#### GENERAL NOTES

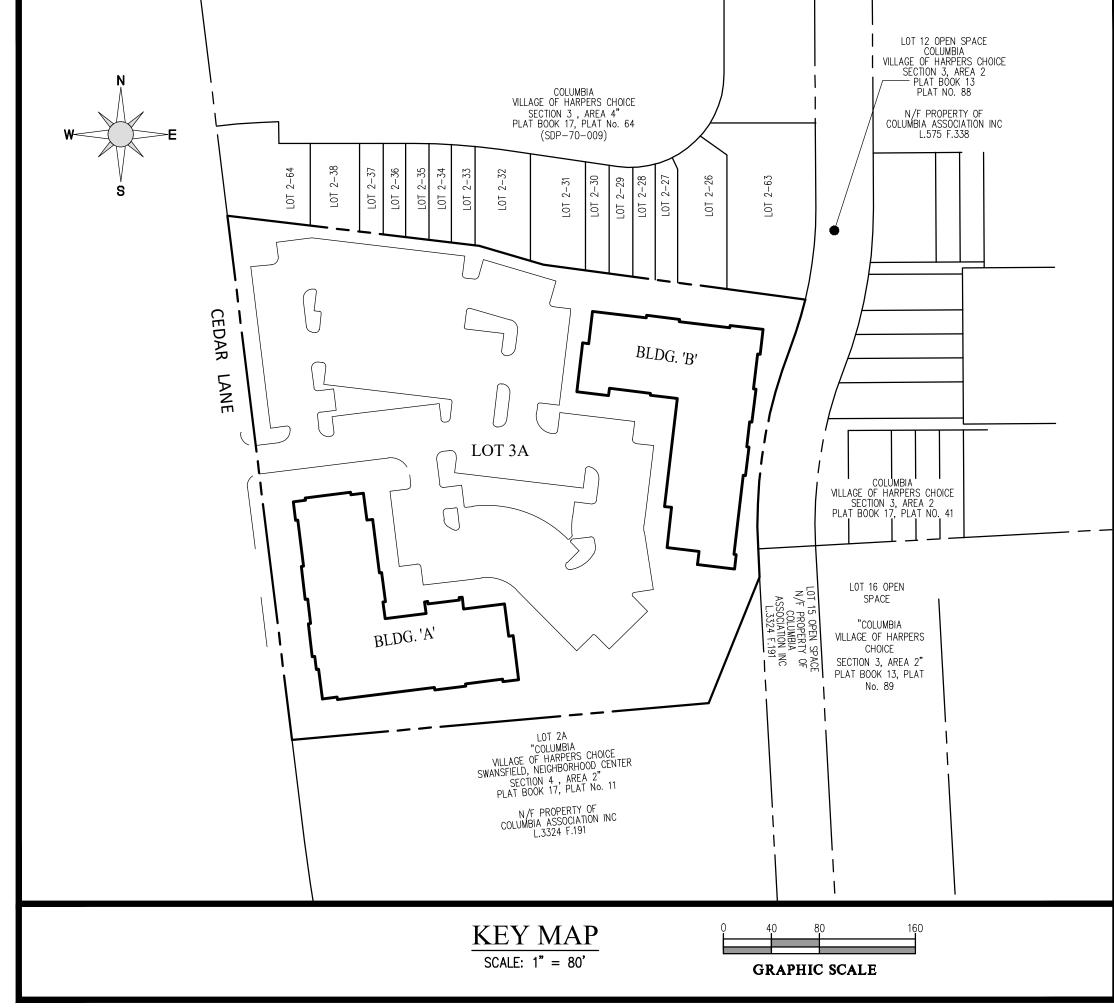
- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- 2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- 3. THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS. BUREAU OF UTILITIES AT (410)
- 313-4900 AT LEAST FIVE (5) DAYS PRIOR TO STARTING ANY EXCAVATION WORK. 4. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION

PROJECT BACKGROUND: TAX MAP #29, GRID 23 LOCATION: ZONING: ELECTION DISTRICT: ARFA OF LOT-3: RECORDING REFERENCE: PLAT BOOK 15, PAGE 30

- 6. PROPOSED USE: APARTMENTS
- . ALL PLAN DIMENSIONS ARE TO FACE OF BUILDING AND/OR FACE OF CURB UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIALLY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
- 3. EXISTING TOPOGRAPHY SHOWN ON THESE PLANS IS COMPILED FROM A 2017 ALTA SURVEY BY BENCHMARK ENGINEERING, FIELD RUN SURVEY PERFORMED BY GUTSCHICK, LITTLE & WEBER, P.A. IN FEBRUARY, 2021, FROM AVAILABLE DESIGN PLANS AND HOWARD COUNTY GIS FOR OFFSITE AREAS OUTSIDE OF THE LOD.
- 9. COORDINATES AND BEARINGS ARE BASED ON NAD '83 AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS Nos. 35C2 AND 35C5.
- O. RELATED DEPARTMENT OF PLANNING & ZONING FILE NUMBERS :
- FDP-34\*, FDP-66\*, F-68-012, C-279-S PUBLIC SEWER, C-284-W&S, SDP-68-006 (original apartment development), SDP-74-031 (playground addition), ZB-1120M, ECP-23-034, F-24-013 (PN 26412), F-24-062 (PN 26667), WP-24-036 (for removal of 8 trees > 30"DBH), and DMV.3 Waivers (for compact parking spaces & relocating the multi-use path on the CA O/S to the east). Additional information about the DMV.3 Waivers and WP-24-046 is provided GN#34.
- \*The FDP-34 was amended (as FDP-34-A) and approved by the Planning Board on 11/16/2023 to allow a building height of up to 50' and 123 apt. units on "Lot-3" (now Lot "3A" by F-24-013, PN. 26412). FDP-66 was amended (as FDP-66-A) and approved by the Planning Board on 11/16/2023 for the equal land swap between former "Lot 3" and former Open Space "Lot 2".
- 11. THE PRE-DEVELOPMENT COMMUNITY MEETING WAS HELD AT THE SLAYTON HOUSE (10400 Cross Fox Lane) on 2/13/2023.
- 12. THIS PROPERTY IS WITHIN THE METROPOLITAN DISTRICT (PLANNED SERVICE AREA; THEREFORE, IT IS SERVED BY PUBLIC WATER AND SEWER. PUBLIC SEWER IS PROVIDED BY EX. CONTRACT 279-S. AND THE EXISTING PUBLIC 8" WATER UNDER #258-W. THE EXISTING WATER ON THIS SITE (Lot-3A) SHALL BE PROPERLY ABANDONED (see Demolition Plan) AND REPLACED WITH A NEW 8" WATER MAIN UNDER CONTRACT No. 24-5230-D.
- 13. THE ON-SITE SEWER EXTENSION (outside the Public Sewer & Utility Easement) IS PRIVATELY OWNED AND MAINTAINED. THE ON-SITE PUBLIC WATER MAIN SYSTEM WITHIN THE PUBLIC WATER & UTILITY EASEMENT IS OWNED AND MAINTAINED BY HOWARD COUNTY. THE 6" WATER HOUSE CONNECTION IS PRIVATELY OWNED AND MAINTAINED.
- 14. THE 2 PROPOSED 4-STORY BUILDINGS SHALL EACH HAVE AN INSIDE METER SETTING AND SHALL BE EQUIPPED WITH AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM.
- 15. THE PROPOSED ON-SITE STORM DRAIN SYSTEM IS PRIVATELY OWNED AND MAINTAINED.
- 16. THIS SITE QUALIFIES FOR REDEVELOPMENT PER MDE CRITERIA. STORMWATER MANAGEMENT FOR THIS SITE WILL BE PROVIDED IN ACCORDANCE WITH CHAPTER 5 OF THE MDE STORMWATER DESIGN MANUAL. TO FULFILL THE STORMWATER MANAGEMENT REQUIREMENTS, A STORMCEPTOR, TWELVE (12) DRYWELLS (M-5) AND TWO (2) FILTERRAS (M-6) WILL BE PROVIDED. RECHARGE VOLUME IS PROVIDED BY THE DRYWELLS. ALL SWM FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED..
- 17. EXISTING WET UTILITIES (storm, water and sewer) ARE BASED ON APPROVED DESIGN PLANS FOR CONSTRUCTION AND FIELD SURVEY BY GUTSCHICK, LITTLE & WEBER, P.A.
- 18. THERE ARE NO KNOWN CEMETERIES, GRAVE SITES OR HISTORIC STRUCTURES LOCATED ON THE SUBJECT PROPERTY ACCORDING TO THE CEMETERY INVENTORY MAP AND HISTORIC SITES MAP. 19. THE SCENIC ROADS MAP DOES NOT SHOW ANY SCENIC ROADS ABUTTING THE SITE IN THE VICINITY.
- 20. THERE ARE NO 100-YR FLOODPLAIN, WETLANDS, STREAM OR THEIR BUFFERS OR FOREST ON THIS SITE OR WITHIN THE LIMIT OF SUBMISSION. FOR ADDITIONAL INFORMATION, SEE "MEMORANDUM OF FINDINGS" FROM WETLAND STUDIES AND SOLUTIONS, INC (WSSI, dated 2/28/22).
- 21. OTHER STUDIES & REPORTS SUBMITTED FOR APPROVAL WITH THIS SDP:
- WAVERLY WINDS TRANSPORTATION NOISE ANALYSIS BY PHOENIX NOISE & VIBRATION, LLC (Project No. ENT2201), DATED 6/26/2023 AND APPROVED ON 4/22/2024 SHOWS THE 65 dBA NOISE LINE ESTABLISHED BY HOWARD COUNTY TO ALERT THE DEVELOPER, BUILDERS AND FUTURE RESIDENTS THAT AREAS BEYOND THIS THRESHOLD MAY EXCEED GENERALLY ACCEPTED NOISE LEVELS ESTABLISHED BY THE U.S.. DEPT. OF HOUSING AND URBAN DEVELOPMENT. WITH PROPER SPECIFICATION OF WINDOWS, A MITIGATED INTERIOR NOISE LEVELS WILL BE MAINTAINED BELOW 45 DBA WITHIN IMPACTED LIVING UNITS. THERE ARE NO APARTMENT UNITS WITH BALCONIES OR PATIOS; THEREFORE, THE APARTMENT UNITS DON'T HAVE EXTERIOR DOORS. AS INDICATED ON P.7 OF THE REPORT, COMPLIANCE WITH COUNTY'S 45 dBA Ldn INTERIOR NOISE LIMIT CAN BE ACHIEVED WITH THE PROPOSED BUILDING CONSTRUCTION, INCLUDING MINIMUM WINDOW RATING OF 29 STC FOR THE LIVING UNITS ON THE WEST SIDE OF BUILDING-A.
- GEOTECHINICAL ENGINEERING STUDY (dated 6/30/2023) by ECS (project No. 02.10190).
- THE TRAFFIC STUDY (ADEQUATE ROAD FACILITIES TEST EVALUATION and MULTIMODAL ANALYSIS) WAS PREPARED BY THE TRAFFIC GROUP, DATED 2/19/2024 AND APPROVED ON 4/22/2024. FOR SUMMARY OF FINDINGS FOR APFO TRAFFIC ANALYSIS SEE CHART ON RIGHT OF THIS SHEET.
- 22. THE PLAN COMPLIES WITH THE REQUIREMENT OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY THE PAYMENT OF A FEE-IN-LIEU FOR THE FOREST CONSERVATION OBLIGATIONS BASED ON NET TRACT AREA AS CALCULATED PER Sec.16.1202(b)(xiii) FOR EXISTING IMPERVIOUS AREA WHICH IS APPLICABLE TO THIS SITE AS IT WAS PREVIOUSLY DEVELOPED UNDER SDP-68-006. THE FEE-IN-LIEU AMOUNT IS \$15,395.44 (FOR THE CALCULATIONS OF THE THIS FEE, SEE SHEET 13)
- 3. FINANCIAL SURETY IN THE AMOUNT OF \$37,530.00 FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT FOR THIS SDP. SEE SHEET 18 FOR ADDITIONAL INFORMATION
- 24. ALL EXTERIOR LIGHTING SHALL COMPLY WITH THE REQUIREMENTS IN SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
- 25. THE CONTRACTOR SHALL TEST PIT IN AREAS OF EXISTING UTILITIES TO VERIFY LOCATION AND DEPTH OF CROSSINGS WITH NEW UTILITIES.
- 26. IN ALL NEW RESIDENTIAL MULTI-FAMILY BUILDINGS HAVING TWO OR MORE FLOORS, A UNIFORM NUMERIC SYSTEM SHALL BE UTILIZED TO IDENTIFY ALL DWELLING UNITS WITH A NUMBER THAT IS UNIQUE TO ONLY ONE UNIT. ALL UNITS IN A VERTICAL STACK OR COLUMN SHALL BE UNIFORMLY NUMBERED SUCH THAT THEY ALL SHARE A NUMERIC REFERENCE TO EACH OTHER IN THAT STACK OR COLUMN, AS APPROVED BY THE AHJ. FOR EXAMPLE, UNIT 301 SHALL BE DIRECTLY OVER UNIT 201, WHICH IS DIRECTLY OVER UNIT 101. IN THE EVENT AN OPEN OR AMENITY SPACE ON ANY FLOOR PREVENTS THIS UNIFORMITY, THE CORRESPONDING UNIT NUMBER SHALL BE OMITTED RATHER THAN MOVED OUTSIDE OF THE NUMERICALLY UNIFORM COLUMN OR STACK.
- 27. FIRE DEPARTMENT CONNECTIONS FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED: (A.) ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS; (B.) WITHIN 100 FT. OF A FIRE HYDRANT; (II) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION; (III) A FREE—STANDING FIRE DEPARTMENT CONNECTION SHALL HAVE THE SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH; (IV) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH A RED REFLECTIVE BORDER, RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A 3/8" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" BY 18"; (V) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
- 28. STREETLIGHT PLACEMENT, TYPES OF FIXTURES, AND POLES SHALL BE IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL, VOLUME III (2022), SECTION 2.7. A MINIMUM OF 20 FT SHALL BE MAINTAINED BETWEEN ANY STREETLIGHT AND ANY TREE
- 29. ALL TRAFFIC CONTROL SIGNS SHALL BE PLACED IN FRONT OF TREE LOCATIONS FOR MAXIMUM VISIBILITY. NO TREE CAN BE INSTALLED WITHIN 30 FT OF ANY STOP SIGN (APPROACH DIRECTION). WHERE SIGNS NEED TO BE PLACED BEHIND THE SIDEWALK, ADDITIONAL SPACING BETWEEN TREES MAY BE REQUIRED AT THOSE LOCATIONS.
- 30. TRAFFIC CONTROL DEVICES:
- a) THE R1-1 (STOP) SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
- b) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF
- c) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MDMUTCD).
- d) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED (QUICK PUNCH), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO QUICK PUNCH HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
- e) ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- f) STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURE AND POLE SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME III (1993) AND AS MODIFIED BY
- "GUIDELINES FOR STREET LIGHTS IN RESIDENTIAL DEVELOPMENTS (JUNE 1993)." A MINIMUM SPACING OF 20' SHALL BE MAINTAINED BETWEEN ANY STREETLIGHT AND ANY TREE. q) A PRIVATE RANGE OF ADDRESS STREET NAME SIGN (SNS) SHALL BE INSTALLED BY THE COUNTY AS PART OF THIS DEVELOPMENT. THE DEVELOPER WILL BE RESPONSIBLE FOR PAYING
- FOR THIS SIGN TO BE INSTALLED. PLEASE CONTACT HOWARD COUNTY TRAFFIC (410-313-2430) TO MAKE ARRANGEMENTS FOR PAYMENT.

# SITE DEWELOPMENT PLAN Waverly Winds Apartments

Lot 3A, Section 3 Area 4 Village of Harper's Choice



- 31. ALL EXTERIOR STAIRWAYS MUST HAVE A UNIQUE IDENTIFIER AND BE MARKED WITH SUCH.
- 32. IN ACCORDANCE WITH NFPA 1, RADIO ENHANCEMENTS MAY BE REQUIRED TO BE INCORPORATED INTO THE BUILDING TO ALLOW FOR RADIO COMMUNICATIONS THROUGHOUT THE BUILDING.
- 33. THE OWNER SHALL DESIGNATE A PERSON WHO SHALL BE RESPONSIBLE FOR THE FIRE PREVENTION PROGRAM AND WHO SHALL ENSURE THAT IT IS CARRIED OUT TO COMPLETION. FURTHER, THE OWNER, OR HIS DESIGNEE SHALL PROVIDE A LIFE SAFETY PLAN TO THE OFFICE OF THE FIRE MARSHALL.
- 34. ADDITIONAL INFORMATION REGARDING DMV.3 WAIVERS & WP-24-036.

ROOF ACCESS STAIRS

- A. A WAIVER TO DESIGN MANUAL SECTION 1.3.C (requiring shared use pathways for retrofit projects) AND SECTION 2.6.C AND APPENDIX—G (to allow 27 compact parking spaces with dimensions 9'x16') WAS APPROVED ON NOVEMBER 20, 2023 SUBJECT TO THE FOLLOWING:
- SUBMITTING A FEE-IN-LIEU REQUEST FOR THE REQUIRED MULTI-USE PATHWAY WHICH IS TO BE UTILIZED FOR CONSTRUCTION OF A MULTI-USE PATHWAY ALONG THE EAST SIDE FO THE SITE (the fee-in-lieu request was submitted with this SDP).
- THE COMPACT SPACE ARE NO GREATER THAN 25% OF THE TOTAL NUMBER OF SPACES (of the 185 total parking spaces, 27 or 14.6% are compact spaces).

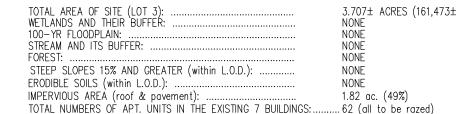
**BUILDING B · WEST ELEVATION** 

BUILDING DESIGN BY MOSLEY ARCHITECTS

B. WP-24-036 WAS APPROVED ON 01/26/2024 FOR A VARIANCE WITH RESPECT TO SECTION 16.1205(A)(3) TO REMOVE 8 SPECIMEN TREES (TREE NOS. 446, 447, 449, 450, 453, 460, 465 AND 469). THE REMOVAL OF THE SPECIMEN TREES SHALL BE MITIGATED WITH A 2:1 REPLACEMENT WITH NATIVE 3" DBH TREES. SEE SHEETS 17 & 18 FOR THE 16 REPLACEMENT/MITIGATION TREES.

\_ PARAPET

#### SITE & REDEVELOPMENT DATA



NUMBER OF APT. UNITS IN THE 2 PROPOSED 4-STORY BUILDINGS: BUILDING A: 55 UNIT:

PER FDP-34-A NO MORE THAN 30% OF LOT DEVOTED TO APARTMENT USE BE COVERED BY

## C. BUILDING HEIGHT:

PER FDP-34-A, Section 8A BUILDING HEIGHT SHALL NOT BE CONSTRUCTED MORE THAN 50 FEET

# TOTAL NUMBER OF PARKING SPACES REQUIRED:

**185** (83 Bldg.A + 102 Bldg.B)

4. IN ACCORDANCE WITH SECTION 16.121(A)(4), THERE IS NO OVERALL OPEN SPACE REQUIREMENT FOR THIS PROPERTY; HOWEVER, THE FOLLOWING ARE PROPOSED AMENITIES FOR THE REDEVELOPMENT OF THIS PROPERTY: 1.890± S.F. (FENCED PLAYGROUND AREA)

THE SUBJECT PROPERTY IS ZONED NT (NEW TOWN) PER THE 2013 COMPREHENSIVE ZONING PLAN. IT IS DESIGNATED FOR APARTMENT USE AND REDEVELOPED IN ACCORDANCE WITH FDP-34-A.

#### 2. EXISTING SITE DATA:



#### 3. REDEVELOPMENT DATA:

BUILDING B: 68 UNITS

PER FDP-34-A. Section 7.A NO MORE THAN 123 UNITS ALLOWED ON THIS LOT.

## BUILDING FOOTPRINT and PERCENT LOT COVERAGE: BUILDING A AREA: 17,184± S.

PERCENT OF GROSS SITE AREA: 34,503 S.F. / 161,473 S.F. = 21.4%

FROM THE HIGHEST ADJOINING GROUND ELEVATION ON THIS LOT. SEE BUILDING ELEVATION AT BOTTOM OF THIS SHEET FOR PROPOSED BUILDING HEIGHTS.

(at **1.5** spaces/unit per FDP-34-A, Sec. 9A): .

TOTAL NUMBER OF PARKING SPACES PROVIDED; .. 185 common parking lot spaces (including 9 ADA spaces, 27 compact spaces and 6 EV spaces with Level-2 charging stations)

5. LIMIT OF DISTURBANCE (L.O.D.): ..... **3.7**± AC.

## VICINITY MAP SCALE: 1'' = 2.000'HC CONTROL STATIONS 35C2 NORTHING: 563.920.824 NORTHING: 562,148.449 EASTING: 1,344,204.185 EASTING: 1,344,554.499 ELEVATION: 463,405 ELEVATION: 451.541 (LATEST ADJ. FEB. 2014) (LATEST ADJ. FEB. 2014) **SDP-23-045 SHEET INDEX** COVER SHEET 2. SITE DEVELOPMENT PLAN 3. CURB AND PAVING DELINEATION PLAN 4. DEMOLITION PLAN SITE DETAILS 6. SEDIMENT CONTROL PLAN PHASE-1 7. SEDIMENT CONTROL PLAN PHASE-2 8. SEDIMENT CONTROL NOTES and DETAILS 9. DRAINAGE AREA DELINEATION & STORMWATER MANAGEMENT 10. ESD NOTES AND DETAILS 11. UTILITY PROFILES 12. STORMDRAIN DRAINAGE AREA DELINEATION 13. FOREST STAND DELINEATION & FOREST CONSERVATION

OBLIGATION ANALYSIS

15. MATERIAL PLAN - NORTH

16. MATERIALS PLAN - SOUTH

17 PLANTING PLAN

19. PLANTING DETAILS

21. PRODUCT INFORMATION

22. HARDSCAPE DETAILS

23. FURNISHING DETAILS

24. PHOTOMETRIC PLAN

14. MAINTENANCE OF TRAFFIC PLAN

18. PLANTING SCHEDULE AND NOTES

20. FENCING AND PLAYGROUND PRODUCT INFORMATION

## SUMMARY OF FINDINGS FOR APFO TRAFFIC ANALYSIS

- Date of Report: February 19, 2024 B. Date of Counts: January 19, 2023

**COVER SHEET** 

- The study was submitted as part of the SDP-23-045 submission. **D.** During the review, it was noted that on Thursday, January 19, 2023, Howard County schools were
- released 3 hours early. The existing traffic counts were increased by 15% based on 24-hour speed studies conducted on 11/9/22, 11/10/22, and 2/7/23. See the traffic study for additional information.

Jurisdiction 2026 AM L.O.S. 2026 PM L.O.S. Intersection Cedar Lane and Harpers Farm Rd. County Cedar Lane and Little Patuxent Parkway County

From the "Summary of Findings and Recommendations", the proposed redevelopment of the Waverly Winds apartments satisfies Howard County Adequate Road Facilities Test Evaluation (ARFTE) Regirements. No recommendations were made for saftey improvements

STORMWATER MANAGEMENT INFORMATION CHART					
LOT / PARCEL NO.	FACILITY NAME / NO.	PRACTICE TYPE (QUANTITY)	PUBLIC / PRIVATE	MISC.	ADDRESS
	DRYWELLS	M-5 (12)	PRIVATE		5597 CFDAR LANF
LOT 3A	STORMCEPTOR (SC-1)	SC (1)	PRIVATE		OOST OLDTIN LINE
	FILTERRA (F-101&F-102)	F (2)	PRIVATE		

PERMIT INFORMATION CHART						
SITE FEATURES	ADDRE	SS				
APARTMENT BUILDING 'A'	5597	CEDAR LANE	-			
APARTMENT BUILDING 'B'	5587	CEDAR LANE				
SUBDIVISION NAME: VILLAGE	OF HARPERS	S CHOICE	SECTION/ARE	A: 3/4	PARCEL: LOT 3A	
PLAT No.	ZONE	TAX MAP	GRID	ELEC. DIST.	CENSUS TRACT	

NT 29 23 6011.02 WATER CODE: D07 SEWER CODE: 2780000 SCALE G. L. W. FILE No 22017 AS SHOWN Waverly Winds Apartments Lot 3A, Section 3, Area 4 Village of Harper's Choice TAX MAP - GRID SHEET Plat No. 26412 and 26667 AUG. 2024 OF 24 29-23

HOWARD COUNTY, MARYLAND

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING lynda Eisenberg Director Chief. Division of Land Development (Hd1) Edmondson Chief, Development Engineering49ivision

DATE: April 18, 2024

**APPROVED** PLANNING BOARD OF HOWARD COUNTY

> 9/19/2024 Date 9/19/2024 9/17/2024

DRAWN BY HECKED 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM CKG PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-418 DATE

ROOF ACCESS STAIRS -ROOF TRUSS BEARING 42'-1" <u>LEVEL 4 33'-0"</u> **BUILDING A · WEST ELEVATION** 

REVISION

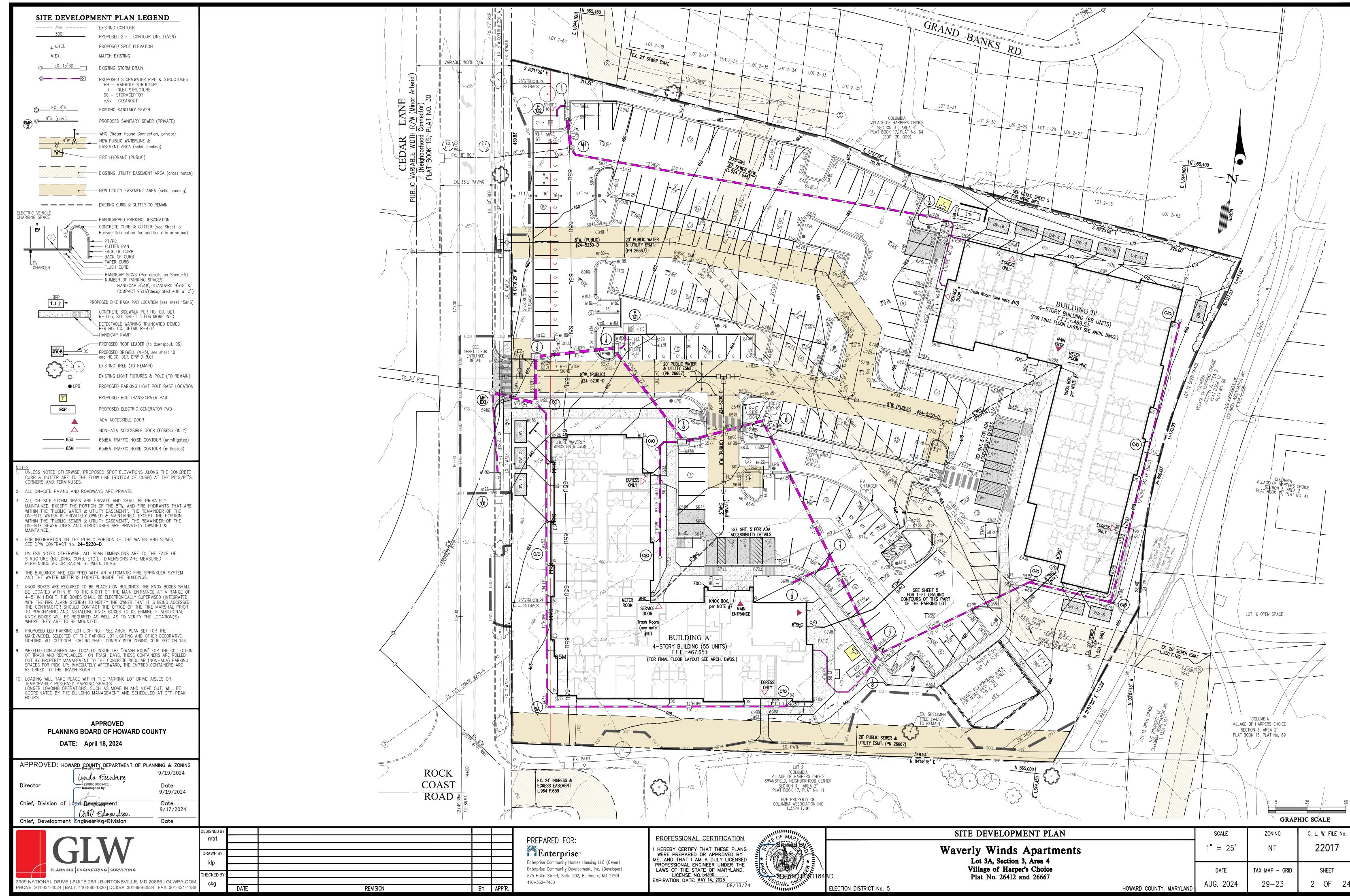
**BUILDING ELEVATIONS** SCALE: 1" = 30'

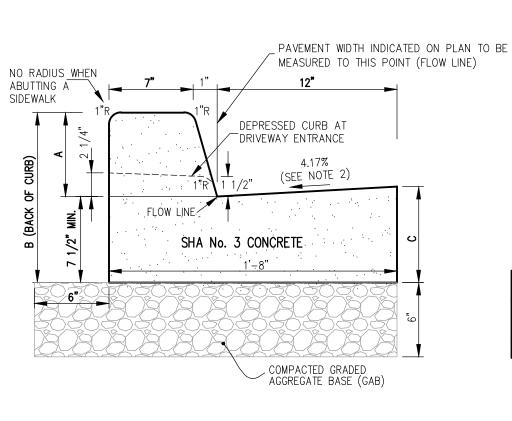
PREPARED FOR: Enterprise\* Enterprise Community Homes Housing LLC (Owner) Enterprise Community Development, Inc. (Developer) 875 Hollin Street, Suite 202, Baltimore, MD 21201 410-332-7400

PROFESSIONAL CERTIFICATION HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. <u>54390</u> EXPIRATION DATE: <u>MAY 14, 2025</u>



LECTION DISTRICT No. 5





CURB TYPE	А	В	С
6" (R-9.01)	6"	1'-1 1/2"	7"
7" (R-3.01)	7 3/16"	1'-2 11/16"	8"

THIS DETAIL IS FOR REFERENCE ONLY, SEE HOWARD COUNTY DPW DETAILS  $R\!-\!3.01$  AND  $R\!-\!9.01$  FOR MORE INFORMATION

#### STANDARD COMBINATION CURB AND GUTTER

NOTES:
1. A REVERSE GUTTER PAN SHALL HAVE A GUTTER SLOPE OF 4.17% AWAY FROM THE FLOW LINE, AND SHALL NOT BE USED WHERE THIS CREATES A HAZARDOUS CONDITION.

2. GUTTER PAN AT THE MEDIAN EDGE OF INTERMEDIATE ARTERIALS OR THE HIGH SIDE OF SUPERELEVATED SECTIONS SHALL BE SLOPED AT THE SAME RATE AND IN THE SAME DIRECTION AS THE PAVEMENT, MATCH PAVEMENT CROSS SLOPE WHEN CURB IS LOCATED ON THE LOW SIDE OF SUPERLEVATED SECTION AND THE RATE OF SUPERELEVATION IS GREATER THAN 3% FOR MODIFIED CURB AND GUTTER.

NO SCALE

- 3. A MINIMUM OF TWO (2) FEET OF COMPACTED STABILIZED EARTH, OR EQUIVALENT, SHALL SUPPORT THE ENTIRE BACK OF CURB.
- 4. POSITIVE DRAINAGE SHALL BE PROVIDED BOTH BEHIND THE CURB AND ALONG THE GUTTER AND FLOW LINE.
- 5. 50' MAX. BETWEEN EXPANSION JOINTS & 10' MAX. BETWEEN CONTROL JOINTS.
- 6. UNLESS NOTED OTHERWISE, ALL ON-SITE CURB & GUTTER IS 6" HIGH. ALL CURB & GUTTER IN THE PUBLIC RIGHT-OF-WAY SHALL BE 7" HIGH.

1 CONCRETE CURB AND GUTTER

Department of Public Works

5/30/2017 Revised

SECTION	ROAD AND ST	TREET CLASSIFICATION / TYPE	CALIFORNIA BEARING RATIO (CBR)	3 TO <5	5 TO <7	<u>&gt;</u> 7	3 TO <5	5 TO <7	≥ 7
NUMBER	NEW STREET TYPE	RETROFIT PROJECTS ONLY	PAVEMENT MATERIAL (INCHES)	MIN. SUPI	ERPAVE ASI WITH GAB	PHALT MIX		PAVE ASPHA CONSTANT	
		PARKING BAYS: RESIDENTIAL AND NON-RESIDENTIAL PARKING DRIVE AISLES:	SUPERPAVE ASPHALT MIX FINAL SURFACE 9.5 MM PG 64-22S, LEVEL 1 (ESAL) SUPERPAVE ASPHALT MIX INTERMEDIATE SURFACE	1.5	1.5	1.5	1.5	1.5	1.5
P-1		RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 2 HEAVY TRUCKS PER DAY	(NA) SUPERPAVE ASPHALT MIX BASE	NA 2.0	NA 2.0	NA 2.0	NA 3.5	NA 3.0	NA 2.5
			19.0 MM, PG 64-22S, LEVEL 1 (FEAL)  GRADED ACCREGATE BASE (GAB)	8.5	7.0	5.0	4.0	4.0	4.0
	ALLEY NEIGHBORHOOD YIELD STREET	PARKING DRIVE AISLES: RESIDENTIAL AND NON-RESIDENTIAL WITH NO	SUPERIANT ASPHALT MIX FINAL SURFACE	1.5	1.5	1.5	1.5	1.5	1.5
P-2	I AD < 2.000 VEHICLES ILUCAL ROADS:		SUPERPAVE ASPHALT MIX INTERMEDIATE SURFAC 9.5 MM, PG 64-22S, LEVEL 1 (ESAL)	E 1.0/1	1.0	1.0	1.0	1.0	1.0/1
1 2			SUPERPAVE ASPHALT MIX BASE 19.0 MM, PG 64-22S, LEVEL 1 (ESAL)	2.0	2.0	2.0	3.5	2.0	2.0
			GRADED AGGREGATE BASE (GAB)	8.0	4.0	3.0	4.0	4.0	4.0
	RURAL DEVELOPMENT STREET NEIGHBORHOOD YIELD STREET EXCEPT SINGLE FAMILY	PARKING DRIVE AISLES: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY	0.5 MIM, 10 01 225, ELVEL 1 (LONE)	1.5	1.5	1.5	1.5	1.5	1.5
P-3	ADT < 2,000 ACCESS PLACE, ACCESS STREET		SUPERPAVE ASPHALT MIX INTERMEDIATE SURFACE 9.5 MM, PG 64—22S, LEVEL 1 (ESAL)	1.0	1.0	1.0	1.0	1.0	1.0
	TOWN CENTER STREET	CUL-DE-SACS: NON-RESIDENTIAL MINOR COLLECTORS: RESIDENTIAL	SUPERPAVE ASPHALT MIX BASE 19.0 MM, PG 64—22S, LEVEL 1 (ESAL) GRADED AGGREGATE BASE (GAB)	10.0	3.0 6.0	3.0 3.0	4.5 6.0	3.0 6.0	2.0 6.0
	NEICHBORHOOD STREET 1 NEIGHBORHOOD STREET 9 INDUSTRIAL STREET	MINOR COLLECTORS:  NON-RESIDENTIAL  MAJOR COLLECTORS	SUPERPAVE ASPHALT MIX FINAL SURFACE 12.5 MM, PG 64-22S, LEVEL 2 (LOW ESAL)	2.0	20	2.0	2.0	2.0	2.0
	COUNTRY ROAD	MAJOR COLLEGIST	SUPERPAVE ASPHALT MIX INTERMEDIATE SUPERA 12.5 MM, PG 64 223; LEVEL 2 (LOW ESAL)	2.0	2.0	2.0	2.0	2.0	2.0
			SUPERPAYE ASPHALT MIX BASE 19.0 MM, PG 64-22S, LEVEL 2 (LOW ESAL)	4.0	4.0	3.0	6.0	5.0	3.0
			GRADED AGGREGATE BASE (GAB)	13.0	7.0	i.	6.0	6.0	6.0
2. SUPE (2.0" 3. GRAD 4. THE REQU 5. IN LII COUN	TY TRUCKS ARE DEFINED AS THE REPAVE ASPHALT MIX LAYERS SO MIN. TO 4.0" MAX.), 12.5 MIN DED AGGREGATE BASE (GAB) TO INTERMEDIATE SURFACE COURS JIRED PRIOR TO SUBSTANTIAL (BU OF PLACING THE INTERMED NITY RIGHT—OF—WAY WHERE AUX	IOSE WITH SIX (6) WHEELS OR MORE INCLUDING GIHALL BE PLACED IN APPROPRIATE COMPACTED LIFT IS SURFACE (1.5" MIN. TO 3.0" MAX.), AND 9.5 MM DISTRICT OF BELLOCED IN 6" MAX. COMPACE LAYER MUST BE PLACED WITHIN 2 WEEKS OF PLOMPLETION INSPECTION AND BOND REDUCTION. LATE SURFACE COURSE LAYER FOR COMMERCIAL/IN KILIARY LANES ARE NOT REQUIRED, THE THICKNESS THICKNESS OF THE BASE ASPHALT LAYER.	ARBAGE TRUCKS. IT THICKNESS: 19.0 MM BASE I SURFACE (1.0" MIN. TO 2.0" MAX.) CTED THICKNESS LAYERS. LACEMENT OF BASE COURSE, AND IS DUSTRIAL ENTRANCE APRONS WITHIN THE		SUPERPAN SUPERPAN	/E ASPHAL			

NOTE: USE THE P-3 PAVING SECTION WITH THE CRB RATIO OF 3 TO < 5; UNLESS APPROVED OTHERWISE BY THE GEOTECH ENGINEER, CDA AND THE OWNER.

## PAVING DELINEATION LEGEND

PAVING SECTIONS

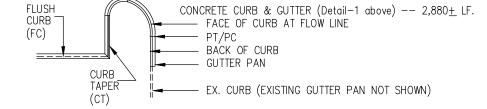
P-1 to P-4

VEHICULAR CONCRETE PAVEMENT PER HO.CO. DPW DET. R-6.07 & R-8.03 (295± SY)

PAVE, MILL & RESURFACE PER HO.CO. DPW R-1.14. Based on post construction field condition, additional area may be necessary.

HMA P-3 PAVING (detail DPW DET. R-2.01 above) -- 6,350± SY

R-2.01



CONCRETE SIDEWALK PER HO. CO. DET. R-3.05, (1,032± SY).

DETECTABLE WARNING TRUNCATED DOMES PER HO. CO. DETAIL R-4.07

HANDICAP RAMP

# PLANNING BOARD OF HOWARD COUNTY DATE: April 18, 2024 ROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZO

**APPROVED** 

APPROVED: HOWARD COUNTY DEPARTMEN	T OF PLANNING & ZONING
lynda Eisenberg	9/19/2024
Director 4220B635863942E DocuSigned by:	Date
( )	9/19/2024
Chief, Division of Lond War Propert	Date
CHAD Edmondson	9/17/2024
Chief, Development Engineeming49ivision	Date

### PLANNING | ENGINEERING | SURVEYING

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

# PREPARED FOR: Enterprise

Enterprise Community Homes Housing LLC (Owner)
Enterprise Community Development, Inc. (Developer)
875 Hollin Street, Suite 202, Baltimore, MD 21201
410-332-7400

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS
WERE PREPARED OR APPROVED BY
ME, AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE
LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 54390
EXPIRATION DATE: MAY 14, 2025

N 565,393.11

E 1,344,100.07

(back of curb)

SEE DET. 6/5 FOR MORE INFO IN THIS AREA



~\_\_\_\_\_\_

\_MILL & WEDGE PAVEMENT PER HO.CO. DPW R-1.14. See legend this sheet.

MILL & WEDGE PAVEMENT PER HO.CO. DPW R-1.14. See legend

BUILDING 'A'

4-STORY BUILDING (55 UNITS) F.F.E. =467.64±

ELECTION DISTRICT No. 5

this sheet.

CURB AND PAVING DELINEATION PLAN

Waverly Winds Apartments

Lot 3A, Section 3, Area 4

Village of Harper's Choice

Plat No. 26412 and 26667

E 1,344,350.93 (back of curb)

 SCALE
 ZONING
 G. L. W. FILE No.

 1" = 30'
 NT
 22017

 DATE
 TAX MAP - GRID
 SHEET

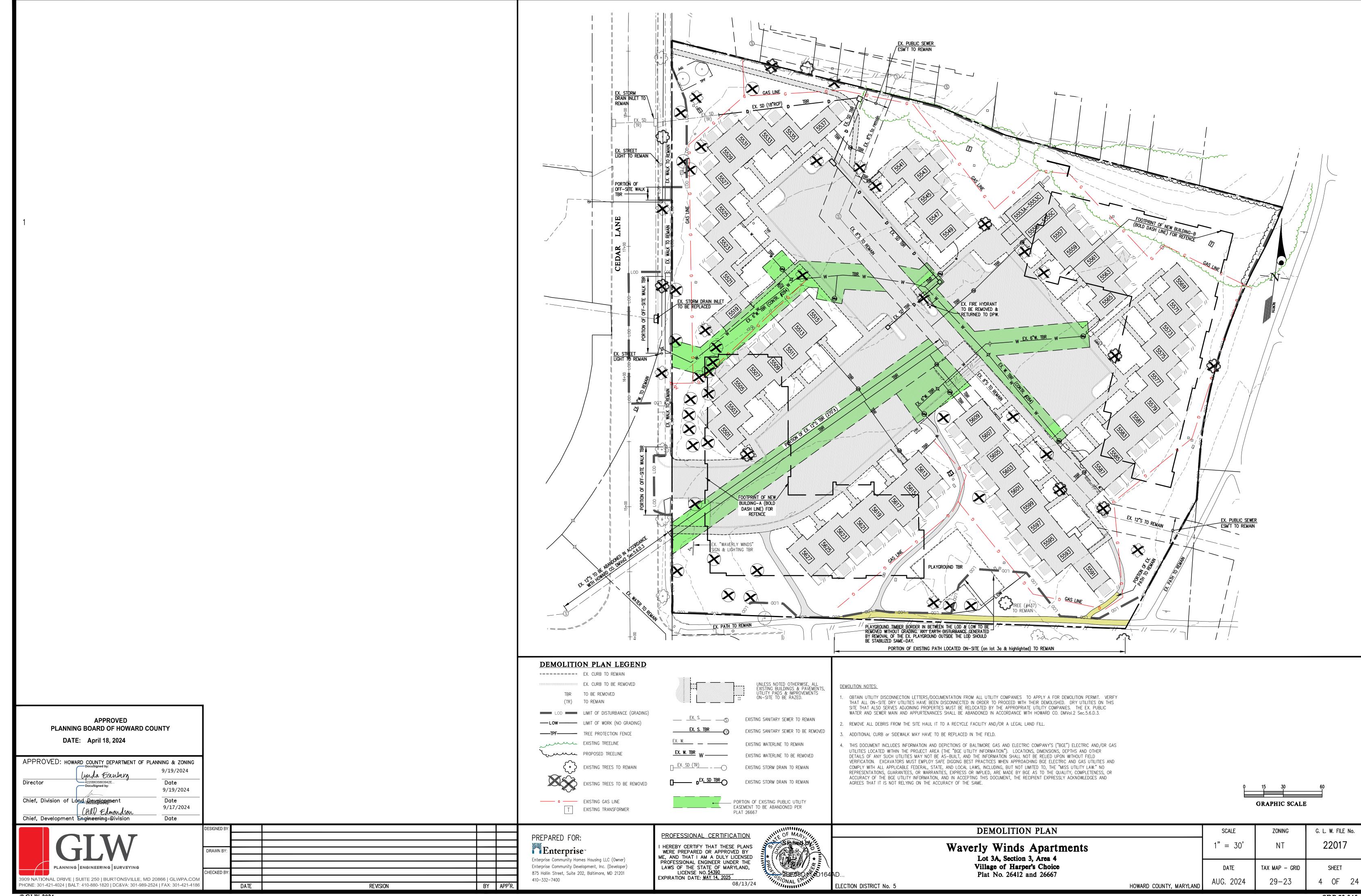
 AUG. 2024
 29-23
 3 OF 24

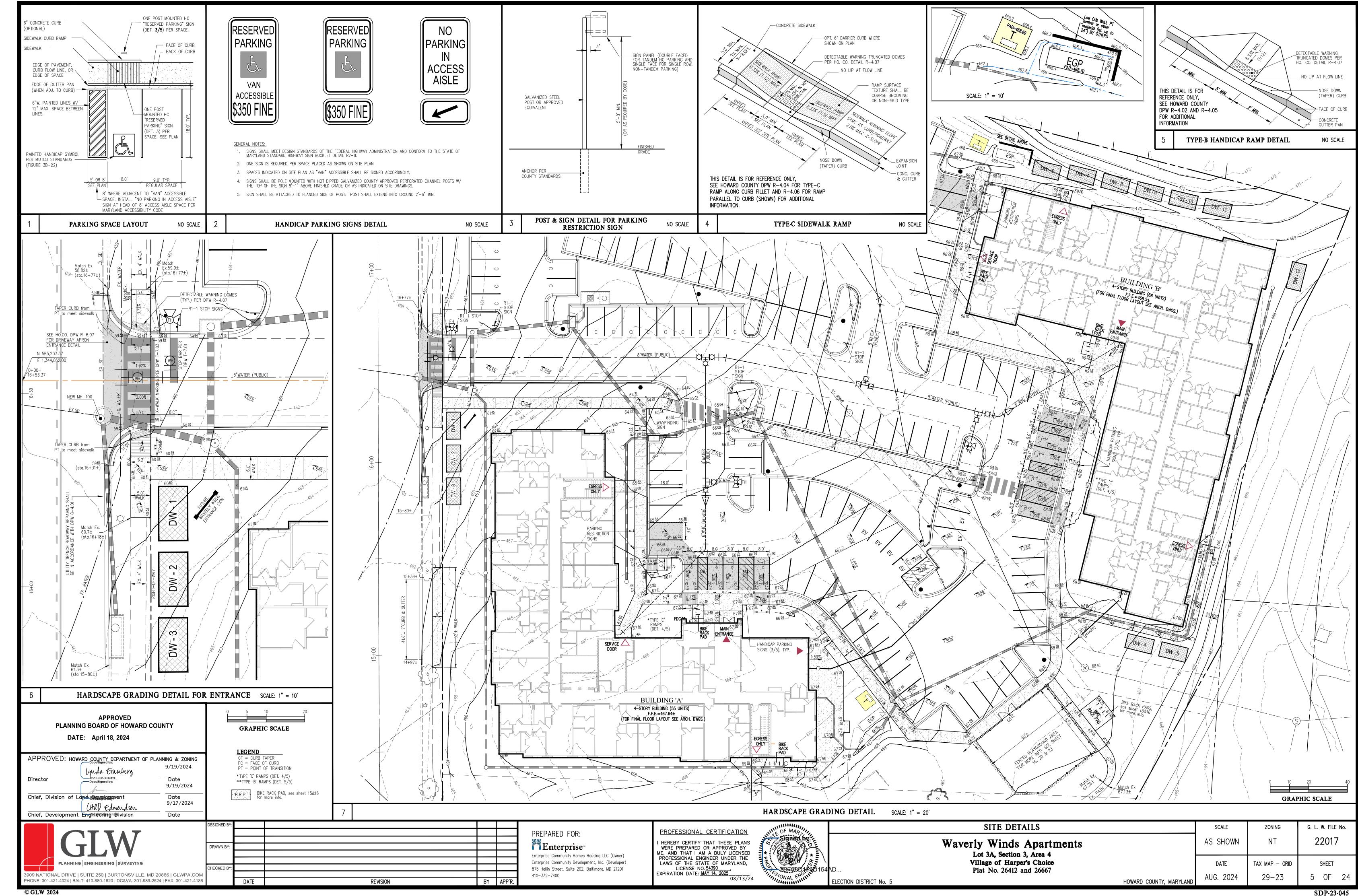
4-STORY BUILDING (68 UNITS)

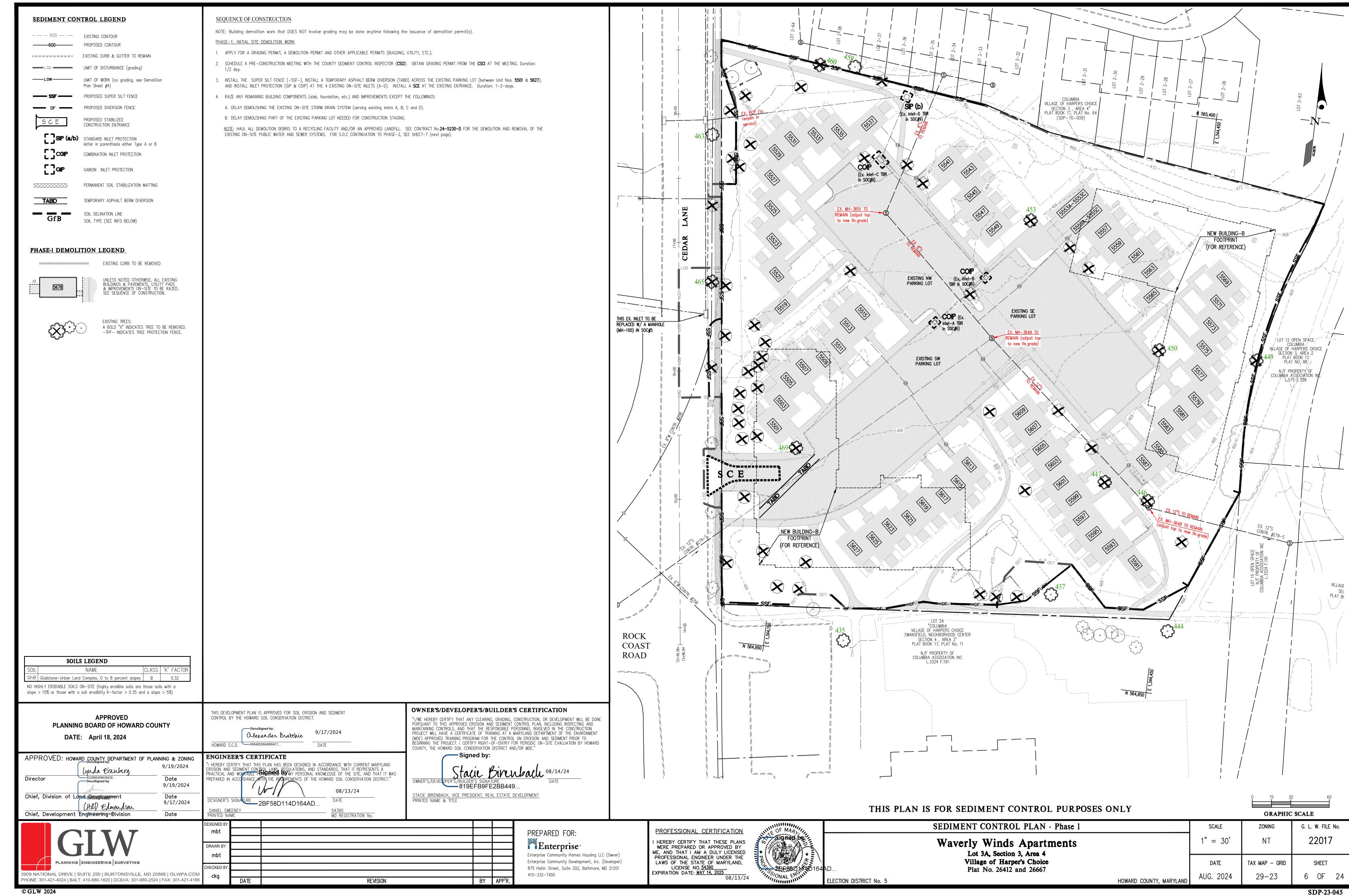
SAW-CUT LINE (M.Ex. PATH)

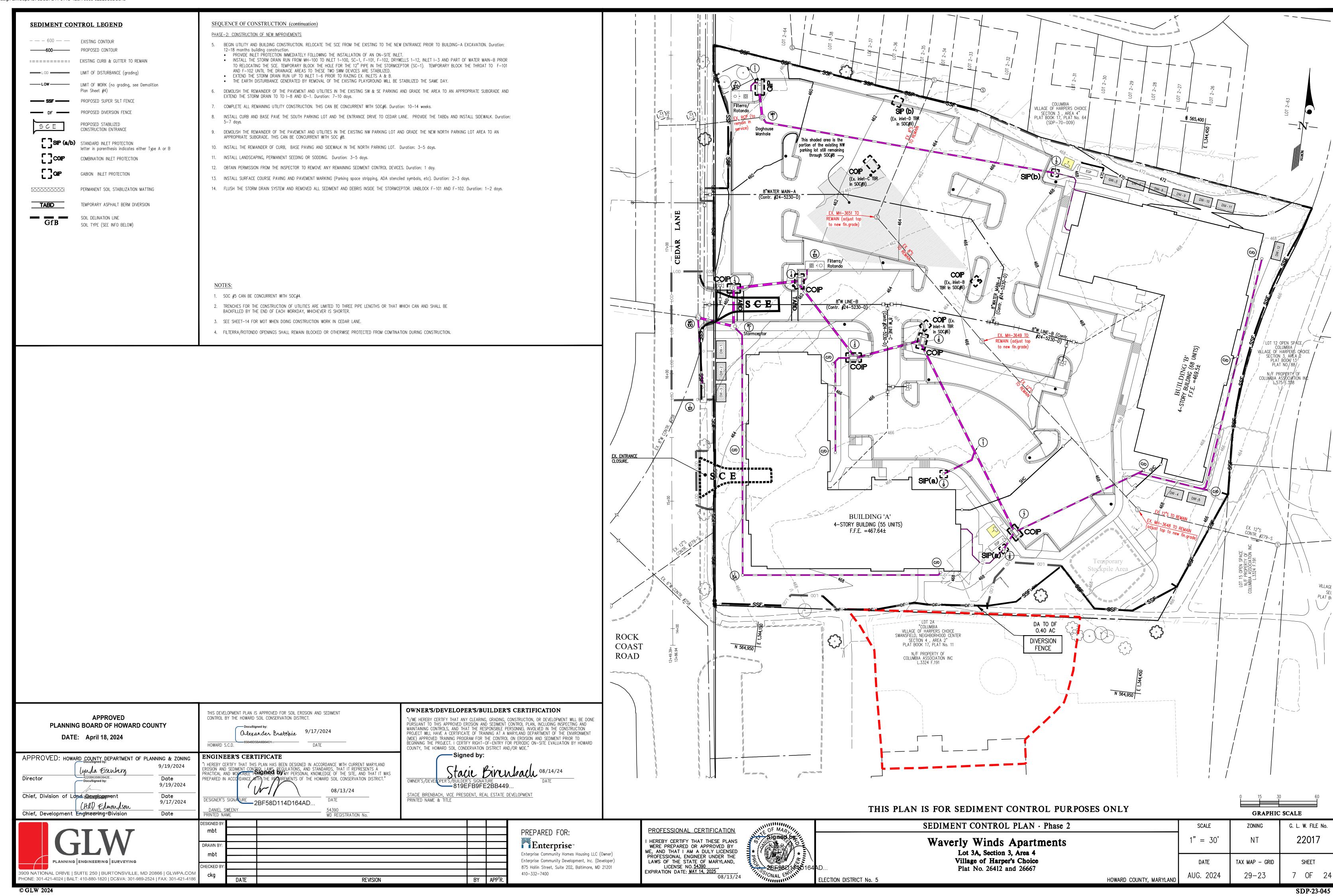
© GLW 2024

GRAPHIC SCALE

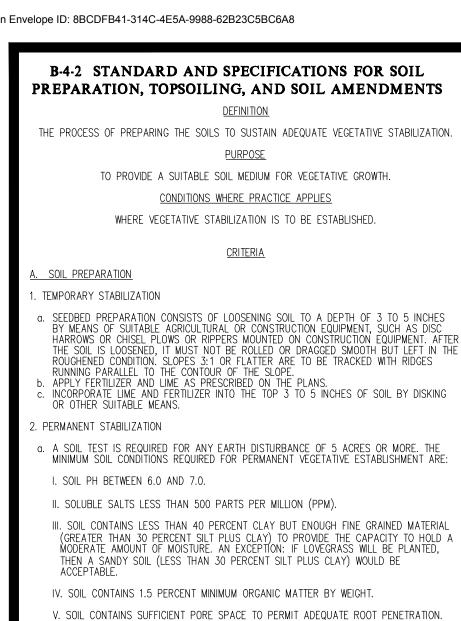








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C. TO OIL OIL OIL OIL OIL OIL OIL OIL OIL OI	RITERIA:  DPSOIL MUST BE A R LOAMY SAND. OTI DIL SCIENTIST AND JST NOT BE A MIX' SS THAN 5 PERCEI RAVEL, STICKS, ROC AMETER.	LOAM, SANDY HER SOILS MA	BE USED AS	TOBSON MILET M	
C. TO US OF THE PROPERTY OF TH	R LOAMY SAND. OTI DIL SCIENTIST AND JST NOT BE A MIX' ISS THAN 5 PERCEI RAVEL, STICKS, ROC AMETER.	HER SOILS MA'			IEET THE FOLLOWING
GF AS C. TC OF	NDCALL MILET DE ED	APPROVED BY TURE OF CONT NT BY VOLUME	Y BE USED IF THE APPROPI RASTING TEXT OF CINDERS,	RECOMMENDED RIATE APPROVAL 'URED SUBSOILS STONES, SLAG,	M, SANDT CLAT LOAN BY AN AGRONOMIST AUTHORITY. TOPSOIL AND MUST CONTAIN COARSE FRAGMENTS THAN 1.5 INCHES IN
c. TC OF					SUCH AS BERMUDA Y, THISTLE, OR OTHE
a. EF T( b. UI MI TH PF T( c. T(	PSOIL SUBSTITUTES	ND APPROVED	BY THE APP		QUALIFIED AGRONOM OVAL AUTHORITY, MAY
b. UI MI TH PF TC FC C. TC			PRACTICES MU	IST BE MAINTAIN	ED WHEN APPLYING
0	NIMUM THICKNESS ( HAT SODDING OR SE REPARATION AND TI OPSOILING OR OTHE OPSOIL MUST NOT F	OF 4 INCHES. EEDING CAN PF ILLAGE. ANY IR R OPERATIONS ESSIONS OR W. BE PLACED IF E SUBSOIL IS I	SPREADING IS ROCEED WITH REGULARITIES MUST BE CO ATER POCKETS THE TOPSOIL EXCESSIVELY	TO BE PERFORI A MINIMUM OF A IN THE SURFAC RRECTED IN ORD S. OR SUBSOIL IS I WET OR IN A CO	E RESULTING FROM DER TO PREVENT THE N A FROZEN OR MUI DIDITION THAT MAY
	L AMENDMENTS (FE				TIOS AND APPLICATIO
R, Of C( BI 2. FE	ATES FOR BOTH LIM R MORE. SOIL ANAL DMMERCIAL LABORA E USED FOR CHEMIC RTILIZERS MUST BE COURATE APPLICATI	ME AND FERTILI LYSIS MAY BE TORY. SOIL SA CAL ANALYSES UNIFORM IN ON BY APPROI	IZER ON SITES PERFORMED B MPLES TAKEN COMPOSITION, PRIATE EQUIPM	S HAVING DISTUR IY A RECOGNIZED I FOR ENGINEERI FREE FLOWING A MENT. MANURE M	RBED AREAS OF 5 AC O PRIVATE OR NG PURPOSES MAY A AND SUITABLE FOR MAY BE SUBSTITUTED
FE FE Al W.	RTILIZER WITH PRIC	OR APPROVAL LL BE DELIVERE ND MUST BEAR PRODUCER.	FROM THE AP ED TO THE SI THE NAME,	PROPRIATE APPI TE FULLY LABELI TRADE NAME OR	ROVAL AUTHORITY. ED ACCORDING TO TH TRADEMARK AND
SI T( T(	JBSTITUTED EXCEPT )TAL OXIDES (CALCI ) SUCH FINENESS T	WHEN HYDRO: IUM OXIDE PLU IHAT AT LEAST	SEEDING) WHÌO IS MAGNESIUM T 50 PERCENT	CH CONTAINS AT I OXIDE). LIMESTI WILL PASS THR	LEAST 50 PERCENT ONE MUST BE GROUN ROUGH A #100 MESH
4. LI 3	EVE AND 98 TO 10 ME AND FERTILIZER TO 5 INCHES OF S	IO PERCENT WII ARE TO BE E SOIL BY DISKINI	LL PASS THRO VENLY DISTRIE G OR OTHER !	DUGH A #20 MES BUTED AND INCO SUITABLE MEANS	SH SIEVE." PRPORATED INTO THE S. WHERE THE SUBSO
TH		F 4 TO 8 TONS	S/ACRE (200-		GROUND LIMESTONE ER 1,000 SQUARE FE
			ADDDOV		
				IOWARD C	OUNTY
API	PROVED: H	OWARD COL			PLANNING & ZON 9/19/2024
Dire	ctor		la Eisund 635863942E Bigned by:	<u>~</u>	Date 9/19/202
Chie	f, Division of	(		_	 Date 9/17/202
Chie	f, Developme		DELMON Feririg4Divi	•	9/17/202 



#### **B-4-4 STANDARDS AND SPECIFICATIONS B-4-3 STANDARDS AND SPECIFICATIONS FOR** FOR TEMPORARY STABILIZATION SEEDING and MULCHING <u>DEFINITION</u> DEFINITION

THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF

CONSTRUCTION.

CONDITIONS WHERE PRACTICE APPLIES

NOT UNDER ACTIVE GRADING

N. SEEDING

SPECIFICATIONS

APPLICATION

© GLW 2024

COVER SEED WITH SOIL.

SEED AND FERTILIZER).

B. MULCHING

. APPLICATION

ANCHORING

HOWARD S.C.D.

mbt

DRAWN B

HECKED E

dds

SEED AND SEEDING RATE.

MUST BE APPLIED WHEN THE GROUND THAWS.

-SPECIFIC SEEDING SUMMARIES.

HALF THE SEEDING RATE IN EACH DIRECTION.

BURNT OR HYDRATED LIME WHEN HYDROSEEDING

MULCH MATERIALS (IN ORDER OF PREFERENCE)

TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA

a. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW.

IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY

MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING

E DATE INDICATED ON THE CONTAINER. ADD FRESH INOCULANTS AS

CAN WEAKEN BACTERIA AND MAKE THE INOCULANT LESS FEFECT

LABORATORY. ALL SEED USED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS

PROJECT. REFER TO TABLE B.4 REGARDING THE QUALITY OF SEED. SEED TAGS

DATES ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE

INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICALLY FOR THE SPECIES. INOCULANTS MUST NOT BE USED LATER THAN

DIRECTED ON THE PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE: IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS

POSSIBLE UNTIL USED. TEMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT

SOD OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH

SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT

TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC

DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST

DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND

i. CULTIPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A

INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON

TEMPORARY SEEDING TABLE B.1, PERMANENT SEEDING TABLE B.3, OR

APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY

FASHION AS TO PROVIDE AT LEAST 1/4 INCH OF SOIL COVERING. SEEDBED MUST BE FIRM AFTER PLANTING.

ii. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY

HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES

IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION

RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN, 100 POUNDS PER

ACRE TOTAL OF SOLUBLE NITROGEN; P205 (PHOSPHOROUS), 200

LIME: USE ONLY GROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER

ACRE MAY BE APPLIED BY HYDROSEEDING). NORMALLY, NOT MORE THAN 2

ONS ARE APPLIED BY HYDROSEEDING AT'ANY ONE TIME. DO NOT USE

MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT

POUNDS PER ACRE; K20 (POTASSIUM), 200 POUNDS PER ACRE.

WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL.

2. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY

AND REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED

CAKED, DECAYED, OR EXCESSIVELY DUSTY. NOTE: USE ONLY STERILE STRAW

WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED

WCFM, INCLUDING DYE, MUST CONTAIN NO GERMINATION OR GROWTH

iii. WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A

MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM SUSPENSION IN WATER UNDER AGITATION AND WILL BLEND WITH

D, FERTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS

PERCOLATION PROPERTIES AND MUST COVER AND HOLD GRASS SEED IN

CONTACT WITH THE SOIL WITHOUT INHIBITING THE GROWTH OF THE

WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER

APPROXIMATELY 10 MILLIMETERS, DIAMETER APPROXIMATELY 1 MILLIMETER,

PH RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER HOLDING CAPACITY OF 90 PERCENT MINIMUM.

COVER. ON APPLICATION, HAVING MOISTURE ABSORPTION AND

WCFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT WILL BE PHYTO—TOXIC.

APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING

CELLULOSE FIBER PER 100 GALLONS OF WATER.

THE AREA AND EROSION HAZARD:

. WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES

WATER TO ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD

. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH

TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE

FOLLOWING METHODS (LISTED BY PREFERENCE), DEPENDING UPON THE SIZE OF

TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2

SLOPING LAND, THIS PRACTICE SHOULD FOLLOW THE CONTOUR.

BINDERS NEEDS TO BE HEAVIER AT THE EDGES WHERE WIND

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT

WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.

OF ASPHALT BINDERS IS STRICTLY PROHIBITED.

CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DESIGNER'S SIGNATURE 2BF58D114D164AD..

ENGINEER'S CERTIFICATE

THE HOWARD SOIL CONSERVATION DISTRIC

DATE

INCHES. THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS, BUT IS LIMITED TO FLATTER SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON

THE FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. MIX

i. SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRO-TACK), DCA-70, PETROSET, TERRA TAX II, TERRA MANUFACTURER. APPLICATION OF LIQUID

LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH

Olexander Bratchie 9/17/2024

HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURREN

F THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS O

ON AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THA PRACTICAL SIG NOR ABLE: PLAN BASED ON MY PERSONAL KNOWLEDG

08/13/24

54390 MD REGISTRATION I

REVISION

ACCORDING TO MANUFACTURER RECOMMENDATIONS. NETTING IS USUALLY AVAILABLE IN ROLLS 4 TO 15 FEET WIDE AND 300 TO 3,000 FEET LONG.

THE WOOD CELLULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF

A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED

WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY

CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF BANKS. USE

APPLY MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE

L SURFACE IS NOT EXPOSED. WHEN USING A MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE.

WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY
WEIGHT OF 1500 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH

URRY. THE MULCH MATERIAL MUST FORM A BLOTTER—LIKE GROUND

WOOD CELLULOSE PROCESSED INTO A UNIFORM FIBROUS PHYSICAL STATE.

VISUAL INSPECTION OF THE UNIFORMLY SPREAD SLURRY.

MULCH IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED.

OS AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOLDY,

WCFM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE

APPROPRIATE COLOR TO FACILITATE

HALF THE SEEDING RATE IN EACH DIRECTION. ROLL THE SEEDED AREA WITH A WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL CONTACT.

MUST BE AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF

ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SE

TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS. CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED.

SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3), AND ENTER THEM IN

THE TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS IF THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED, THEN TABLE B.1 PLUS FERTILIZER AND LIME RATES MUST BE PUT ON THE FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATI BY THE TESTING AGENCY SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING. WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON. APPLY SEED AND MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION B-4-3.A.1.B AND MAINTAIN UNTIL THE NEXT SEEDING SEASON.

	TEMPORARY SEEDING SUMMARY							
H	ARDINESS ZON							
SE	EED MIXTURE:	FERTILIZER RATE	LIME RATE					
No.	SPECIES	APPLICATION RATE (lb/ac.)	SEEDING DATES	SEEDING DEPTHS	(10-10-10)	IXIL		
1	Annual Ryegrass	40 lb/ac	Mar. 1 to May 15, Aug. 1 to Oct. 15	0.5 INCHES	436 lb./ac. (10 lb./	2 tons/ac. (90 lb./		
2	Pearl Millet	20 lb/ac	May 16 to July 31	0.5 INCHES	1,000 sf)	1,000 sf)		

#### **B-4-8 STANDARDS AND SPECIFICATIONS** FOR STOCKPILE AREA

A MOUND OR PILE OF SOIL PROTECTED BY APPROPRIATELY DESIGNED EROSION AND SEDIMENT CONTROL MEASURES. TO PROVIDE A DESIGNATED LOCATION FOR THE TEMPORARY STORAGE OF SOIL THAT CONTROLS THE POTENTIAL FOR EROSION, SEDIMENTATION, AND CHANGES TO DRAINAGE

PATTERNS.

CONDITIONS WHERE PRACTICE APPLIES STOCKPILE AREAS ARE UTILIZED WHEN IT IS NECESSARY TO SALVAGE AND STORE SOIL FOR

THE STOCKPILE LOCATION AND ALL RELATED SEDIMENT CONTROL PRACTICES MUST BE CLEARLY INDICATED ON THE FROSION AND SEDIMENT CONTROL PLAN THE FOOTPRINT OF THE STOCKPILE MUST BE SIZED TO ACCOMMODATE THE ANTICIPATED VOLUME OF MATERIAL AND BASED ON A SIDE SLOPE RATIO NO STEEPER THAN 2:1. BENCHING MUST BE

PROVIDED IN ACCORDANCE WITH SECTION B-3 LAND GRADING RUNOFF FROM THE STOCKPILE AREA MUST DRAIN TO A SUITABLE SEDIMENT CONTROL ACCESS THE STOCKPILE AREA FROM THE UPGRADE SIDE. CLEAR WATER RUNOFF INTO THE STOCKPILE AREA MUST BE MINIMIZED BY USE OF A

DIVERSION DEVICE SUCH AS AN EARTH DIKE, TEMPORARY SWALE OR DIVERSION FENCE. PROVISIONS MUST BE MADE FOR DISCHARGING CONCENTRATED FLOW IN A NON-EROSIVE MANNER. WHERE RUNOFF CONCENTRATES ALONG THE TOE OF THE STOCKPILE FILL, AN APPROPRIATE EROSION/SEDIMENT CONTROL PRACTICE MUST BE USED TO INTERCEPT THE DISCHARGE. STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITH THE 3/7 DAY STABILIZATION

REQUIREMENT AS WELL AS STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY IF THE STOCKPILE IS LOCATED ON AN IMPERVIOUS SURFACE, A LINER SHOULD BE PROVIDED BELOW THE STOCKPILE TO FACILITATE CLEANUP, STOCKPILES CONTAINING CONTAMINATED MATERIAL MUST BE COVERED WITH IMPERMEABLE SHEETING.

THE STOCKPILE AREA MUST CONTINUOUSLY MEET THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION. AREA MUST BE KEPT FREE OF EROSION. IF THE VERTICAL HEIGHT OF A STOCKPILE EXCEEDS 20 FEET FOR 2:1 SLOPES, 30 FEET FOR 3:1 SLOPES, OR 40 FEET FOR 4:1 SLOPES, BENCHING MUST BE PROVIDED IN ACCORDANCE WITH SECTION B-3 LAND GRADING.

## STANDARDS AND SPECIFICATIONS FOR DUST CONTROL

<u>DEFINITION</u>

CONTROLLING THE SUSPENSION OF DUST PARTICLES FROM CONSTRUCTION ACTIVITIES.

TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES TO REDUCE ON AND OFF-SITE DAMAGE INCLUDING HEALTH AND TRAFFIC HAZARDS.

CONDITIONS WHERE PRACTICE APPLIES

AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT. <u>SPECIFICATIONS</u>

MULCHES: SEE SECTION B-4-2 SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS, SECTION B-4-3 SEEDING AND MULCHING, AND SECTION B-4-4 TEMPORARY STABILIZATION. MULCH MUST BE ANCHORED TO PREVENT BLOWING. VEGETATIVE COVER: SEE SECTION B-4-4 TEMPORARY STABILIZATION. TILLAGE: TILL TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, SPRING-TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT THAT MAY PRODUCE THE DESIRED EFFECT. IRRIGATION: SPRINKLE SITE WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED. THE SITE MUST NOT BE IRRIGATED TO THE POINT THAT RUNOFF OCCURS. BARRIERS: SOLID BOARD FENCES, SILT FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL

CHEMICAL TREATMENT: USE OF CHEMICAL TREATMENT REQUIRES APPROVAL BY THE

APPROPRIATE PLAN REVIEW AUTHORITY

OWNER'S/DEVELOPER'S/BUILDER'S CERTIFICATION "I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DÉVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROISION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY THE HOWARD SOIL CONDERVATION DISTRICT AND/OR MDE." Signed by:

BY APP'R

OWNER'S/DE STACIE BIRENBACH, VICE PRESIDENT, REAL ESTATE DEVELOPMENT PRINTED NAME & TITLE

#### **B-4-5 STANDARDS AND SPECIFICATIONS** FOR PERMANENT STABILIZATION

TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

<u>CRITERIA</u>

a. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE B.2. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SÚMMARY IS TO

ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 CRITICAL AREA PLANTING.

FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY. d. FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3 1/2 POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS`SHOWN IN THE PERMANENT SEEDING SUMMARY.

a. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE

KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT, IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF HREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.

KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN AREAS WHERE RAPID ÉSTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS MIXTURE PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.

iii. TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL SUN TO MEDIUM SHADE RECOMMENDED MIXTURE INCLUDES; CERTIFIED TALL FESCUE CULTIVARS 95 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE

iv. KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE: FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY. INTENSIVELY MANAGED TURF AREA. MIXTURE INCLUDES; CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT. SEEDING RATE: 1/2 TO 3 POUNDS PER 1000 SQUARE FEET.

SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77, "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND"

CHOOSE CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC LINE IDEAL TIMES OF SEEDING FOR TURE GRASS MIXTURES

WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDINESS ZONES: 5B, <u>L MD:</u> MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE: 6) OUTHERN MD, EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15

TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES, LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED. REMOVE STONES AND DEBRIS OVER 1 1/2 INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES WILL POSE NO DIFFICULTY

k. IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH (1/2 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON. IN ABNORMALLY DRY OR HOT SEASONS. OR ON ADVERSE SITES.

## PERMANENT SEEDING SUMMARY

No.	SPECIES	APPLICATION RATE	SEEDING DATES	SEEDING DEPTHS	RATE (10-20-20)	LIME RATE	
9	*Certified Tall Fescue blend (95% by weight): Falcon IV, Penn 1901 & Rebel Exeda and Certified Kentucky Bluegrass blend (5% by weight): Courtyard, Raven & Yankee	6-8 lb/ 1000 s.f.	Mar. 1 to May 15, Aug. 15 to Oct. 15	1/4 – 1/2 IN.	1.0 lb/ 1000 s.f. (45 lb/acre)	90 lb, 1000	

\* Other cultivars listed as "proven" in the most current UMD TT-77 may also be used 3. SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER).

a. CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR. b. SOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4 INCH, PLUS OR MINUS 1/4 INCH, AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP GROWTH AND THATCH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE

STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WFIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION. d. SOD MUST NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY

DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL. SOD MUST BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOI NOT TRANSPLANTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.

a. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD. LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS T PROMOTE MORE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS. WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND

WITH STAGGERING JOINTS. ROLL AND TAMP, PEG OR OTHERWISE SECURE THE SOD TO PREVENT SLIPPAGE ON SLOPES. ENSURE SOLID CONTACT EXISTS BETWEEN SOD ROOTS AND E UNDERLYING SOIL SURFACE WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN

SOD MAINTENANCE

Enterprise Community Homes Housing LLC (Owner)

875 Hollin Street, Suite 202, Baltimore, MD 21201

Enterprise Community Development, Inc. (Developer)

PREPARED FOR:

410-332-7400

Enterprise\*

IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER SOD DURING THE HEAT OF THE DAY TO PREVENT WILTING. AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN

DO NOT MOW UNTIL THE SOD IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

## SEDIMENT CONTROL NOTES A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY

DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID), 410-313-1855 AFTER THE FUTURE LOD AND PROTECTED AREAS ARE MARKED CLEARLY IN THE FIELD. A MINIMUM OF 48 HOUR NOTICE TO CID MUST BE GIVEN T THE FOLLOWING STAGES:

a. PRIOR TO THE START OF EARTH DISTURBANCE BRIOR TO THE START OF EARTH DISTORBANCE,
 UPON COMPLETION OF THE INSTALLATION OF PERIMETER EROSION AND
 SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER
 EARTH DISTURBANCE OR GRADING,
 PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR OPENING

d. PRIOR TO THE REMOVAL OR MODIFICATION OF SEDIMENT CONTROL

OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE. OTHER RELATED STATE AND FEDERAL PERMITS SHALL BE REFERENCED, TO ENSURE COORDINATION AND TO AVOID CONFLICTS WITH THIS PLAN. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING

ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERETO. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: 3 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, 7 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR

TEMPORARY STABILIZATION IS REQUIRED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE AREAS UNDER ACTIVE

ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR TOPSOIL (Sec 8-4-2), PERMANENT SEEDING (Sec.B-4-5), TEMPORARY SEEDING (SEC. B-4-4) AND MULCHING (SEC. B—4—3). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES IF THE GROUND IS FROZEN. INCREMENTAL STABILIZATION (SEC. B-4-1) SPECIFICATIONS SHALL BE ENFORCED IN AREAS WITH >15'OF CUT AND/OR FILL. STOCKPILES (SEC. B-4-8) IN EXCESS OF 20 FT. MUST BE BENCHED WITH STABLE OUTLET. A CONCENTRATED FLOW, STEEP SLOPE, AND HIGHLY ERODIBLE AREAS SHALL RECEIVE SOIL STABILIZATION MATTING (SEC. B-4-6).

ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE, AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE CID. SITE ANALYSIS:

TOTAL AREA OF SITE (LOT 3)	: 3.7± AC.	
AREA DISTURBED	: 3.7± AC.	
AREA TO BE ROOFED OR PAVED	: 2.4± AC.	* FOR ESTIMATING
AREA TO BE VEGETATIVELY STABILIZED	: 1.3± AC.	PURPOSES ONLY.
TOTAL CUT	: 3,600 CY*	VERIFY ACTUAL
TOTAL FILL	: 3,600 CY*	VALUES.
OFF-SITE WASTE/BORROW AREA LOCATION	: Site with an ac	tive grading permit

SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF

ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE CID. THE SITE AND ALL CONTROLS SHALL BE INSPECTED BY THE CONTRACTOR WEEKLY; AND THE NEXT DAY AFTER EACH RAIN EVENT. A WRITTEN REPORT BY THE CONTRACTOR, MADE AVAILABLE UPON REQUEST, IS PART OF EVERY INSPECTION AND SHOULD INCLUDE:

• INSPECTION DATE

 INSPECTION TYPE (ROUTINE, PRE-STORM EVENT, DURING RAIN EVENT)
 NAME AND TITLE OF INSPECTOR • WEATHER INFORMATION (CURRENT CONDITIONS AS WELL AS TIME AND AMOUNT OF LAST RECORDED PRECIPITATION) BRIEF DESCRIPTION OF PROJECT'S STATUS (E.G., PERCENT COMPLETE) AND/OR CURRENT ACTIVITIES EVIDENCE OF SEDIMENT DISCHARGES
 IDENTIFICATION OF PLAN DEFICIENCIES
 IDENTIFICATION OF SEDIMENT CONTROLS THAT REQUIRE MAINTENANCE
 IDENTIFICATION OF MISSING OR IMPROPERLY INSTALLED SEDIMENT CONTROLS
 COMPLIANCE STATUS REGARDING THE SEQUENCE OF CONSTRUCTION AND

STABILIZATION REQUIREMENTS MONITORING/SAMPLING MAINTENANCE AND/OR CORRECTIVE ACTION PERFORMED
 OTHER INSPECTION ITEMS AS REQUIRED BY THE GENERAL PERMIT FOR

STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES (NPDES, MDE). TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN AND SHALL BE BACK-FILLED AND STABILIZED BY HE END OF EACH WORKDAY, WHICHEVER IS SHORTER.

ANY MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE HSCD PRIOR TO PROCEEDING WITH CONSTRUCTION. MINOR REVISIONS MAY ALLOWED BY THE CID PER THE LIST OF HSCD-APPROVED FIELD CHANGES. DISTURBANCE SHALL NOT OCCUR OUTSIDE THE L.O.D. A PROJECT IS TO BE

SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM ACREAGE OF 20 AC. PER GRADING UNIT) AT A TIME. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE CID. UNLESS OTHERWISE SPECIFIED AND APPROVED BY HSCD, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME. WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS, PAVEMENT, AND OTHER SOURCES MUST BE TREATED IN A SEDIMENT BASIN OR OTHER APPROVED WASHOUT STRUCTURE.

TOPSOIL SHALL BE STOCKPILED AND PRESERVED ON—SITE FOR REDISTRIBUTION ONTO FINAL GRADE.

ALL SILT FENCE AND SUPER SILT FENCE SHALL BE PLACED ON—THE—CONTOUR, AND BE IMBRICATED AT 25'MINIMUM INTERVALS, WITH LOWER ENDS CURLED UPHILL BY 2'IN ELEVATION. STREAM CHANNELS MUST NOT BE DISTURBED DURING THE FOLLOWING RESTRICTED TIME PERIODS (INCLUSIVE):

• USE I AND IP MARCH 1 - JUNE 15 • USE III AND IIIP OCTOBER 1 - APRIL 30

A COPY OF THIS PLAN, THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND ASSOCIATED PERMITS SHALL BE ON-SITE AND AVAILABLE WHEN THE SITE IS ACTIVE.

DETAIL B-1 STABILIZED CONSTRUCTION SCE ENTRANCE MOUNTABLE BERM (6 IN MIN.) EXISTING GROUND -ACCOM-NONWOVEN GEOTEXTILE PIPE (SEE NOTE 6) **PROFILE** PLAN VIEW CONSTRUCTION SPECIFICATIONS

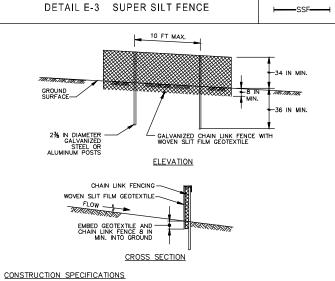
PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (\*30 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.

. PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAG TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT. PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAI OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL U.S. DEPARTMENT OF AGRICULTURE
ATURAL RESOURCES CONSERVATION SERVICE

ATURAL RESOURCES CONSERVATION SERVICE

AMARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



INSTALL 2% INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES CONSTRUCTION SPECIFICATIONS USE 42 INCH HIGH, 9 GAUGE OR THICKER CHAIN LINK FENCING (2% INCH MAXIMUM OPENING). FASTEN 9 GAUGE OR HEAVIER CALVANIZED CHAIN LINK FENCE (2% INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUG RINGS. USE 2% INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FO LENGTH SPACED NO FURTHER THAN 10 FEET APART. THE POSTS DO NOT NEED TO BE SET IN CONCRETE. WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS.

EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE. PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H $^-$ 1 MATERIALS. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE. MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

FASTEN CHAIN LINK FENCE SECURELY TO THE FENCE POSTS WITH WIRE TIES. SECURE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING TO CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT TOP, MID SECTION, AND BELOW GROUND SURFACE. EXTEND SHEETING A MINIMUM OF 4 FEET ALONG FLOW SURFACE AND EMBED END A MINIMUM OF 8 INCHES INTO GROUND. SOIL STABILIZATION MATTING MAY BE USED IN LIEU OF IMPERMEABLE SHFFTING ALONG FLOW SURFACF. WHEN TWO SECTIONS OF SHEETING ADJOIN EACH OTHER, OVERLAP BY 6 INCHES AND FOLD WITH SEAM FACING DOWNGRADE.

FLOW —

DIVERSION

**SECTION** 

FENCE

<u>ELEVATION</u>

├── DF ───

MAXIMUM DRAINAGE AREA = 2 ACRE

UV RESISTANT IMPERMEABLE SHEETING ON BOTH SIDES OF FENCE

MAXIMUM DRAINAGE AREA = 11/2 A

BION BASKETS

EX. GROUND

6 IN DEPTH

NONWOVEN GEOTEXTILE
ON OUTSIDE
OF BASKET

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL U.S. DEPARTMENT OF AGRICULTURE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT NATURAL RESOURCES CONSERVATION SERVICE 2011 WATER MANAGEMENT ADMINISTRATION U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE

NATURAL RESOURCES CONSERVATION SERVICE

NATURAL RESOURCES CONSERVATION SERVICE

NATURAL RESOURCES CONSERVATION SERVICE DETAIL E-9-7 GABION INLET PROTECTION TAB

DETAIL C-9

PLAN VIEW PLAN VIEW PAVED SURFACE 3 1/2 FT TYPICAL PROPOSED / EXISTING INLET-CONSTRUCTION SPECIFICATIONS SECTION A-A 1. USE BASKETS MADE OF 11 GAUGE WIRE OR HEAVIER. .. WRAF 3 FEEL X 3 FEET GABION BASKETS (LENGTH VARIABLE) WITH NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS, OVERLAPPING AT THE TOP AND FASTEN THE GEOTEXTILE AT THE TOP OF THE BASKET WITH WIRE FASTENERS (HOG RINGS) AT A MAXIMUM OF 1 FOOT INTERVALS ALONG THE SEAM. CONSTRUCTION SPECIFICATIONS 1. CONSTRUCT BERM ON AN UNINTERRUPTED, CONTINUOUS GRADE.

2. INSTALL BERM TO CONFORM TO CROSS SECTION DIMENSIONS OF A UNIFORM HEIGHT OF 8 INCHES MINIMUM AND APPROXIMATE WIDTH OF 3½ FEET. 3. PROVIDE OUTLET PROTECTION AS REQUIRED ON PLAN. 4. COMPACT ASPHALT BERM.

DETAIL C-5 TEMPORARY ASPHALT BERM

REPAIR DAMAGED ASPHALT. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. MAINTAIN POSITIVE 6. UPON REMOVAL OF ASPHALT BERM, RETURN TO ORIGINAL CONDITIONS OR AS SPECIFIED ON APPROVED PLAN

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL MARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION U.S. DEPARTMENT OF AGRICULTURE
ATURAL RESOURCES CONSERVATION SERVICE

2011

5. FILL GABION BASKETS WITH CLEAN 4 TO 7 INCH STONE OR EQUIVALENT RECYCLED CONCRETE WITHOUT REBAR OR MESH. MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

3. AVOID TEARING OR DAMAGING GEOTEXTILE

CONSTRUCTION SPECIFICATIONS

4. ENTRENCH GABION BASKETS TO A DEPTH OF 6 INCHES.

5. PLACE AND INTERLOCK GABION BASKETS WITH NO GAPS.

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE

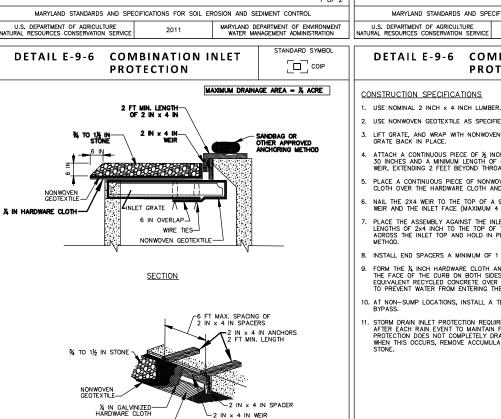
U.S. DEPARTMENT OF AGRICULTURE
WATER MANAGEMENT ADMINISTRATION
WATER MANAGEMENT ADMINISTRATION SIP DETAIL E- 9-1 STANDARD INLET PROTECTION

DETAIL E- 9-1 STANDARD INLET PROTECTION - TOP ELEVATION ∠2 IN x 4 IN<sub>I</sub> FRAMING TOP ELEVATION -WOVEN SLIT FILM GEOTEXTILE 18 IN INTO GROUND -TYPE A TYPE B ISOMETRIC VIEW EDGE OF ROADWAY OR TOP OF EARTH DIKE

SECTION FOR TYPE A AND B

. USE WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS. EXCAVATE COMPLETELY AROUND THE INLET TO A DEPTH OF 18 INCHES BELOW THE NOTCH ELEVATION 3. FOR TYPE A, USE NOMINAL 2 INCH X 4 INCH CONSTRUCTION GRADE LUMBER POSTS, DRIVEN 1 FOOT INTO THE GROUND AT EACH CORNER OF THE INLET. PLACE NAIL STRIPS BETWEEN THE POSTS ON THE ENDS OF THE INLET. ASSEMBLE THE TOP PORTION OF THE 2X4 FRAME AS SHOWN. STRETCH ½ INCH GALVANIZED HARDWARE CLOTH TIGHTLY AROUND THE FRAME AND FASTEN SECURELY. FASTEN GOTEXITE SECURELY TO THE HARDWARE AND HARDWARE SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND HARDWARE CLOTH A MINIMUM OF 18 INCHES BELOW THE WEIR CREST. THE ENDS OF THE GEOTEXTILE MUST MEET AT A POST, BE OVERLAPPED AND FOLIDED, HEN FASTENED TO THE POST.

FOR TYPE B, USE 236 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND 6 FOOT LENGTH, DRIVEN A MINIMUM OF 36 INCHES BELOW THE WEIR CREST AT EACH CORNER OF THE STRUCTURE. FASTEN 9 GAUGE OR HEAVER CHAIN LINK FENCE, 42 INCHES IN HEIGHT, SECURELY TO THE FENCE POSTS WITH WIRE ITES. FASTEN GEOTEXTILE SECURELY TO THE CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE WITH FENCE A MINIMUM OF 18 INCHES BELOW THE WEIR CREST. BACKFILL AROUND THE INLET IN LOOSE 4 INCH LIFTS AND COMPACT UNTIL SOIL IS LEVEL WITH THE NOTCH ELEVATION ON THE ENDS AND TOP ELEVATION ON THE SIDES.



ISOMETRIC VIEW

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

CONSTRUCTION SPECIFICATIONS 1. USE NOMINAL 2 INCH x 4 INCH LUMBER.

2. USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS. LIFT GRATE, AND WRAP WITH NONWOVEN GEOTEXTILE TO COMPLETELY COVER ALL OPENINGS, THEN SET GRATE BACK IN PLACE. ATTACH A CONTINUOUS PIECE OF ½ INCH GALVANIZED HARDWARE CLOTH WITH A MINIMUM WIDTH OI 30 INCHES AND A MINIMUM LEGITH OF 4 FEET LONGER THAN THE THROAT OPENING, TO THE 2X4 WERE, EXTENDING 2 FEET BEYOND THROAT ON EACH SIDE. 5. PLACE A CONTINUOUS PIECE OF NONWOVEN GEOTEXTILE THE SAME DIMENSIONS AS THE HARDWARE CLOTH OVER THE HARDWARE CLOTH AND SECURELY ATTACH IT TO THE WEIR. 5. NAIL THE 2X4 WEIR TO THE TOP OF A 9 INCH LONG VERTICAL SPACER TO BE LOCATED BETWEEN THE WEIR AND THE INLET FACE (MAXIMUM 4 FEET APART).

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL FROSION AND SEDIMENT CONTROL

COIP

DETAIL E-9-6 COMBINATION INLET

PROTECTION

PLACE THE ASSEMBLY AGAINST THE INLET THROAT AND NAIL TO 2X4 ANCHORS (MINIMUM 2 FOOT LENGTHS OF 2X4 INCH TO THE TOP OF THE WEIR AT SPACER LOCATIONS). EXTEND 2X4 ANCHORS ACROSS THE INLET TOP AND HOLD IN PLACE BY SANDBAGS OR OTHER APPROVED ANCHORING METHOD. 8. INSTALL END SPACERS A MINIMUM OF 1 FOOT BEYOND BOTH ENDS OF THE THROAT OPENING.

9. FORM THE 1/2, INCH HARDWARE CLOTH AND THE GEOTEXTILE TO THE CONCRETE GUTTER AND AGAINST THE FACE OF THE CURB ON BOTH SIDES OF THE INLET. PLACE CLEAN 1/2, TO 11/2, INCH STONE OR EQUIVALENT RECYCLED CONCRETE OVER THE HARDWARE CLOTH AND GEOTEXTILE IN SUCH A MANNER TO PREVENT WATER FROM ENTERING THE INLET UNDER OR AROUND THE GEOTEXTILE. 10. AT NON-SUMP LOCATIONS, INSTALL A TEMPORARY SANDBAG OR ASPHALT BERM TO PREVENT INLET

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING. IF INLET TION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. HIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND

Lot 3A, Section 3, Area 4

U.S. DEPARTMENT OF AGRICULTURE
VATURAL RESOURCES CONSERVATION SERVICE

ACTUAL MARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE MARYLAND DEPARTMENT OF ENVIRONMEN WATER MANAGEMENT ADMINISTRATION SEDIMENT CONTROL NOTES AND DETAILS NO SCALE Waverly Winds Apartments Village of Harper's Choice DATE TAX MAP - GRID Plat No. 26412 and 26667 AUG. 2024 29-23 HOWARD COUNTY, MARYLAND

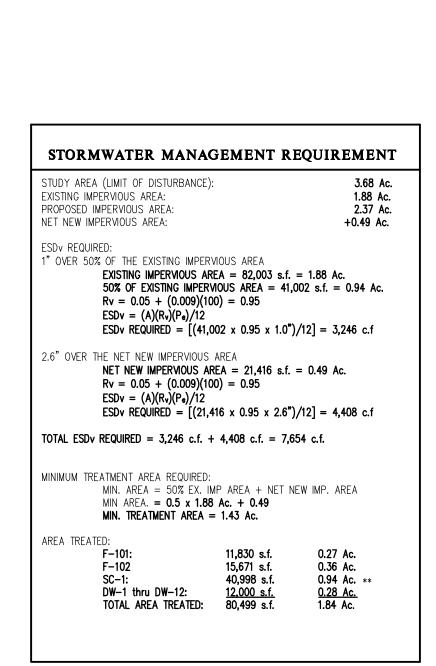
GRATE WRAPPED WITH GEOTEXTILE

# PROFESSIONAL CERTIFICATION HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND,

÷28598014401644 LECTION DISTRICT No. 5

G. L. W. FILE No. 22017 SHEET OF 24 SDP-23-045

LICENSE NO. <u>54390</u> EXPIRATION DATE: <u>MAY 14, 2025</u>



## STORMWATER MANAGEMENT RECHARGE

NET NEW IMP. AREA = 21,416 s.f.  $RE_V = (S)(R_V)(A)$  $RE_V = (0.26 \times 0.95 \times 21,416)/12$  $RE_V$  REQUIRED = 0.05 Ac. Ft. = 441 c.f.

SWM DRAINAGE AREA SUMMARY TABLE						
AREA NO.	AREA (SF)	IMP. AREA (SF)	ESDv (CF) PROVIDED	Pe PROVIDED	REv PROVIDED	
DA SC-1	40,998 **	40,998 **	3,241 **	1.0"	0	
DA F-101	11.830	10,182	813	1.0"	0	
DA F-102	15,671	14,417	1,147	1.0"	0	
* DA DW-1 BLDG A	1,000	1,000	206	2.6"	206	
*DA DW-2 BLDG A	1,000	1,000	206	2.6"	206	
*DA DW-3 BLDG A	1,000	1,000	206	2.6"	206	
* DA DW-4 BLDG B	1,000	1,000	206	2.6"	206	
*DA DW-5 BLDG B	1,000	1,000	206	2.6"	206	
*DA DW-6 BLDG B	1,000	1,000	206	2.6"	206	
*DA DW-7 BLDG B	1,000	1,000	206	2.6"	206	
*DA DW-8 BLDG B	1,000	1,000	206	2.6"	206	
*DA DW-9 BLDG B	1,000	1,000	206	2.6"	206	
* DA DW-10 BLDG B	1,000	1,000	206	2.6"	206	
* DA DW-11 BLDG B	1,000	1,000	206	2.6"	206	
* DA DW-12 BLDG B	1,000	1,000	206	2.6"	206	
TOTAL (Provided)	80,499	77,597	7,677		2,472	

- \* EACH DRYWELL WILL HAVE A MAXIMIMUM DRAINAGE AREA OF 1,000 SF. ROOF RUNOFF TO THE DRYWELLS WILL BE PROVIDED BY ROOFDRAINS (RD).
- \*\* THE MAXIMUM ESD CREDIT FOR A STORMCEPTOR IS EQUIVALENT TO 12" OVER THE EXISTING IMPERVIOUS AREA. ACTUAL DRAINAGE AREA AND TREATMENT IS LARGER. SEE COMPS FOR ADDITIONAL

DRAINAGE DIVIDE TO SC-1 (82,261 SF)\*\* DRAINAGE DIVIDE TO FILTERRAS AND DRYWELLS DRAINAGE AREA TO DRYWELLS



APPROVED: HOWA	ARD COUNTY DEPARTMENT OF	PLANNING & ZONING
	lynda Eisenberg	9/19/2024
Director	4220B635863942E  DocuSigned by:	Date 9/19/2024
	h-	9/19/2024
Chief, Division of Lo	Date	
	CHAD Edmondson	9/17/2024

Chief, Development Engineering49ivision 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM

LDD DRAWN BY LDD HECKED BY DS/MT PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186 BY APP'R. DATE REVISION

Enterprise Community Homes Housing LLC (Owner) Enterprise Community Development, Inc. (Developer) 875 Hollin Street, Suite 202, Baltimore, MD 21201 410-332-7400

1,000 SF ROOF DA-3 70 DW-3

PROFESSIONAL CERTIFICATION PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 54390\_\_\_\_\_, EXPIRATION DATE: MAY 14, 2025\_\_\_\_\_\_.

"COLUMBIA
"ILLAGE OF HARPERS CHOICE
SWANSFIELD, NEIGHBORHOOD CENTER
SECTION 4, AREA 2"
PLAT BOOK 17, PLAT NO. 11

N/F PROPERTY OF COLUMBIA ASSOCIATION INC L.3324 F.191

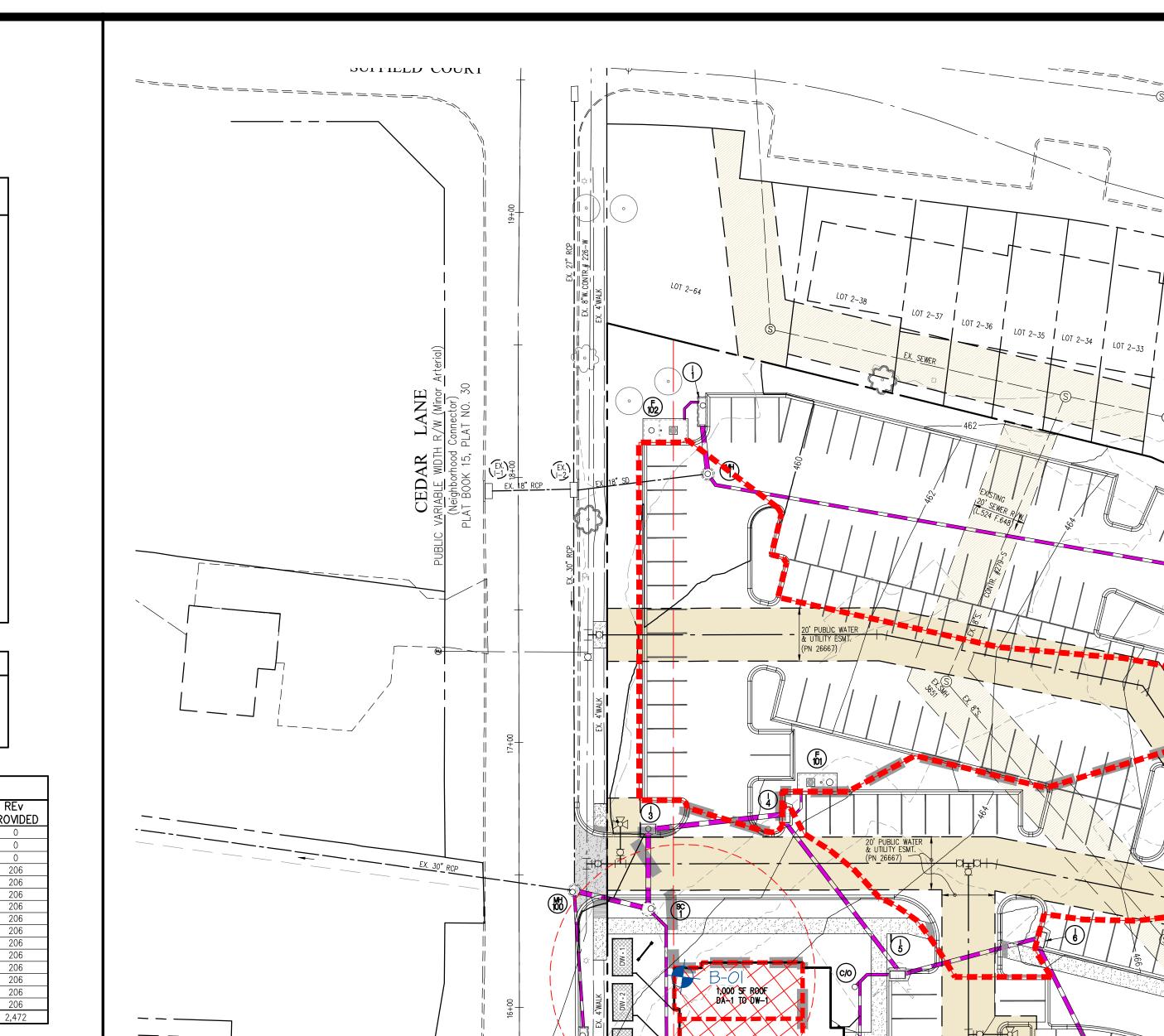
DRAINAGE AREA DELINEATION AND STORMWATER MANAGEMENT Waverly Winds Apartments
Lot 3A, Section 3, Area 4
Village of Harper's Choice
Plat No. 26412 and 26667

N 565,000 |

SCALE G. L. W. FILE No. ZONING 22017 DATE TAX MAP - GRID SHEET AUG. 2024 9 OF 24 29-23

SDP-23-045

GRAPHIC SCALE



ROCK

COAST

ROAD # 3

TOTAL ESDV REQUIRED = 7,654 c.f. TOTAL REV REQUIRED = 441 c.f. TOTAL ESDv PROVIDED = 7,677 c.f. TOTAL REv PROVIDED = 2,472 c.f.

PREPARED FOR: Enterprise™

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED

LOT 2-31

LOT 2-29 | LOT 2-28 | LOT 2-2-

N 565,400

LOT 2-63

COLUMBIA
VILLAGE OF HARPERS CHOICE
SECTION 3 , AREA 4"
PLAT BOOK 17, PLAT No. 64

BUILDING 'A'

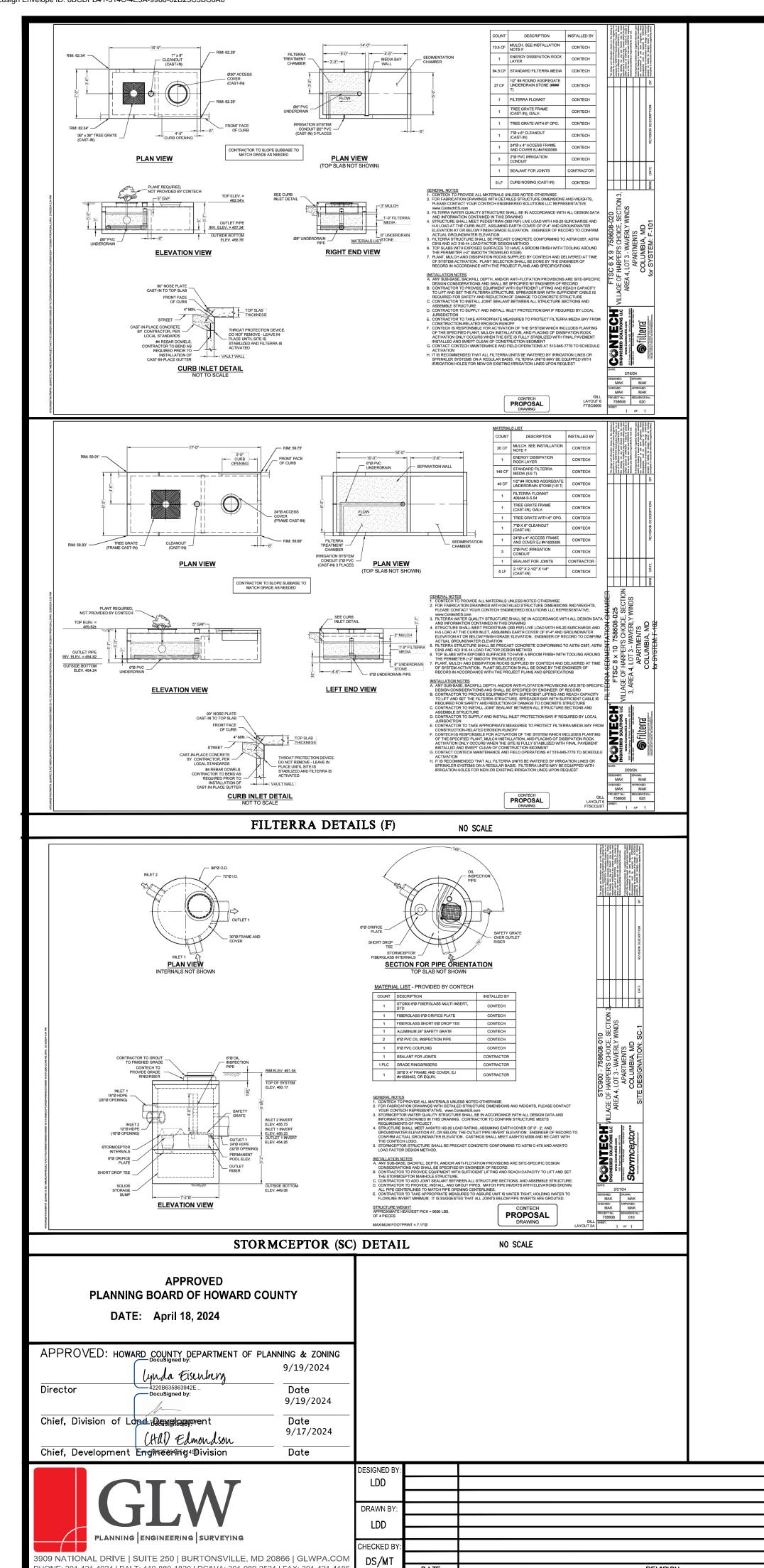
4-STORY BUILDING (55 UNITS) F.F.E. =467.64±

LECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

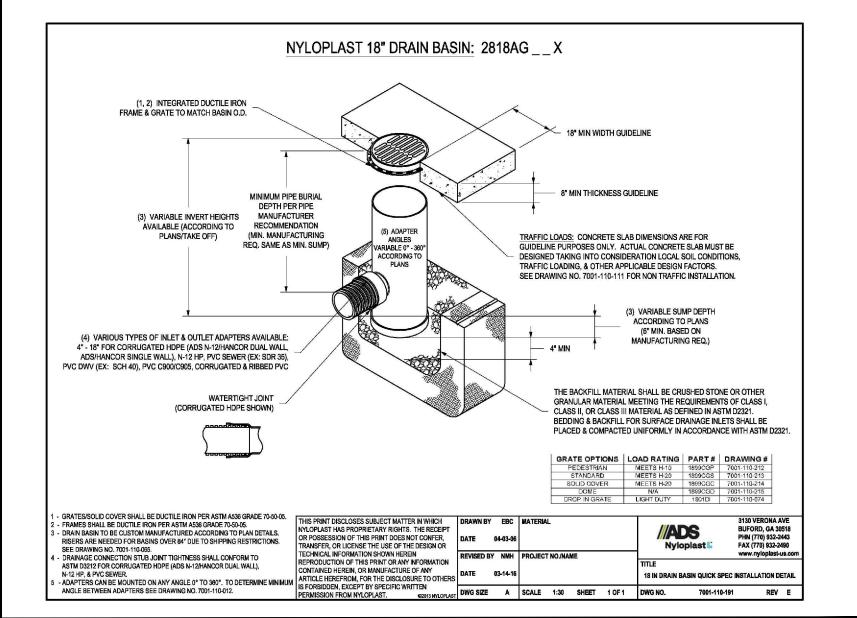
LOT 16 OPEN SPACE

"COLUMBIA
VILLAGE OF HARPERS CHOICE SECTION 3, AREA 2" PLAT BOOK 13, PLAT No. 89



DATE

REVISION



## - SPLASH BLOCK PROPOSED DRYWELL (M-5 - CAP WITH SCREW TOP LID PRYWELL LENGTH x WIDTH STONE (" TOP & SIDES BUILDING FOUNDATION AASHTO #2 STONE 4" PERFORATED PVC OBSERVATION MINIMUM -WELL PERFORATIONS WITHIN STONE OCATION' DRY WELL INVERT MIN. 4 FT ABOVE GROUNDWATER TABLE OR BEDROCK (2 FT. ON EASTERN SHORE) SEE HO. CO. DPW D-9.01 DETAIL AND CHART TO LEFT FOR DRYWELL DIMENSIONS

## TYPICAL DRY WELL (M-5) SECTION

NO SCALE

#### OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED DRY WELLS (M-5)

- . THE MONITORING WELLS AND STRUCTURES SHALL BE INSPECTED ON A QUARTERLY BASIS AND AFTER EVERY LARGE STORM EVENT. . WATER LEVELS AND SEDIMENT BUILD UP IN THE MONITORING WELLS SHALL BE RECORDED OVER A PERIOD OF SEVERAL DAYS TO INSURE TRENCH DRAINAGE.
- 3. A LOG BOOK SHALL BE MAINTAINED TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.
- 4. WHEN THE FACILITY BECOMES CLOGGED SO THAT IT DOES NOT DRAIN DOWN WITHIN THE 72 HOUR TIME PERIOD, CORRECTIVE
- 5. THE MAINTENANCE LOG BOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.
- S. ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION FACILITY HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.

## OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED

THE OWNER SHALL INSPECT THE STORMCEPTOR WATER QUALITY STRUCTURE PERIODICALLY AND CLEAN IT TO MAINTAIN PROPER OPERATION AND FUNCTION. THE OWNER SHALL INSPECT THE STORMCEPTOR UNIT YEARLY AT A MINIMUM, UTILIZING THE STORMCEPTOR INSPECTION/MONITORING FORM. INSPECTIONS SHALL BE DONE BY USING A CLEAR PLEXIGLASS TUBE ("SLUDGE JUDGE") TO EXTRACT A WATER COLUMN SAMPLE. WHEN THE SEDIMENT DEPTHS EXCEED THE LEVEL SPECIFIED IN TABLE 6 OF THE STORMCEPTOR TECHNICAL MANUAL, THE STORMCEPTOR UNIT MUST BE CLEANED.

3. THE OWNER SHALL CHECK AND CLEAN IMMEDIATELY THE STORMCEPTOR WATER QUALITY STRUCTURE AFTER PETROLEUM SPILLS. THE OWNER SHALL CONTACT THE APPROPRIATE REGULATORY AGENCIES AND CLEAN THE PETROLEUM SPILLS IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

REQUIREMENTS FOR THE PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIALS AND LIQUID.

- THE MAINTENANCE OF THE STORMCEPTOR UNIT SHALL BE DONE USING A VACUUM TRUCK WHICH WILL REMOVE THE WATER. SEDIMENT, DEBRIS, FLOATING HYDROCARBONS AND OTHER MATERIALS IN THE STORMCEPTOR UNIT. THE OWNER SHALL FOLLOW ALL
- THE OWNER SHALL CHECK THE INLET AND OUTLET PIPES FOR ANY OBSTRUCTIONS AT LEAST ONCE EVERY SIX (6) MONTHS. IF OBSTRUCTIONS ARE FOUND, THE OWNER SHALL HAVE THEM REMOVED. THE OWNER SHALL REPAIR THE STRUCTURAL PARTS OF
- THE OWNER SHALL RETAIN AND MAKE THE STORMCEPTOR INSPECTION/MONITORING FORMS AVAILABLE THE HOWARD COUNTY

#### OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED FILTERRA (F)

A. ACTIVATION OF THE FILTERRA™ UNIT IS PERFORMED ONLY BY THE SUPPLIER. PURCHASER IS RESPONSIBLE FOR FILTERRA™ INLET PROTECTION AND SUBSEQUENT CLEAN OUT COST. THIS PROCESS CANNOT COMMENCE UNTIL THE PROJECT SITE IS FULLY STABILIZED AND CLEANED (FULL LANDSCAPING, GRASS COVER, FINAL PAVING AND STREET SWEEPING COMPLETED), NEGATING THE CHANCE OF CONSTRUCTION MATERIALS CONTAMINATING THE FILTERRA™ SYSTEM. CARE SHALL BE TAKEN DURING CONSTRUCTION NOT TO DAMAGE THE PROTECTIVE THROAT AND TOP PLATES. B. ACTIVATION INCLUDES INSTALLATION OF PLANT(S) AND MULCH LAYERS AS NECESSARY.

A. EACH CORRECTLY INSTALLED FILTERRA<sup>TM</sup> UNIT IS TO BE MAINTAINED BY THE SUPPLIER, OR A SUPPLIER APPROVED CONTRACTOR FOR A MINIMUM PERIOD OF 1 YEAR. THE COST OF THIS SERVICE IS TO BE INCLUDED IN THE PRICE OF EACH FILTERRA™ UNIT. EXTENDED MAINTENANCE CONTRACTS ARE AVAILABLE AT EXTRA COST UPON REQUEST.

B. ANNUAL MAINTENANCE CONSISTS OF A MAXIMUM OF (2) SCHEDULED VISITS. THE VISITS ARE SCHEDULED SEASONALLY; THE SPRING VISIT AIMS TO CLEAN UP AFTER WINTER LOADS INCLUDING SALTS AND SANDS. THE FALL VISIT HELPS THE SYSTEM BY REMOVING EXCESSIVE LEAFLITTER.

- EACH MAINTENANCE VISIT CONSISTS OF THE FOLLOWING TASKS.
- FILTERRA™ UNIT INSPECTION FOREIGN DEBRIS, SILT, MULCH & TRASH REMOVAL
- FILTER MEDIA EVALUATION AND RECHARGE AS NECESSARY
- PLANT HEALTH EVALUATION AND PRUNING OR REPLACEMENT AS NECESSARY REPLACEMENT OF MULCH
- DISPOSAL OF ALL MAINTENANCE REFUSE ITEMS

ELECTION DISTRICT No. 5

- MAINTENANCE RECORDS UPDATED AND STORED (REPORTS AVAILABLE UPON REQUEST)
- ). THE BEGINNING AND ENDING DATE OF SUPPLIER'S OBLIGATION TO MAINTAIN THE INSTALLED SYSTEM SHALL BE DETERMINED BY THE SUPPLIER AT THE TIME THE SYSTEM IS ACTIVATED. OWNERS MUST PROMPTLY NOTIFY THE SUPPLIER OF ANY DAMAGE TO THE PLANT(S), WHICH CONSTITUTE(S) AN INTEGRAL PART OF THE BIORETENTION TECHNOLOGY.

- THE ALLOWABLE MATERIALS TO BE USED IN THESE PRACTICES ARE DETAILED IN TABLE B.4.1. (Appendix B.4, MDE SWM Design Manual, 200
- THE SOIL SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES. NO OTHEF MATERIALS OR SUBSTANCES SHALL BE MIXED OR DUMPED WITHIN THE MICRO-BIORETENTION PRACTICE THAT MAY BE HARMFUL TO PLANT GROWTH, OR PROVE A HINDRANCE TO THE PLANTING OR MAINTENANCE OPERATIONS. THE PLANTING SOIL SHALL BE FREE OF BERMUDA
- THE PLANTING SOIL SHALL BE TESTED AND SHALL MEET THE FOLLOWING CRITERIA:
- SOIL COMPONENT LOAMY SAND OR SANDY LOAM (USDA SOIL TEXTURAL CLASSIFICATION)ORGANIC MATTER 1.5 4% (BY WEIGHT) ORGANIC CONTENT - MINIMUM 10% BY DRY WEIGHT (ASTM D 2974). IN GENERAL, THIS CAN BE MET WITH A MIXTURE OF LOAMY SAND (60%-65%) AND COMPOST (35% TO 40%) OR SANDY LOAM (30%), COARSE SAND (30%), AND COMPOST (40%).
- CLAY CONTENT MEDIA SHALL HAVE A CLAY CONTENT OF LESS THAN 5%. PH RANGE -SHOULD BE BETWEEN 5.5 - 7.0. AMENDMENTS (E.G., LIME, IRON SULFATE PLUS SULFUR) MAY BE MIXED INTO THE SOIL TO INCREASE OR DECREASE PH.

GRASS, QUACKGRASS, JOHNSON GRASS, OR OTHER NOXIOUS WEEDS AS SPECIFIED UNDER COMAR 15.08.01.05.

THERE SHALL BE AT LEAST ONE SOIL TEST PER PROJECT. EACH TEST SHALL CONSIST OF BOTH THE STANDARD SOIL TEST FOR PH, AND ADDITIONAL TESTS OF ORGANIC MATTER, AND SOLUBLE SALTS. A TEXTURAL ANALYSIS IS REQUIRED FROM THE SITE STOCKPILED TOPSOIL. I TOPSOIL IS IMPORTED, THEN A TEXTURE ANALYSIS SHALL BE PERFORMED FOR EACH LOCATION WHERE THE TOPSOIL WAS EXCAVATED.

T IS VERY IMPORTANT TO MINIMIZE COMPACTION OF BOTH THE BASE OF BIORETENTION PRACTICES AND THE REQUIRED BACKFILL. WHEN POSSIBLE, USE EXCAVATION HOES TO REMOVE ORIGINAL SOIL. IF PRACTICES ARE EXCAVATED USING A LOADER, THE CONTRACTOR SHOULD USE WIDE TRACK OR MARSH TRACK EQUIPMENT, OR LIGHT EQUIPMENT WITH TURF TYPE TIRES. USE OF EQUIPMENT WITH NARROW TRACKS ( NARROW TIRES, RUBBER TIRES WITH LARGE LUGS, OR HIGH-PRESSURE TIRES WILL CAUSE EXCESSIVE COMPACTION RESULTING IN REDUCED INFILTRATION RATES AND IS NOT ACCEPTABLE. COMPACTION WILL SIGNIFICANTLY CONTRIBUTE TO DESIGN FAILURE.

COMPACTION CAN BE ALLEVIATED AT THE BASE OF THE BIORETENTION FACILITY BY USING A PRIMARY TILLING OPERATION SUCH AS A CHIS PLOW, RIPPER, OR SUBSOILER. THESE TILLING OPERATIONS ARE TO REFRACTURE THE SOIL PROFILE THROUGH THE 12 INCH COMPACTION

EFFECTS OF COMPACTION FROM HEAVY EQUIPMENT. ROTOTILL 2 TO 3 INCHES OF SAND INTO THE BASE OF THE BIORETENTION FACILITY BEFORE BACKFILLING THE OPTIONAL SAND LAYER. PUMP

ZONE. SUBSTITUTE METHODS MUST BE APPROVED BY THE ENGINEER. ROTOTILLERS TYPICALLY DO NOT TILL DEEP ENOUGH TO REDUCE THE

WHEN BACKFILLING THE TOPSOIL OVER THE SAND LAYER, FIRST PLACE 3 TO 4 INCHES OF TOPSOIL OVER THE SAND, THEN ROTOTILL THE SAND/TOPSOIL TO CREATE A GRADATION ZONE. BACKFILL THE REMAINDER OF THE TOPSOIL TO FINAL GRADE. WHEN BACKFILLING THE BIORETENTION FACILITY, PLACE SOIL IN LIFTS 12" TO 18". DO NOT USE HEAVY EQUIPMENT WITHIN THE BIORETENTION BASIN. HEAVY EQUIPMENT CAN BE USED AROUND THE PERIMETER OF THE BASIN TO SUPPLY SOILS AND SAND. GRADE BIORETENTION MATERIALS WITH LIGHT EQUIPMENT SUCH AS A COMPACT LOADER OR A DOZER/LOADER WITH MARSH TRACKS.

#### RECOMMENDED PLANT MATERIAL FOR MICRO-BIORETENTION PRACTICES CAN BE FOUND IN APPENDIX A, SECTION A.2.3.

COMPOST IS A BETTER ORGANIC MATERIAL SOURCE. IS LESS LIKELY TO FLOAT. AND SHOULD BE PLACED IN THE INVERT AND OTHER LOW AREAS, MULCH SHOULD BE PLACED IN SURROUNDING TO A UNIFORM THICKNESS OF 2" TO 3", SHREDDED OR CHIPPED HARDWOOD MULCH IS THE ONLY ACCEPTED MULCH. PINE MULCH AND WOOD CHIPS WILL FLOAT AND MOVE TO THE PERIMETER OF THE BIORETENTION AREA DURING A STORM EVENT AND ARE NOT ACCEPTABLE. SHREDDED MULCH MUST BE WELL AGED (6 TO 12 MONTHS) FOR ACCEPTANCE.

ROOTSTOCK OF THE PLANT MATERIAL SHALL BE KEPT MOIST DURING TRANSPORT AND ON-SITE STORAGE. THE PLANT ROOT BALL SHOULD BE PLANTED SO 1/8TH OF THE BALL IS ABOVE FINAL GRADE SURFACE. THE DIAMETER OF THE PLANTING PIT SHALL BE AT LEAST SIX INCHES LARGER THAN THE DIAMETER OF THE PLANTING BALL. SET AND MAINTAIN THE PLANT STRAIGHT DURING THE ENTIRE PLANTING PROCESS. THOROUGHLY WATER GROUND BED COVER AFTER INSTALLATION.

TREES SHALL BE BRACED USING 2" BY 2" STAKES ONLY AS NECESSARY AND FOR THE FIRST GROWING SEASON ONLY. STAKES ARE TO BE EQUALLY SPACED ON THE OUTSIDE OF THE TREE BALL.

GRASSES AND LEGUME SEED SHOULD BE DRILLED INTO THE SOIL TO A DEPTH OF AT LEAST ONE INCH. GRASS AND LEGUME PLUGS SHALL BE PLANTED FOLLOWING THE NON-GRASS GROUND COVER PLANTING SPECIFICATIONS.

THE TOPSOIL SPECIFICATIONS PROVIDE ENOUGH ORGANIC MATERIAL TO ADEQUATELY SUPPLY NUTRIENTS FROM NATURAL CYCLING. THE PRIMARY FUNCTION OF THE BIORETENTION STRUCTURE IS TO IMPROVE WATER QUALITY. ADDING FERTILIZERS DEFEATS, OR AT A MINIMUM, IMPEDES THIS GOAL. ONLY ADD FERTILIZER IF WOOD CHIPS OR MULCH ARE USED TO AMEND THE SOIL. ROTOTILL UREA FERTILIZER AT A

## RATE OF 2 POUNDS PER 1000 SQUARE FEET.

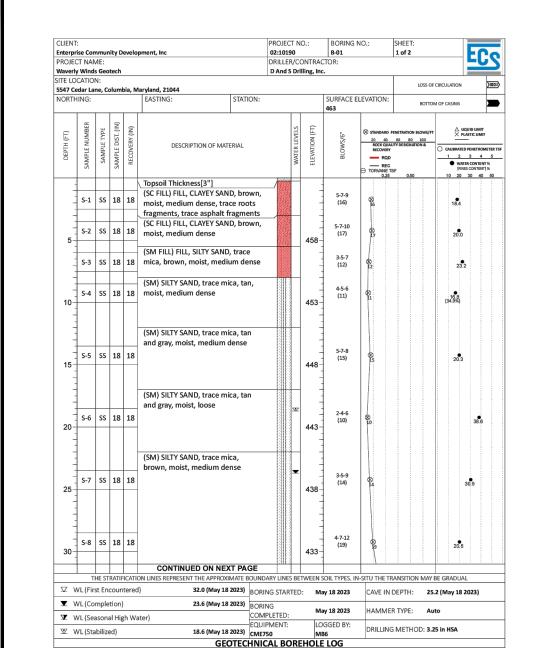
#### UNDERDRAINS SHOULD MEET THE FOLLOWING CRITERIA:

ANY PONDED WATER BEFORE PREPARING (ROTOTILLING) BASE.

- PIPE- SHOULD BE 4" TO 6" DIAMETER, SLOTTED OR PERFORATED RIGID PLASTIC PIPE (ASTMF 758, TYPE PS 28, OR AASHTO-M-278) IN A GRAVEL LAYER. THE PREFERRED MATERIAL IS SLOTTED, 4" RIGID PIPE (E.G., PVC OR HDPE). PERFORATIONS - IF PERFORATED PIPE IS USED, PERFORATIONS SHOULD BE 3/8" DIAMETER LOCATED 6" ON CENTER WITH A MINIMUM
- OF FOUR HOLES PER ROW. PIPE SHALL BE WRAPPED WITH A 1/4" (NO. 4 OR 4X4) GALVANIZED HARDWARE CLOTH THE GRAVEL LAYER (NO. 57 STONE PREFERRED) SHALL BE AT LEAST 3" THICK ABOVE AND BELOW THE UNDERDRAIN.
- THE MAIN COLLECTOR PIPE SHALL BE AT A MINIMUM 0.5% SLOPE A RIGID, NON-PERFORATED OBSERVATION WELL MUST BE PROVIDED (ONE PER EVERY 1,0000 SQUARE FEET) TO PROVIDE A CLEAN-OU
- PORT AND MONITOR PERFORMANCE OF THE FILTER. A 4" LAYER OF PEA GRAVEL (1/8" TO 3/8" STONE) SHALL BE LOCATED BETWEEN THE FILTER MEDIA AND UNDERDRAIN TO PREVENT
- MIGRATION OF FINES INTO THE UNDERDRAIN. THIS LAYER MAY BE CONSIDERED PART OF THE FILTER BED WHEN BED THICKNESS

THE MAIN COLLECTOR PIPE FOR UNDERDRAIN SYSTEMS SHALL BE CONSTRUCTED AT A MINIMUM SLOPE OF 0.5%. OBSERVATION WELLS AND/OR CLEAN-OUT PIPES MUST BE PROVIDED (ONE MINIMUM PER EVERY 1000 SQUARE FEET OF SURFACE AREA).

THESE PRACTICES MAY NOT BE CONSTRUCTED UNTIL ALL CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.



PREPARED FOR:

Enterprise\*

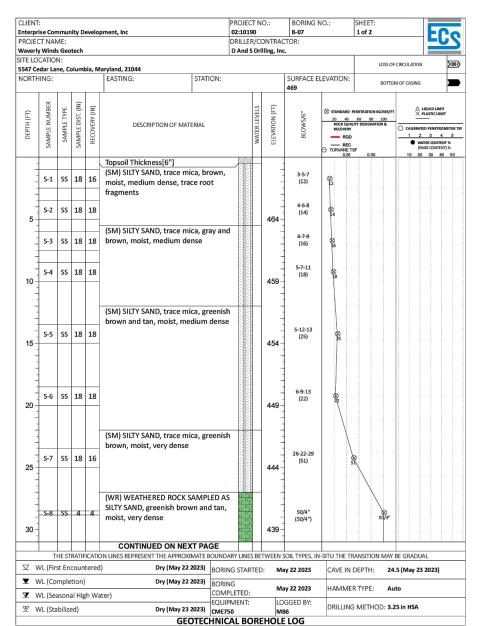
410-332-7400

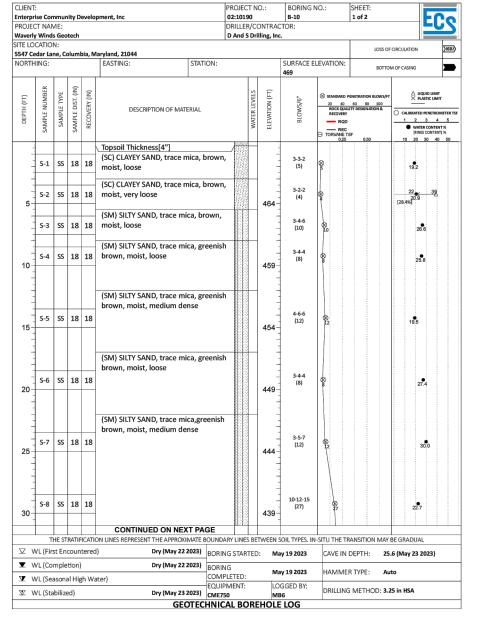
BY APP'R.

Enterprise Community Homes Housing LLC (Owner)

Enterprise Community Development, Inc. (Developer)

875 Hollin Street, Suite 202, Baltimore, MD 21201



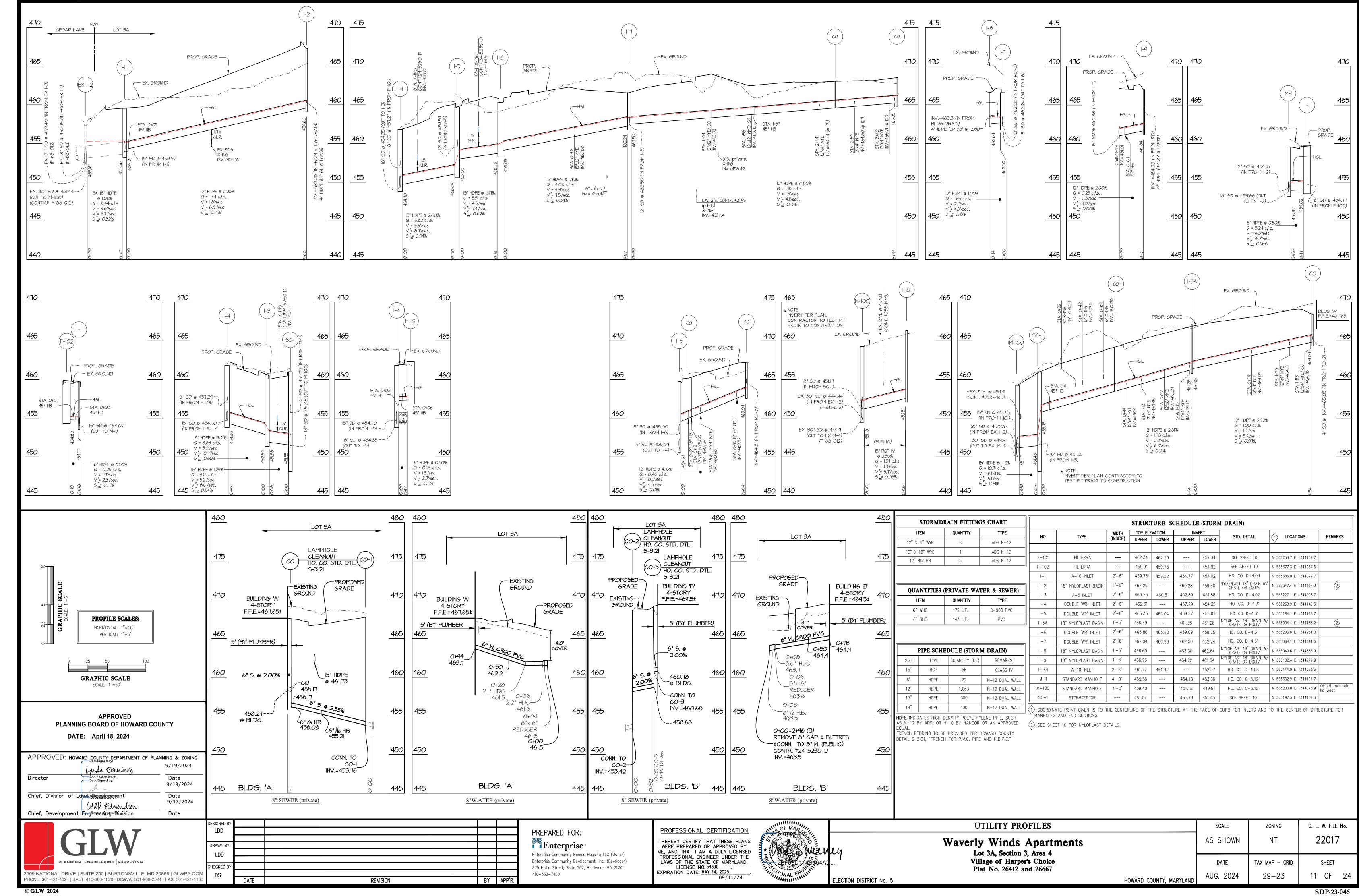


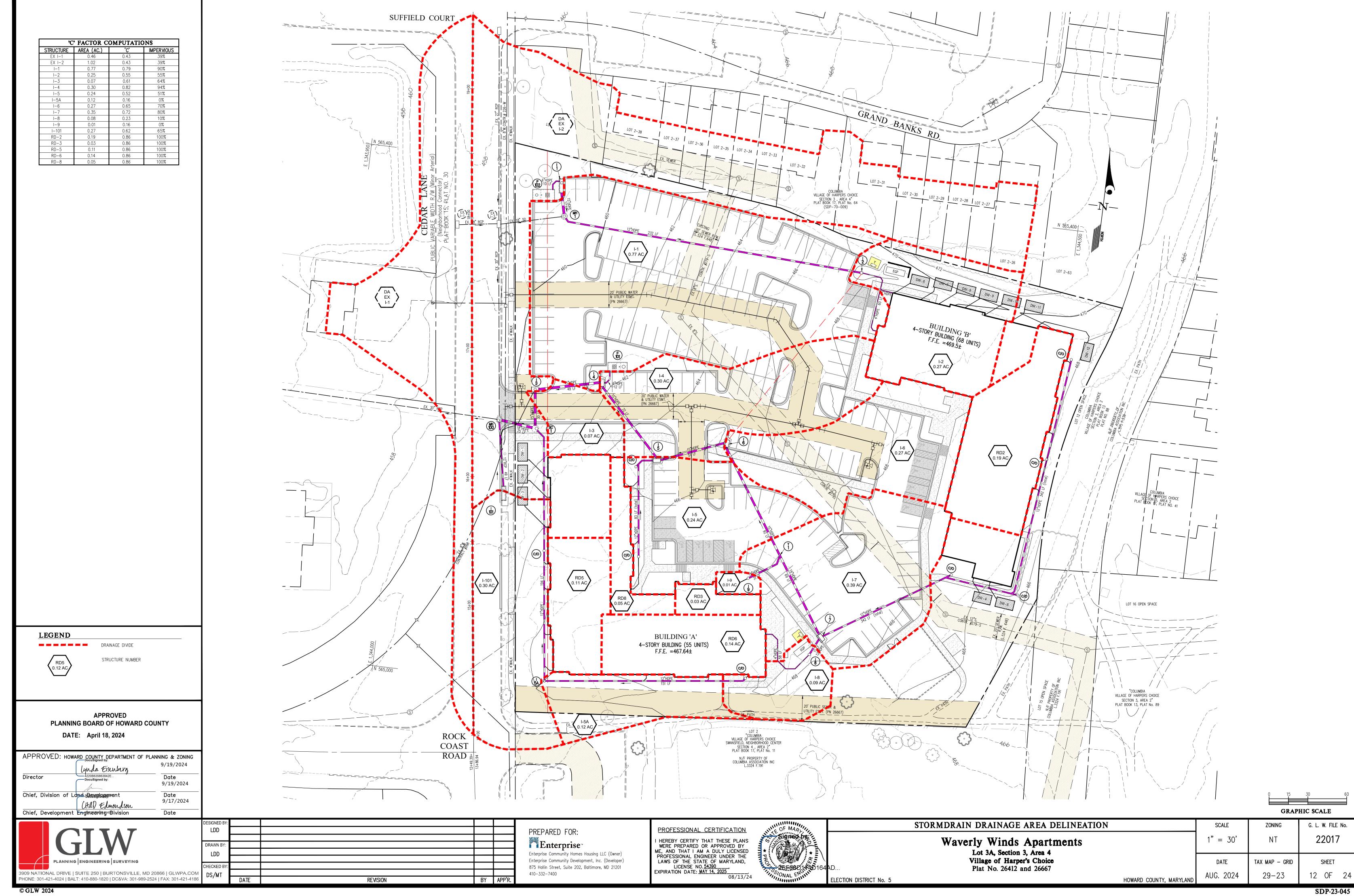
PROFESSIONAL CERTIFICATION	WITE OF MARY
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DURY DEPARTMENT THE	* Signed.
PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 54390, EXPIRATION DATE: MAY 14, 2025	2B F 58 D
08/13/24	WAL EN

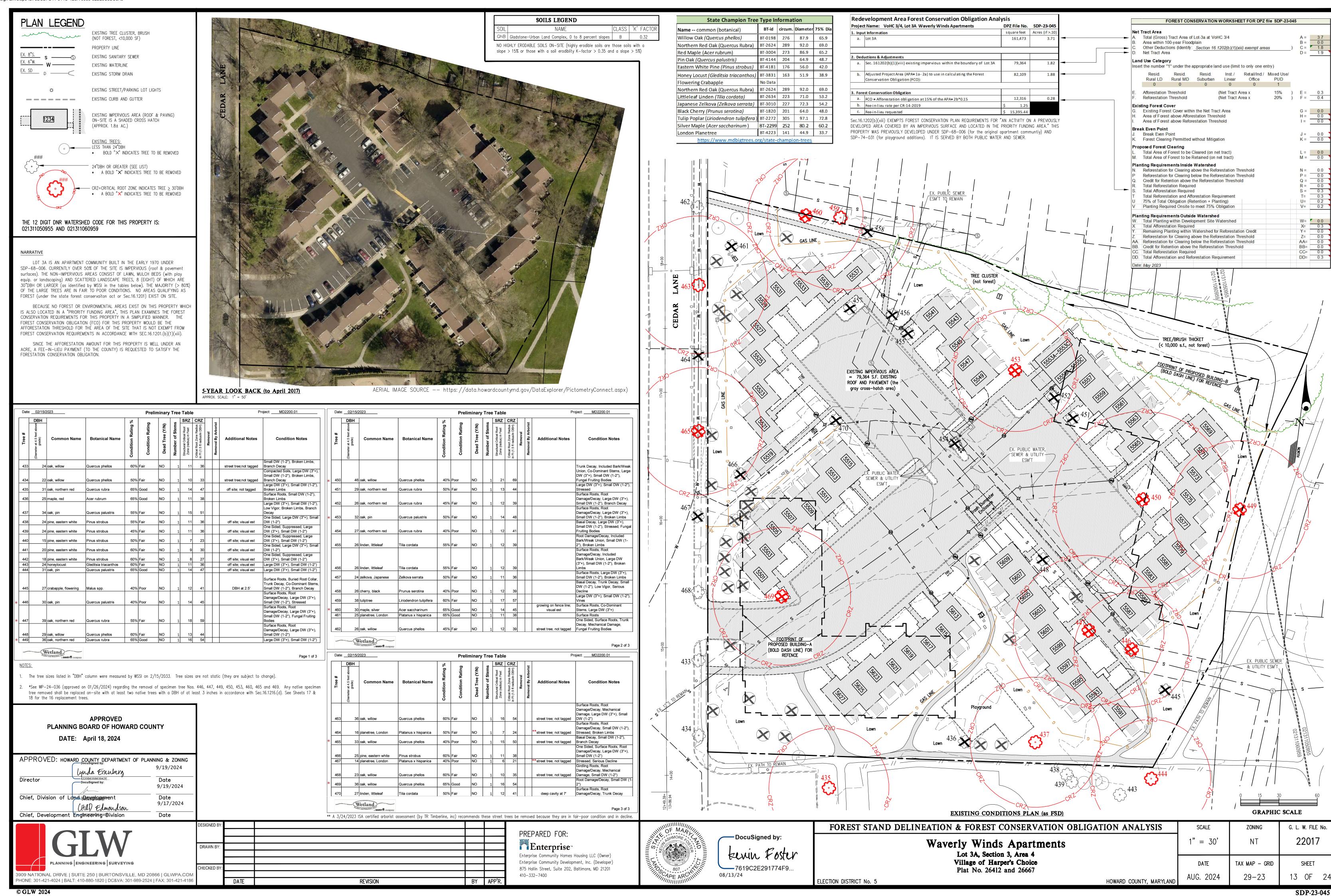
**ESD NOTES AND DETAILS** Waverly Winds Apartments Lot 3A, Section 3, Area 4 Village of Harper's Choice Plat No. 26412 and 26667

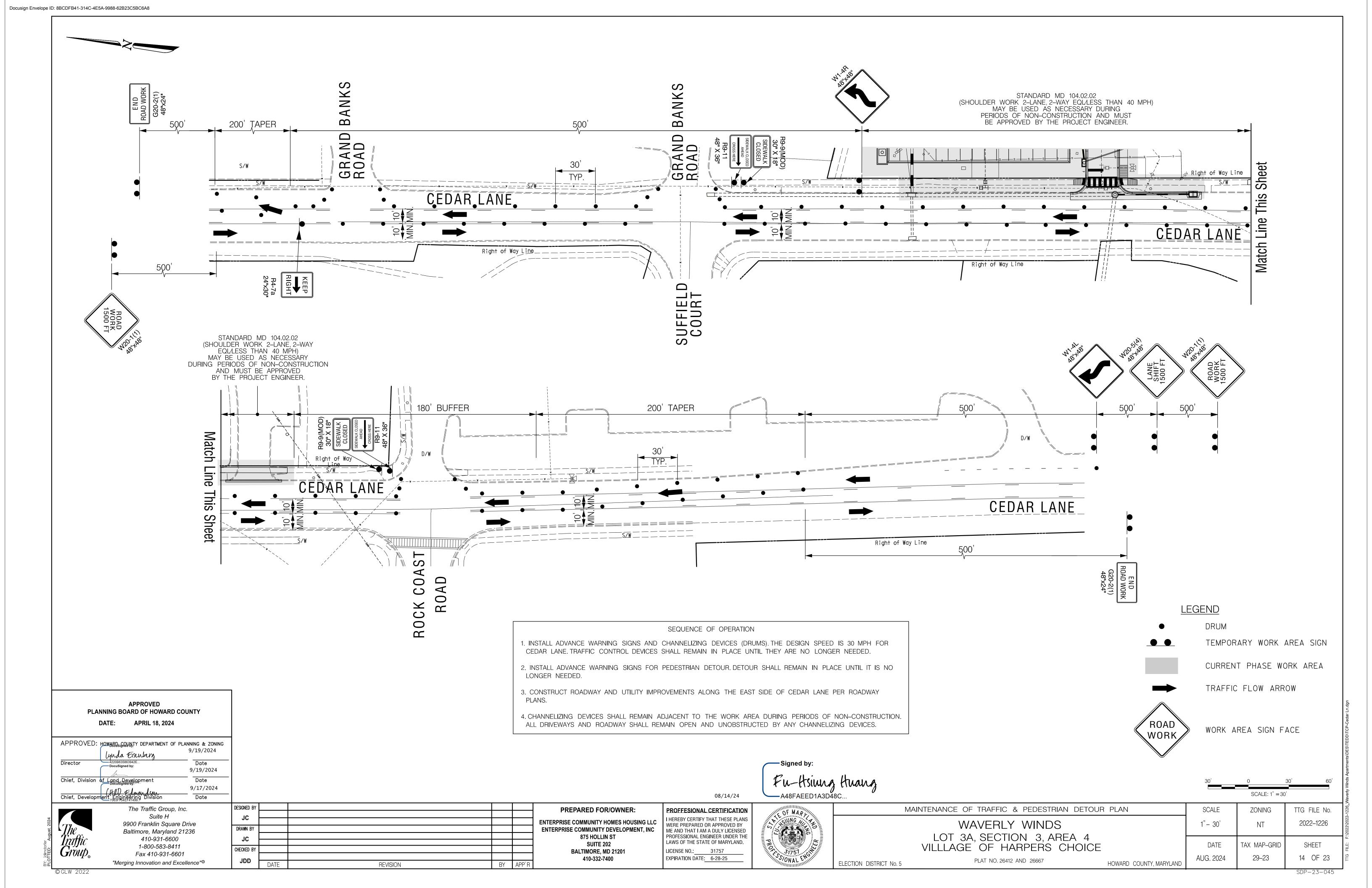
G. L. W. FILE No. 22017 AS SHOWN NT DATE TAX MAP - GRID SHEET AUG. 2024 29 - 2310 OF 24 HOWARD COUNTY, MARYLAND

PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186







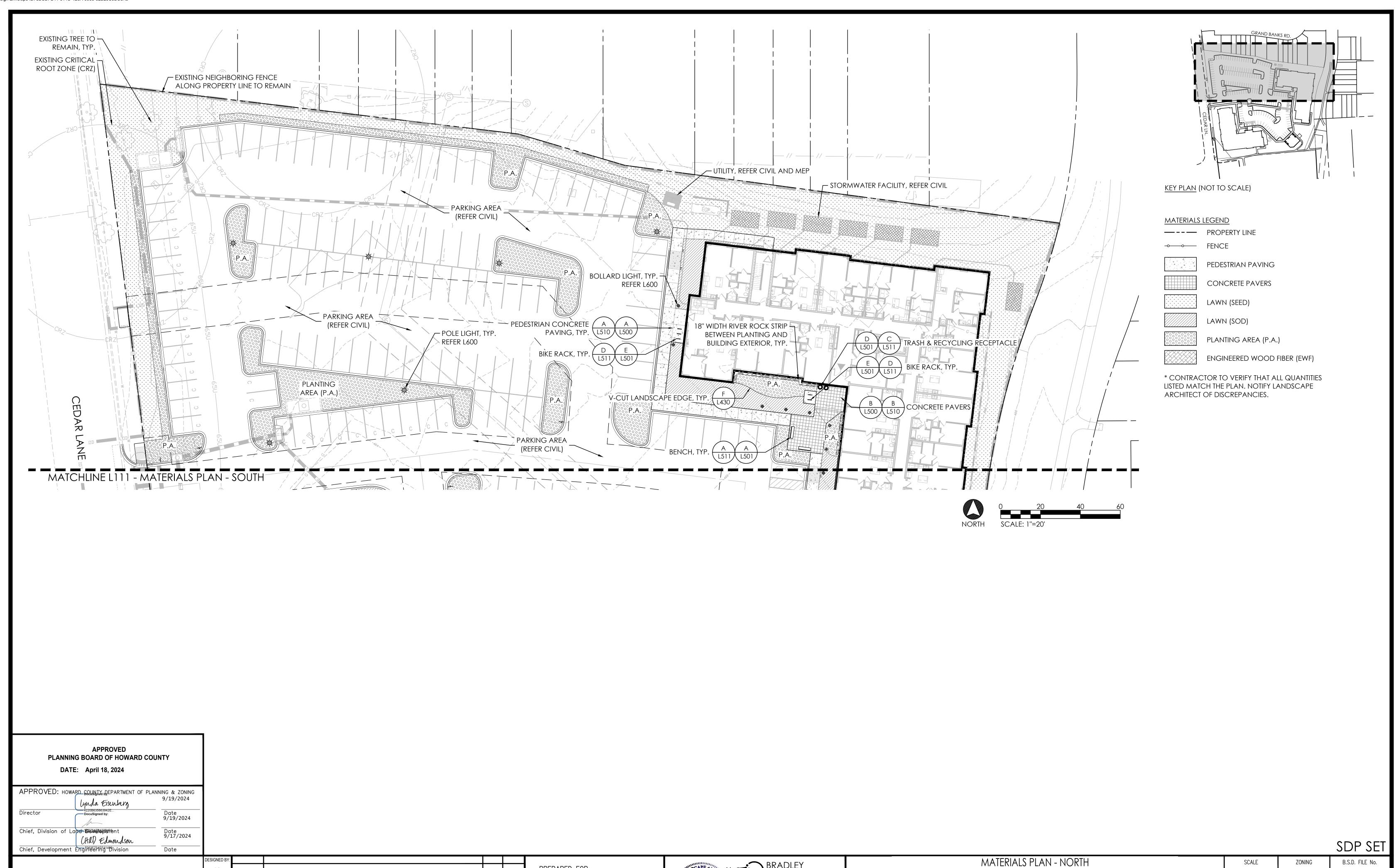


MC

CHECKED BY:

DATE

REVISION



BRADLEY
SITE DESIGN, INC.

By Architecture
1010 Wisconsin Avenue NW Suite 620

www.bradleysitedesign.com

ELECTION DISTRICT No. 5

P: 202.695.8056

PREPARED FOR:

410-332-7400

BY APP'R.

Enterprise Community Homes Housing LLC (Owner)

Enterprise Community Development, Inc. (Developer)

875 Hollin Street, Suite 202, Baltimore, MD 21201

15 OF 24

SHEET

B.S.D. FILE No.

ZONING

TAX MAP - GRID

29-23

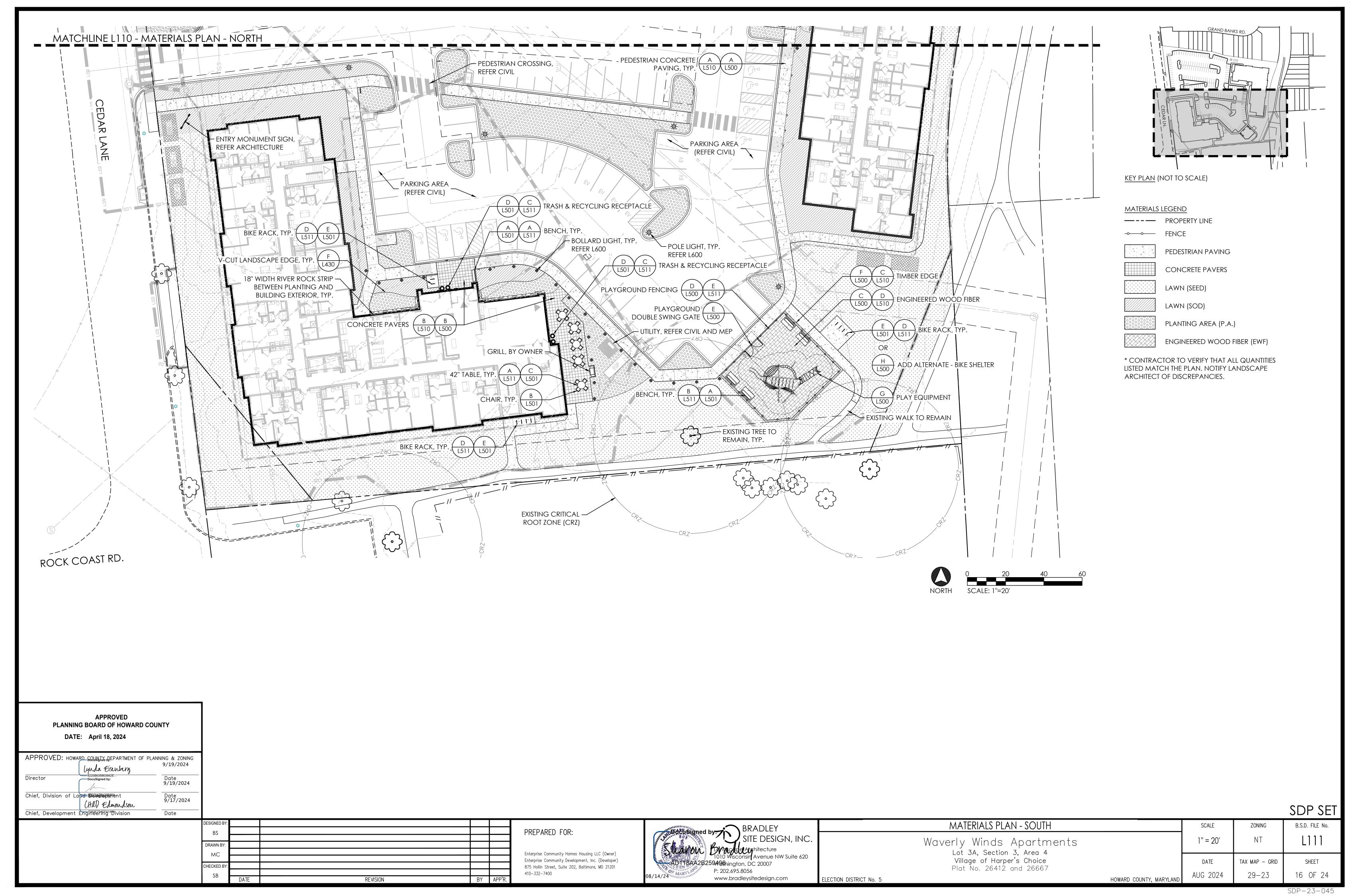
SCALE

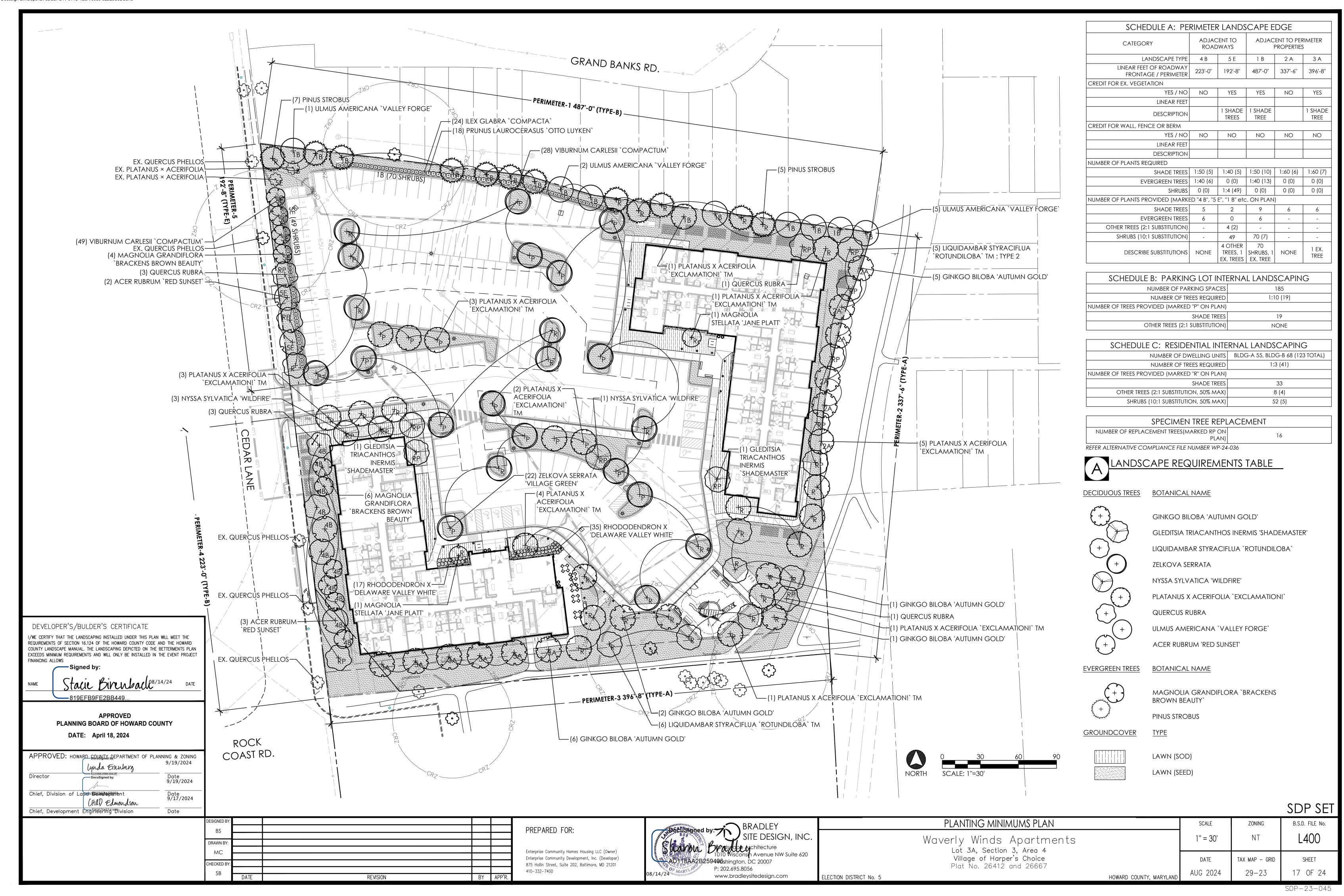
1" = 20'

DATE

HOWARD COUNTY, MARYLAND

Waverly Winds Apartments Lot 3A, Section 3, Area 4 Village of Harper's Choice Plat No. 26412 and 26667





PLANT S	SCHEDULE		_			
QTY	BOTANICAL NAME	COMMON NAME	SIZE		REMARKS	NATIVE
DECIDUOUS	S TREES					
5	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	2" CAL.		STRONG SINGLE LEADER/SPECIMEN	Native
15	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD GINKGO	2.5" CAL.		STRONG SINGLE LEADER/SPECIMEN. MALE ONLY.	
2	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER LOCUST	3" CAL.		STRONG SINGLE LEADER/SPECIMEN	Native
6	LIQUIDAMBAR STYRACIFLUA `ROTUNDILOBA` TM	ROUND-LOBED SWEET GUM	2.5" CAL.		STRONG SINGLE LEADER/SPECIMEN	Native
5	LIQUIDAMBAR STYRACIFLUA `ROTUNDILOBA` TM : TYPE 2	ROUND-LOBED SWEET GUM: TYPE 2	3" CAL.		STRONG SINGLE LEADER/SPECIMEN	Native
4	NYSSA SYLVATICA 'WILDFIRE'	WILDFIRE TUPELO	3" CAL.			
21	PLATANUS X ACERIFOLIA `EXCLAMATION!` TM	EXCLAMATION LONDON PLANE TREE	2.5" CAL.		STRONG SINGLE LEADER/SPECIMEN. SUBMIT PICTURES FOR APPROVAL BY LANDSCAPE ARCHITECT	
8	QUERCUS RUBRA	RED OAK	3" CAL.		STRONG SINGLE LEADER/SPECIMEN	Native
8	ULMUS AMERICANA `VALLEY FORGE`	VALLEY FORGE AMERICAN ELM	2.5" CAL.		STRONG SINGLE LEADER/SPECIMEN	Native
22	ZELKOVA SERRATA 'VILLAGE GREEN'	VILLAGE GREEN JAPANESE ZELKOVA	2.5" CAL.		STRONG SINGLE LEADER/SPECIMEN	
EVERGREEN 10 12	TREES  MAGNOLIA GRANDIFLORA `BRACKENS BROWN BEAUTY` PINUS STROBUS	BRACKEN'S SOUTHERN MAGNOLIA EASTERN WHITE PINE	8` HT. 6` HT.		SINGLE STRONG LEADER/SPECIMEN SINGLE STRONG LEADER/SPECIMEN	Native
		LASILKIN WITHLINE	0 111.		JINGLE STRONG LEADER/SI ECIMIEN	Indiive
ORNAMENT 2	MAGNOLIA STELLATA 'JANE PLATT'	JANE PLATT STAR MAGNOLIA	6` HT.		MULISTEMMED SPECIMEN	
QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS	NATIVE
SHRUBS						
24	ILEX GLABRA `COMPACTA`	COMPACT INKBERRY	2` HT.	36" o.c.	MIN. 4 CANES	Native
18	PRUNUS LAUROCERASUS `OTTO LUYKEN`	OTTO LUYKEN LAUREL	2` HT.	48" o.c.	MIN. 5 CANES	
52	RHODODENDRON X 'DELAWARE VALLEY WHITE'	VALLEY WHITE AZALEA	3 GAL.	36" o.c.		
77	VIBURNUM CARLESII `COMPACTUM`	KOREAN SPICE VIBURNUM	2` HT.	36" o.c.	MIN. 5 CANES	
GROUND C	COVED\$					•
GROUNDC	OVER3				2-4 LB / 1,000 SF	
41,726 SF	KENTUCKY BLUEGRASS & FINE FESCUE MIXTURE	KENTUCKY BLUEGRASS & FINE FESCUE MIXTURE	SEED		30% - 40% CERTIFIED KENTUCKY BLUEGRASS CULTIVARS (MIN. 3 CULTIVARS AT A MIN. OF 10% EA.) & 60% - 70% CERTIFIED FINE FESCUE	
6,989 SF	SOD	SOD	SOD		90% TALL FESCUE AND 5%-10% KENTUCKY BLUE GRASS	



DEVELOPER'S/BULDER'S CERTIFICATE

FINANCING ALLOWS

Director

I/WE CERTIFY THAT THE LANDSCAPING INSTALLED UNDER THIS PLAN WILL MEET THE

REQUIREMENTS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. THE LANDSCAPING DEPICTED ON THE BETTERMENTS PLAN

EXCEEDS MINIMUM REQUIREMENTS AND WILL ONLY BE INSTALLED IN THE EVENT PROJECT

Stacie Birenhach 198/14/24

**APPROVED** 

PLANNING BOARD OF HOWARD COUNTY

APPROVED: HOWARD COLINITY DEPARTMENT OF PLANNING & ZONING

lynda Eisenberg

(HD) Edmondson

9/19/2024

Date 9/19/2024

Date 9/17/2024

**DATE:** April 18, 2024

Chief, Division of Land 1885 Market Pent

## LANDSCAPE BOND TABULATIONS

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. THE REQUIRED PARKING, RESIDENTIAL INTERIOR LOT, AND PERIMETER LANDSCAPING, WILL BE BONDED PER THIS SUBMISSION.
- 2. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT FOR THE SITE DEVELOPMENT PLAN IN THE AMOUNT OF \$37,530 FOR THE REQUIRED 96 (\$300) SHADE TREES, 24 (\$150) EVERGREEN AND ORNAMENTAL TREES, AND 171 (\$30) SHRUBS.

## **SOIL & PLANTING NOTES**

- REFER TO CIVIL ENGINEER'S UTILITY AND GRADING AND DRAINAGE PLANS FOR UTILITY LOCATION AND DRAINAGE INFORMATION. REFER TO CIVIL ENGINEER'S GRADING PLANS FOR GRADING INFORMATION. IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS OR IF THERE ARE DISCREPANCIES BETWEEN THE PLANS, CONTACT THE LANDSCAPE ARCHITECT FOR DIRECTION AS TO HOW TO PROCEED.
- 2. VERIFY LOCATIONS OF PERTINENT SITE IMPROVEMENTS INSTALLED UNDER OTHER SECTIONS. IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT LANDSCAPE ARCHITECT FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.
- 3. PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE, BY HAND. THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK AND DISRUPTION OR DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER.
- MINIMIZE GRADING AND CONSTRUCTION OPERATIONS AS MUCH AS POSSIBLE IN THE ROOT ZONES OF EXISTING TREES TO REMAIN. CIVIL ENGINEER AND LANDSCAPE ARCHITECT TO APPROVE ALL GRADING, CONSTRUCTION, TRENCHING AND OTHER DISTURBANCE REQUIRED WITHIN THE ROOT ZONES OF THE TREES. DO NOT SHRED OR TEAR TREE ROOTS WITH EXCAVATION EQUIPMENT; CLEAN CUT ALL ROOT LARGER THAN 1-INCH WITH SAW OR CLIPPERS.
- 5. ALL SLOPE AREAS GREATER THAN 25% MUST BE STABILIZED WITH EROSION CONTROL FABRIC BEFORE PLANTING. SLOPE AREAS THAT WILL NOT BE PLANTED MUST BE SEEDED PER CIVIL'S SPECIFICATIONS.
- 6. ALL LANDSCAPE PLANTINGS SHOULD NOT INTERFERE WITH UTILITY LINES, SIGHT TRIANGLES, UNDERGROUND UTILITIES, PUBLIC WALKWAYS.
- 7. TOPSOIL TO BE FREE AND CLEAR OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS, WEED, GRASS STOLONS, SEEDS [EG. CYPERUS SPECIES (COMMON NAME - NUTSEDGE)] AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.

- 8. FINISH GRADES OF PLANTER AREAS SHALL BE 2 INCHES BELOW ADJACENT PAVING OR TOP OF WALL UNLESS OTHERWISE NOTED.
- 9. DO NOT DRIVE MACHINERY OVER PREPARED PLANTING BEDS, OR OTHERWISE COMPACT THE SOIL AFTER PREPARATION.
- 10. THE MINIMUM DEPTH OF TOPSOIL IN CURBED ISLAND PLANTERS MUST BE 12" FOR SHRUBS AND 30" FOR TREES. REFER TO SOIL PLANS FOR DEPTH AND SPECIFICATIONS.
- 11. ONLY NURSERY GROWN PLANT MATERIALS ARE ACCEPTABLE.
- 12. LANDSCAPE ARCHITECT TO REVIEW PLANT MATERIALS AT SOURCE OR BY PHOTO PRIOR TO DIGGING OR SHIPPING OF PLANT MATERIALS.
- 13. TREES AND SHRUBS MUST HAVE A SPECIES IDENTIFICATION TAG FROM THE NURSERY TO REMAIN ON 2 OF EACH PLANTED SPECIES UNTIL THE LANDSCAPE ARCHITECT HAS REVIEWED. TAGS TO BE REMOVED AFTER FINAL INSPECTION TO PREVENT GIRDLING.
- 14. ALL PLANT MATERIAL SHALL BE SUFFICIENTLY HARDY TO WITHSTAND THE EFFECTS OF POLLUTION, SALT, INSECT MANIFESTATIONS AND ANY OTHER HAZARD ASSOCIATED WITH THE SPECIFIC ENVIRONMENT.
- 15. PLANT MATERIAL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT BEFORE THE PLANTS ARE BROUGHT TO THE SITE.
- 16. EXACT LOCATIONS OF PLANT MATERIALS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANTS TO EXACT LOCATION IN FIELD.
- 17. TREES AND SHRUBS SHALL BE PLANTED ONLY WHEN THE SOIL IS FROST FREE.
- 18. PLANTING SEASON SHALL BE MARCH 15 TO JUNE 30, OR SEPTEMBER 1 TO NOVEMBER 30, FOR ALL SHADE AND BUFFER TREES.

ELECTION DISTRICT No. 5

- 19. ALL PLANTING BEDS MUST HAVE A MINIMUM OF 2" OF MULCH IN ALL NON-GRASSED LANDSCAPE BED AREAS.
- 20. DISTURBED EXISTING LAWN AREAS ARE TO BE SEEDED UPON COMPLETION OF CONSTRUCTION.
- 21. IF DISCREPANCIES BETWEEN THE PLANTING PLAN AND PLANT LIST OCCUR, THE PLANTING PLAN TAKES PRECEDENCE.
- 22. EXISTING TREES SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO EXISTING.
- 23. TREES TO BE PLANTED A MINIMUM OF 4 FEET FROM FACE OF BUILDING, PAVEMENT, OR OTHER HARDSCAPE FEATURE EXCEPT AS APPROVED BY LANDSCAPE ARCHITECT.
- 24. ALIGN AND EQUALLY SPACE IN ALL DIRECTIONS TREES AND SHRUBS AS DESIGNATED PER THESE NOTES AND DRAWINGS.
- 25. FOR TREES WITH WIRE BASKET AROUND ROOT BALL, CUT WIRE BASKET IN FOUR PLACES AND FOLD DOWN 12" INTO PLANTING HOLE.
- 26. CUT AND REMOVE OR TURN BACK 1/3 OF BURLAP AWAY FROM TOP OF ROOT BALL. CUT ROPE FROM TOP OF ROOT BALL.
- 27. EXISTING LAWN AREAS & ASSOCIATED SOILS TO BE PROTECTED THROUGHOUT DURATION OF CONSTRUCTION. ADDITIONAL AMENDMENTS NOT NECESSARY WITHIN PROTECTED AREAS UNLESS DISTURBED. IF DISTURBED, PREPARE/AMEND SOIL AS INDICATED IN DRAWINGS.
- 28. PROTECTED LAWN AREAS WITH PRIOR SIGNIFICANT DAMAGE TO BE IMPROVED AS INDICATED IN

DRAWINGS. COORDINATE WITH OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.

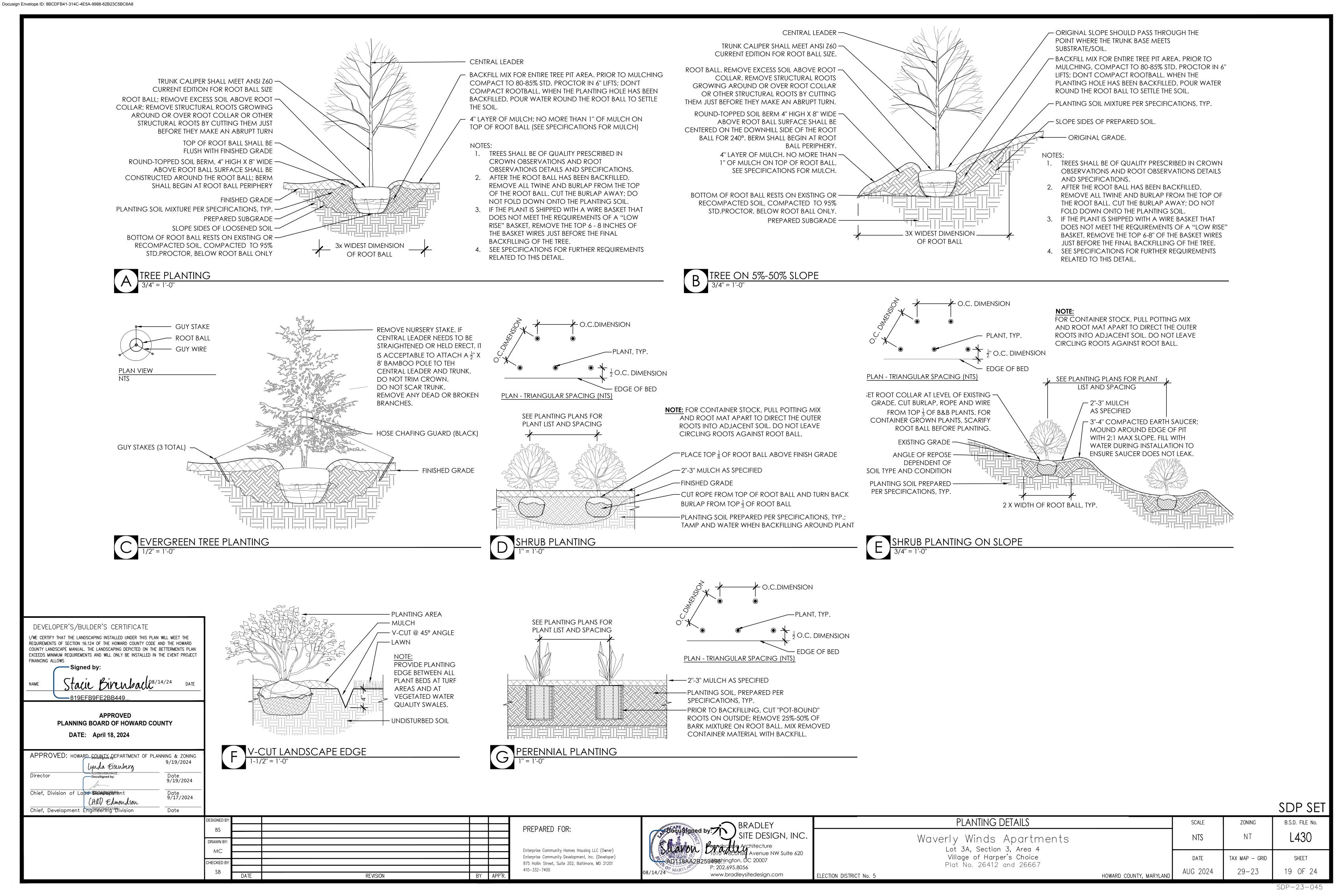
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PREPARED FOR: Enterprise Community Homes Housing LLC (Owner) Enterprise Community Development, Inc. (Developer) 875 Hollin Street, Suite 202, Baltimore, MD 21201 410-332-7400



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PLANTING SCHEDULE AND NOTES	_	SCALE	ZONING	B.S.D. FILE No.
Waverly Winds Apartments Lot 3A, Section 3, Area 4		NTS	NT	L410
Village of Harper's Choice Plat No. 26412 and 26667		DATE	TAX MAP — GRID	SHEET
	HOWARD COUNTY, MARYLAND	AUG 2024	29-23	18 OF 24





PRODUCT: PEDESTRIAN CONCRETE SIDEWALK

COLOR: FINISH:

4" THICK WITH EWF AND DOWELED AT EXPANSION JOINTS TO MEET THE LEED-NC SS 7.1 PAVING MATERIAL REQUIREMENT OR THE LEED-NC SS 7.2, A CONCRETE SURFACE MUST HAVE A SOLAR REFLECTANCE OF AT LEAST 0.28 USING ASTM E1980 AND AN EMITTANCE OF 0.90. TO MEET THE LEED-NC SS 7.2 A CONCRETE SURFACE MUST HAVE A SOLAR

REFLECTANCE OF AT LEAST 0.64.





BLACK, VINYL CHAINLINK FENCE FOR DESIGN INTENT ONLY 48" HEIGHT, REFER DETAILS

**APPROVED** 

PLANNING BOARD OF HOWARD COUNTY

APPROVED: HOWARD SOLINTY DEPARTMENT OF PLANNING & ZONING

lynda Eisenberg

(HD) Edmondson

DATE: April 18, 2024

Chief, Division of Land 1888 Meller ent

Chief, Development Engineeriffg1489ivision

Director

9/19/2024

Date 9/19/2024

Date 9/17/2024







PRODUCT: TRADITIONAL PREST BRICK MANUFACTURER: HANOVER DIMENSIONS: 4" x 8" MATERIAL(S): CONCRETE BRICK COLOR(S): TBD BY SUBMITTAL PRIOR TO ORDERING.



BLACK, VINYL CHAINLINK DOUBLE SWING GATE TO MATCH FENCE FOR DESIGN INTENT ONLY 48" HEIGHT

# PLAYGROUND DOUBLE SWING GATE



FOUR-ARCH PLAY PIECE PRODUCT: MANUFACTURER: LANDSCAPE STRUCTURES

REPRESENTATIVE: SPARKS@PLAY LLC 3705 CRONDALL LN., OWINGS MILLS, MD 21117

www.sparksatplay.com DIMENSIONS: REFER PLAN

COMPONENTS: HEMISPHERE CLIMBER, OVERHEAD TREKKER LADDER, HELIX NET CLIMBER, RUSH SLIDE, RINGTANLE CLIMBER, AND O-ZONE CLIMBER.

COLOR(S):

QTY:

NOTE:

PLAY EQUIPMENT DESIGN AND LAYOUT TO BE COORDINATED WITH MANUFACTURER









PRODUCT: WOOD CARPET - ENGINEERED WOOD FIBER

MANUFACTURER: ZEAGER BROS, INC. 4000 EAST HARRISBURG PIKE, MIDDLETOWN, PA 17057

> ZEAGER.COM (800) 346-8524 / INFO@ZEAGER.COM

NATURAL QTY: REFER TO PLAN DRAWINGS

REFER PLAY MANUFACTURER FOR DEPTH REQUIREMENTS FOR SAFETY SURFACE.

# ENGINEERED WOOD FIBER



PRODUCT: PRESSURE-TREATED TIMBER DIMENSIONS: 6" x 6"

FINISH: NATURAL NOTES:

LOCATED WHERE ENGINEERED WOOD FIBER IS ADJACENT TO LAWN OR P.A. (REFER TO PLANS FOR LAYOUT AND DIMENSIONS)





PRODUCT: BIKE DEI MANUFACTURER: DERO BIKE DEPOT 5522 LAKELAND AVE N

MINNEAPOLIS, MN 55429 WWW.DERO.COM 12' L x 7'-6" W x 10'-5" H DIMENSIONS: MATERIAL:

ELECTION DISTRICT No. 5

FINISH: POWDER COAT COLOR: STANDARD, TBD OPTIONS: KEY LOCKING, MESH PANELING ON ALL SIDES



PRODUCT: BIKE FILE MANUFACTURER: DERO

5522 LAKELAND AVE N MINNEAPOLIS, MN 55429 WWW.DERO.COM COMPATIBLE WITH BIKE DEPOT DIMENSIONS:

MATERIAL: GALVANIZED AND STAINLESS FINISH: WALL MOUNTED TO BIKE DEPOT OPTIONS:



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REPARED FOR:

terprise Community Homes Housing LLC (Owner) terprise Community Development, Inc. (Developer) Hollin Street, Suite 202, Baltimore, MD 21201 -332-7400

FENCING AND PLAYGROUND PRODUCT INFORMATION Waverly Winds Apartments Lot 3A, Section 3, Area 4 Village of Harper's Choice Plat No. 26412 and 26667

SCALE ZONING B.S.D. FILE No. DATE TAX MAP - GRID SHEET 20 OF 24 29-23 HOWARD COUNTY, MARYLAND



PRODUCT: BEACON HILL RECYCLED PLASTIC 6' CONTOUR BENCH MANUFACTURER: ANOVA

1424 TALMAGE AVE; ST. LOUIS, MO 63110 www.anovafurnishings.com

CK KRAFT 571-325-4944 / CKKRAFT@ANOVAFURNISHINGS.COM

DIMENSIONS: 6' L. MATERIAL(S): SLAT - RECYCLED PLASTIC; FRAME - METAL COLOR(S): SLAT - MAHOGANY; FRAME - TEXTURED PEWTER

FINISH: POWDER-COAT QTY: REFER TO PLAN DRAWINGS





PRODUCT: EXPOSITION 33 GALLON TRASH RECEPTACLE/RECYCLER, SIDE DOOR MANUFACTURER: ANOVA

1424 TALMAGE AVE; ST. LOUIS, MO 63110

www.anovafurnishings.com CK KRAFT

571-325-4944 / CKKRAFT@ANOVAFURNISHINGS.COM

DIMENSIONS: 33 GAL. MATERIAL(S): STEEL

COLOR(S): TRASH - TEXTURED PEWTER; RECYCLING - PINE

FINISH: POWDER-COAT QTY: REFER TO PLAN DRAWINGS





CORSICA STAMPED STEEL ARMLESS CHAIR - SET OF 4 PRODUCT: MANUFACTURER: ANOVA

1424 TALMAGE AVE; ST. LOUIS, MO 63110

WWW.ANOVAFURNISHINGS.COM CK KRAFT

571-325-4944 / CKKRAFT@ANOVAFURNISHINGS.COM

DIMENSIONS: MATERIAL(S): COLOR(S): SILVER GRAY

FINISH: POWDER-COAT REFER TO PLAN DRAWINGS QTY:

CHAIR (BY OWNER)



STREETSIDE 3-BIKE/1-LOOP RACK, POWDER COATED, INGROUND MOUNT MANUFACTURER: ANOVA

1424 TALMAGE AVE; ST. LOUIS, MO 63110

WWW.ANOVAFURNISHINGS.COM CK KRAFT

571-325-4944 / CKKRAFT@ANOVAFURNISHINGS.COM

DIMENSIONS: 3' HT.

MATERIAL(S): STEEL COLOR(S): TEXTURED PEWTER

FINISH: POWDER-COAT REFER TO PLAN DRAWINGS QTY:





PRODUCT: MIXX 42" SQUARE RECYCLED PLASTIC TABLE MANUFACTURER: ANOVA

1424 TALMAGE AVE; ST. LOUIS, MO 63110

WWW.ANOVAFURNISHINGS.COM CK KRAFT

571-325-4944 / CKKRAFT@ANOVAFURNISHINGS.COM DIMENSIONS: 42" SQUARE TABLETOP

MATERIAL(S): COLOR(S): SLAT - MAHOGANY; FRAME - TEXTURED PEWTER

POWDER-COAT REFER TO PLAN DRAWINGS

42" TABLE (BY OWNER)

FINISH:

QTY:

APPROVED PLANNING BOARD OF HOWARD COUNTY DATE: April 18, 2024

APPROVED: HOWARD COLLINE DEPARTMENT OF PLANNING & ZONING 9/19/2024 lynda Eisenberg Director Date 9/19/2024 Chief, Division of Land 1888 Willem ent Date 9/17/2024 CHAD Edmondson Chief, Development Engineerithg 1489 ivision

> MC CHECKED BY: DATE REVISION BY APP'R.

PREPARED FOR:

Enterprise Community Homes Housing LLC (Owner) Enterprise Community Development, Inc. (Developer) 875 Hollin Street, Suite 202, Baltimore, MD 21201 410-332-7400

SITE DESIGN, INC.

SITE DESIGN, INC.

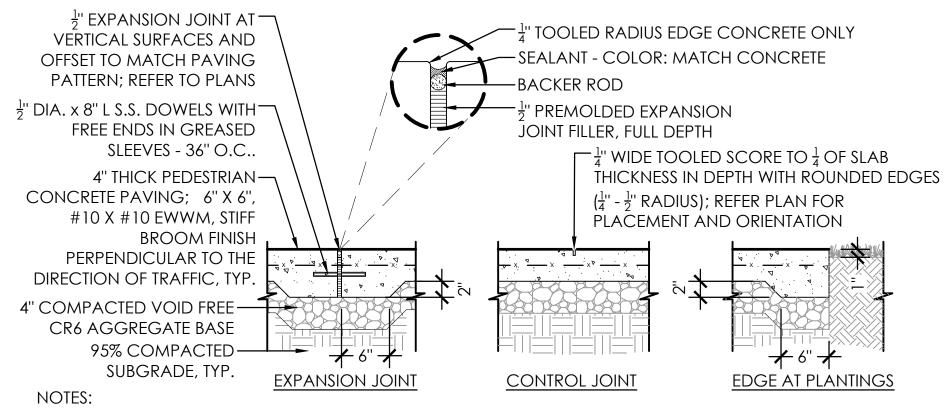
SITE DESIGN, INC.

1010 Wisconsin Avenue NW Suite 620

AD118AA2B259A96hington, DC 20007 P: 202.695.8056 www.bradleysitedesign.com

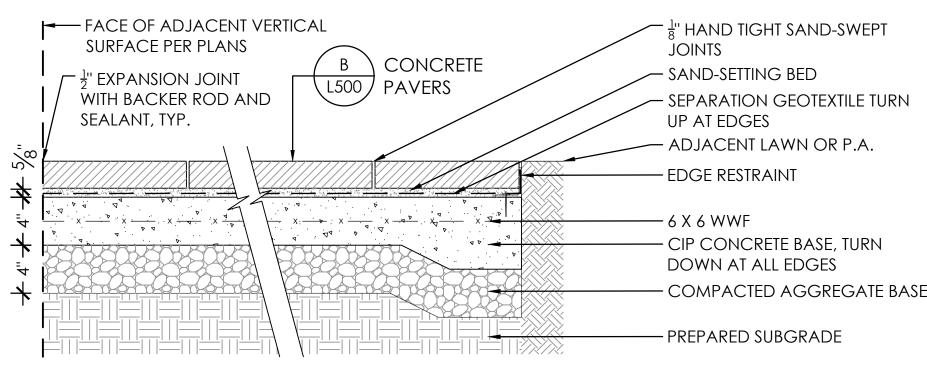
	PRODUCT INFOR
	Waverly Winds A Lot 3A, Section 3 Village of Harper' Plat No. 26412 ar
ELECTION DISTRICT No. 5	

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PRODUCT INFORMATION	_	SCALE	ZONING	B.S.D. FILE No.
Waverly Winds Apartments Lot 3A, Section 3, Area 4		NTS	NT	L501
Village of Harper's Choice Plat No. 26412 and 26667		DATE	TAX MAP - GRID	SHEET
	HOWARD COUNTY, MARYLAND	AUG 2024	29-23	21 OF 24



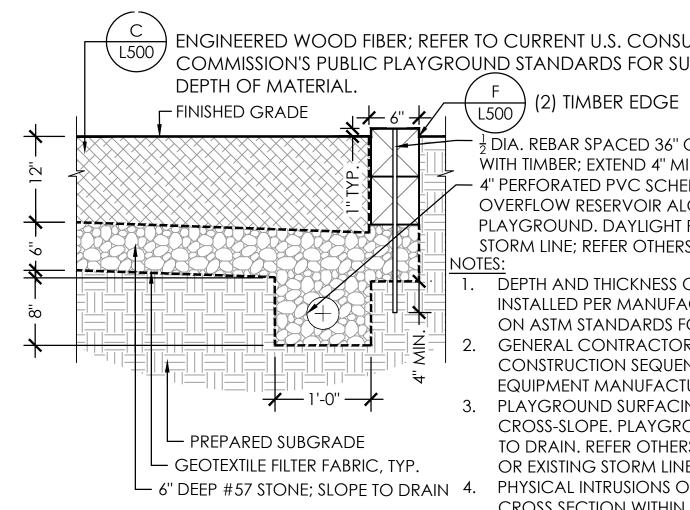
- 1. CONDITIONS VARY, PROVIDE EXPANSION JOINT WHERE WALKS ARE POURED AGAINST VERTICAL SURFACES AND/OR DIFFERENT PAVING MATERIALS AND AS SPECIFIED IN CIVIL DRAWINGS. EXPANSION JOINTS SHALL OCCUR EVERY 400 SF OR 20 LF IN SIDEWALKS.
- 2. MEET 1" ABOVE ADJACENT FINISHED LAWN AND PLANTING AREA GRADES.
- 3. REMOVE TOOL MARKS.
- 4. CROSS SLOPES ON SIDEWALKS MUST NOT BE LESS THAN 1% OR EXCEED 2%. MANHOLES, VALVE BOXES AND OTHER AT GRADE UTILITIES AND COVERS MUST BE ADJUSTED TO MEET FINISHED GRADE.





- 1. EDGE RESTRAIN TO BE  $\frac{1}{4}$ " x 2" x 1/4" GALVANIZED STEEL ANGLE BOLTED TO CONCRETE BASE AT 24" O. C.
- INSTALL PAVER COURSES IN STRAIGHT LINES AND TRUE ARCS AND TANGENTS.
- 3. FOR ALL CUTS, REPLICATE EDGE CONDITION OF UNCUT UNIT.
- 4. INSTALL CUT UNITS MIN. 10 UNITS FROM ENDS OF COURSE. CUT UNITS LESS THAN <sup>1</sup>/<sub>2</sub> PAVER DIMENSION ARE PROHIBITED. REMOVE CUT UNIT AND 2 ADJACENT UNITS; INSTALL 3 EQUAL CUT UNITS.
- 5. FOR RADIAL COURSES, INSTALL SYMMETRICALLY CUT UNITS AT REGULAR INTERVALS. CUT EACH UNIT FOR SMALLER RADII AND AS DIRECTED BY ARCHITECT.



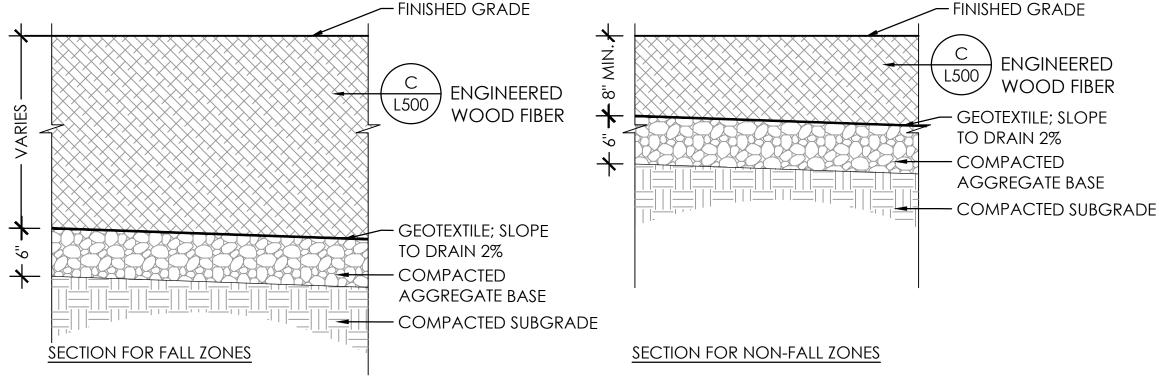


ENGINEERED WOOD FIBER; REFER TO CURRENT U.S. CONSUMER PRODUCT SAFETY COMMISSION'S PUBLIC PLAYGROUND STANDARDS FOR SURFACING FOR REQUIRED

> - ∮ DIA. REBAR SPACED 36" O.C.; HAMMER IN REBAR FLUSH WITH TIMBER; EXTEND 4" MIN. BELOW GRAVEL SUBBASE - 4" PERFORATED PVC SCHEDULE 40 PIPE IN STONE OVERFLOW RESERVOIR ALONG DOWNHILL EDGE OF PLAYGROUND. DAYLIGHT PIPE OR CONNECT TO EXISTING STORM LINE; REFER OTHERS

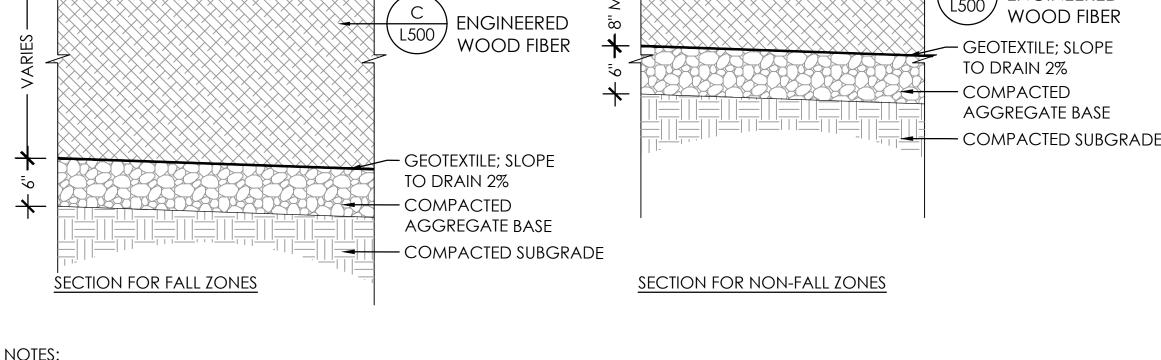
- DEPTH AND THICKNESS OF IMPACT COURSE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS BASED ON ASTM STANDARDS FOR EQUIPMENT FALL HEIGHTS. GENERAL CONTRACTOR TO COORDINATE CONSTRUCTION SEQUENCE BETWEEN SURFACING AND
- EQUIPMENT MANUFACTURERS. PLAYGROUND SURFACING TO HAVE 1:50 MAX. CROSS-SLOPE. PLAYGROUND SUBSURFACE MUST SLOPE TO DRAIN. REFER OTHERS FOR DRAINAGE DAYLIGHTING OR EXISTING STORM LINE CONNECTIONS.
- └ 6" DEEP #57 STONE; SLOPE TO DRAIN 4. PHYSICAL INTRUSIONS OF ALL KINDS INTO THE PRODUCT CROSS SECTION WITHIN THE FALL ZONE ARE PROHIBITED, INCLUDING BUT NOT LIMITED TO EXISTING TREE ROOTS, WALL FOOTINGS AND RETAINING WALL CANTILEVERS.

TIMBER EDGE AT ENGINEERED WOOD FIBER (5-12) 1" = 1'-0"



- 1. DEPTH / THICKNESS OF IMPACT COURSE TO BE INSTALLED BASED ON MANUFACTURER'S RECOMMENDATIONS BASED ON ASTM STANDARDS FOR EQUIPMENT FALL HEIGHTS. REFER TO CURRENT U.S. CONSUMER PRODUCT SAFETY COMMISSION'S PUBLIC PLAYGROUND STANDARDS FOR DEPTH REQUIREMENTS.
- 2. PHYSICAL INTRUSIONS OF ALL KINDS INTO THE PRODUCT CROSS SECTION WITHIN THE FALL ZONE ARE PROHIBITED, INCLUDING EXISTING TREE ROOTS, WALL FOOTINGS, RETAINING WALL CANTILEVERS, ETC.





APPROVED PLANNING BOARD OF HOWARD COUNTY  DATE: April 18, 2024						
APPROVED: HOWARD GOLINITY DEPARTMENT	OF PLANNING & ZONING 9/19/2024					
lynda Eisenberg	3/ 13/ 2024					
Director 4220B635863942E  DocuSigned by:	Date 9/19/2024					
Chief, Division of Land Barrengent (HD) Edmondson	Date 9/17/2024					
Chief, Development Engineeriffg1489ivision	Date					

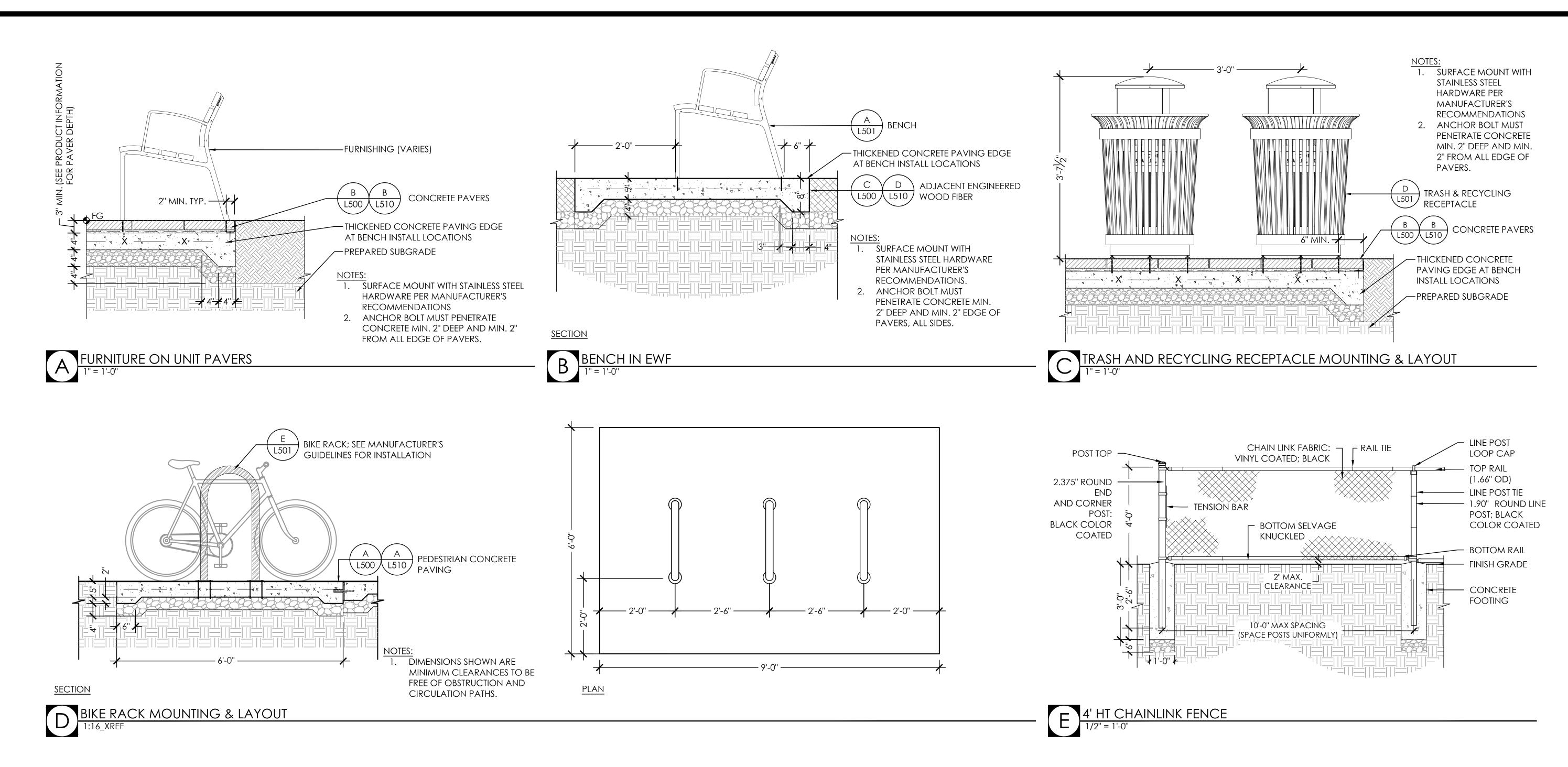
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SB					410-332-7400	08/14/24	P: 202.695.8056
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HARDSCAPE DETAILS Waverly Winds Apartments Lot 3A, Section 3, Area 4 Village of Harper's Choice Plat No. 26412 and 26667

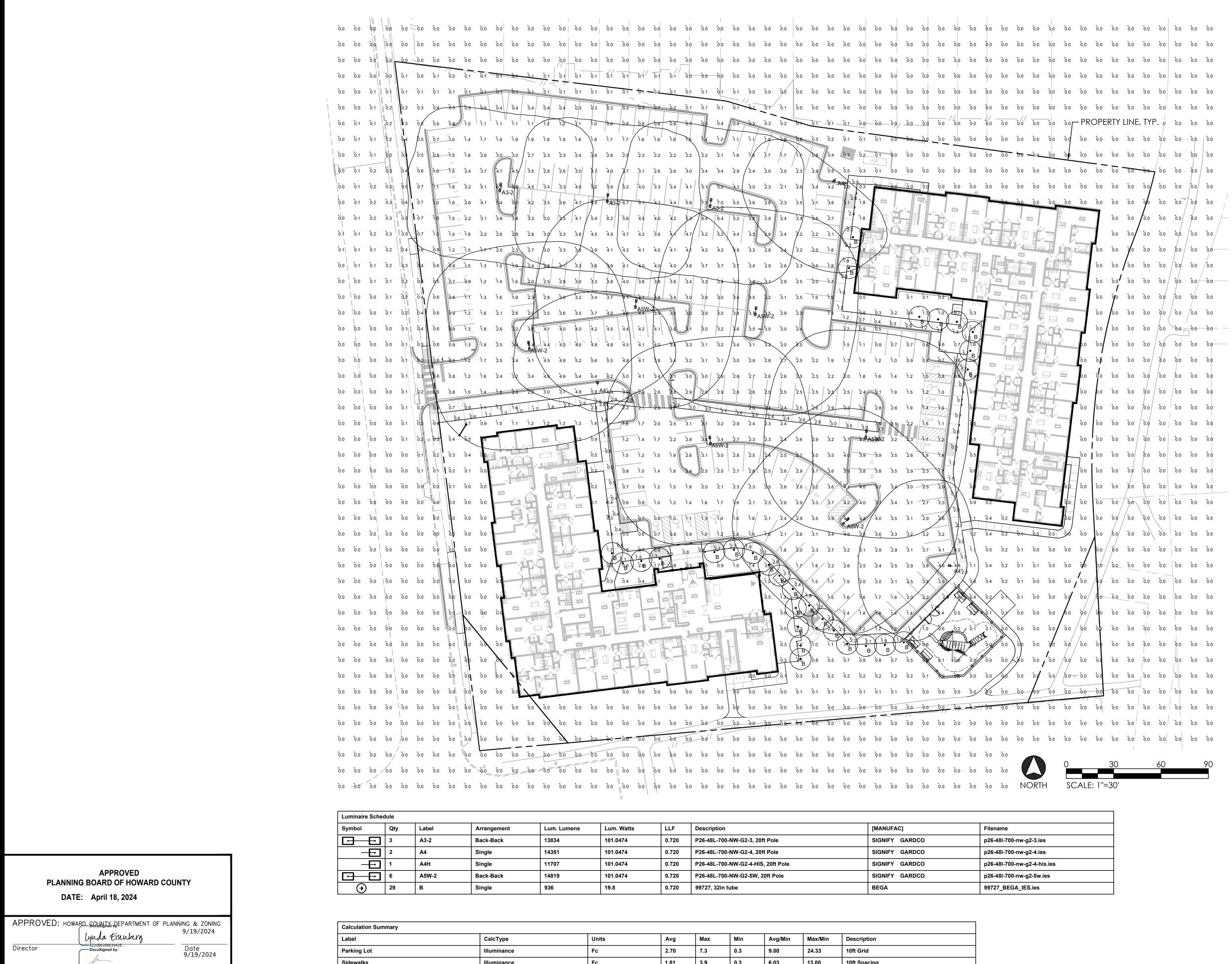
SCALE B.S.D. FILE No. NTS DATE TAX MAP - GRID SHEET 22 OF 24 29-23 HOWARD COUNTY, MARYLAND



APPROVED PLANNING BOARD OF HOWARD COUNTY  DATE: April 18, 2024						
APPROVED: HOWARD GOUNTY DEPARTMENT OF PLA	NNING & ZONING 9/19/2024					
Director 4220B033863942E DocuSigned by:	Date 9/19/2024					
Chief, Division of Land BENNIENTENT  (HD) Edmondson	Date 9/17/2024					
Chief, Development Engineeriffg1419ivision	Date					

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			Enterprise Community Homes Housing LLC (Owner)	Sharon Binasabe architecture	Lot 3A, Section 3, Area 4			
	MC		Enterprise Community Povelenment, Inc. (Develence)	1010 Wisconsin Avenue NW Suite 620	Village of Harper's Choice	D.4.TE	TAV 1445 ODID	OUEET
ŀ	CHECKED BY:	γ.	875 Hollin Street, Suite 202, Baltimore, MD 21201	AD118AA2B259496hington, DC 20007	Village of Harper's Choice	DATE	IAX MAP - GRID	SHEET
	OFFICINED DT.			P: 202.695.8056	Plat No. 26412 and 26667			
	SB	DATE DEVICION DV	410-332-7400	P: 202.695.8056 www.bradleysitedesign.com	FLECTION DICTRICT N. F.	AUG 2024	29-23	23 OF 24
		DATE REVISION BY	APP'R.	www.bradieysiredesign.com	ELECTION DISTRICT No. 5 HOWARD COUNTY, MARYLA	ND		



Chief, Division of Land Baranagement Date 9/17/2024 (Hd) Edmondson Chief, Development Engineering 1499 ivision

	Calculation Summary									
	Label	СаісТуре	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	
	Parking Lot	Illuminance	Fc	2.70	7.3	0.3	9.00	24.33	10ft Grid	
	Sidewalks	Illuminance	Fc	1.81	3.9	0.3	6.03	13.00	10ft Spacing	

SDP SET

MC HECKED BY DATE REVISION BY APP'R

Enterprise Community Homes Housing LLC (Owner) Enterprise Community Development, Inc. (Developer) 875 Hollin Street, Suite 202, Baltimore, MD 21201 410-332-7400

PREPARED FOR:



ELECTION DISTRICT No. 5

Waverly Winds Apartments Lot 3A, Section 3, Area 4 Village of Harper's Choice Plat No. 26412 and 26667

PHOTOMETRIC PLAN

L601 1" = 30' TAX MAP - GRID SHEET DATE AUG 2024 24 OF 24 29 - 23HOWARD COUNTY, MARYLAND

ZONING

SCALE

B.S.D. FILE No.