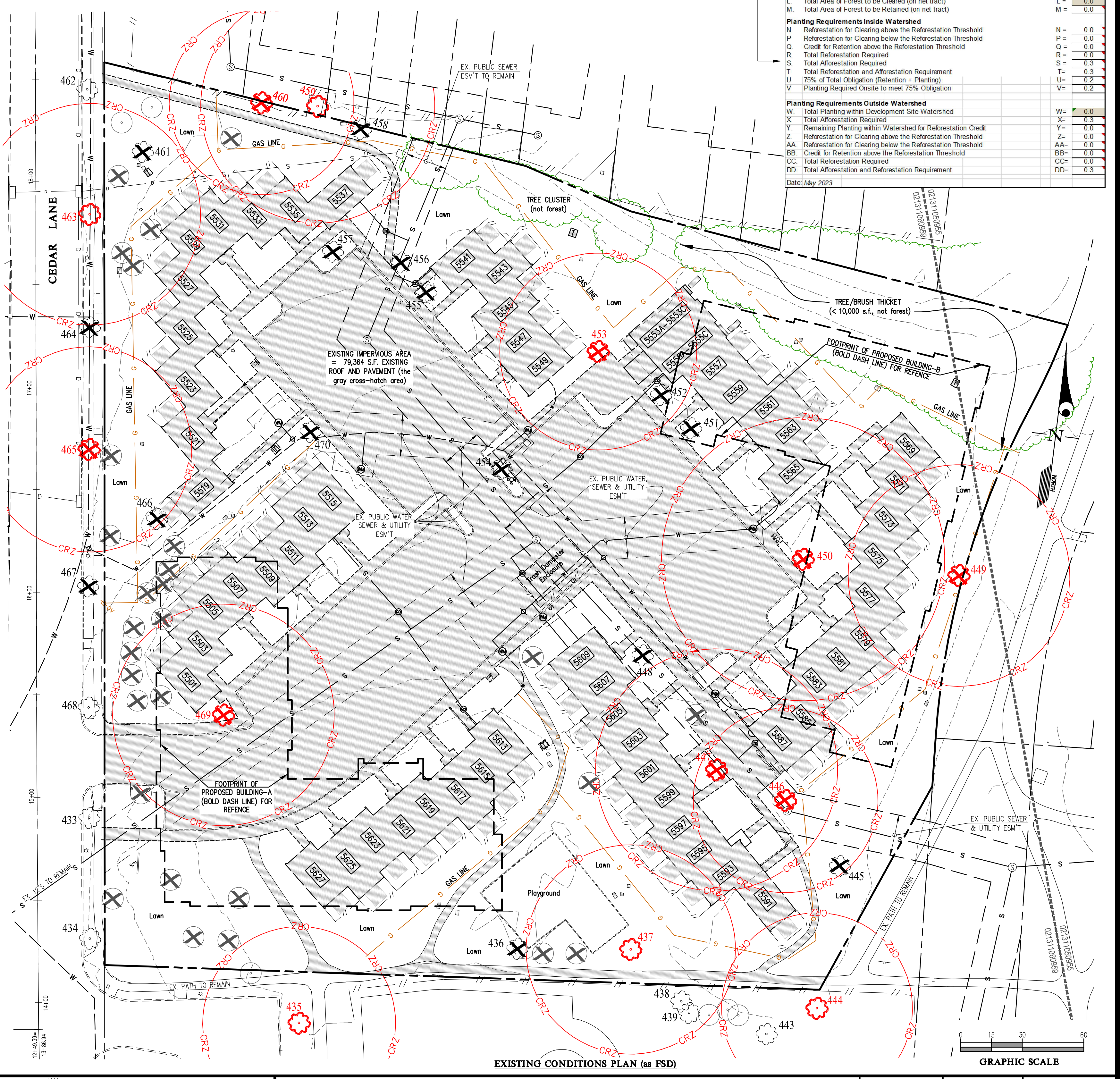
Preliminary Tree Table (Page 2 of 3) with columns: Tree #, DBH, Common Name, Botanical Name, Condition Rating, and Condition Notes. Lists trees 450 through 462.

NOTES:
1. The tree sizes listed in "DBH" column were measured by WSI on 2/15/2023. Tree sizes are not static (they are subject to change).

Preliminary Tree Table (Page 3 of 3) with columns: Tree #, DBH, Common Name, Botanical Name, Condition Rating, and Condition Notes. Lists trees 463 through 470.

APPROVED PLANNING BOARD OF HOWARD COUNTY
DATE: April 18, 2024

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: Lynda Eisenberg
Chief, Division of Land Development: Chad Edmondson



GLW logo and contact information: 3909 National Drive | Suite 250 | Burtonsville, MD 20886 | GLWPA.COM

DESIGNED BY, DRAWN BY, CHECKED BY table with columns for name and date.

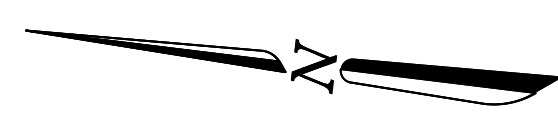
PREPARED FOR: Enterprise logo and address: Enterprise Community Homes Housing LLC (Owner), Enterprise Community Development, Inc. (Developer)



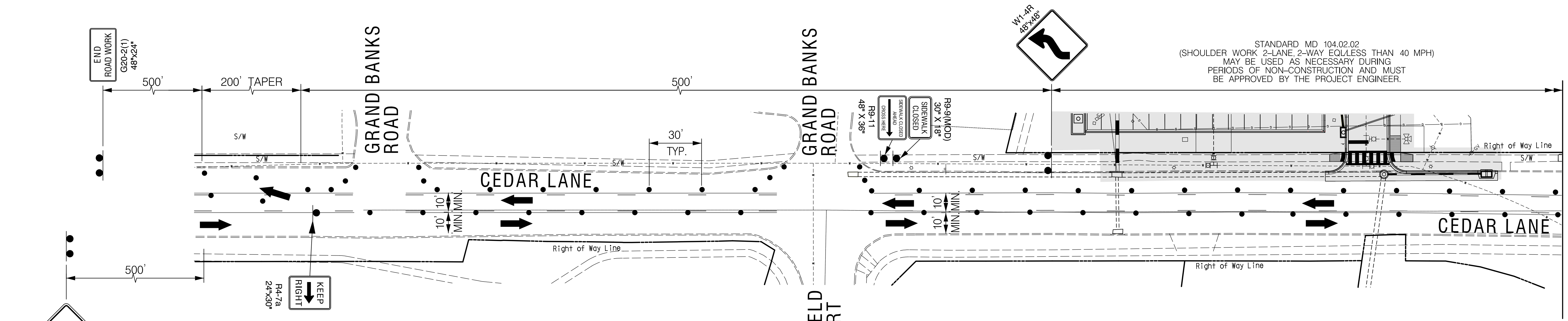
DocuSigned by: Kevin Foster
7619C2E291774F9...
08/13/24

FOREST STAND DELINEATION & FOREST CONSERVATION OBLIGATION ANALYSIS
Waverly Winds Apartments
Lot 3A, Section 3, Area 4
Village of Harper's Choice
Plat No. 26412 and 26667

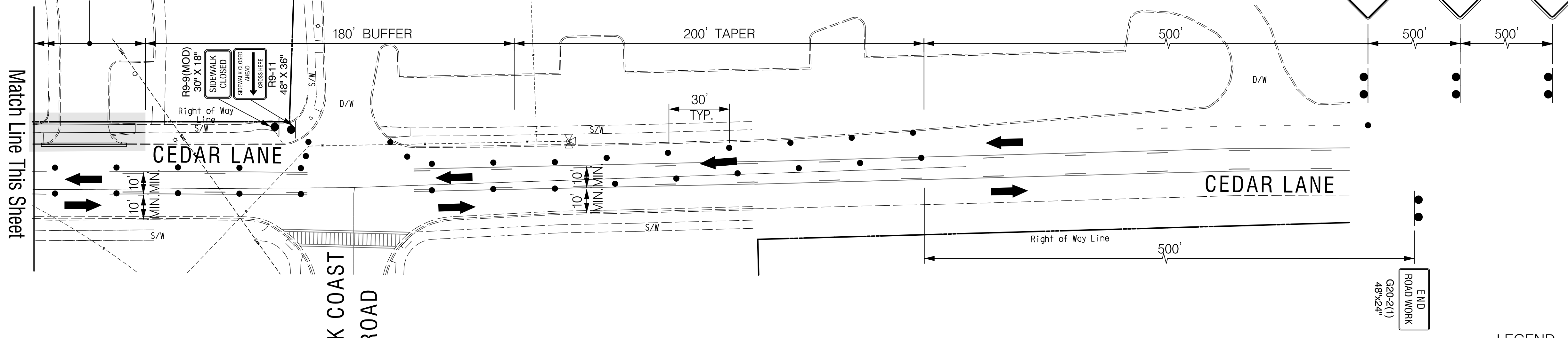
SCALE, ZONING, DATE, TAX MAP - GRID, SHEET information: SCALE 1" = 30', ZONING NT, DATE AUG. 2024, TAX MAP - GRID 29-23, SHEET 13 OF 24



STANDARD MD 104.02.02
(SHOULDER WORK 2-LANE, 2-WAY EQLLESS THAN 40 MPH)
MAY BE USED AS NECESSARY DURING PERIODS OF NON-CONSTRUCTION AND MUST BE APPROVED BY THE PROJECT ENGINEER.



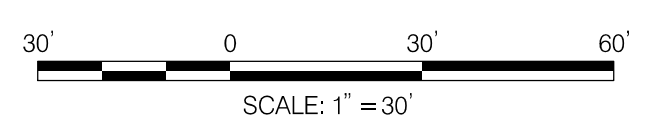
STANDARD MD 104.02.02
(SHOULDER WORK 2-LANE, 2-WAY EQLLESS THAN 40 MPH)
MAY BE USED AS NECESSARY DURING PERIODS OF NON-CONSTRUCTION AND MUST BE APPROVED BY THE PROJECT ENGINEER.



- SEQUENCE OF OPERATION
1. INSTALL ADVANCE WARNING SIGNS AND CHANNELIZING DEVICES (DRUMS). THE DESIGN SPEED IS 30 MPH FOR CEDAR LANE. TRAFFIC CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL THEY ARE NO LONGER NEEDED.
 2. INSTALL ADVANCE WARNING SIGNS FOR PEDESTRIAN DETOUR. DETOUR SHALL REMAIN IN PLACE UNTIL IT IS NO LONGER NEEDED.
 3. CONSTRUCT ROADWAY AND UTILITY IMPROVEMENTS ALONG THE EAST SIDE OF CEDAR LANE PER ROADWAY PLANS.
 4. CHANNELIZING DEVICES SHALL REMAIN ADJACENT TO THE WORK AREA DURING PERIODS OF NON-CONSTRUCTION. ALL DRIVEWAYS AND ROADWAY SHALL REMAIN OPEN AND UNOBSTRUCTED BY ANY CHANNELIZING DEVICES.

LEGEND

- DRUM
- TEMPORARY WORK AREA SIGN
- CURRENT PHASE WORK AREA
- TRAFFIC FLOW ARROW
- WORK AREA SIGN FACE



APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: **APRIL 18, 2024**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
9/19/2024

Director: Linda Eisenberg Date: 9/19/2024
Chief, Division of Land Development: Wendy Date: 9/17/2024
Chief, Development Engineering Division: Wendy Date:

Signed by:
Fu-Hsiung Huang
A48FAEED1A3D48C...

The Traffic Group, Inc.
Suite H
9900 Franklin Square Drive
Baltimore, Maryland 21236
410-931-6600
1-800-583-8411
Fax 410-931-6601
"Merging Innovation and Excellence"®

DESIGNED BY	DATE	REVISION	BY	APP'R
JC				
DRAWN BY				
JC				
CHECKED BY				
JDD				

PREPARED FOR/OWNER:
ENTERPRISE COMMUNITY HOMES HOUSING LLC
ENTERPRISE COMMUNITY DEVELOPMENT, INC
875 HOLLIN ST
SUITE 202
BALTIMORE, MD 21201
410-332-7400

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS
WERE PREPARED OR APPROVED BY
ME AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE
LAWS OF THE STATE OF MARYLAND.
LICENSE NO.: 31757
EXPIRATION DATE: 6-28-25

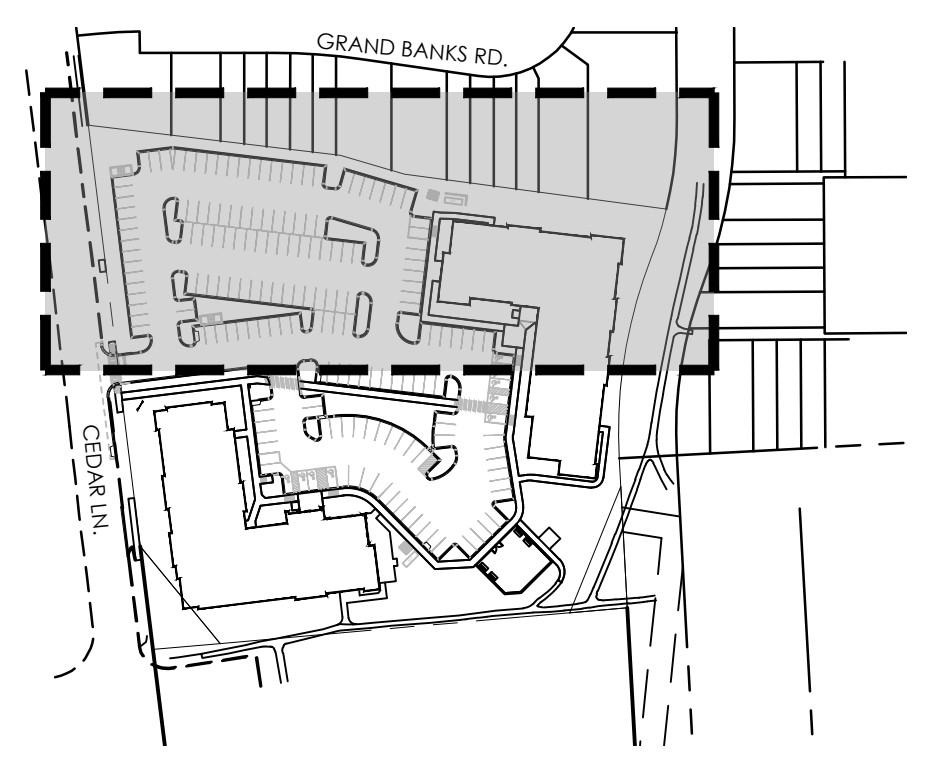
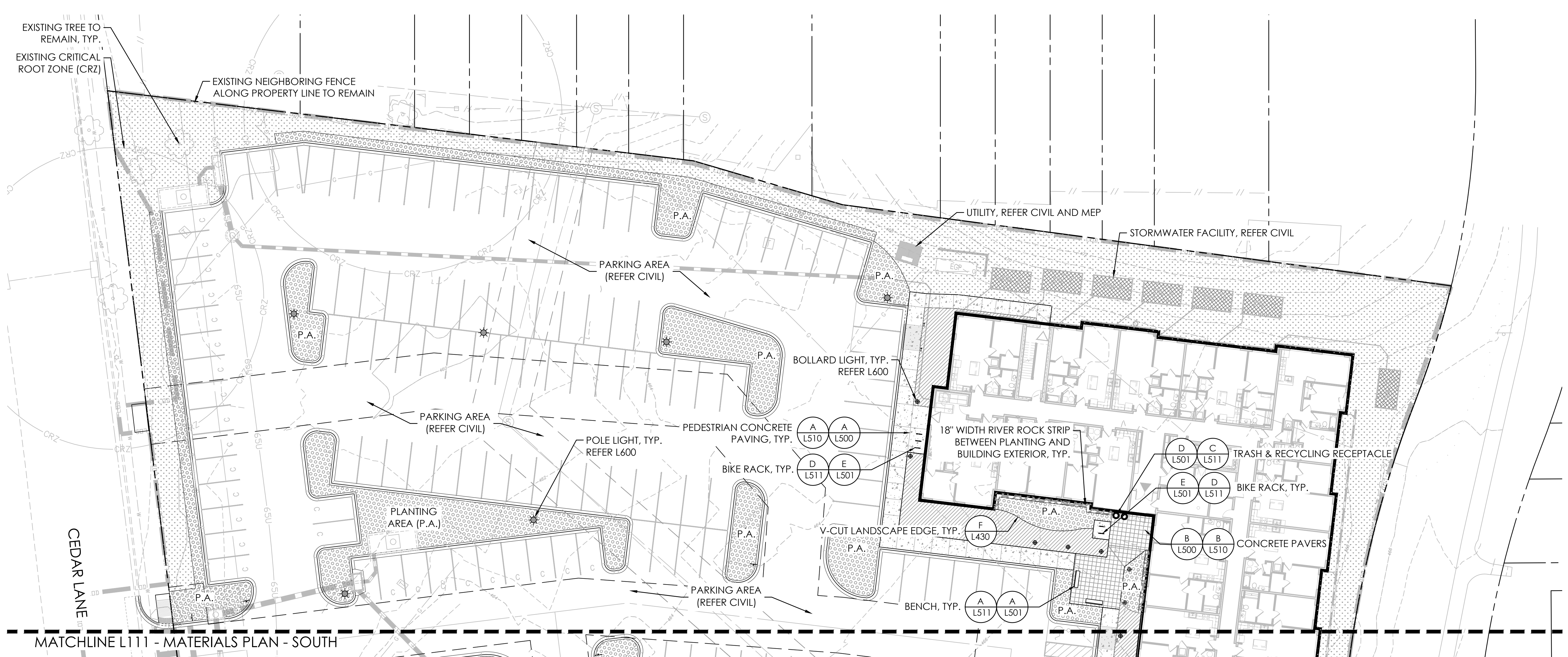


MAINTENANCE OF TRAFFIC & PEDESTRIAN DETOUR PLAN

WAVERLY WINDS
LOT 3A, SECTION 3, AREA 4
VILLAGE OF HARPERS CHOICE

ELECTION DISTRICT No. 5
PLAT NO. 26412 AND 26667
HOWARD COUNTY, MARYLAND

SCALE	ZONING	TTG FILE No.
1" = 30'	NT	2022-1226
DATE	TAX MAP-GRID	SHEET
AUG. 2024	29-23	14 OF 23



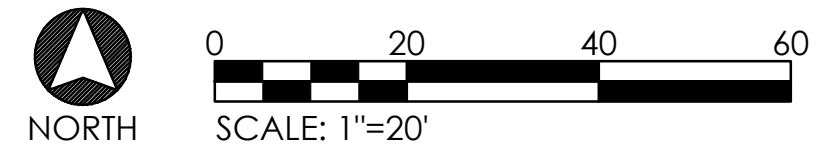
KEY PLAN (NOT TO SCALE)

MATERIALS LEGEND

- PROPERTY LINE
- - - FENCE
- [Pattern] PEDESTRIAN PAVING
- [Pattern] CONCRETE PAVERS
- [Pattern] LAWN (SEED)
- [Pattern] LAWN (SOD)
- [Pattern] PLANTING AREA (P.A.)
- [Pattern] ENGINEERED WOOD FIBER (EWF)

* CONTRACTOR TO VERIFY THAT ALL QUANTITIES LISTED MATCH THE PLAN. NOTIFY LANDSCAPE ARCHITECT OF DISCREPANCIES.

MATCHLINE L111 - MATERIALS PLAN - SOUTH



APPROVED PLANNING BOARD OF HOWARD COUNTY DATE: April 18, 2024	
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING 9/19/2024 <i>Linda Eisenberg</i> Director	Date 9/19/2024
Chief, Division of Land Development <i>Charles Edmondson</i>	Date 9/17/2024
Chief, Development Engineering Division	Date

DESIGNED BY	BS	DATE		REVISION		BY		APP'R.	
DRAWN BY	MC								
CHECKED BY	SB								

PREPARED FOR:
Enterprise Community Homes Housing LLC (Owner)
Enterprise Community Development, Inc. (Developer)
875 Hollin Street, Suite 202, Baltimore, MD 21201
410-332-7400

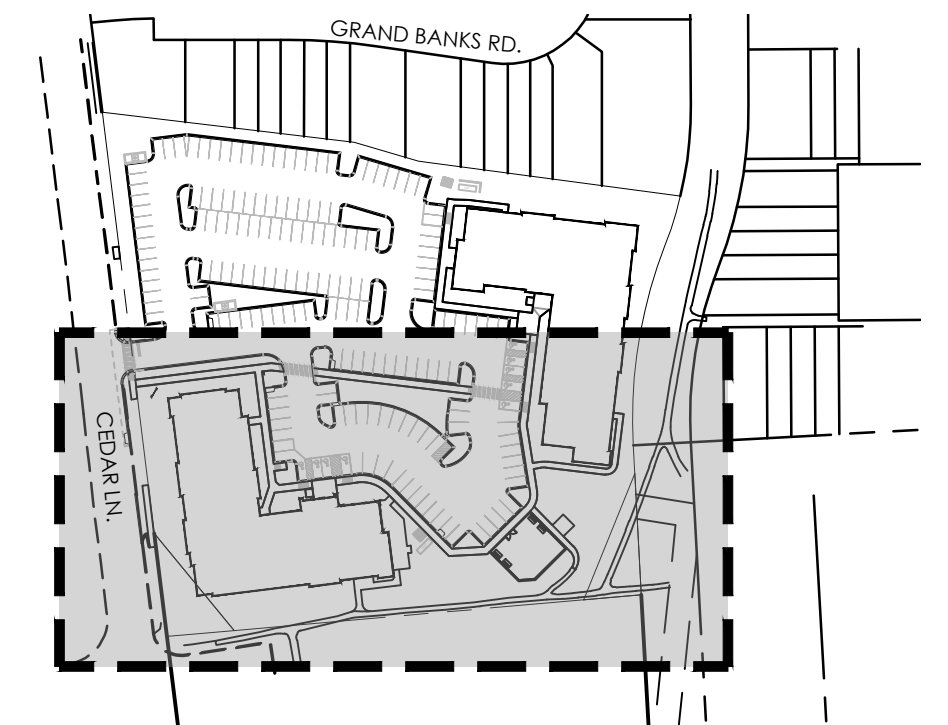
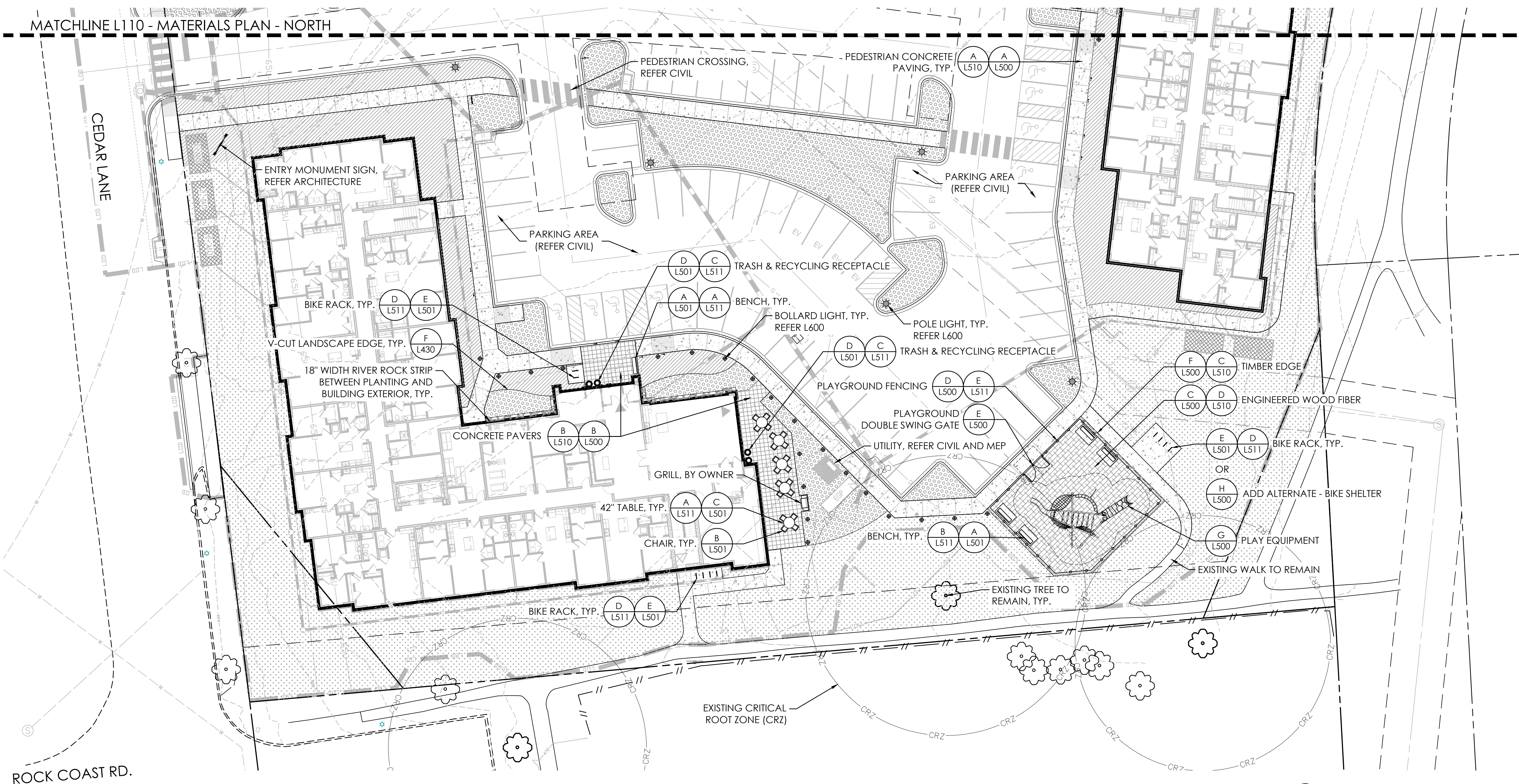
DESIGNED BY: *Bradley Site Design, Inc.*
BRADLEY SITE DESIGN, INC.
Landscape Architecture
1010 Wisconsin Avenue NW Suite 620
AD 113AA2B2594988 Arlington, DC 20007
P: 202.695.8054
www.bradleysitedesign.com

MATERIALS PLAN - NORTH
Waverly Winds Apartments
Lot 3A, Section 3, Area 4
Village of Harper's Choice
Plat No. 26412 and 26667
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE 1" = 20'	ZONING NT	B.S.D. FILE No. L110
DATE AUG 2024	TAX MAP - GRID 29-23	SHEET 15 OF 24

SDP SET

MATCHLINE L110 - MATERIALS PLAN - NORTH



KEY PLAN (NOT TO SCALE)

MATERIALS LEGEND

- PROPERTY LINE
- - - FENCE
- [Pattern] PEDESTRIAN PAVING
- [Pattern] CONCRETE PAVERS
- [Pattern] LAWN (SEED)
- [Pattern] LAWN (SOD)
- [Pattern] PLANTING AREA (P.A.)
- [Pattern] ENGINEERED WOOD FIBER (EWF)

* CONTRACTOR TO VERIFY THAT ALL QUANTITIES LISTED MATCH THE PLAN. NOTIFY LANDSCAPE ARCHITECT OF DISCREPANCIES.



APPROVED
PLANNING BOARD OF HOWARD COUNTY
 DATE: April 18, 2024

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 9/19/2024
 Director: *Linda Eisenberg*
 Chief, Division of Land Use Department: *Charles Edmondson*
 Chief, Development Engineering Division

DESIGNED BY	DATE	REVISION	BY	APP'R.
BS				
DRAWN BY				
MC				
CHECKED BY				
SB				

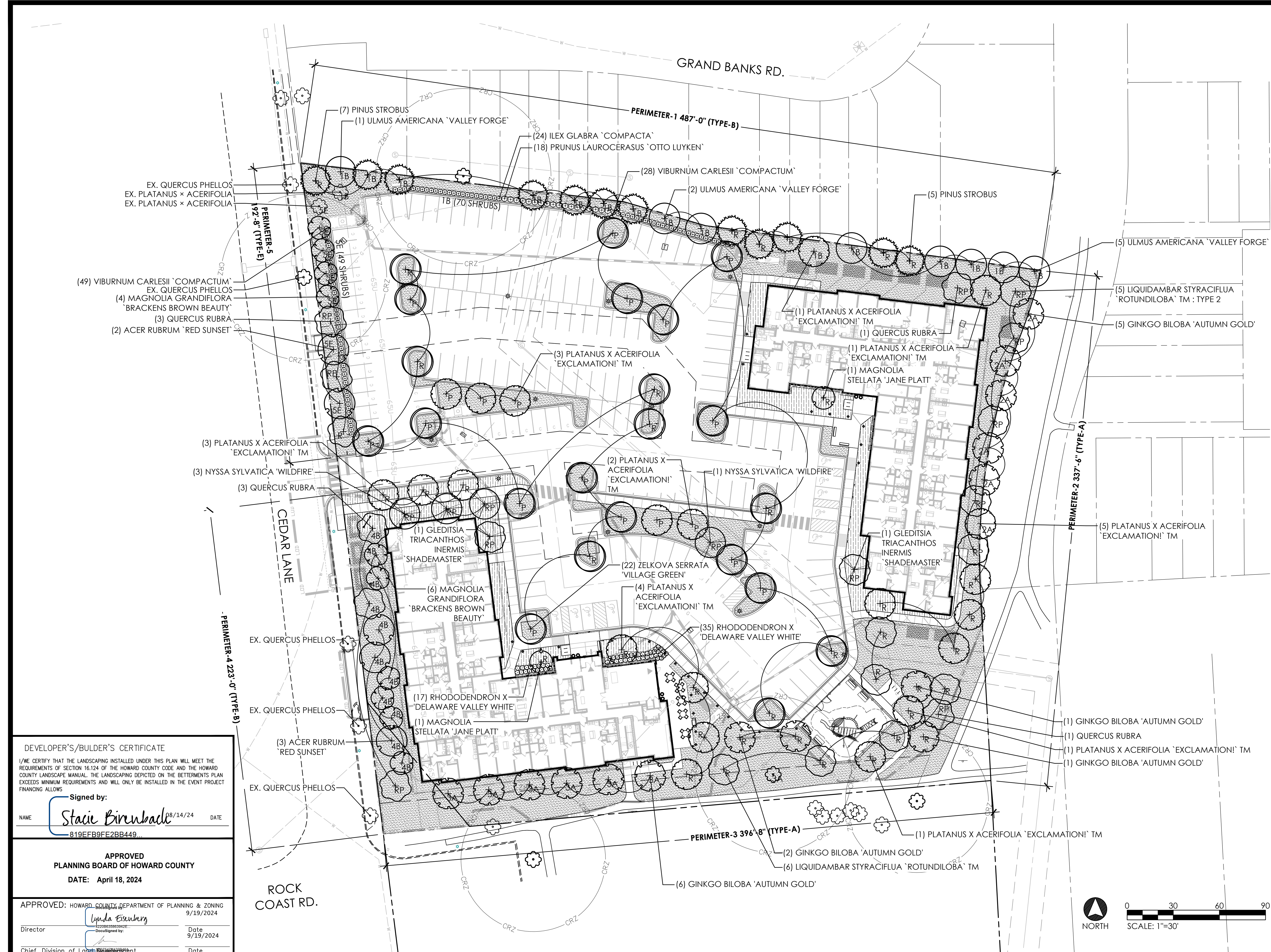
PREPARED FOR:
 Enterprise Community Homes Housing LLC (Owner)
 Enterprise Community Development, Inc. (Developer)
 875 Hollin Street, Suite 202, Baltimore, MD 21201
 410-332-7400

Designed by: **BRADLEY SITE DESIGN, INC.**
 Architecture
 1010 Wisconsin Avenue NW Suite 620
 ADT18AA2B259486
 Arlington, DC 20007
 P: 202.695.8054
 www.bradleysitedesign.com

MATERIALS PLAN - SOUTH
 Waverly Winds Apartments
 Lot 3A, Section 3, Area 4
 Village of Harper's Choice
 Plat No. 26412 and 26667

SCALE	ZONING	B.S.D. FILE No.
1" = 20'	NT	L111
DATE	TAX MAP - GRID	SHEET
AUG 2024	29-23	16 OF 24

SDP SET



SCHEDULE A: PERIMETER LANDSCAPE EDGE					
CATEGORY	ADJACENT TO ROADWAYS		ADJACENT TO PERIMETER PROPERTIES		
	4 B	5 E	1 B	2 A	3 A
LANDSCAPE TYPE	4 B	5 E	1 B	2 A	3 A
LINEAR FEET OF ROADWAY FRONTAGE / PERIMETER	223'-0"	192'-8"	487'-0"	337'-6"	396'-8"
CREDIT FOR EX. VEGETATION					
YES / NO	NO	YES	YES	NO	YES
LINEAR FEET					
DESCRIPTION		1 SHADE TREES	1 SHADE TREE		1 SHADE TREE
CREDIT FOR WALL, FENCE OR BERM					
YES / NO	NO	NO	NO	NO	NO
LINEAR FEET					
DESCRIPTION					
NUMBER OF PLANTS REQUIRED					
SHADE TREES	1:50 (5)	1:40 (5)	1:50 (10)	1:60 (6)	1:60 (7)
EVERGREEN TREES	1:40 (6)	0 (0)	1:40 (13)	0 (0)	0 (0)
SHRUBS	0 (0)	1:4 (49)	0 (0)	0 (0)	0 (0)
NUMBER OF PLANTS PROVIDED (MARKED "4 B", "5 E", "1 B" etc. ON PLAN)					
SHADE TREES	5	2	9	6	6
EVERGREEN TREES	6	0	6	-	-
OTHER TREES (2:1 SUBSTITUTION)	-	4 (2)	-	-	-
SHRUBS (10:1 SUBSTITUTION)	-	49	70 (7)	-	-
DESCRIBE SUBSTITUTIONS	NONE	4 OTHER TREES, 1 EX. TREE	70 SHRUBS, 1 EX. TREE	NONE	1 EX. TREE

SCHEDULE B: PARKING LOT INTERNAL LANDSCAPING	
NUMBER OF PARKING SPACES	185
NUMBER OF TREES REQUIRED	1:10 (19)
NUMBER OF TREES PROVIDED (MARKED "P" ON PLAN)	
SHADE TREES	19
OTHER TREES (2:1 SUBSTITUTION)	NONE

SCHEDULE C: RESIDENTIAL INTERNAL LANDSCAPING	
NUMBER OF DWELLING UNITS	BLDG-A 55, BLDG-B 68 (123 TOTAL)
NUMBER OF TREES REQUIRED	1:3 (41)
NUMBER OF TREES PROVIDED (MARKED "R" ON PLAN)	
SHADE TREES	33
OTHER TREES (2:1 SUBSTITUTION, 50% MAX)	8 (4)
SHRUBS (10:1 SUBSTITUTION, 50% MAX)	52 (5)

SPECIMEN TREE REPLACEMENT	
NUMBER OF REPLACEMENT TREES (MARKED "RP" ON PLAN)	16

REFER ALTERNATIVE COMPLIANCE FILE NUMBER WP-24-036

A LANDSCAPE REQUIREMENTS TABLE

DECIDUOUS TREES	BOTANICAL NAME
	GINKGO BILOBA 'AUTUMN GOLD'
	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'
	LIQUIDAMBAR STYRACIFLUA 'ROTUNDILOBA'
	ZELKOVA SERRATA
	NYSSA SYLVATICA 'WILDFIRE'
	PLATANUS X ACERIFOLIA 'EXCLAMATION!'
	QUERCUS RUBRA
	ULMUS AMERICANA 'VALLEY FORGE'
	ACER RUBRUM 'RED SUNSET'
EVERGREEN TREES	BOTANICAL NAME
	MAGNOLIA GRANDIFLORA 'BRACKENS BROWN BEAUTY'
	PINUS STROBUS
GROUNDCOVER	TYPE
	LAWN (SOD)
	LAWN (SEED)

DEVELOPER'S/BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING INSTALLED UNDER THIS PLAN WILL MEET THE REQUIREMENTS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. THE LANDSCAPING DEPICTED ON THE BETTERMENTS PLAN EXCEEDS MINIMUM REQUIREMENTS AND WILL ONLY BE INSTALLED IN THE EVENT PROJECT FINANCING ALLOWS.
 Signed by: Stacie Birenback 08/14/24
 NAME: 819EFB9FE2BB449 DATE: _____

APPROVED PLANNING BOARD OF HOWARD COUNTY
 DATE: **April 18, 2024**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING 9/19/2024
 Director: Linda Eisenberg Date: 9/19/2024
 Chief, Division of Land Development: Carl D. Edmondson Date: 9/17/2024
 Chief, Development Engineering Division: _____ Date: _____

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION	BY	APP'R.
BS	MC	SB				

PREPARED FOR:
 Enterprise Community Homes Housing LLC (Owner)
 Enterprise Community Development, Inc. (Developer)
 875 Hollin Street, Suite 202, Baltimore, MD 21201
 410-332-7400
 Prepared by: BRADLEY SITE DESIGN, INC.
 Architecture
 1010 Wisconsin Avenue NW Suite 620
 Arlington, DC 20007
 P: 202.695.8054
 www.bradleysitedesign.com
 08/14/24

PLANTING MINIMUMS PLAN
 Waverly Winds Apartments
 Lot 3A, Section 3, Area 4
 Village of Harper's Choice
 Plat No. 26412 and 26667
 SCALE: 1" = 30'
 ZONING: NT
 DATE: AUG 2024
 TAX MAP - GRID: 29-23
 SHEET: 17 OF 24
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	B.S.D. FILE No.
1" = 30'	NT	L400
DATE	TAX MAP - GRID	SHEET
AUG 2024	29-23	17 OF 24

SDP SET

PLANT SCHEDULE						
QTY	BOTANICAL NAME	COMMON NAME	SIZE		REMARKS	NATIVE
DECIDUOUS TREES						
5	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	2" CAL.		STRONG SINGLE LEADER/SPECIMEN	Native
15	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD GINKGO	2.5" CAL.		STRONG SINGLE LEADER/SPECIMEN, MALE ONLY.	
2	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER LOCUST	3" CAL.		STRONG SINGLE LEADER/SPECIMEN	Native
6	LIQUIDAMBAR STYRACIFLUA 'ROTUNDILOBA' TM	ROUND-LOBED SWEET GUM	2.5" CAL.		STRONG SINGLE LEADER/SPECIMEN	Native
5	LIQUIDAMBAR STYRACIFLUA 'ROTUNDILOBA' TM : TYPE 2	ROUND-LOBED SWEET GUM : TYPE 2	3" CAL.		STRONG SINGLE LEADER/SPECIMEN	Native
4	NYSSA SYLVATICA 'WILDFIRE'	WILDFIRE TUPELO	3" CAL.			
21	PLATANUS X ACERIFOLIA 'EXCLAMATION!' TM	EXCLAMATION LONDON PLANE TREE	2.5" CAL.		STRONG SINGLE LEADER/SPECIMEN. SUBMIT PICTURES FOR APPROVAL BY LANDSCAPE ARCHITECT	
8	QUERCUS RUBRA	RED OAK	3" CAL.		STRONG SINGLE LEADER/SPECIMEN	Native
8	ULMUS AMERICANA 'VALLEY FORGE'	VALLEY FORGE AMERICAN ELM	2.5" CAL.		STRONG SINGLE LEADER/SPECIMEN	Native
22	ZELKOVA SERRATA 'VILLAGE GREEN'	VILLAGE GREEN JAPANESE ZELKOVA	2.5" CAL.		STRONG SINGLE LEADER/SPECIMEN	
EVERGREEN TREES						
10	MAGNOLIA GRANDIFLORA 'BRACKEN'S BROWN BEAUTY'	BRACKEN'S SOUTHERN MAGNOLIA	8' HT.		SINGLE STRONG LEADER/SPECIMEN	
12	PINUS STROBUS	EASTERN WHITE PINE	6' HT.		SINGLE STRONG LEADER/SPECIMEN	Native
ORNAMENTAL TREES						
2	MAGNOLIA STELLATA 'JANE PLATT'	JANE PLATT STAR MAGNOLIA	6' HT.		MULISTEMMED SPECIMEN	
QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS	NATIVE
SHRUBS						
24	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	2' HT.	36" o.c.	MIN. 4 CANES	Native
18	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	2' HT.	48" o.c.	MIN. 5 CANES	
52	RHODODENDRON X 'DELAWARE VALLEY WHITE'	VALLEY WHITE AZALEA	3 GAL.	36" o.c.		
77	VIBURNUM CARLESII 'COMPACTUM'	KOREAN SPICE VIBURNUM	2' HT.	36" o.c.	MIN. 5 CANES	
GROUND COVERS						
41,726 SF	KENTUCKY BLUEGRASS & FINE FESCUE MIXTURE	KENTUCKY BLUEGRASS & FINE FESCUE MIXTURE	SEED		2-4 LB / 1,000 SF 30% - 40% CERTIFIED KENTUCKY BLUEGRASS CULTIVARS (MIN. 3 CULTIVARS AT A MIN. OF 10% EA.) & 60% - 70% CERTIFIED FINE FESCUE	
6,989 SF	SOD	SOD	SOD		90% TALL FESCUE AND 5%-10% KENTUCKY BLUE GRASS	

A MINIMUMS PLANT SCHEDULE

LANDSCAPE BOND TABULATIONS

1. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. THE REQUIRED PARKING, RESIDENTIAL INTERIOR LOT, AND PERIMETER LANDSCAPING, WILL BE BONDED PER THIS SUBMISSION.
2. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT FOR THE SITE DEVELOPMENT PLAN IN THE AMOUNT OF \$37,530 FOR THE REQUIRED 96 (\$300) SHADE TREES, 24 (\$150) EVERGREEN AND ORNAMENTAL TREES, AND 171 (\$30) SHRUBS.

SOIL & PLANTING NOTES

1. REFER TO CIVIL ENGINEER'S UTILITY AND GRADING AND DRAINAGE PLANS FOR UTILITY LOCATION AND DRAINAGE INFORMATION. REFER TO CIVIL ENGINEER'S GRADING PLANS FOR GRADING INFORMATION. IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS OR IF THERE ARE DISCREPANCIES BETWEEN THE PLANS, CONTACT THE LANDSCAPE ARCHITECT FOR DIRECTION AS TO HOW TO PROCEED.
2. VERIFY LOCATIONS OF PERTINENT SITE IMPROVEMENTS INSTALLED UNDER OTHER SECTIONS. IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT LANDSCAPE ARCHITECT FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.
3. PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE, BY HAND. THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK AND DISRUPTION OR DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER.
4. MINIMIZE GRADING AND CONSTRUCTION OPERATIONS AS MUCH AS POSSIBLE IN THE ROOT ZONES OF EXISTING TREES TO REMAIN. CIVIL ENGINEER AND LANDSCAPE ARCHITECT TO APPROVE ALL GRADING, CONSTRUCTION, TRENCHING AND OTHER DISTURBANCE REQUIRED WITHIN THE ROOT ZONES OF THE TREES. DO NOT SHRED OR TEAR TREE ROOTS WITH EXCAVATION EQUIPMENT; CLEAN CUT ALL ROOT LARGER THAN 1-INCH WITH SAW OR CLIPPERS.
5. ALL SLOPE AREAS GREATER THAN 25% MUST BE STABILIZED WITH EROSION CONTROL FABRIC BEFORE PLANTING. SLOPE AREAS THAT WILL NOT BE PLANTED MUST BE SEEDED PER CIVIL'S SPECIFICATIONS.
6. ALL LANDSCAPE PLANTINGS SHOULD NOT INTERFERE WITH UTILITY LINES, SIGHT TRIANGLES, UNDERGROUND UTILITIES, PUBLIC WALKWAYS.
7. TOPSOIL TO BE FREE AND CLEAR OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS, WEED, GRASS STOLONS, SEEDS [E.G. CYPERUS SPECIES (COMMON NAME - NUTSEdge)] AND OTHER EXTRANEIOUS MATERIALS HARMFUL TO PLANT GROWTH.
8. FINISH GRADES OF PLANTER AREAS SHALL BE 2 INCHES BELOW ADJACENT PAVING OR TOP OF WALL UNLESS OTHERWISE NOTED.
9. DO NOT DRIVE MACHINERY OVER PREPARED PLANTING BEDS, OR OTHERWISE COMPACT THE SOIL AFTER PREPARATION.
10. THE MINIMUM DEPTH OF TOPSOIL IN CURBED ISLAND PLANTERS MUST BE 12" FOR SHRUBS AND 30" FOR TREES. REFER TO SOIL PLANS FOR DEPTH AND SPECIFICATIONS.
11. ONLY NURSERY GROWN PLANT MATERIALS ARE ACCEPTABLE.
12. LANDSCAPE ARCHITECT TO REVIEW PLANT MATERIALS AT SOURCE OR BY PHOTO PRIOR TO DIGGING OR SHIPPING OF PLANT MATERIALS.
13. TREES AND SHRUBS MUST HAVE A SPECIES IDENTIFICATION TAG FROM THE NURSERY TO REMAIN ON 2 OF EACH PLANTED SPECIES UNTIL THE LANDSCAPE ARCHITECT HAS REVIEWED. TAGS TO BE REMOVED AFTER FINAL INSPECTION TO PREVENT GIRDLING.
14. ALL PLANT MATERIAL SHALL BE SUFFICIENTLY HARDY TO WITHSTAND THE EFFECTS OF POLLUTION, SALT, INSECT MANIFESTATIONS AND ANY OTHER HAZARD ASSOCIATED WITH THE SPECIFIC ENVIRONMENT.
15. PLANT MATERIAL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT BEFORE THE PLANTS ARE BROUGHT TO THE SITE.
16. EXACT LOCATIONS OF PLANT MATERIALS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANTS TO EXACT LOCATION IN FIELD.
17. TREES AND SHRUBS SHALL BE PLANTED ONLY WHEN THE SOIL IS FROST FREE.
18. PLANTING SEASON SHALL BE MARCH 15 TO JUNE 30, OR SEPTEMBER 1 TO NOVEMBER 30, FOR ALL SHADE AND BUFFER TREES.
19. ALL PLANTING BEDS MUST HAVE A MINIMUM OF 2" OF MULCH IN ALL NON-GRASSED LANDSCAPE BED AREAS.
20. DISTURBED EXISTING LAWN AREAS ARE TO BE SEEDED UPON COMPLETION OF CONSTRUCTION.
21. IF DISCREPANCIES BETWEEN THE PLANTING PLAN AND PLANT LIST OCCUR, THE PLANTING PLAN TAKES PRECEDENCE.
22. EXISTING TREES SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO EXISTING.
23. TREES TO BE PLANTED A MINIMUM OF 4 FEET FROM FACE OF BUILDING, PAVEMENT, OR OTHER HARDSCAPE FEATURE EXCEPT AS APPROVED BY LANDSCAPE ARCHITECT.
24. ALIGN AND EQUALLY SPACE IN ALL DIRECTIONS TREES AND SHRUBS AS DESIGNATED PER THESE NOTES AND DRAWINGS.
25. FOR TREES WITH WIRE BASKET AROUND ROOT BALL, CUT WIRE BASKET IN FOUR PLACES AND FOLD DOWN 12" INTO PLANTING HOLE.
26. CUT AND REMOVE OR TURN BACK 1/3 OF BURLAP AWAY FROM TOP OF ROOT BALL. CUT ROPE FROM TOP OF ROOT BALL.
27. EXISTING LAWN AREAS & ASSOCIATED SOILS TO BE PROTECTED THROUGHOUT DURATION OF CONSTRUCTION. ADDITIONAL AMENDMENTS NOT NECESSARY WITHIN PROTECTED AREAS UNLESS DISTURBED. IF DISTURBED, PREPARE/AMEND SOIL AS INDICATED IN DRAWINGS.
28. PROTECTED LAWN AREAS WITH PRIOR SIGNIFICANT DAMAGE TO BE IMPROVED AS INDICATED IN DRAWINGS. COORDINATE WITH OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.

DEVELOPER'S/BULDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING INSTALLED UNDER THIS PLAN WILL MEET THE REQUIREMENTS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. THE LANDSCAPING DEPICTED ON THE BETTERMENTS PLAN EXCEEDS MINIMUM REQUIREMENTS AND WILL ONLY BE INSTALLED IN THE EVENT PROJECT FINANCING ALLOWS.

Signed by: Stacie Birenbach 08/14/24 DATE

NAME: 819EFB9FE2BB449...

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: April 18, 2024

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
9/19/2024
Director: Linda Eisenberg Date: 9/19/2024
Chief, Division of Land Development: Chad Edmondson Date: 9/17/2024
Chief, Development Engineering Division

DESIGNED BY:	BS				
DRAWN BY:	MC				
CHECKED BY:	SB				
	DATE	REVISION	BY	APP'R.	

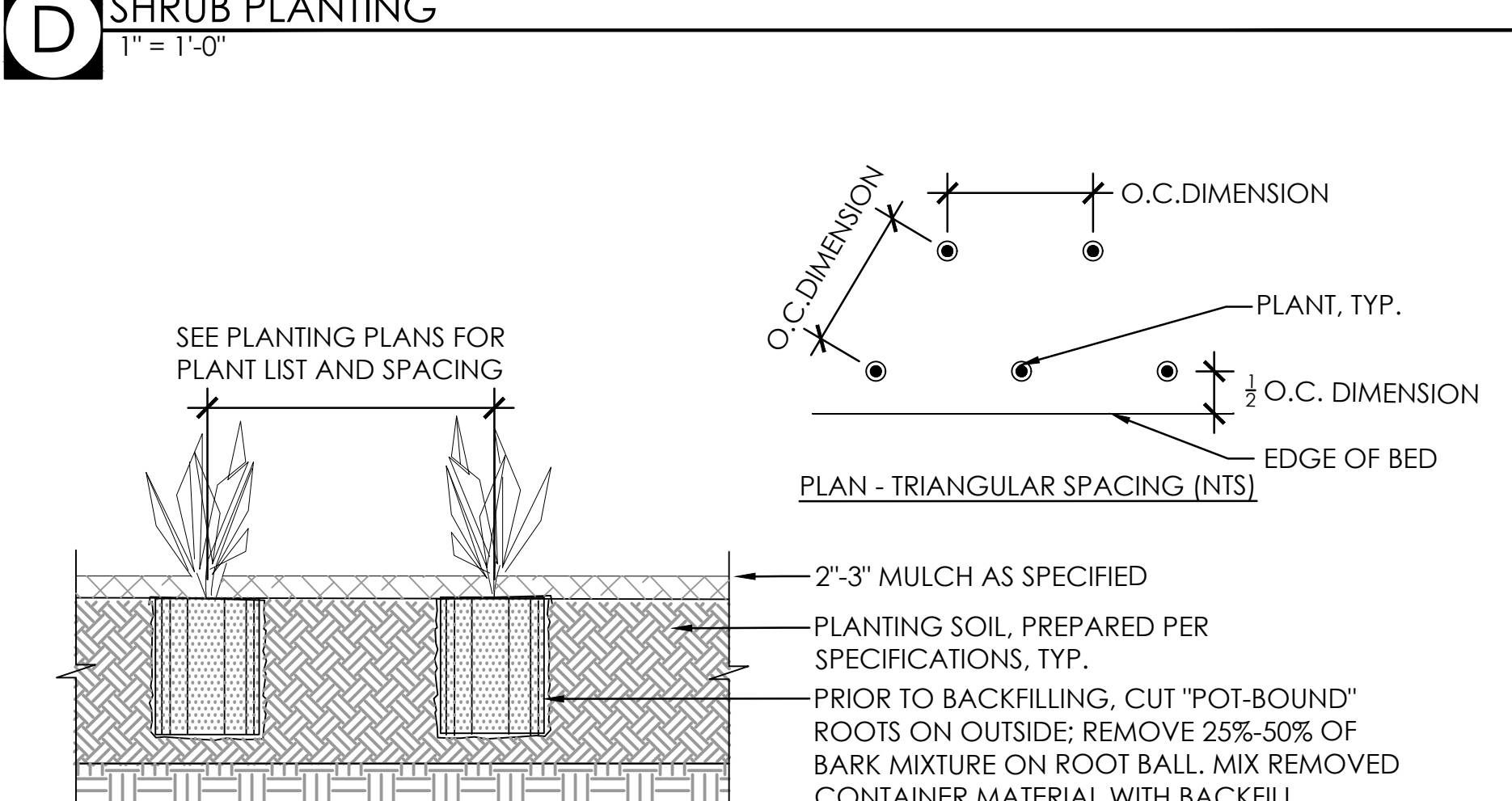
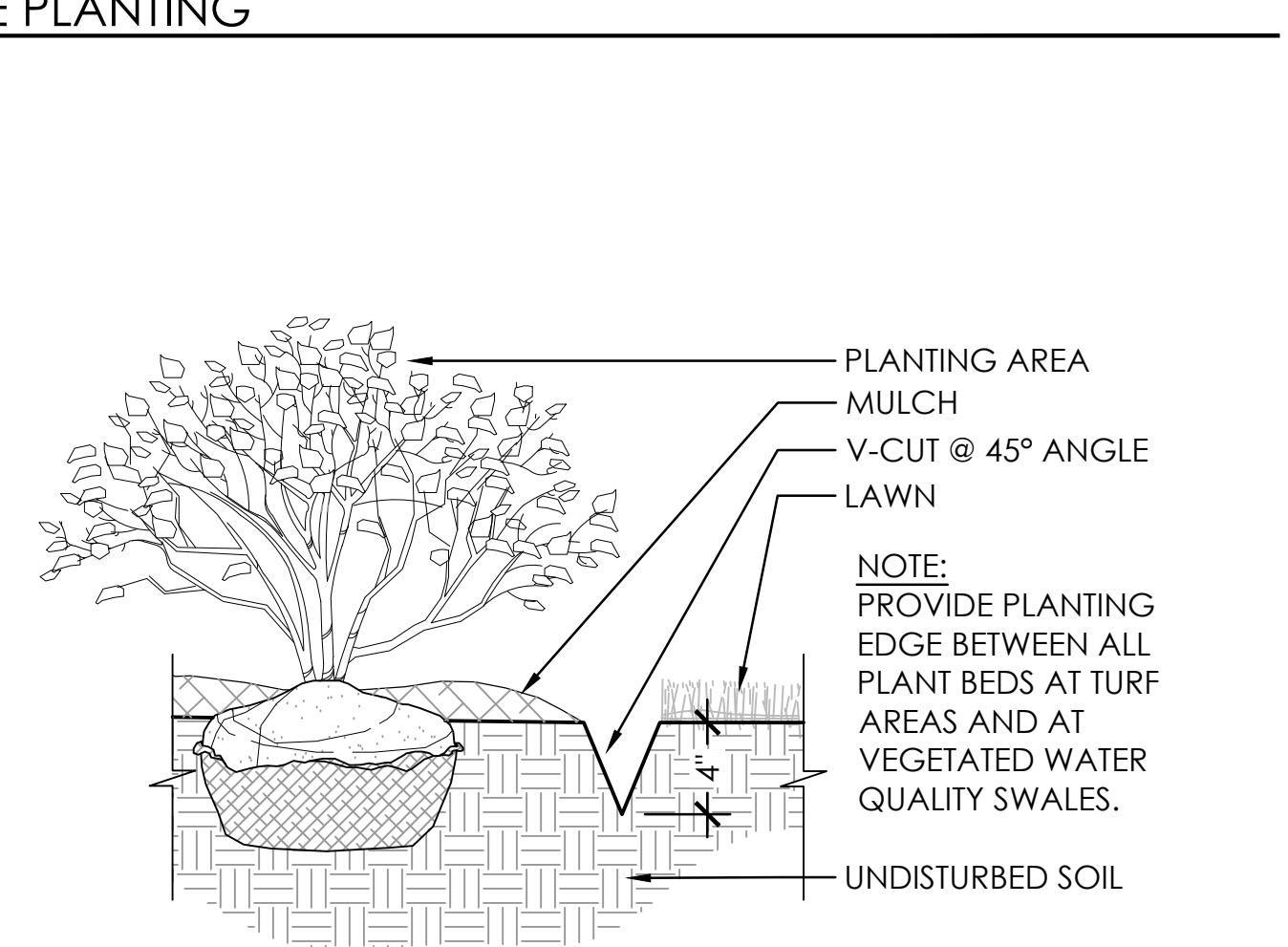
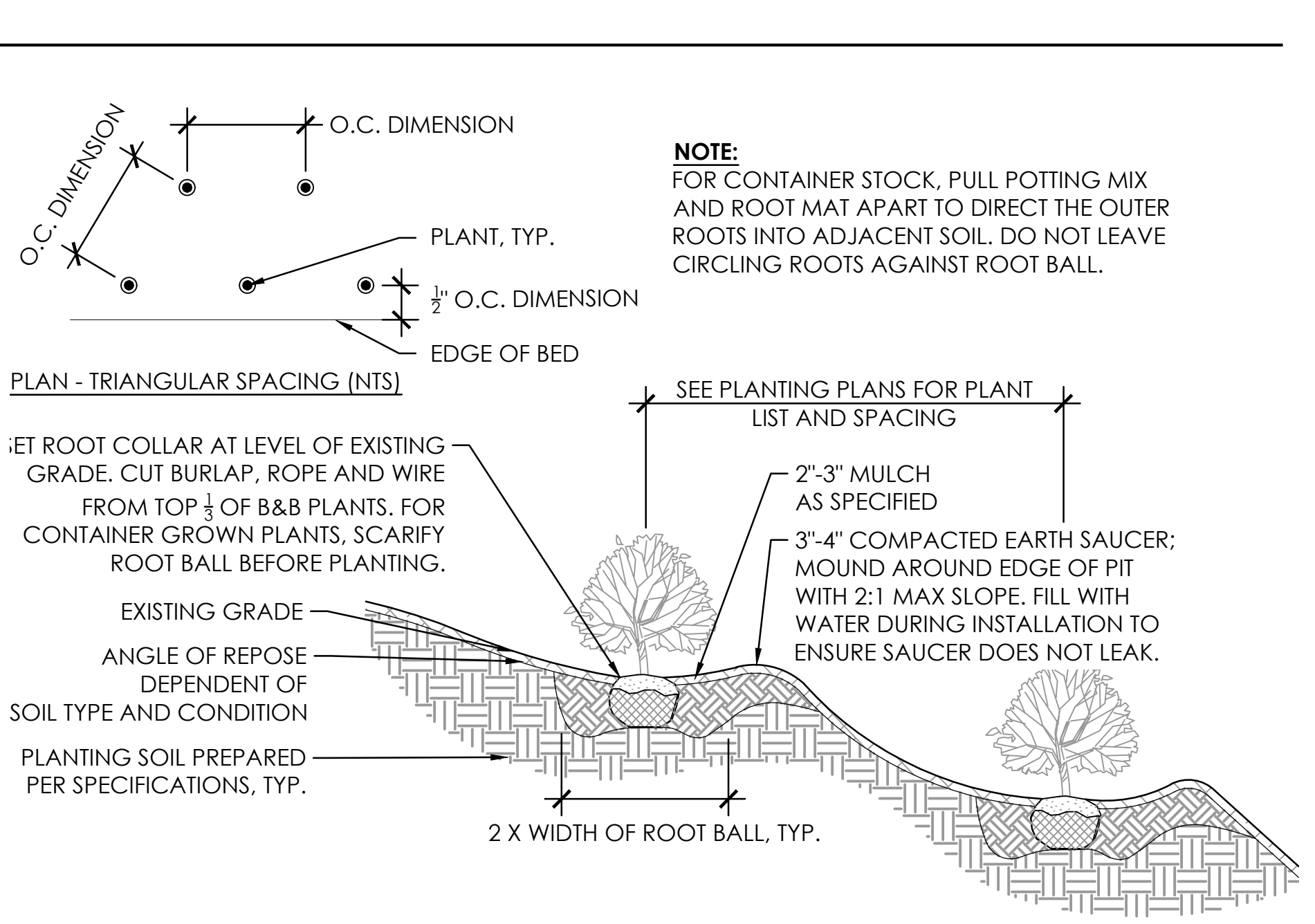
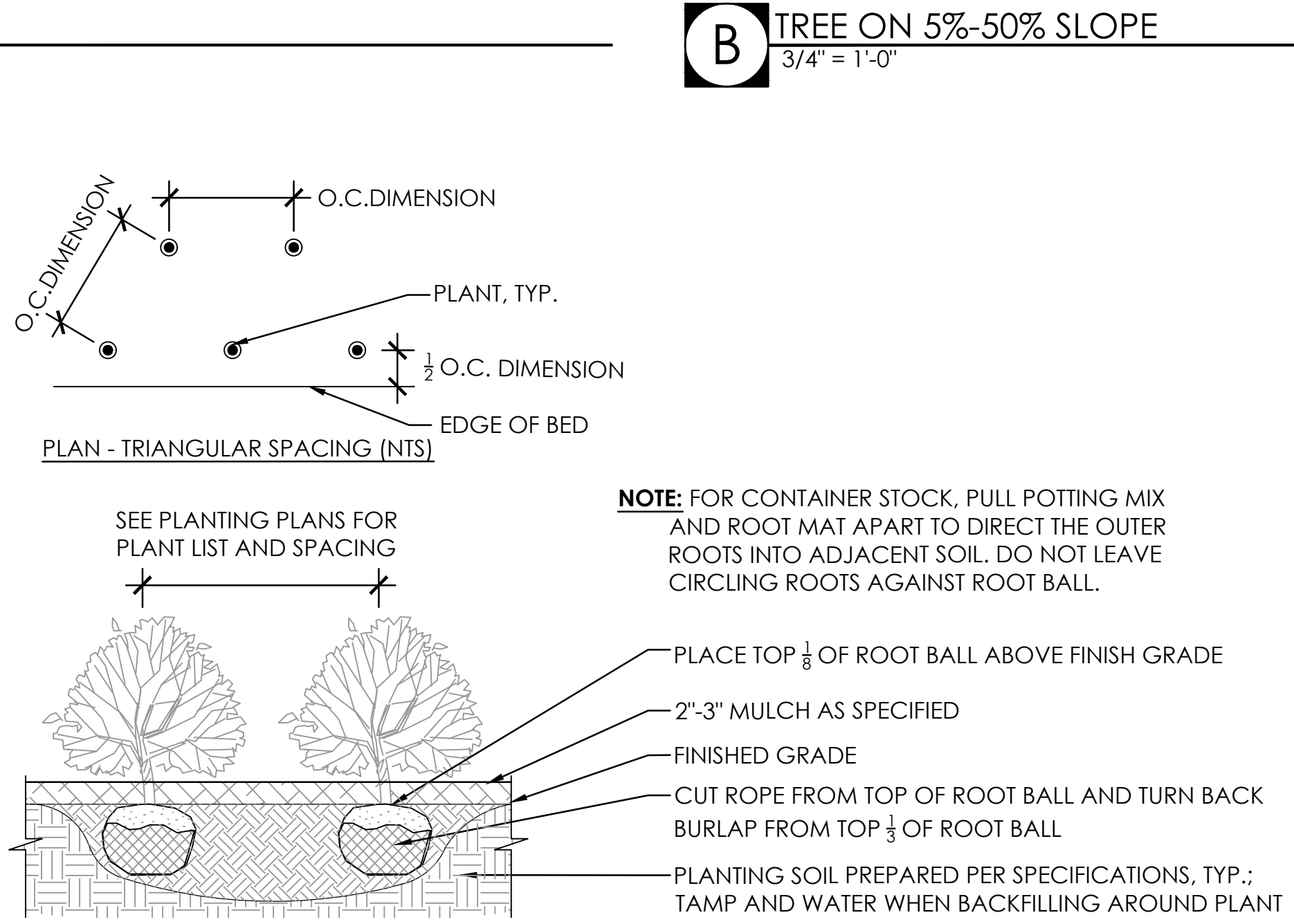
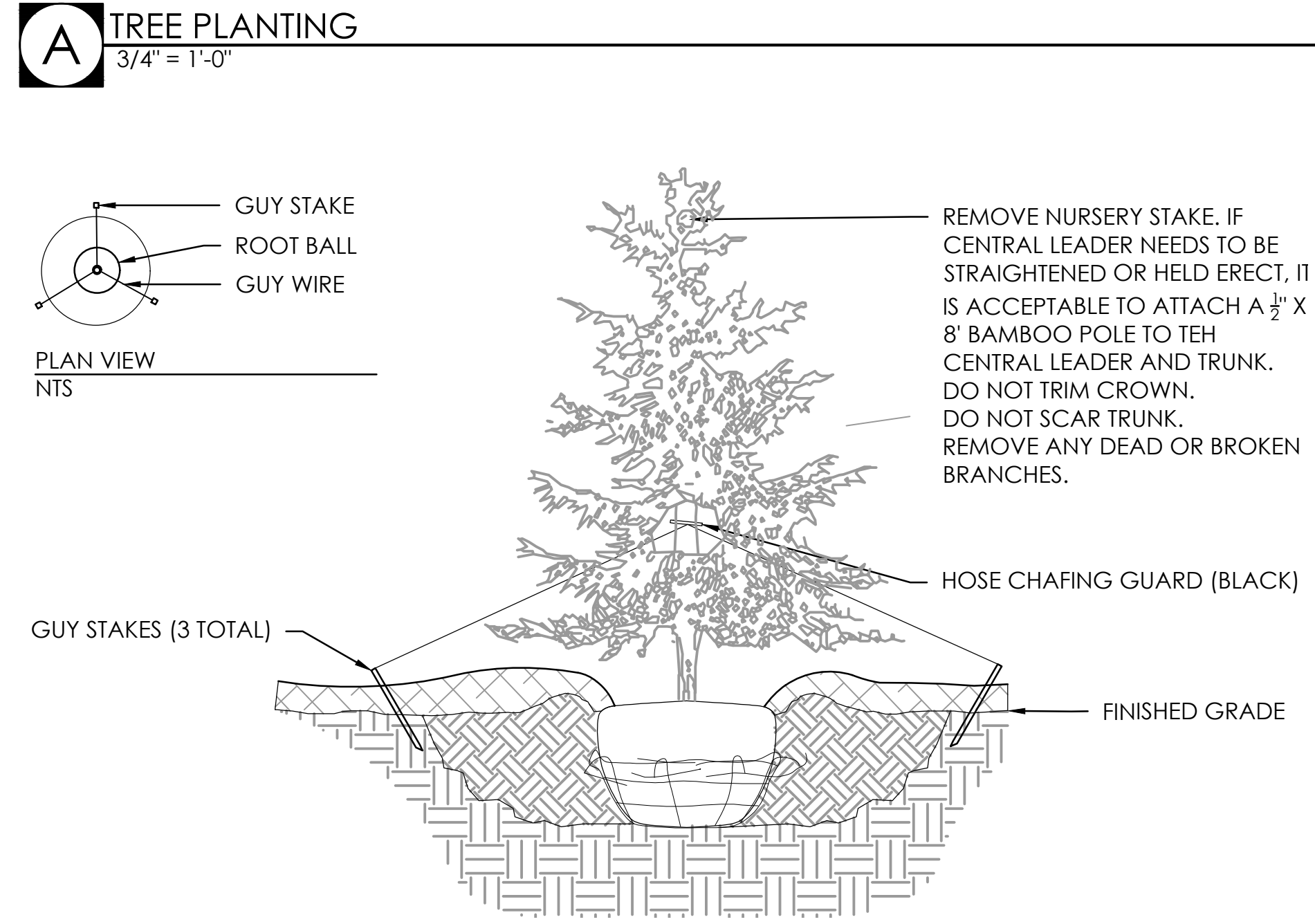
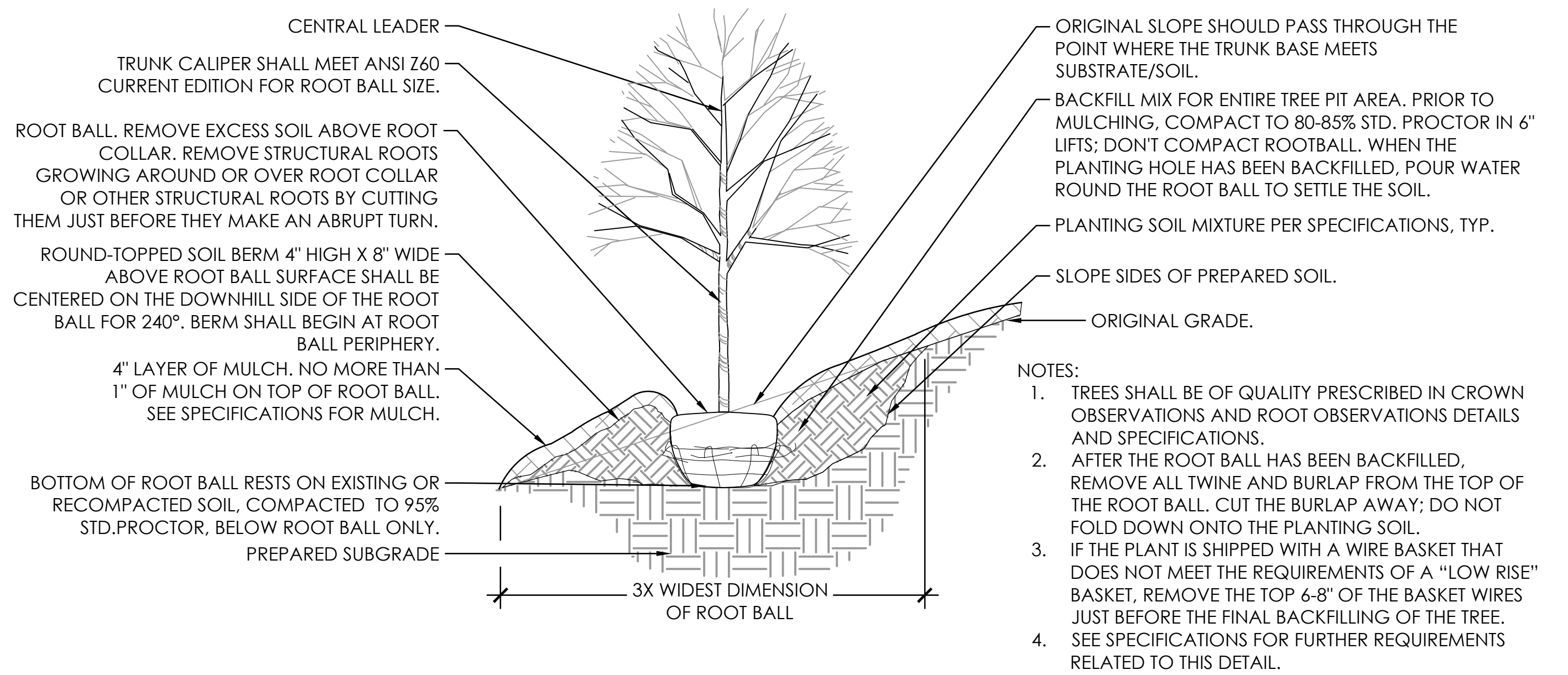
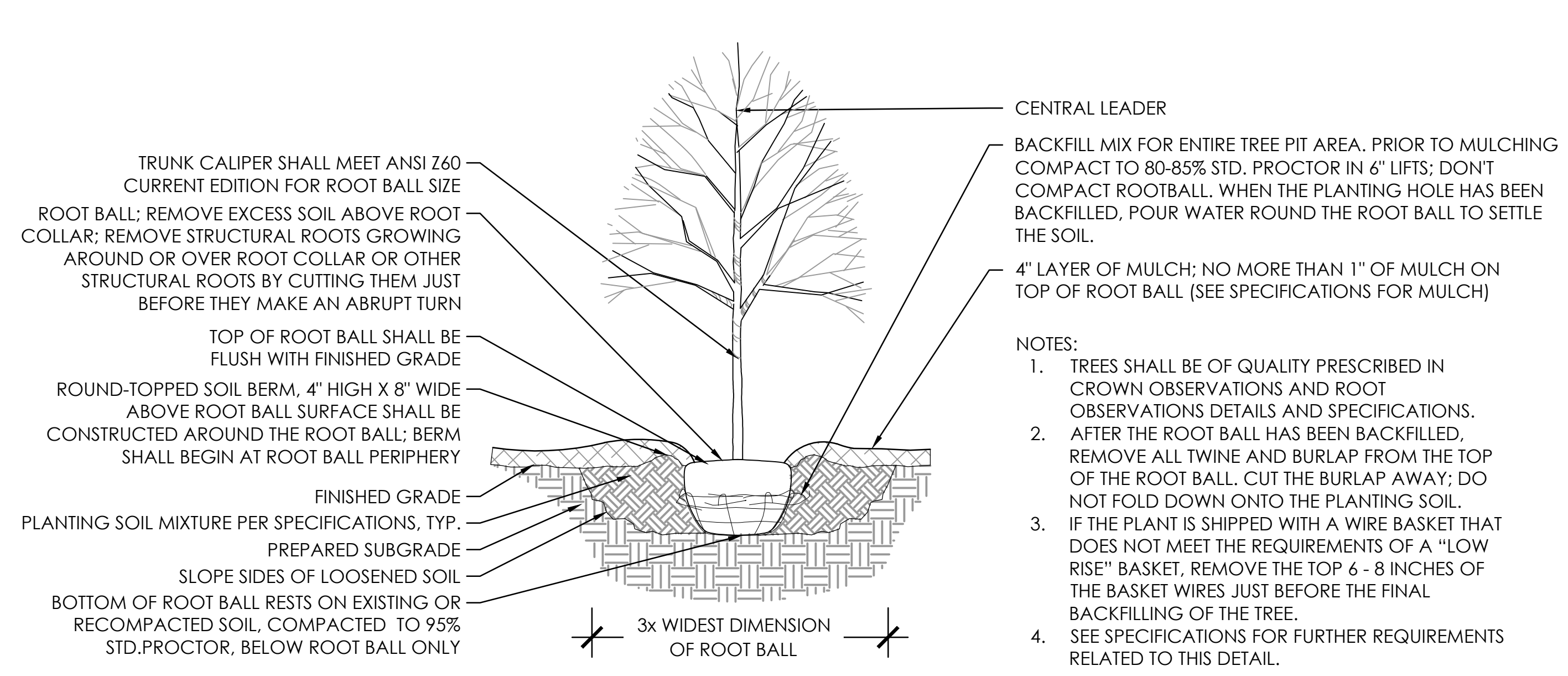
PREPARED FOR:
Enterprise Community Homes Housing LLC (Owner)
Enterprise Community Development, Inc. (Developer)
875 Hollin Street, Suite 202, Baltimore, MD 21201
410-332-7400

Designed by: Stacie Birenbach
BRADLEY SITE DESIGN, INC.
Architecture
1010 Wisconsin Avenue NW Suite 620
Arlington, DC 20007
P: 202.695.8056
www.bradleysitedesign.com

PLANTING SCHEDULE AND NOTES
Waverly Winds Apartments
Lot 3A, Section 3, Area 4
Village of Harper's Choice
Plot No. 26412 and 26667
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE	ZONING	B.S.D. FILE No.
NTS	NT	L410
DATE	TAX MAP - GRID	SHEET
AUG 2024	29-23	18 OF 24

SDP SET



DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING INSTALLED UNDER THIS PLAN WILL MEET THE REQUIREMENTS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. THE LANDSCAPING DEPICTED ON THE BETTERMENTS PLAN EXCEEDS MINIMUM REQUIREMENTS AND WILL ONLY BE INSTALLED IN THE EVENT PROJECT FINANCING ALLOWS.

Signed by:
NAME: Stacie Birenbaek 08/14/24 DATE
819EFB9FE2BB449...

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: April 18, 2024

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
9/19/2024
Director: Linda Eisenberg
Date: 9/19/2024
Chief, Division of Land Development: Charles Edmondson
Date: 9/17/2024
Chief, Development Engineering Division

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION	BY	APPR.
BS	MC	SB				

PREPARED FOR:
Enterprise Community Homes Housing LLC (Owner)
Enterprise Community Development, Inc. (Developer)
875 Hollin Street, Suite 202, Baltimore, MD 21201
410-332-7400

DESIGNED BY:
Bradley Site Design, Inc.
Bradley Site Design, Inc.
2550 Rockledge Avenue NW Suite 620
Arlington, VA 22207
P: 202.695.8056
www.bradleysitedesign.com

PLANTING DETAILS
Waverly Winds Apartments
Lot 3A, Section 3, Area 4
Village of Harper's Choice
Plot No. 26412 and 26667

SCALE	ZONING	B.S.D. FILE No.
NTS	NT	L430
DATE	TAX MAP - GRID	SHEET
AUG 2024	29-23	19 OF 24

HOWARD COUNTY, MARYLAND
ELECTION DISTRICT No. 5

SDP SET



PRODUCT: PEDESTRIAN CONCRETE SIDEWALK
 COLOR: WHITE
 FINISH: BROOM
 NOTES: 4" THICK WITH EWF AND DOWELED AT EXPANSION JOINTS TO MEET THE LEED-NC SS 7.1 PAVING MATERIAL REQUIREMENT OR THE LEED-NC SS 7.2. A CONCRETE SURFACE MUST HAVE A SOLAR REFLECTANCE OF AT LEAST 0.28 USING ASTM E1980 AND AN EMITTANCE OF 0.90. TO MEET THE LEED-NC SS 7.2 A CONCRETE SURFACE MUST HAVE A SOLAR REFLECTANCE OF AT LEAST 0.64.

A PEDESTRIAN CONCRETE



PRODUCT: TRADITIONAL PREST BRICK
 MANUFACTURER: HANOVER
 DIMENSIONS: 4" x 8"
 MATERIAL(S): CONCRETE BRICK
 COLOR(S): TBD BY SUBMITTAL PRIOR TO ORDERING.
 FINISH: TUDOR

B CONCRETE PAVERS



PRODUCT: WOOD CARPET - ENGINEERED WOOD FIBER
 MANUFACTURER: ZEAGER BROS, INC.
 4000 EAST HARRISBURG PIKE, MIDDLETOWN, PA 17057
 ZEAGER.COM
 (800) 346-8524 / INFO@ZEAGER.COM
 FINISH: NATURAL
 QTY: REFER TO PLAN DRAWINGS
 NOTES: REFER PLAY MANUFACTURER FOR DEPTH REQUIREMENTS FOR SAFETY SURFACE.

C ENGINEERED WOOD FIBER



BLACK VINYL CHAINLINK FENCE
 FOR DESIGN INTENT ONLY
 48" HEIGHT, REFER DETAILS

D PLAYGROUND FENCING



BLACK VINYL CHAINLINK DOUBLE SWING GATE TO MATCH FENCE
 FOR DESIGN INTENT ONLY
 48" HEIGHT

E PLAYGROUND DOUBLE SWING GATE



PRODUCT: PRESSURE-TREATED TIMBER
 DIMENSIONS: 6" x 6"
 FINISH: NATURAL
 NOTES: LOCATED WHERE ENGINEERED WOOD FIBER IS ADJACENT TO LAWN OR P.A. (REFER TO PLANS FOR LAYOUT AND DIMENSIONS)

F TIMBER EDGE



PRODUCT: FOUR-ARCH PLAY PIECE
 MANUFACTURER: LANDSCAPE STRUCTURES
 REPRESENTATIVE: SPARKS@PLAY LLC
 3705 CRONDALL LN., OWINGS MILLS, MD 21117
 WWW.SPARKSATPLAY.COM
 DIMENSIONS: REFER PLAN
 COMPONENTS: HEMISPHERE CLIMBER, OVERHEAD TREKKER LADDER, HELIX NET CLIMBER, RUSH SLIDE, RINGTANLE CLIMBER, AND O-ZONE CLIMBER.
 COLOR(S): TBD
 QTY: 1
 NOTE: PLAY EQUIPMENT DESIGN AND LAYOUT TO BE COORDINATED WITH MANUFACTURER

G PLAY EQUIPMENT



PRODUCT: BIKE DEPOT
 MANUFACTURER: DERO
 5522 LAKELAND AVE N
 MINNEAPOLIS, MN 55429
 WWW.DERO.COM
 DIMENSIONS: 12' L x 7'-6" W x 10'-5" H
 MATERIAL: STEEL
 FINISH: POWDER COAT
 COLOR: STANDARD, TBD
 OPTIONS: KEY LOCKING, MESH PANELING ON ALL SIDES

H ADD ALTERNATE - BIKE SHELTER



PRODUCT: BIKE FILE
 MANUFACTURER: DERO
 5522 LAKELAND AVE N
 MINNEAPOLIS, MN 55429
 WWW.DERO.COM
 DIMENSIONS: COMPATIBLE WITH BIKE DEPOT
 MATERIAL: STEEL
 FINISH: GALVANIZED AND STAINLESS
 OPTIONS: WALL MOUNTED TO BIKE DEPOT

APPROVED
PLANNING BOARD OF HOWARD COUNTY
 DATE: April 18, 2024

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 9/19/2024
 Director: *Linda Eisenberg*
 Chief, Division of Land Use & Planning: *Charles Edmondson*
 Chief, Development Engineering Division: _____

DESIGNED BY:	BS				
DRAWN BY:	MC				
CHECKED BY:	SB				
	DATE	REVISION	BY	APPR.	

PREPARED FOR:
 Enterprise Community Homes Housing LLC (Owner)
 Enterprise Community Development, Inc. (Developer)
 875 Hollin Street, Suite 202, Baltimore, MD 21201
 410-332-7400

Prepared by: *Bradley Site Design, Inc.*
 Architecture
 1010 Wisconsin Avenue NW Suite 620
 Washington, DC 20007
 P: 202.695.8056
 www.bradleysitedesign.com

FENCING AND PLAYGROUND PRODUCT INFORMATION

Waverly Winds Apartments
 Lot 3A, Section 3, Area 4
 Village of Harper's Choice
 Plot No. 26412 and 26667

HOWARD COUNTY, MARYLAND

SCALE	ZONING	B.S.D. FILE No.
NTS	NT	L500
DATE	TAX MAP - GRID	SHEET
AUG 2024	29-23	20 OF 24

SDP SET



PRODUCT: BEACON HILL RECYCLED PLASTIC 6' CONTOUR BENCH
 MANUFACTURER: ANOVA
 1424 TALMAGE AVE. ST. LOUIS, MO 63110
 WWW.ANOVAFURNISHINGS.COM
 CK KRAFT
 571-325-4944 / CKKRAFT@ANOVAFURNISHINGS.COM
 DIMENSIONS: 6' L.
 MATERIAL(S): SLAT - RECYCLED PLASTIC; FRAME - METAL
 COLOR(S): SLAT - MAHOGANY; FRAME - TEXTURED PEWTER
 FINISH: POWDER-COAT
 QTY: REFER TO PLAN DRAWINGS

A BENCH



PRODUCT: CORSICA STAMPED STEEL ARMLESS CHAIR - SET OF 4
 MANUFACTURER: ANOVA
 1424 TALMAGE AVE. ST. LOUIS, MO 63110
 WWW.ANOVAFURNISHINGS.COM
 CK KRAFT
 571-325-4944 / CKKRAFT@ANOVAFURNISHINGS.COM
 DIMENSIONS: 30" HT.
 MATERIAL(S): STEEL
 COLOR(S): SILVER GRAY
 FINISH: POWDER-COAT
 QTY: REFER TO PLAN DRAWINGS

B CHAIR (BY OWNER)



PRODUCT: MIXX 42" SQUARE RECYCLED PLASTIC TABLE
 MANUFACTURER: ANOVA
 1424 TALMAGE AVE. ST. LOUIS, MO 63110
 WWW.ANOVAFURNISHINGS.COM
 CK KRAFT
 571-325-4944 / CKKRAFT@ANOVAFURNISHINGS.COM
 DIMENSIONS: 42" SQUARE TABLETOP
 MATERIAL(S): STEEL
 COLOR(S): SLAT - MAHOGANY; FRAME - TEXTURED PEWTER
 FINISH: POWDER-COAT
 QTY: REFER TO PLAN DRAWINGS

C 42" TABLE (BY OWNER)



PRODUCT: EXPOSITION 33 GALLON TRASH RECEPTACLE/RECYCLER, SIDE DOOR
 MANUFACTURER: ANOVA
 1424 TALMAGE AVE. ST. LOUIS, MO 63110
 WWW.ANOVAFURNISHINGS.COM
 CK KRAFT
 571-325-4944 / CKKRAFT@ANOVAFURNISHINGS.COM
 DIMENSIONS: 33 GAL.
 MATERIAL(S): STEEL
 COLOR(S): TRASH - TEXTURED PEWTER; RECYCLING - PINE
 FINISH: POWDER-COAT
 QTY: REFER TO PLAN DRAWINGS

D TRASH & RECYCLING RECEPTACLE



PRODUCT: STREETSIDE 3-BIKE/1-LOOP RACK, POWDER COATED, INGROUND MOUNT
 MANUFACTURER: ANOVA
 1424 TALMAGE AVE. ST. LOUIS, MO 63110
 WWW.ANOVAFURNISHINGS.COM
 CK KRAFT
 571-325-4944 / CKKRAFT@ANOVAFURNISHINGS.COM
 DIMENSIONS: 3' HT.
 MATERIAL(S): STEEL
 COLOR(S): TEXTURED PEWTER
 FINISH: POWDER-COAT
 QTY: REFER TO PLAN DRAWINGS

E BIKE RACK

APPROVED PLANNING BOARD OF HOWARD COUNTY DATE: April 18, 2024	
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING	9/19/2024
Director <i>Linda Eisenberg</i>	Date 9/19/2024
Chief, Division of Land Development <i>Charles Edmondson</i>	Date 9/17/2024
Chief, Development Engineering Division	Date

DESIGNED BY	BS				
DRAWN BY	MC				
CHECKED BY	SB				
	DATE	REVISION	BY	APP'R.	

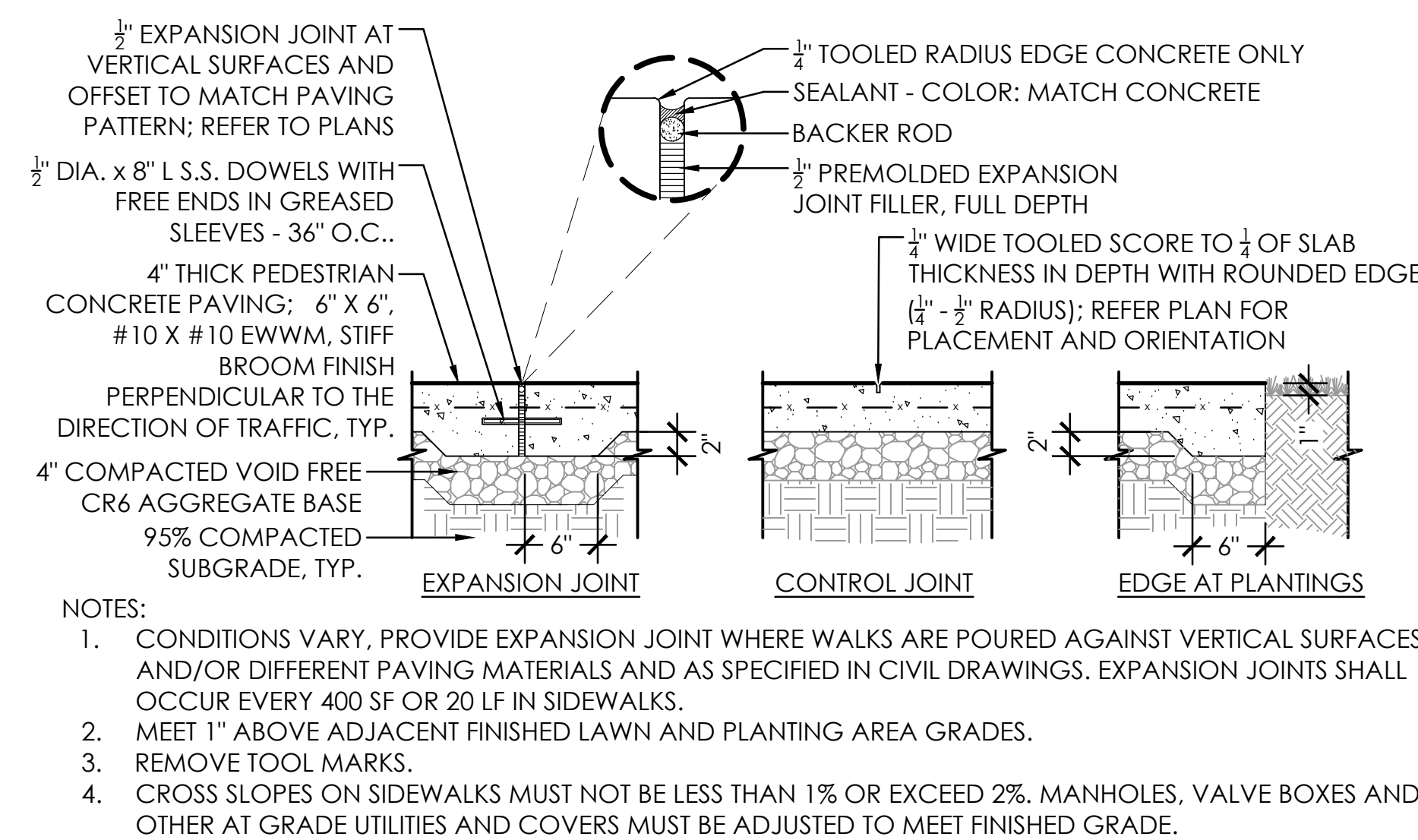
PREPARED FOR:
 Enterprise Community Homes Housing LLC (Owner)
 Enterprise Community Development, Inc. (Developer)
 875 Hollin Street, Suite 202, Baltimore, MD 21201
 410-332-7400

DESIGNED BY: *Bradley Site Design, Inc.*
 BRADLEY SITE DESIGN, INC.
 Architecture
 1010 Wisconsin Avenue NW Suite 620
 Arlington, DC 20007
 P: 202.695.8056
 www.bradleysitedesign.com

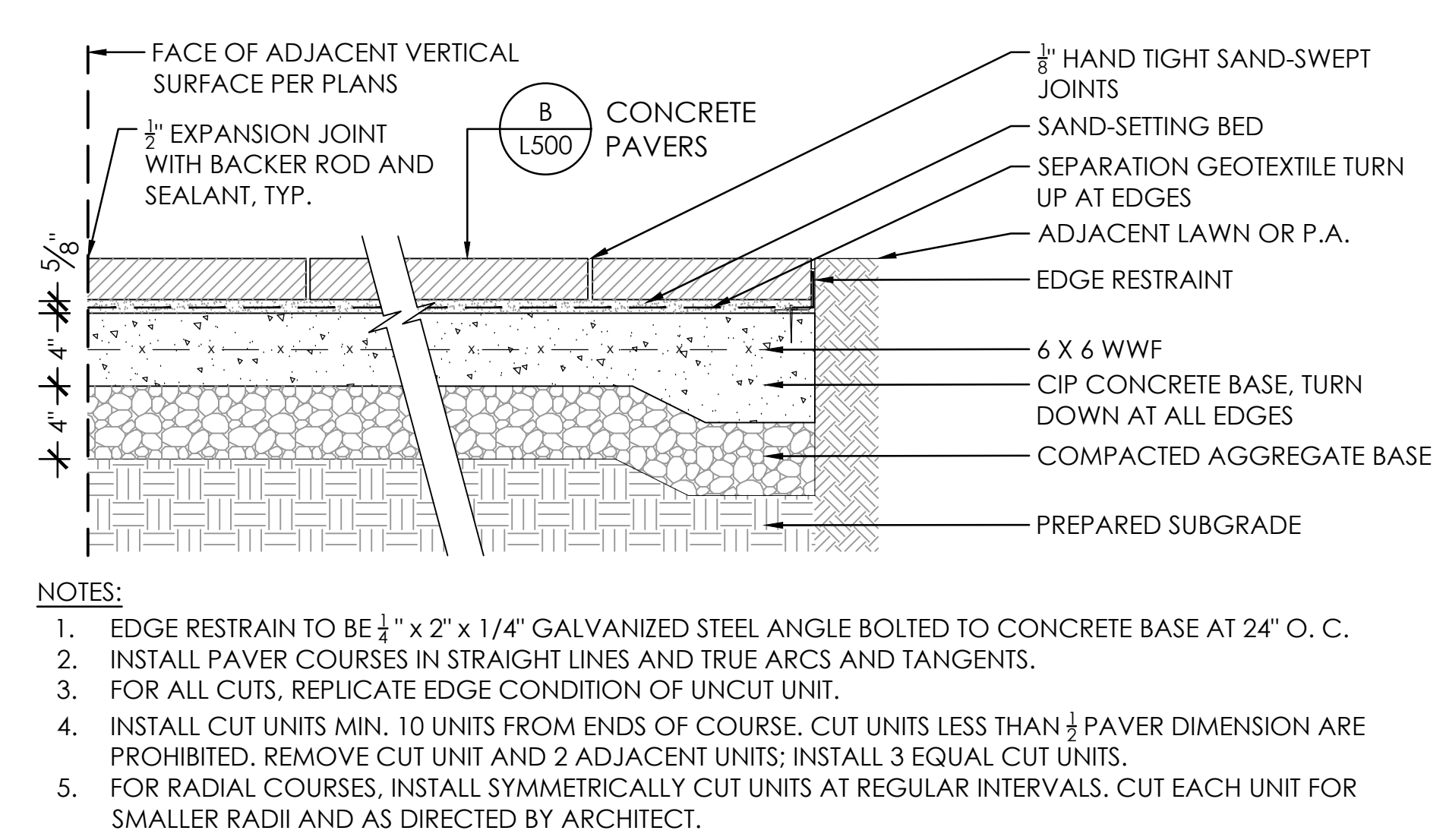
PRODUCT INFORMATION
 Waverly Winds Apartments
 Lot 3A, Section 3, Area 4
 Village of Harper's Choice
 Plat No. 26412 and 26667
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	B.S.D. FILE No.
NTS	NT	L501
DATE	TAX MAP - GRID	SHEET
AUG 2024	29-23	21 OF 24

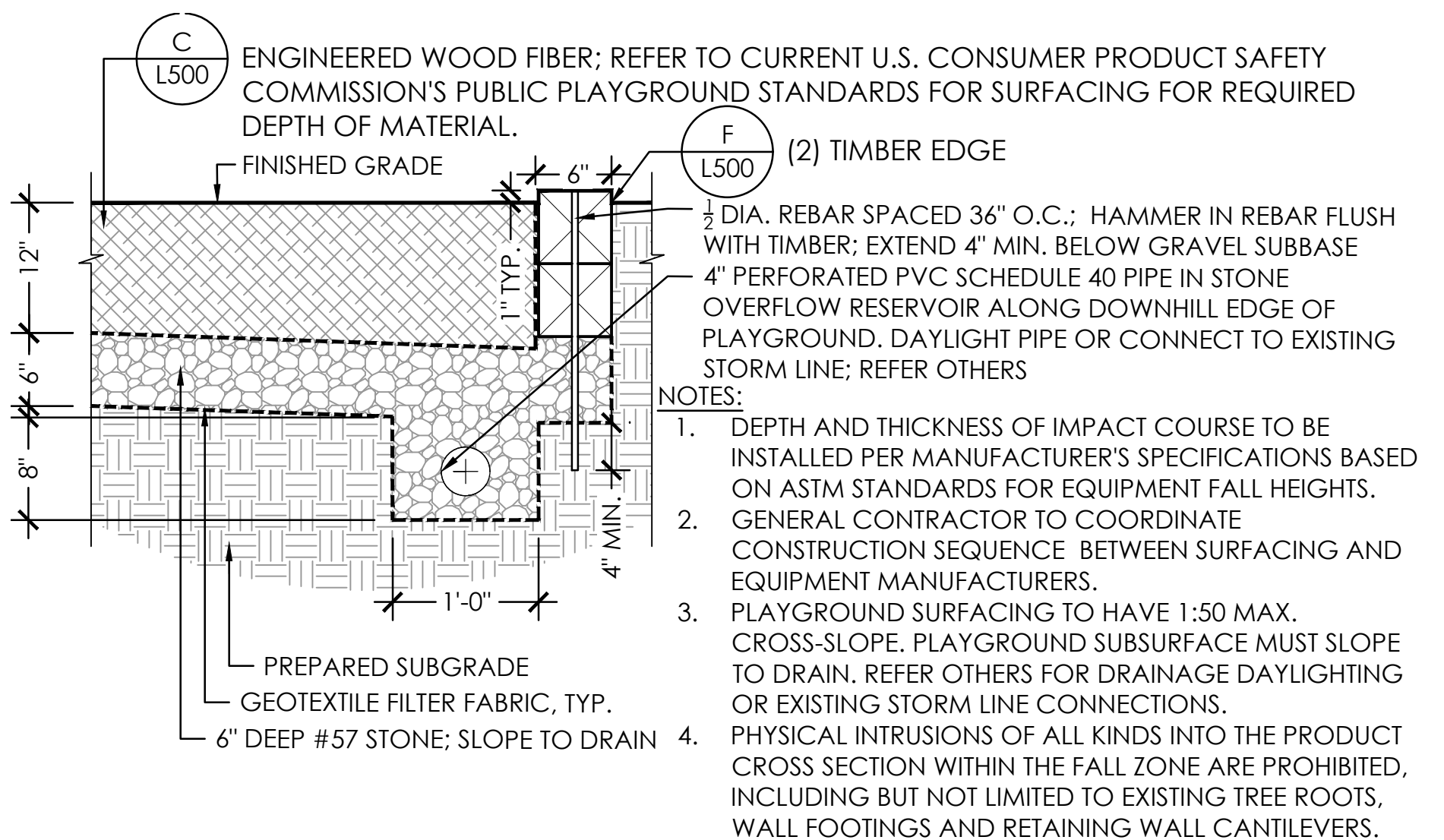
SDP SET



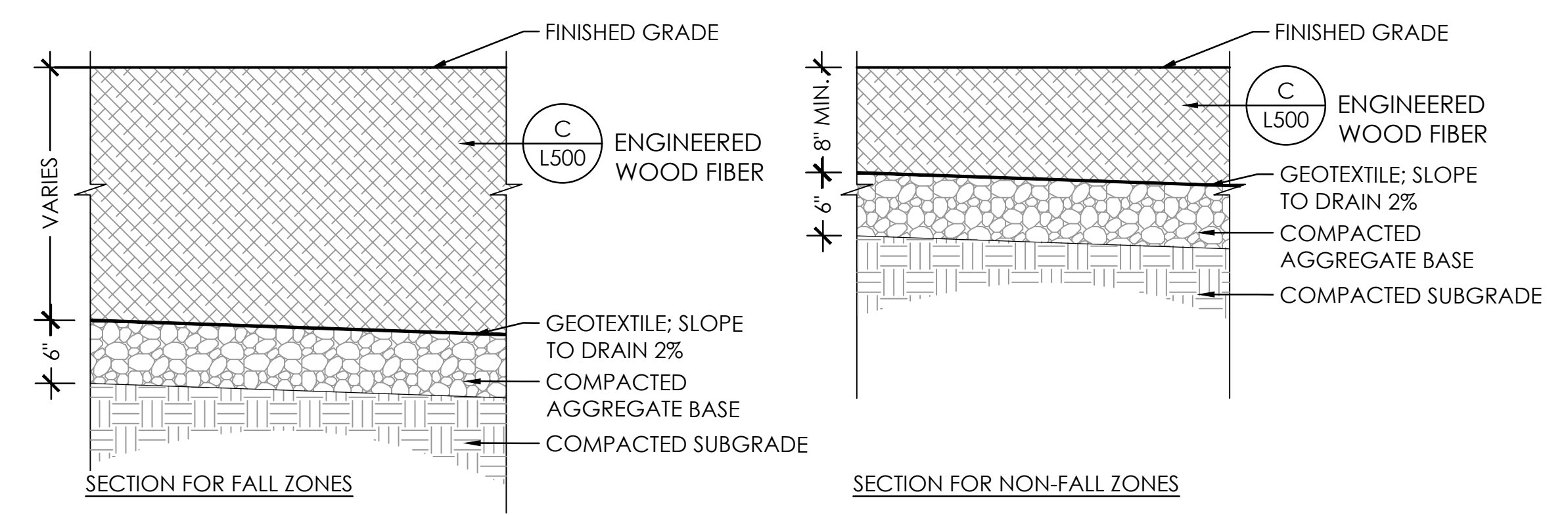
A PEDESTRIAN CONCRETE PAVING
1" = 1'-0"



B SAND-SET UNIT PAVERS
1-1/2" = 1'-0"



C TIMBER EDGE AT ENGINEERED WOOD FIBER (5-12)
1" = 1'-0"



NOTES:

- DEPTH / THICKNESS OF IMPACT COURSE TO BE INSTALLED BASED ON MANUFACTURER'S RECOMMENDATIONS BASED ON ASTM STANDARDS FOR EQUIPMENT FALL HEIGHTS. REFER TO CURRENT U.S. CONSUMER PRODUCT SAFETY COMMISSION'S PUBLIC PLAYGROUND STANDARDS FOR DEPTH REQUIREMENTS.
- PHYSICAL INTRUSIONS OF ALL KINDS INTO THE PRODUCT CROSS SECTION WITHIN THE FALL ZONE ARE PROHIBITED, INCLUDING EXISTING TREE ROOTS, WALL FOOTINGS, RETAINING WALL CANTILEVERS, ETC.

D ENGINEERED WOOD FIBER
1" = 1'-0"

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: April 18, 2024

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
9/19/2024
Director: *Linda Eisenberg*
Chief, Division of Land Use Department: *Carl D. Edmondson*
Chief, Development Engineering Division: _____

DESIGNED BY	BS				
DRAWN BY	MC				
CHECKED BY	SB				
DATE		REVISION		BY	APP'R.

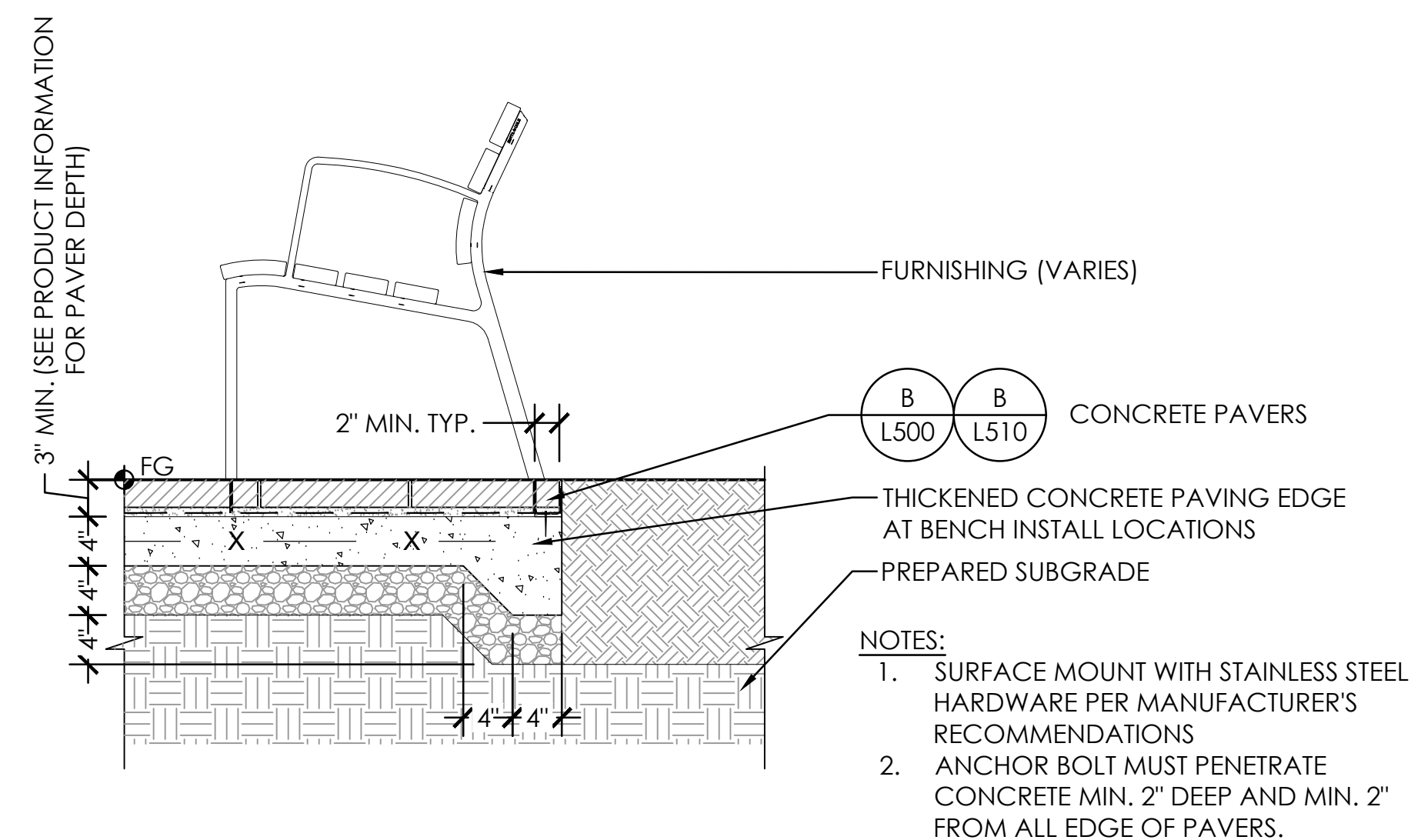
PREPARED FOR:
Enterprise Community Homes Housing LLC (Owner)
Enterprise Community Development, Inc. (Developer)
875 Hollin Street, Suite 202, Baltimore, MD 21201
410-332-7400

BRADLEY SITE DESIGN, INC.
1010 Wisconsin Avenue NW Suite 620
Washington, DC 20007
P: 202.695.8054
www.bradleysitedesign.com

HARDSCAPE DETAILS
Waverly Winds Apartments
Lot 3A, Section 3, Area 4
Village of Harper's Choice
Plot No. 26412 and 26667
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE	ZONING	B.S.D. FILE No.
NTS	NT	L510
DATE	TAX MAP - GRID	SHEET
AUG 2024	29-23	22 OF 24

SDP SET



A FURNITURE ON UNIT PAVERS
1" = 1'-0"

FURNISHING (VARIES)

2" MIN. TYP.

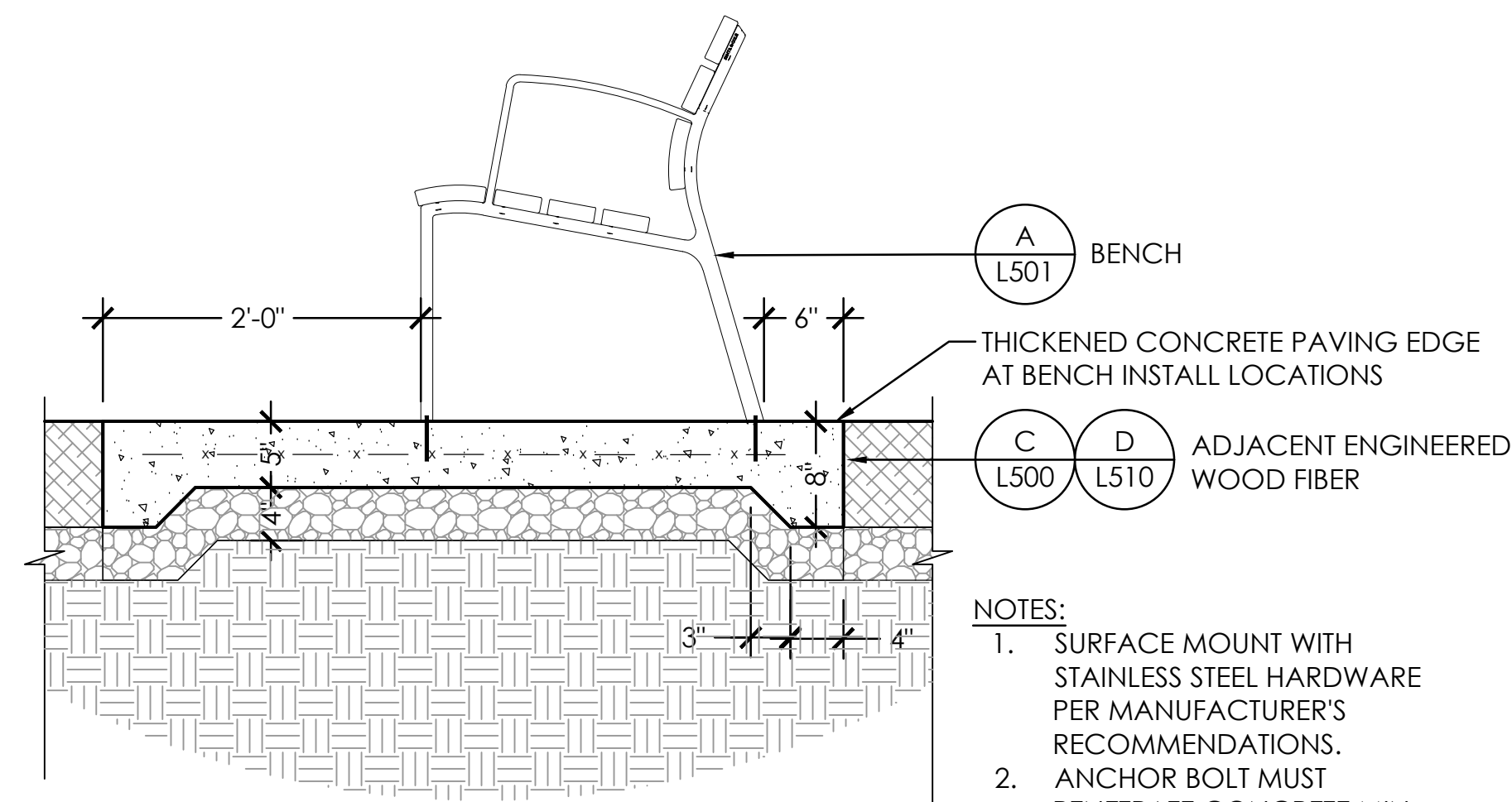
3" MIN. (SEE PRODUCT INFORMATION FOR PAVES DEPTH)

THICKENED CONCRETE PAVING EDGE AT BENCH INSTALL LOCATIONS

PREPARED SUBGRADE

NOTES:

1. SURFACE MOUNT WITH STAINLESS STEEL HARDWARE PER MANUFACTURER'S RECOMMENDATIONS.
2. ANCHOR BOLT MUST PENETRATE CONCRETE MIN. 2" DEEP AND MIN. 2" FROM ALL EDGE OF PAVERS.



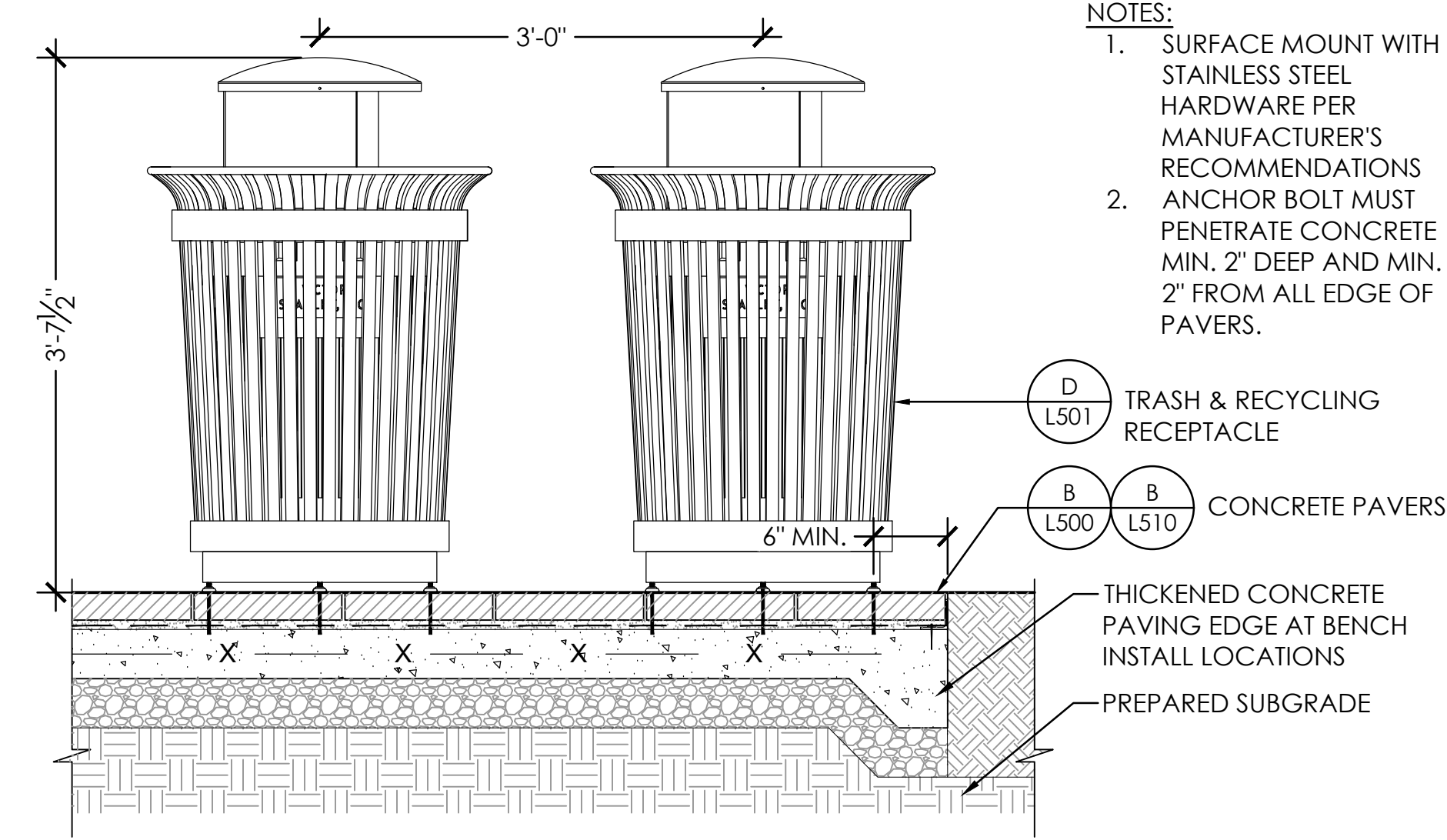
B BENCH IN EWF
1" = 1'-0"

THICKENED CONCRETE PAVING EDGE AT BENCH INSTALL LOCATIONS

ADJACENT ENGINEERED WOOD FIBER

NOTES:

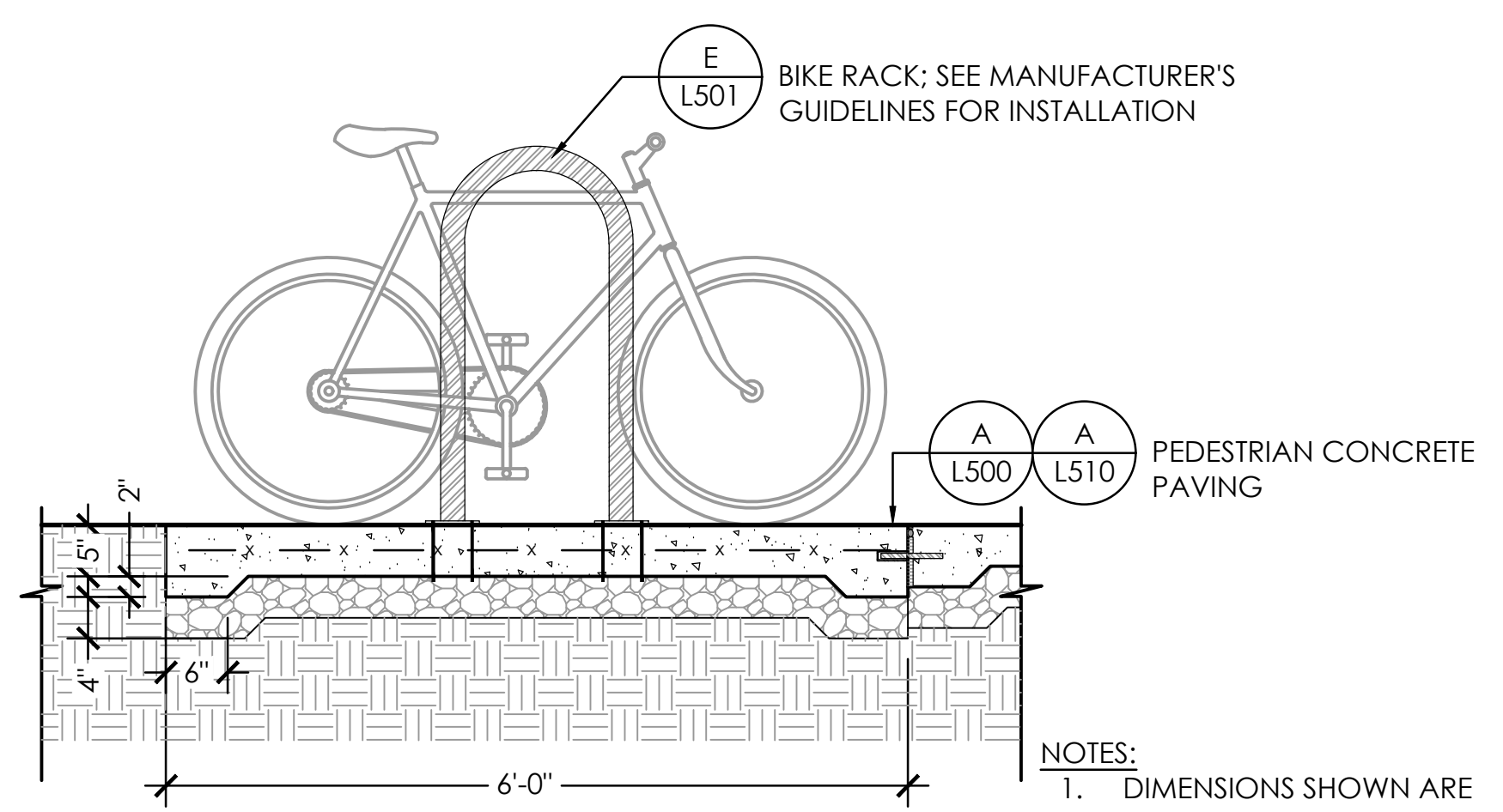
1. SURFACE MOUNT WITH STAINLESS STEEL HARDWARE PER MANUFACTURER'S RECOMMENDATIONS.
2. ANCHOR BOLT MUST PENETRATE CONCRETE MIN. 2" DEEP AND MIN. 2" EDGE OF PAVERS, ALL SIDES.



C TRASH AND RECYCLING RECEPTACLE MOUNTING & LAYOUT
1" = 1'-0"

NOTES:

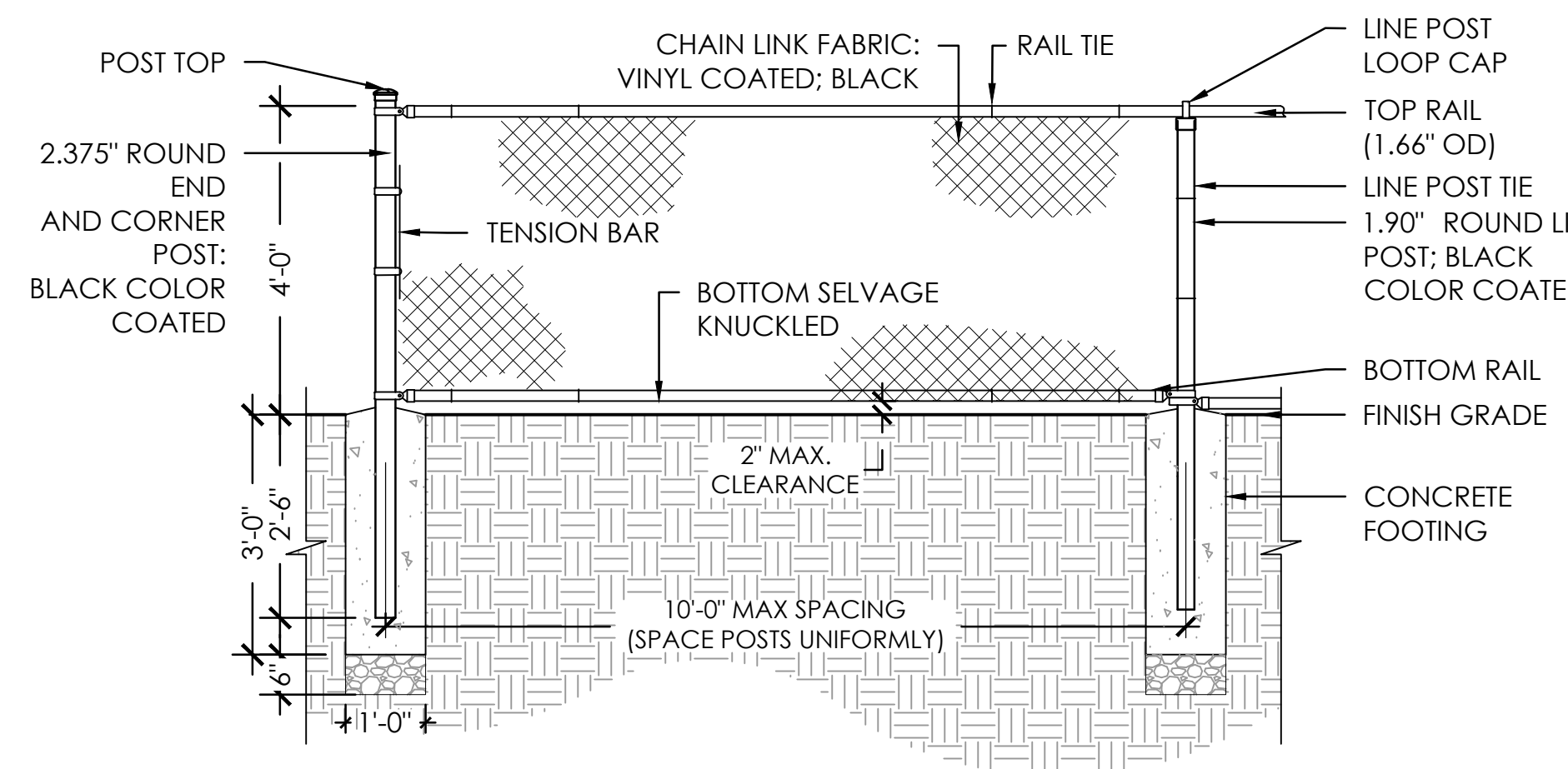
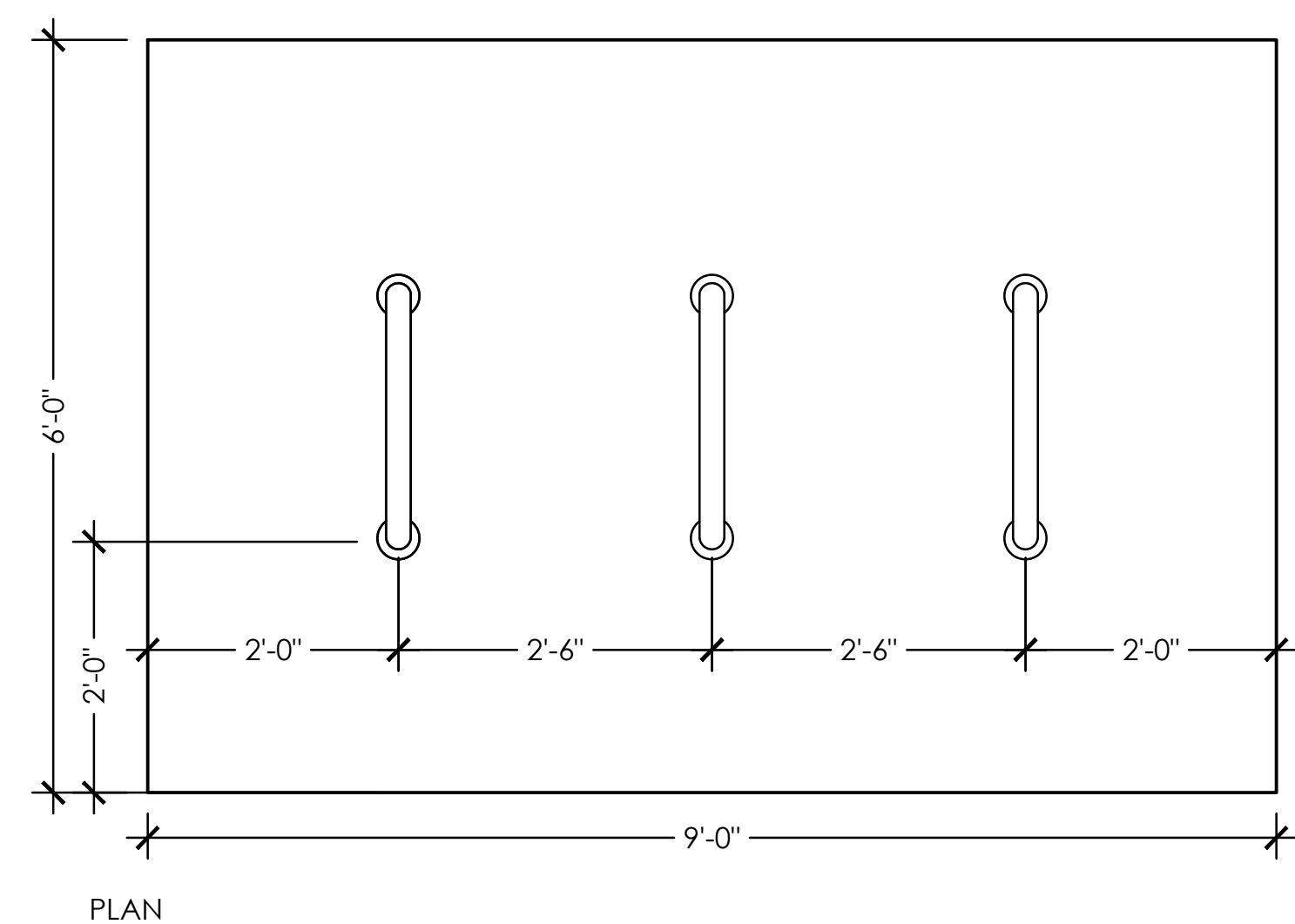
1. SURFACE MOUNT WITH STAINLESS STEEL HARDWARE PER MANUFACTURER'S RECOMMENDATIONS.
2. ANCHOR BOLT MUST PENETRATE CONCRETE MIN. 2" DEEP AND MIN. 2" FROM ALL EDGE OF PAVERS.



D BIKE RACK MOUNTING & LAYOUT
1:16_XREF

NOTES:

1. DIMENSIONS SHOWN ARE MINIMUM CLEARANCES TO BE FREE OF OBSTRUCTION AND CIRCULATION PATHS.



E 4' HT CHAINLINK FENCE
1/2" = 1'-0"

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: April 18, 2024

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
9/19/2024

Director: *Linda Eisenberg* Date: 9/19/2024

Chief, Division of Land Development: *Carl Edmondson* Date: 9/17/2024

Chief, Development Engineering Division: _____ Date: _____

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION	BY	APP'R.
BS	MC	SB				

PREPARED FOR:

Enterprise Community Homes Housing LLC (Owner)
Enterprise Community Development, Inc. (Developer)
875 Hollin Street, Suite 202, Baltimore, MD 21201
410-332-7400

Designed by: *Bradley Site Design, Inc.*

BRADLEY SITE DESIGN, INC.
Architecture
1010 Wisconsin Avenue NW Suite 620
Washington, DC 20007
P: 202.695.8054
www.bradleysitedesign.com

08/14/24

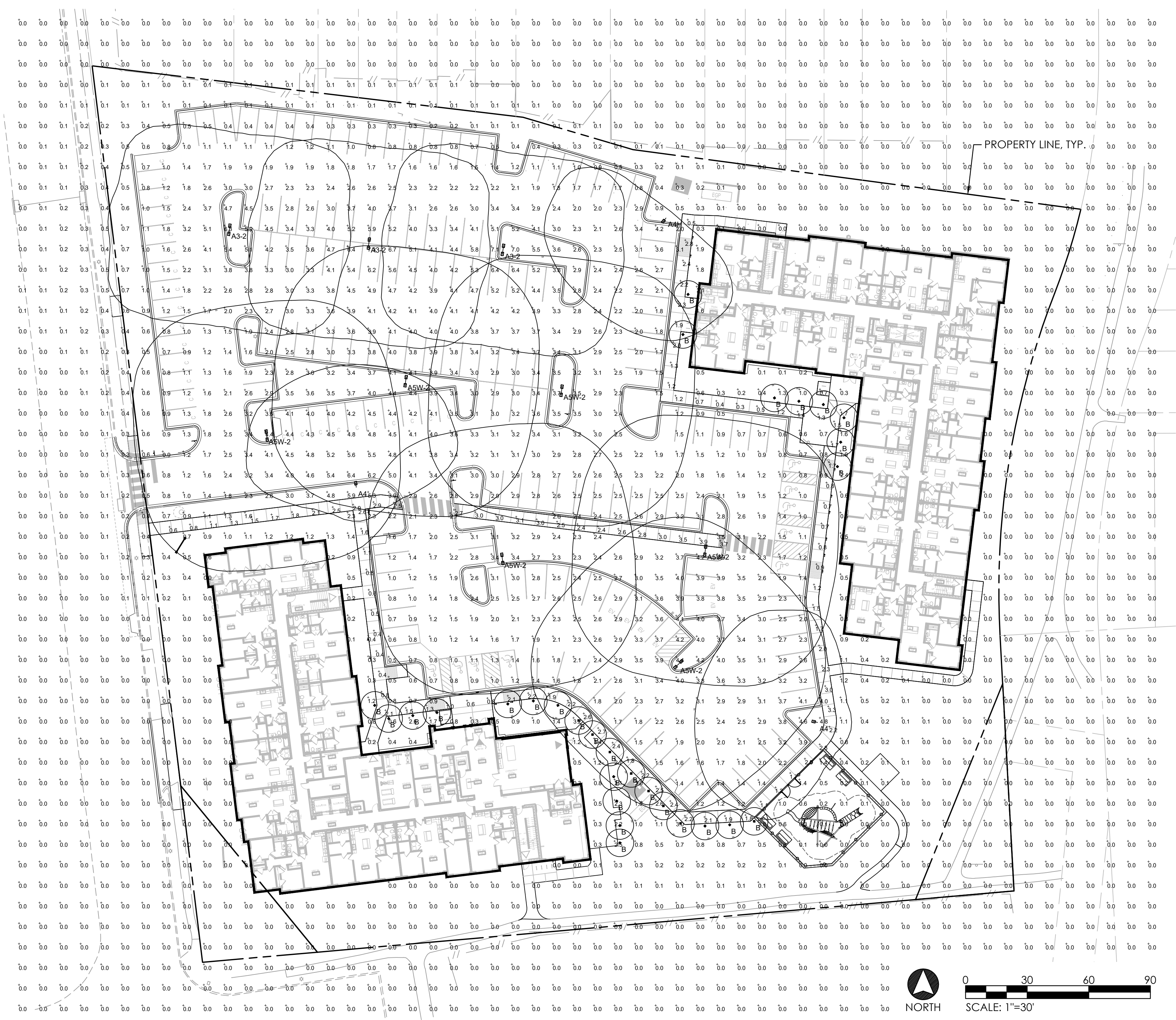
FURNISHING DETAILS

Waverly Winds Apartments
Lot 3A, Section 3, Area 4
Village of Harper's Choice
Plat No. 26412 and 26667

HOWARD COUNTY, MARYLAND

SCALE	ZONING	B.S.D. FILE No.
NTS	NT	L511
DATE	TAX MAP - GRID	SHEET
AUG 2024	29-23	23 OF 24

SDP SET



Symbol	Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description	[MANUFAC]	Filename
	3	A3-2	Back-Back	13834	101.0474	0.720	P26-48L-700-NW-G2-3, 20ft Pole	SIGNIFY GARDCO	p26-48l-700-nw-g2-3.ies
	2	A4	Single	14351	101.0474	0.720	P26-48L-700-NW-G2-4, 20ft Pole	SIGNIFY GARDCO	p26-48l-700-nw-g2-4.ies
	1	A4H	Single	11707	101.0474	0.720	P26-48L-700-NW-G2-4-HIS, 20ft Pole	SIGNIFY GARDCO	p26-48l-700-nw-g2-4-his.ies
	6	ASW-2	Back-Back	14819	101.0474	0.720	P26-48L-700-NW-G2-5W, 20ft Pole	SIGNIFY GARDCO	p26-48l-700-nw-g2-5w.ies
	29	B	Single	936	19.8	0.720	99727, 32in tube	BEGA	99727_BEGA_IES.ies

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description
Parking Lot	Illuminance	Fc	2.70	7.3	0.3	9.00	24.33	10ft Grid
Sidewalks	Illuminance	Fc	1.81	3.9	0.3	6.03	13.00	10ft Spacing

APPROVED
PLANNING BOARD OF HOWARD COUNTY
 DATE: April 18, 2024

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 9/19/2024
 Director: *Linda Eisenberg*
 Chief, Division of Land Development: *Carol Edmondson*

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION	BY	APP'R.
BS	MC	SB				

PREPARED FOR:
 Enterprise Community Homes Housing LLC (Owner)
 Enterprise Community Development, Inc. (Developer)
 875 Hollin Street, Suite 202, Baltimore, MD 21201
 410-332-7400

DESIGNED BY: *Bradley Site Design, Inc.*
 BRADLEY SITE DESIGN, INC.
 Architecture
 2500 Avenue NW Suite 620
 Arlington, VA 22207
 P: 202.695.8054
 www.bradleysitedesign.com

PHOTOMETRIC PLAN
Waverly Winds Apartments
 Lot 3A, Section 3, Area 4
 Village of Harper's Choice
 Plat No. 26412 and 26667

HOWARD COUNTY, MARYLAND

SCALE	ZONING	B.S.D. FILE No.
1" = 30'	NT	L601
DATE	TAX MAP - GRID	SHEET
AUG 2024	29-23	24 OF 24

SDP SET